PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2024/1574

Date: 16 April 2025

Queensland Government

WALSH CONSULTING ENGINEERS

# ENGINEERING REPORT & STORMWATER MANAGEMENT PLAN

## Proposed Industrial Development at Lot 1116-1118 Edison Crescent, Baringa

for Shadcon Pty Ltd

C6527/24/ENG-V1

March 2025

P 07 5443 4443
E engineers@walsheng.net.au
W walsheng.net.au
A Suite 15, 72 Wises Road, Maroochydore Q 4558
PO BOX 5512, Maroochydore BC Q 4558
JP Walsh Queensland Pty Ltd trading as Walsh Consulting Engineers
ABN 39 611 482 716

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2024/1574
Date: 16 April 2025

Queensland Government

DOCUMENT CONTROL

C6527/24/ENG

| Version | Date | Details | Prepared | Checked | Approved |
|---|---|---|---|---|---|
| V0 | November 2024 | Issued to Client | BM | JW | |
| V1 | March 2025 | Issued to Client | BM | JW | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |

## CONTENTS

1.0 INTRODUCTION ..... 4

2.0 SITE DESCRIPTION ..... 5

3.0 PROPOSED DEVELOPMENT APPLICATION ..... 5

4.0 ACCESS, PARKING AND MANOEVRING ..... 6

5.0 WASTE MANAGEMENT ..... 6

6.0 PEDESTRIAN CONNECTIVITY ..... 6

7.0 STORMWATER MANAGEMENT ..... 7

8.0 SEWERAGE RETICULATION ..... 12

10.0 EARTHWORKS ..... 13

11.0 CONCLUSION ..... 13

## APPENDICES

APPENDIX A – Site Locality Plan

APPENDIX B – Development Layout Plan

APPENDIX C – As-Constructed Survey

APPENDIX D – Engineering Drawings

APPENDIX E – 'OceanGuard' Standard Drawing

## 1.0 INTRODUCTION

Walsh Consulting Engineers have been commissioned by Shadcon Pty Ltd to prepare an Engineering Report and Stormwater Management Plan in support of a combined Material Change of Use (MCU) and Operational Works (OPW) application to Economic Development Queensland and the Sunshine Coast Council for a proposed industrial development at Lot 1116-1118 Edison Crescent, Baringa.

This report addresses the following areas of civil design and construction:

- Access, Parking and Manoeuvring
- Waste Management
- Pedestrian Connectivity
- Stormwater Management
- Sewerage Reticulation
- Water Supply
- Earthworks

This report should be read in conjunction with the attached engineering drawings and all other specialist reports attached to the development application.

This report concludes that there are no major engineering constraints to the proposed development, and that all necessary infrastructure will be readily available for the subject site.

## 2.0 SITE DESCRIPTION

A Site Locality Plan is included as Appendix A.

The subject site is located over 3 lots. Land parcels are legally described as Lot 1116, 1117 and 1118 on SP330057. The site is located within Precinct 3-5 of the Master Planned urban subdivision 'Aura', which includes a mix of commercial, industrial and community land uses.

The total site area is 0.488Ha. The site has a frontage of 90m to Edison Crescent to the east and 47m to Strong Street to the south. The site is bordered by existing industrial allotments to the north, south and west.

The site is zoned *Growth Management Area* and is located within the *Caloundra South Priority Development Area (PDA).*

## 3.0 PROPOSED DEVELOPMENT APPLICATION

Refer to Appendix B for the proposed Development Layout.

The application is for a combined Material Change of Use (MCU) and Operational Works (OPW) application for a development that will yield three (3) warehouses, access driveways, car parking, internal services and stormwater infrastructure.

Please refer to the accompanying Town Planning report for more detailed information regarding the proposed development.

## 4.0 ACCESS, PARKING AND MANOEVRING

Refer to Drawing No. C6527/24/*R0 Series* attached as Appendix D for details of the proposed site access and car parking.

Access to the proposed development will be taken from Edison Crescent to the east of the site and Pratt Lane to the west. New heavy-duty vehicle crossovers will be constructed in accordance with IPWEA standard RSD-102. A sealed access driveway and new car park will be constructed to service the site. All parking spaces will comply with Council's requirements and the relevant sections of AS2890.

## 5.0 WASTE MANAGEMENT

Refer to engineering drawing C6527/24/R01 & R04, attached in Appendix D, for details of proposed bin storage locations.

Screened bin enclosures are to be provided adjacent to the new access driveways along the western boundary of the site. It is proposed that the development will be serviced by Council's Waste Collection Vehicle (WCV) from within the site. These vehicles will be required to perform a turnaround manoeuvre at the Pratt Lane site entrance before exiting in a forward gear. Refer to engineering drawing C6527/24/TP01 for proposed vehicle swept path manoeuvres.

## 6.0 PEDESTRIAN CONNECTIVITY

Existing and proposed pedestrian infrastructure is shown on the attached Drawing No. C6527/24/R01, included in Appendix D.

A concrete footpath has been constructed along the Edison Crescent site frontage on a standard alignment. Internal pavement grades shall provide equitable access from the PWD car park to the main entrance in accordance with AS1428 and AS2890.

# 7.0 STORMWATER MANAGEMENT

## 7.1 Legal Point of Discharge

Engineering Drawing C6527/24/D01 and attached within Appendix D indicates the Legal Point of Discharge (LPOD) and proposed internal stormwater drainage network for the development site.

Under the approved drainage regime, stormwater is conveyed from north-west to south-east as sheet and concentrated channel flow. Existing stormwater pits (grated field inlets) and pipes have been provided at three different locations along the Edison Crescent site frontage as part of major subdivision works. It is proposed to maintain the existing drainage regime and utilise these connection points as part of proposed works. The existing stormwater network within the Edison Crescent road reserve is considered to represent the Legal Point of Discharge for the development site.

## 7.2 Flooding

Bulk earthworks associated with major subdivision work are complete. Flood immune building pads will be provided for the warehouses. Refer to Figure 7.2a below for the regional 1% AEP Flood Extents.

Proposed earthworks and building slab construction will provide additional flood immunity to localised flood extents.

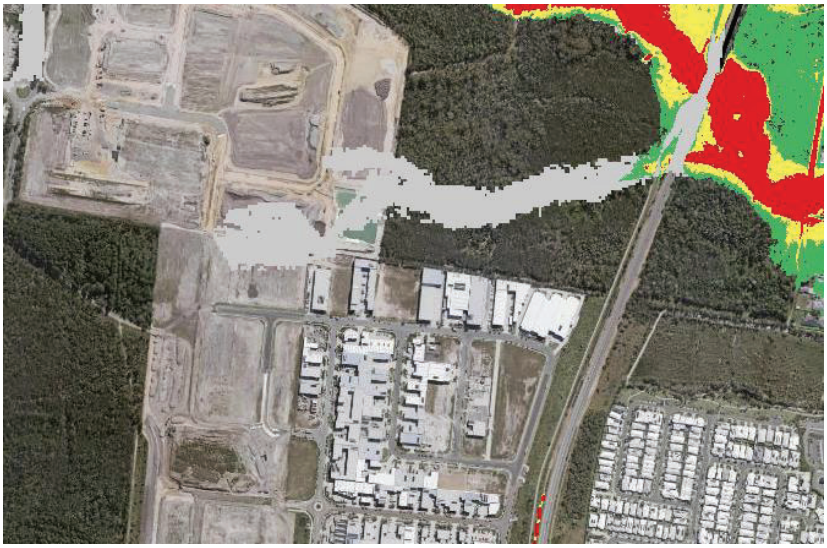


Figure 7.2a: Sunshine Coast Council Flood Map

## 7.3 Peak Flow Management

The Master Planned subdivision 'Aura' has adopted a peak flow management scheme for the total development site. Regional stormwater management areas have been provided and a stormwater network designed and constructed to accept and convey developed site runoff. No further stormwater quantity management is proposed as part of this application.

## 7.4 Water Quality Management Plan

The proposed development must generally comply with the approved regional Stormwater Quality Management Plan, prepared by DesignFlow.

Refer to Figure 7.4a below. The site is located within the east catchment, with stormwater flows directed to the existing waterway 'Bells Creek.'

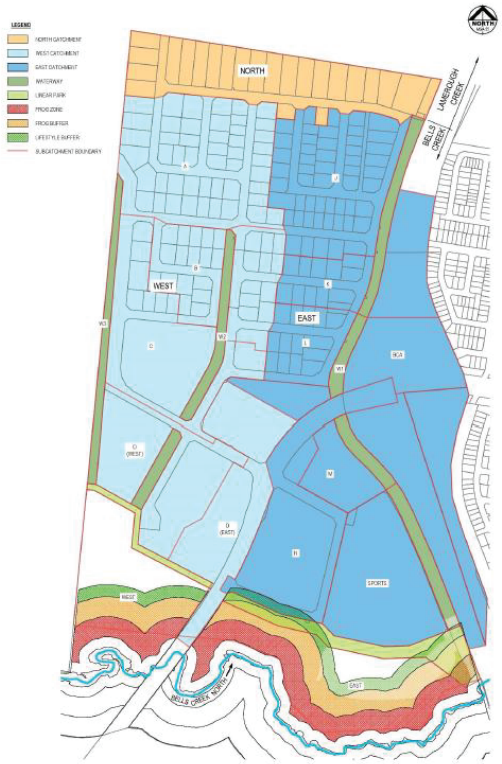



Figure 7.4a: Precinct 3-5 Catchment Plan – Source DesignFlow

Refer to Table 7.4b for details of stormwater catchments and treatment devices for Precinct 3-5. The development site is located within the East Catchment. A series of regional wetlands/bioretention basins have been constructed as part of the overall Master Planned subdivision 'Aura' which provide water quality management for the site.

Table 7.4b: Stormwater Catchments and Treatment System Areas for Precincts 3-5

Table 3 Stormwater catchments and treatment system areas for Precincts 3-5

| CATCHMENT ID | Area ha | Allotment biopods $m^2$ | Street biopods $m^2$ | Wetland inlet pond $m^3$ | Wetland $m^2$ | Bioretention basin $m^2$ |
|---|---|---|---|---|---|---|
| **WEST CATCHMENT** | | | | | | |
| A - industrial | 12.23 | | | | | |
| B - industrial | 7.14 | | | | | |
| C - industrial | 8.82 | | | | | |
| C - commercial | 1.40 | | | | | |
| D -industrial | 10.53 | | | | | |
| D - commercial | 1.75 | | | | | |
| Linear park | 0.67 | | | | | |
| Road (Aura Bde) | 1.76 | | | | | |
| Swale | 3.74 | | | | | |
| Buffers and WSUD | 6.99 | | | | | |
| **TOTAL - WEST** | **55.03** | | | **2,596** | **11,400** | **8,086** |
| **EAST CATCHMENT** | | | | | | |
| J - industrial | 10.11 | | | | | |
| K - industrial | 2.85 | | | | | |
| L - industrial | 3.48 | | | | | |
| L - commercial | 1.35 | | | | | |
| M - commercial | 3.48 | | | | | |
| N - commercial | 6.08 | | | | | |
| Road (BCA, Aura Bde) | 18.87 | | | | | 700# |
| SPORTS | 7.74 | | | | | |
| Linear park | 1.83 | | | | | |
| Swale | 4.14 | | | | | |
| Buffers and WSUD | 9.9 | | | | | |
| **TOTAL EAST** | **69.83** | | | **2,400** | **14,800** | **7,700** |
| **NORTH CATCHMENT** | | | | | | |
| North - industrial | 9.59 | 540 | 239 | | | |
| **TOTAL NORTH** | **9.59** | **540** | **239** | | | |
| **TOTAL P3-5** | **134.5** | | | | | |

# Bioswale on east side of BCA

The site will include a rainwater harvesting/reuse tank with minimum volume of 12.2kL in accordance with the approved regional Stormwater Quality Management Plan by DesignFlow. It is proposed that a minimum 50% of total roof water area is connected to the tank. Refer to Table 7.4c for details.

Table 7.4c: Rainwater Harvesting Tank Details for Precincts 3-5

| Landuse | Roof Area | Tank size (minimum) | Tank Connections / Fixtures / Uses |
|---|---|---|---|
| **All non-residential uses** including but not limited to:<br>• Commercial<br>• Retail<br>• Industrial<br>• School<br>• Community | 50% roof must connect / drain to tank<br><br>If multiple buildings then 50% of total roof area must connect / drain to tank | 1KL per toilet or urinal or 25kL/ha Minimum 5 KL size | Tanks must be connected to and supply water to all non-potable uses and fixtures including but not limited to:<br>• Toilets (all toilets)<br>• Urinals (all urinals)<br>• Laundry cold (all taps in laundry)<br>• Outdoor taps (all outdoor taps) |

As the site is identified as a 'Gross Pollutant Management Lot', gross pollutant treatment will be required. It is proposed that each new field inlet will include an 'OceanGuard' pit insert (or approved equivalent). Refer to Appendix E for proprietary device details.

## 8.0 SEWERAGE RETICULATION

Refer to Engineering Drawing No. C6527/24/S01 included within Appendix D for the existing sewer connection point.

An existing 160mm diameter gravity sewer main is located within the Edison Crescent road reserve. The site has three existing sewer connection points along the eastern boundary of the site which have been installed as part of approved subdivision works. It is proposed to utilise two of the existing connection branches following the amalgamation of Lots 1116-1118 on SP330057. The remaining sewer connection branch is to be taken up and removed by Unitywater Private Works.

Detailed design of the internal sewer network will be provided by a suitably qualified Hydraulic Consultant and lodged under separate cover.

## 9.0 WATER SUPPLY

Refer to Engineering Drawing No. C6527/24/S01 included within Appendix D for the new water connection point.

An existing 180 diameter water reticulation main is located within the verges of Edison Crescent to the east of the site and Strong Street to the south. Provision for three new water meters have been made along the eastern boundary of the site. It is proposed that UnityWater will supply and install a suitable water meter/hydrant assembly for the development upon lodgement and payment of the applicable fee.

Detailed design of the internal water reticulation network will be provided by a suitably qualified Hydraulic Consultant and lodged under separate cover.

## 10.0 EARTHWORKS

Refer to Engineering Drawing No. C6527/24/E01-03 included within Appendix D for details of earthworks cut, fill and finished floor levels.

Approved bulk earthworks are complete. Minor earthworks including shaping and grading of existing levels will be required in order to formalise site access and parking and provide a level building platform. Minor retaining and trench excavation for internal services and drainage infrastructure will also be undertaken as part of proposed earthworks.

## 11.0 CONCLUSION

The proposed design and construction of an industrial development located at Lot 1116, 1117 and 1118 Edison Crescent, Baringa may be readily serviced by existing/approved infrastructure available within or near the subject site.

The development site is immune from current and future flood events. Additional freeboard will be provided by proposed building pads and concrete slabs.

Stormwater quantity and quality management has been addressed as part of previous sub-divisional works associated with the overarching scheme for Precinct 3-5 of the Master Planned urban subdivision 'Aura'. A legal point of discharge has been provided for the development site.

There are no constraints to the proposed development that cannot be overcome by sound engineering design and best practice construction methods.

Appendix

# A

## Site Locality Plan

# PROPOSED WAREHOUSE DEVELOPMENT
# at LOT 1116-1118 EDISON CRESCENT, BARINGA
# for SHADCON PTY LTD
# CONTRACT No. C6527/24/01

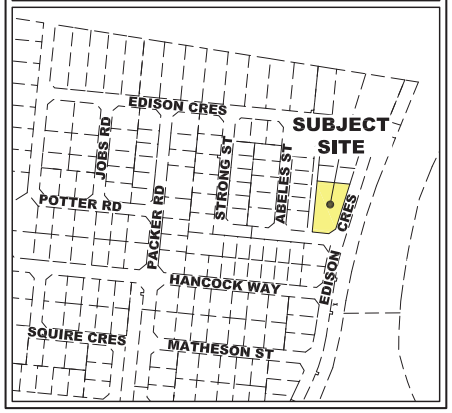
## PROPERTY DESCRIPTION

33, 35 & 37 EDISON CRESCENT, BARINGA
Lot 1116-1118 on SP 330057
Site Area = 0.488 Hectares
L.G.A. = Sunshine Coast Council (S.C.C.)
S.C.C. Reference: TBC

## Job : C6527 DRAWING SCHEDULE DECEMBER 2024

| DRG No. | DESCRIPTION |
|---|---|
| C6527/24/L01 | LOCALITY PLAN AND SCHEDULE OF DRAWINGS |
| | |
| C6527/24/E01 | EARTHWORKS LAYOUT PLAN |
| C6527/24/E02 | EARTHWORKS SECTIONS PLAN - SHEET 1 of 2 |
| C6527/24/E03 | EARTHWORKS SECTIONS PLAN - SHEET 2 of 2 |
| | |
| C6527/24/R01 | ROADWORKS LAYOUT PLAN |
| C6527/24/R02 | DRIVEWAY 1 LONGITUDINAL & CROSS SECTIONS |
| C6527/24/R03 | DRIVEWAY 2 LONGITUDINAL & CROSS SECTIONS |
| C6527/24/R04 | ROADWORKS LINEMARKING PLAN |
| C6527/24/R05 | ROADWORKS SETOUT PLAN |
| C6527/24/R06 | ROADWORKS CONCRETE JOINTING PLAN |
| C6527/24/R07 | ROADWORKS DETAILS & NOTES |
| | |
| C6527/24/D01 | STORMWATER DRAINAGE LAYOUT PLAN |
| | |
| C6527/24/S01 | SERVICES LAYOUT PLAN |
| C6527/24/S02 | SERVICES & GENERAL NOTES |
| | |
| C6527/24/TP01 | VEHICLE SWEPT PATH |
| | |
| C6527/24/CA01 | STORMWATER DRAINAGE CATCHMENT PLAN |

## LOCALITY PLAN





WALSH CONSULTING ENGINEERS
P 07 5443 4443
E engineers@walsheng.net.au
W walsheng.net.au
A 15/72 Wises Road, Maroochydore Q 4558
PO Box 5512, Maroochydore BC Q 4558
A.B.N. 39 611 482 716


| REV | DATE | DESCRIPTION | BY | CHKD |
|---|---|---|---|---|
| A | 11/03/25 | REVISED IN ACCORDANCE WITH EDQ INFORMATION REQUEST DATED 30/01/25 | BWM | QKP |

FILENAME : C6527-24-L01.dwg - DATE : 12/3/25 - 11:54am

A1 Sheet Size

CHECKED

DIRECTOR APPROVAL
RPEQ - 4665

**FOR APPROVAL**
NOT FOR CONSTRUCTION

Design: BWM | Drawn: BWM | Date: DEC 2024

PROJECT:
**PROPOSED WAREHOUSE DEVELOPMENT at 1116-1118 EDISON CRESCENT, BARINGA for SHADCON PTY LTD**


© This plan is Copyright. Other than for the purposes of and subject to the conditions prescribed under the Copyright Act, no part of it may in any form or by any means (electronic, mechanical, micro copying, photo-copying, recording or otherwise) be reproduced, stored in a retrieval system or transmitted without the prior written permission of Walsh Consulting Engineers. All intellectual property remains within Walsh Consulting Engineers. All enquiries should be directed to Walsh Consulting Engineers.


DRAWING TITLE:
**LOCALITY PLAN AND SCHEDULE OF DRAWINGS**

DRAWING No: **C6527/24/L01**

REVISION: **A**

COUNCIL REFERENCE:

SHEET: 1 of 1

WALSH CONSULTING ENGINEERS

Appendix

# B

# Development Layout Plan

**CONCEPT DRAWINGS ONLY**
NOT FOR CONSTRUCTION

**LEGEND**

- PROPERTY LINE
- POWER LINE
- SEWER LINE
- WATER LINE
- TELSTRA LINE
- DP DOWN PIPES

**DEVELOPMENT DATA**

**1. Site Area**
**Total 4883 m²**

**2. Site Coverage**

Total Allowed 3418 m² / 70%
**Total Provided** 2750 m² / 56%

**3. Max. Height Allowed** 15 m

**4. Proposed Height** **TBC m**

**5. Setbacks** Frontage 6.00 m
Sides 0.00 m
Rear 0.00 m

**6. Carparking No.**

1 Space/50m² Until 500m² - 1 Space/100m² Thereafter
1 Space/20m² (Unit 3)
Total GFA (Unit 1&2) = **2307** m²
Total GFA (Unit 3) = **815** m²
Parking Required = 28 (Unit 1&2) + 41 (Unit 3)=**69 Total**

**TOTAL PARKING PROVIDED**= **65**

**7.** Landscape Required 488.3 m² / 10%
**Landscape Area Provided** **583 m² / 12%**

**8. Bicycle spaces.**

1 Space/500m² or Minimum of 5

Total GFA = **3122** m²
TOTAL REQUIRED = 6
**TOTAL PROVIDED** = **6**

**Area Calculation**
Ground Floor **2525** m²
Mezzanine 597 m²
**Total GFA** **3122 m²**

GFA (Unit 1)
Ground Floor 1375 m²
Mezzanine 199 m²
**TOTAL** **1574 m²**

GFA (Unit 2)
Ground Floor 534m²
Mezzanine 199 m²
**TOTAL** **733 m²**

GFA (Unit 3)
Ground Floor 616 m²
Mezzanine 199 m²
**TOTAL** **815 m²**

**PREPARED BY:**

ZEEN DESIGN
Ph.: +61 404 863 720
email: admin@zeendesign.com.au
QBCC Lic No. 15144106
VIC Lic.No. DP-AD100029


© COPYRIGHT
THIS DRAWING REMAINS THE PROPERTY OF **ZEEN DESIGN** AND IS PROVIDED FOR THE USE AS DESCRIBED BELOW AND MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION


Building Design Queensland MEMBER

NOTES:

1. LEVELS OF DWELLING TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION
2. BUILDER TO CHECK AND CONFIRM ALL MEASUREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE AT ALL TIMES.
4. STORM WATER THROUGH P.V.C. PIPE TO LOCAL COUNCIL REGULATIONS.
5. BUILDER TO ENSURE ALL RELEVANT SERVICES HAVE BEEN CARRIED OUT REGARDING LOCATION OF EASEMENTS, STORM WATER & SEWER PRIOR TO CONSTRUCTION.

SHADCON
Uncompromising commitment

**KEYPLAN:**

N

| No. | Description | Date |
|---|---|---|
| 0 | DA Drawings | 2025/03/10 |

Client:

**Shadcon**

Project

**Proposed Warehouse**

Lot 1116-1118 Edison Crescent St., Cor. Strong Street. QLD

Project Status
**DA Drawings**

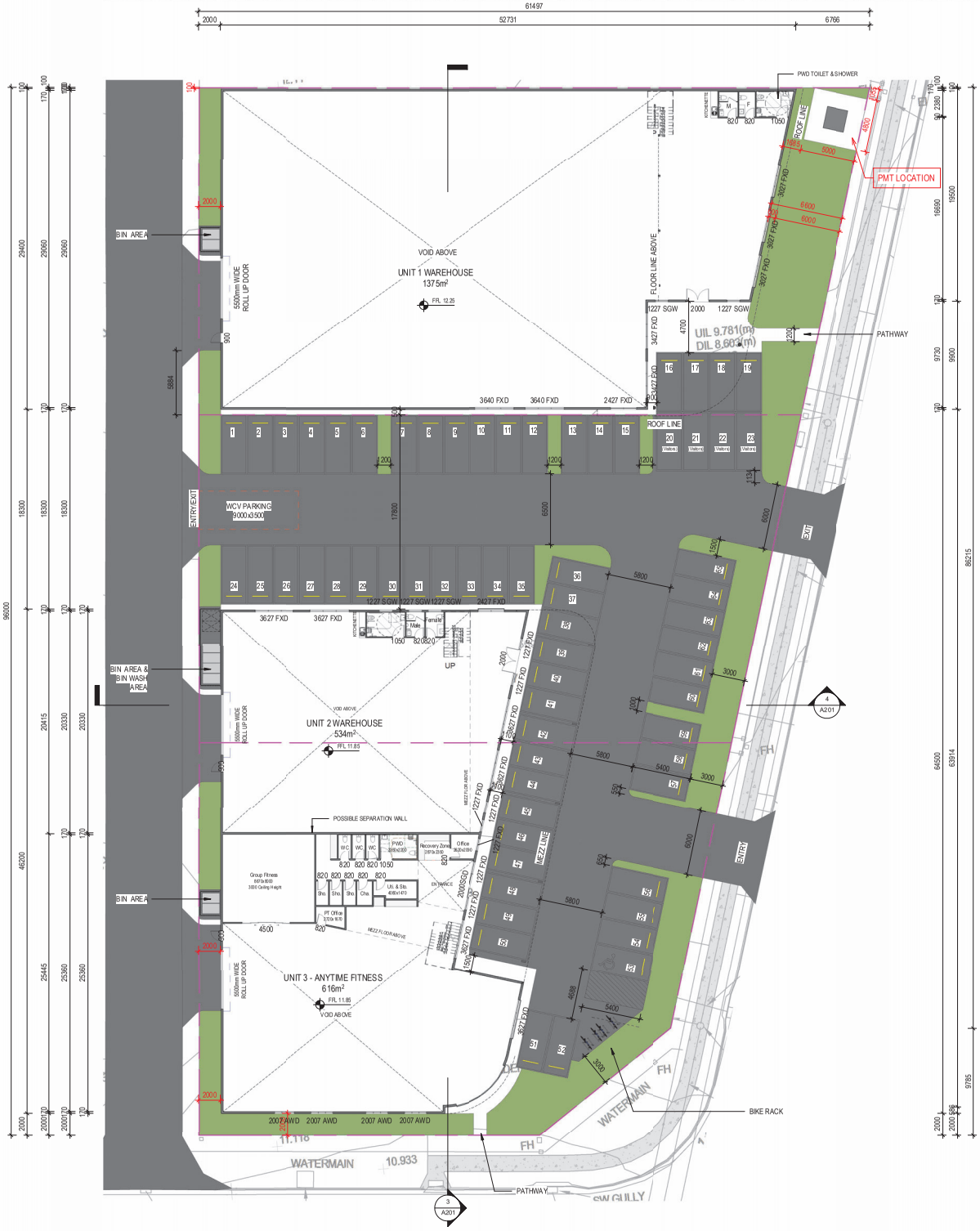
Drawing Title

Site Plan

Scale: **As indicated**

| Checked by | Drawn by | Issued Date |
|---|---|---|
| **FBH** | **BA** | 10/03/2025 11:00:46 am |
| Project number | Sheet No. | Rev No: |
| **0001** | **A050** | **0** |

**CONCEPT DRAWINGS ONLY**
NOT FOR CONSTRUCTION




PREPARED BY:

ZEEN DESIGN

Ph.+61 404 863 720
email: admin@zeendesign.com.au

QBCC Lic No. 15144106
VIC Lic.No. DP-AD100029

© COPYRIGHT
THIS DRAWING REMAINS THE PROPERTY OF **ZEEN DESIGN**
AND IS PROVIDED FOR THE USE AS DESCRIBED BELOW
AND MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN
PART WITHOUT WRITTEN PERMISSION

Building Design Queensland MEMBER

NOTES:

1. LEVELS OF DWELLING TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.
2. BUILDER TO CHECK AND CONFIRM ALL MEASUREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE AT ALL TIMES.
4. STORM WATER THROUGH PVC PIPE TO LOCAL COUNCIL REGULATIONS.
5. BUILDER TO ENSURE ALL RELEVANT SEWER MESH HAVE BEEN CARRIED OUT REGARDING LOCATION OF EASEMENTS, STORM WATER & SEWER PRIOR TO CONSTRUCTION.

SHADCON
Uncompromising commitment

KEYPLAN:

N

| No. | Description | Date |
|---|---|---|
| 0 | DA Drawings | 2025/03/10 |

Client:

**Shadcon**

Project

**Proposed Warehouse**

Lot 1116-1118 Edison Crescent St., Cor. Strong Street. QLD

Project Status

**DA Drawings**

Drawing Title

Ground Floor Plan

Scale: **1 : 200**

| Checked by | Drawn by | Issued Date |
|---|---|---|
| **FBH** | **BA** | 10/03/2025 11:01:18 am |
| Project number | Sheet No. | Rev No: |
| **0001** | **A101** | **0** |

0 4 8 12 16 20
GRAPHIC SCALE: 1:200

**CONCEPT DRAWINGS ONLY**
NOT FOR CONSTRUCTION

**PREPARED BY:**

ZEEN DESIGN

Ph.+61 404 863 720
email: admin@zeendesign.com.au

QBCC Lic No. 15144106
VICLic.No. DP-AD100029

© COPYRIGHT
THIS DRAWING REMAINS THE PROPERTY OF **ZEEN DESIGN** AND IS PROVIDED FOR THE USE AS DESCRIBED BELOW AND MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION

Building Design Queensland MEMBER

NOTES:

1. LEVELS OF DWELLING TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.
2. BUILDER TO CHECK AND CONFIRM ALL MEASUREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE AT ALL TIMES.
4. STORM WATER THROUGH P.V.C. PIPE TO LOCAL COUNCIL REGULATIONS.
5. BUILDER TO ENSURE ALL RELEVANT SEWER HAS BEEN CARRIED OUT REGARDING LOCATION OF EASEMENTS, STORM WATER & SEWER PRIOR TO CONSTRUCTION.

SHADCON
Uncompromising commitment

**KEYPLAN:**

N

| No. | Description | Date |
|---|---|---|
| 0 | DA Drawings | 2025/03/10 |

Client:

**Shadcon**

Project

**Proposed Warehouse**

Lot 1116-1118 Edison Crescent St., Cor. Strong Street. QLD

Project Status

**DA Drawings**

Drawing Title

Mezzanine Floor Plan

Scale: **1 : 200**

| Checked by | Drawn by | Issued Date |
|---|---|---|
| **FBH** | **BA** | 10/03/2025 11:01:28 am |
| Project number | Sheet No. | Rev No. |
| **0001** | **A102** | **0** |

0 4 8 12 16 20
GRAPHIC SCALE: 1:200

**CONCEPT DRAWINGS ONLY**
NOT FOR CONSTRUCTION

ELEVATION

GRAPHIC SCALE: 1:200

**PREPARED BY:**

ZEEN DESIGN

Ph.+61 404 863 720
email: admin@zeendesign.com.au

QBCC Lic No. 15144106
VIC Lic.No. DP-AD100029

© COPYRIGHT
THIS DRAWING REMAINS THE PROPERTY OF **ZEEN DESIGN**
AND IS PROVIDED FOR THE USE AS DESCRIBED BELOW
AND MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN
PART WITHOUT WRITTEN PERMISSION

Building Design Queensland MEMBER

NOTES:

1. LEVELS OF DWELLING TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.
2. BUILDER TO CHECK AND CONFIRM ALL MEASUREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE AT ALL TIMES.
4. STORM WATER THROUGH P.V.C. PIPE TO LOCAL COUNCIL REGULATIONS.
5. BUILDER TO ENSURE ALL RELEVANT SEARCHES HAVE BEEN CARRIED OUT RESPECTING LOCATION OF EASEMENTS, STORM WATER & SEWER PRIOR TO CONSTRUCTION.

SHADCON
Uncompromising commitment

**KEYPLAN:**

N

| No. | Description | Date |
|---|---|---|
| 0 | DA Drawings | 2025/03/10 |

Client:

**Shadcon**

Project

**Proposed Warehouse**

Lot 1116-1118 Edison Crescent St., Cor. Strong Street. QLD

Project Status

**DA Drawings**

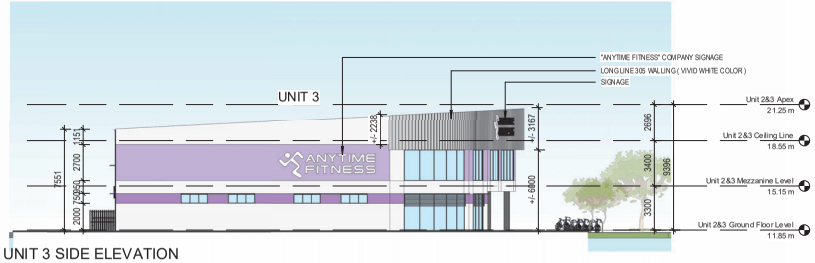
Drawing Title

Roof Plan

Scale: **1 : 200**

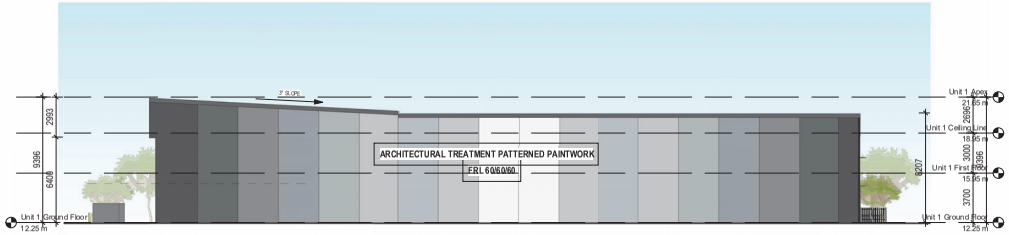
| Checked by | Drawn by | Issued Date |
|---|---|---|
| **FBH** | **BA** | 10/03/2025 11:01:42 am |
| Project number | Sheet No. | Rev No: |
| **0001** | **A103** | **0** |

**CONCEPT DRAWINGS ONLY**
NOT FOR CONSTRUCTION

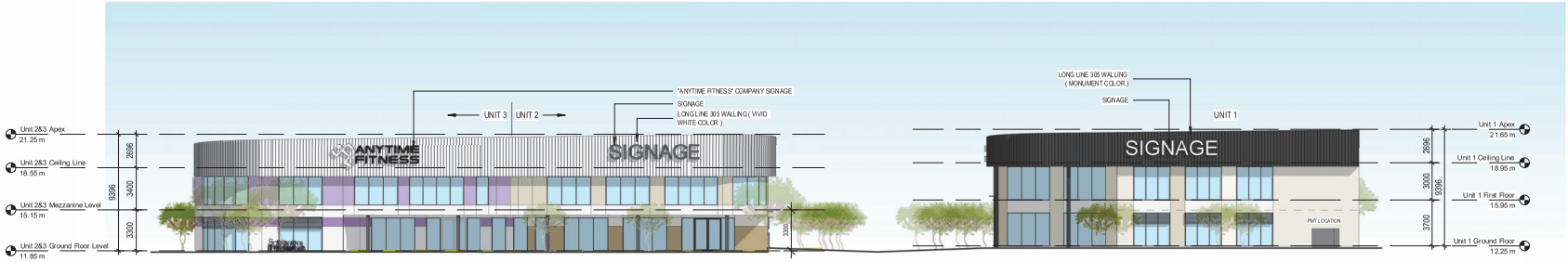



4 UNIT 3 SIDE ELEVATION
1 : 200

2 SITE ELEVATIONS ( REAR )
1 : 200




5 UNIT 1 SIDE ELEVATION (FIRE WALL)
1 : 200




1 SITE ELEVATIONS ( FRONT )
1 : 200

PREPARED BY:


ZEEN DESIGN
Ph.: +61 404 863 720
email: admin@zeendesign.com.au
QBCC Lic No. 15144106
VIC Lic.No. DP-AD100029



© COPYRIGHT
THIS DRAWING REMAINS THE PROPERTY OF **ZEEN DESIGN** AND IS PROVIDED FOR THE USE AS DESCRIBED BELOW AND MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION


Building Design Queensland MEMBER

NOTES:

1. LEVELS OF DWELLING TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.
2. BUILDER TO CHECK AND CONFIRM ALL MEASUREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE AT ALL TIMES.
4. STORM WATER THROUGH P.V.C. PIPE TO LOCAL COUNCIL REGULATIONS.
5. BUILDER TO ENSURE ALL RELEVANT SEARCHES HAVE BEEN CARRIED OUT REGARDING LOCATION OF EASEMENTS, STORM WATER & SEWER PRIOR TO CONSTRUCTION.

SHADCON
Uncompromising commitment

KEYPLAN:

| No. | Description | Date |
|---|---|---|
| 0 | DA Drawings | 2025/03/10 |

Client:

**Shadcon**

Project

**Proposed Warehouse**

Lot 1116-1118 Edison Crescent St., Cor. Strong Street. QLD

Project Status

**DA Drawings**

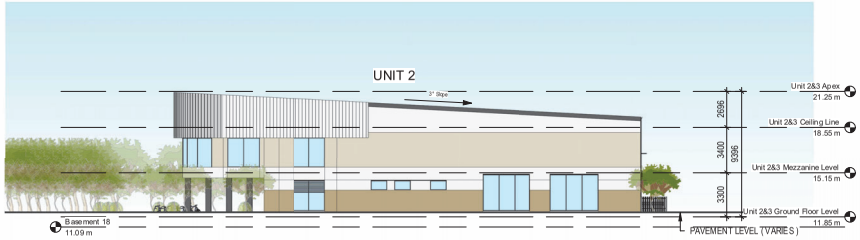
Drawing Title

Site Elevations

Scale: **1 : 200**

| Checked by | Drawn by | Issued Date |
|---|---|---|
| **Checker** | **Author** | 10/03/2025 11:02:06 am |
| Project number | Sheet No. | Rev No. |
| **0001** | **A200** | **0** |

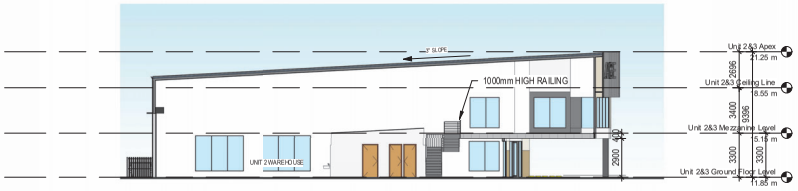
**CONCEPT DRAWINGS ONLY**
NOT FOR CONSTRUCTION




1 Unit 2 Side Elevation
1 : 200

5 UNIT 1 SIDE ELEVATION
1 : 200

3 SITE SECTION
1 : 200




4 Unit 2 Cross Section
1 : 200

**PREPARED BY:**


ZEEN DESIGN
Ph.: +61 404 803 720
email: admin@zeendesign.com.au
QBCC Lic No. 15144106
VIC Lic.No. DP-AD100029



© COPYRIGHT
THIS DRAWING REMAINS THE PROPERTY OF **ZEEN DESIGN** AND IS PROVIDED FOR THE USE AS DESCRIBED BELOW AND MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION


Building Design Queensland MEMBER

NOTES:

1. LEVELS OF DWELLING TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.
2. BUILDER TO CHECK AND CONFIRM ALL MEASUREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE AT ALL TIMES.
4. STORM WATER THROUGH P.V.C. PIPE TO LOCAL COUNCIL REGULATIONS.
5. BUILDER TO ENSURE ALL RELEVANT SEARCHES HAVE BEEN CARRIED OUT REGARDING LOCATION OF EASEMENTS, STORM WATER & SEWER PRIOR TO CONSTRUCTION.

SHADCON
Uncompromising commitment

**KEYPLAN:**

| No. | Description | Date |
|---|---|---|
| 0 | DA Drawings | 2025/03/10 |

Client:

**Shadcon**

Project

**Proposed Warehouse**

Lot 1116-1118 Edison Crescent St., Cor. Strong Street. QLD

Project Status

**DA Drawings**

Drawing Title

Site Elevations & Site Section

Scale: **1 : 200**

| Checked by | Drawn by | Issued Date |
|---|---|---|
| **Checker** | **Author** | 10/03/2025 11:02:26 am |
| Project number | Sheet No. | Rev No: |
| **0001** | **A201** | **0** |

Appendix

C

# As-Constructed Survey

I Geoffrey Ray Wilson being a Cadastral Surveyor and duly authorised representative of RPS Australia East Pty. Ltd.

hereby :-

- certify the information contained in this drawing is an accurate "as-constructed" representation of the works.
- accept responsibility for the location of the "as-constructed" information contained in this drawing.
- acknowledge the "as-constructed" information contained in the drawing may be relied on by Council and others.

Certification for Stages AURA P3, P4 & P5 STAGES 7 & 9C (stage no.) by (signature) on 24/10/22 (date)

for RPS Australia East Pty. Ltd.

## AS CONSTRUCTED CERTIFICATION

I, Matthew Figg (Company's representative Name) (Signature)

24/10/2022 (Date) 19245 (RPEQ)

Being a duly representative of:-

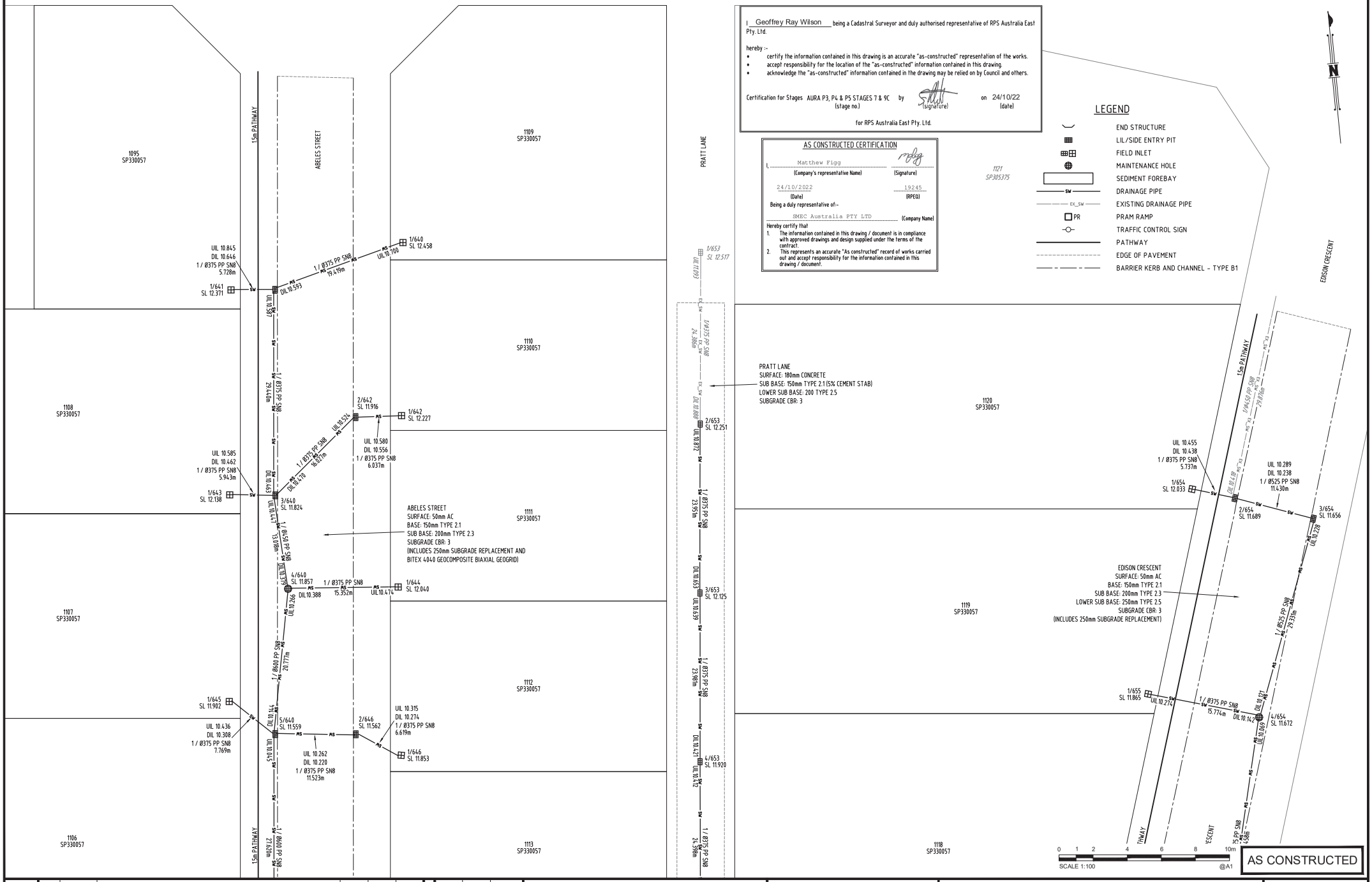
SMEC Australia PTY LTD (Company Name)

Hereby certify that

1. The information contained in this drawing / document is in compliance with approved drawings and design supplied under the terms of the contract.
2. This represents an accurate "As constructed" record of works carried out and accept responsibility for the information contained in this drawing / document.

## LEGEND

- END STRUCTURE
- LIL/SIDE ENTRY PIT
- FIELD INLET
- MAINTENANCE HOLE
- SEDIMENT FOREBAY
- DRAINAGE PIPE
- EXISTING DRAINAGE PIPE
- PRAM RAMP
- TRAFFIC CONTROL SIGN
- PATHWAY
- EDGE OF PAVEMENT
- BARRIER KERB AND CHANNEL - TYPE B1




AS CONSTRUCTED

| A1 | | | | | |
|---|---|---|---|---|---|
| 0 | 24/10/2022 | ASCONSTRUCTED DETAILS | BAS | ET | |
| INDEX | DATE | REVISIONS | DRAWN | CHECKED | PASSED |

| | | |
|---|---|---|
| DRAWN | BAS | 24/10/2022 |
| CHECKED | ET | 24/10/2022 |
| PASSED | | |
| | INITIALS | DATE |

SMEC
Member of the Surbana Jurong Group

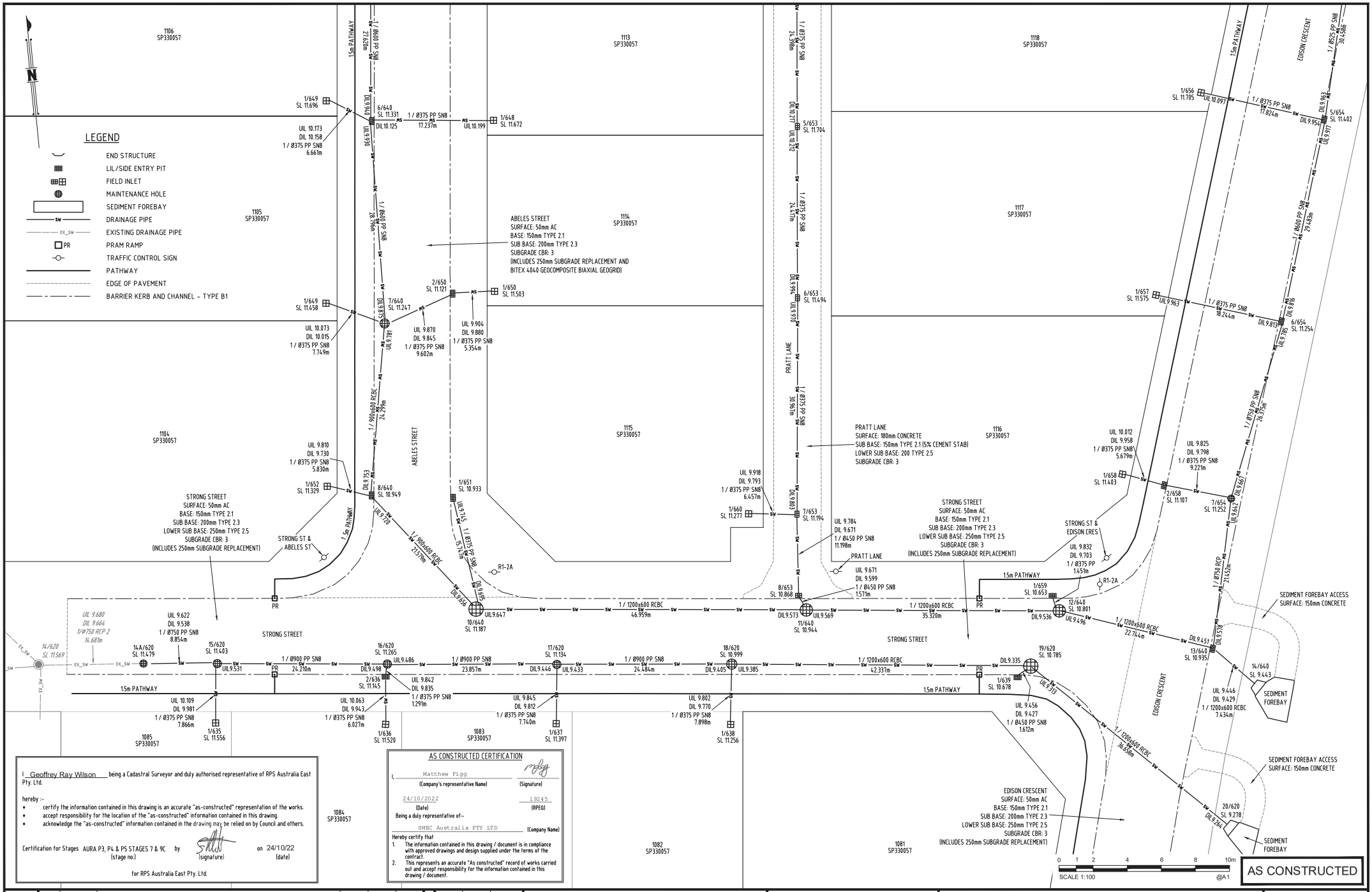
Level 1, The Edge East, 10 Lake Kawana Boulevard, Birtinya QLD 4575

Sunshine Coast COUNCIL

SUNSHINE COAST COUNCIL

ROADS AND DRAINAGE
AURA PRECINCT 3, 4 & 5 STAGES 7 & 9C
COUNCIL REFERENCE: DEV2013/439

SCALE 1:250
SHEET 1 OF 2 SHEETS
DRAWING NO. –
0




I Geoffrey Ray Wilson being a Cadastral Surveyor and duly authorised representative of RPS Australia East Pty. Ltd.

hereby :-

- certify the information contained in this drawing is an accurate "as-constructed" representation of the works.
- accept responsibility for the location of the "as-constructed" information contained in this drawing.
- acknowledge the "as-constructed" information contained in the drawing may be relied on by Council and others.

Certification for Stages AURA P3, P4 & P5 STAGES 7 & 9C (stage no.) by (signature) on 24/10/22 (date)

for RPS Australia East Pty. Ltd.

AS CONSTRUCTED CERTIFICATION

I, Matthew Figg (Company's representative Name) (Signature)

24/10/2022 (Date) 1.9245 (RPEQ)

Being a duly representative of:- SMEC Australia PTY LTD (Company Name)

Hereby certify that

1. The information contained in this drawing / document is in compliance with approved drawings and design supplied under the terms of the contract.
2. This represents an accurate "As constructed" record of works carried out and accept responsibility for the information contained in this drawing / document.

| A1 | | | | | |
|---|---|---|---|---|---|
| 0 | 24/10/2022 | ASCONSTRUCTED DETAILS | BAS | ET | |
| INDEX | DATE | REVISIONS | DRAWN | CHECKED | PASSED |

| | | |
|---|---|---|
| DRAWN | BAS | 24/10/2022 |
| CHECKED | ET | 24/10/2022 |
| PASSED | | |
| | INITIALS | DATE |

SMEC
Member of the Surbana Jurong Group

Level 1, The Edge East, 10 Lake Kawana Boulevard, Birtinya QLD 4575

Sunshine Coast COUNCIL

SUNSHINE COAST COUNCIL

ROADS AND DRAINAGE
AURA PRECINCT 3, 4 & 5 STAGES 7 & 9C
COUNCIL REFERENCE: DEV2013/439

SCALE 1:250
SHEET 2 OF 2 SHEETS
DRAWING NO. –
0

# UNITYWATER PROJECT NUMBER 2018013146
# AURA PRECINCT P3, P4 & P5 STAGES 7 & 9C
# SEWERAGE AND WATER SUPPLY

| DRAWING INDEX | |
|---|---|
| DRAWING NUMBER | DESCRIPTON |
| U-2021-3816-1 | LOCALITY PLAN AND DRAWING INDEX |
| U-2021-3816-2 | WATER AS CONSTRUCTED PLAN 2 OF 7 |
| U-2021-3816-3 | WATER AS CONSTRUCTED PLAN 3 OF 7 |
| U-2021-3816-4 | WATER AS CONSTRUCTED PLAN 4 OF 7 |
| U-2021-3816-5 | SEWER AS CONSTRUCTED PLAN 5 OF 7 |
| U-2021-3816-6 | SEWER AS CONSTRUCTED PLAN 6 OF 7 |
| U-2021-3816-7 | SEWER AS CONSTRUCTED PLAN 7 OF 7 |

I Geoff Wilson being a Cadastral Surveyor and duly authorised representative of RPS Australia East Pty. Ltd.

hereby :-

- certify the information contained in this drawing is an accurate "as-constructed" representation of the works.
- accept responsibility for the location of the "as-constructed" information contained in this drawing.
- acknowledge the "as-constructed" information contained in the drawing may be relied on by Council and others.

Certification for Stages AURA P3, P4 & P5 STAGES 7 & 9C (stage no.) by (signature) on 24.11.2022 (date)

for RPS Australia East Pty. Ltd.

ENGINEERS CERTIFICATION

I MATTHEW FIGG hereby certify that:

1. The information contained in this drawing / document is in compliance with approved drawings and design.
2. The new water and sewerage works defined by this drawing have been designed and constructed in accordance with the SEQ code.
3. This represents an accurate record of as-constructed works.
4. I accept responsibility for the information contained in this drawing / document. In accepting this responsibility we have relied upon information provided by others.

CERTIFICATION FOR AURA P3, P4 & P5 STAGES 7 & 9C

RPEQ Signature ..... RPEQ No. 19245 Date 24.11.2022

For and on behalf of SMEC AUSTRALIA PTY LTD:

COORDINATE DATUM NOTE:
HORIZONTAL COORDINATES(E,N) SUPPLIED ARE MAPPING GRID OF AUSTRALIA(MGA), ZONE 56 BASED ON THE UNIVERSAL TRANSVERSE MERCATOR PROJECTION AND THE GEOCENTRIC DATUM OF AUSTRALIA 1994.

0 1000 2000 4000 6000 8000 10000mm
SCALE 1:100 @A1

AS CONSTRUCTED

A1

| INDEX | DATE | REVISIONS | DRAWN | CHECKED | PASSED |
|---|---|---|---|---|---|
| 0 | 15/12/2022 | AS-CONSTRUCTED | BAS | ET | |

| | INITIALS | DATE |
|---|---|---|
| DRAWN | BAS | 15/12/2022 |
| CHECKED | ET | 15/12/2022 |
| PASSED | | |

SMEC
Member of the Surbana Jurong Group

Level 1, The Edge East, 10 Lake Kawana Boulevard, Birtinya QLD 4575

Unitywater

Unitywater
2018013146
AURA PRECINCT P3, P4 & P5 STAGES 7 & 9C
AS-CONSTRUCTED
WATER SUPPLY AND SEWERAGE

| | | | |
|---|---|---|---|
| SHEET 1 OF 7 SHEETS | | SCALE 1:100 | |
| REVISION DATE | 15/12/2022 | REVISION | 0 |
| DISCIPLINE CODE | C | | |
| DRAWING NO. U-2021-3816 | | | |

JOINS SHEET 2

1107 SP330057

1106 SP330057

1105 SP330057

1104 SP330057

1111 SP330057

1112 SP330057

1113 SP330057

1114 SP330057

1115 SP330057

1116 SP330057

1117 SP330057

1118 SP330057

1119 SP330057

ABELES STREET

PRATT LANE

EDISON CRESCENT

1800D PE-100 PN16 SDR11

FH

1.52m

1.53m

1.47m

1.51m

1.48m

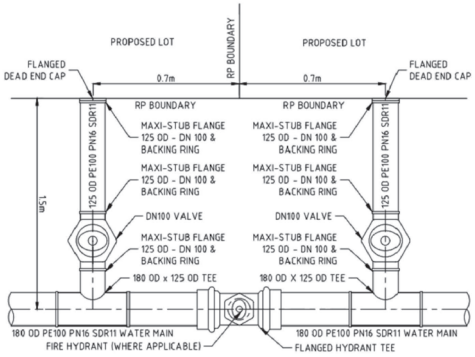
REFER TO WATER SERVICE CONNECTION DETAIL

1800Dx45° BEND

1800Dx1800D TEE

SV

EXISTING FH TO BE REMOVED




WATER SERVICE CONNECTION TYPICAL DETAIL N.T.S

I Geoff Wilson being a Cadastral Surveyor and duly authorised representative of RPS Australia East Pty. Ltd.

hereby :-

- certify the information contained in this drawing is an accurate "as-constructed" representation of the works.
- accept responsibility for the location of the "as-constructed" information contained in this drawing.
- acknowledge the "as-constructed" information contained in the drawing may be relied on by Council and others.

Certification for Stages AURA P3, P4 & P5 STAGES 7 & 9C (stage no.) by (signature) on 24.11.2022 (date)

for RPS Australia East Pty. Ltd.

ENGINEERS CERTIFICATION

I MATTHEW FIGG hereby certify that:

1. The information contained in this drawing / document is in compliance with approved drawings and design.
2. The new water and severage works defined by this drawing have been designed and constructed in accordance with the SEQ code.
3. This represents an accurate record of as-constructed works.
4. I accept responsibility for the information contained in this drawing / document. In accepting this responsibility we have relied upon information provided by others.

CERTIFICATION FOR AURA P3, P4 & P5 STAGES 7 & 9C

RPEQ Signature ..... RPEQ No. 19245 Date 24.11.2022

For and on behalf of SMEC AUSTRALIA PTY LTD.

## LEGEND

| | |
|---|---|
| EX_W | EXISTING WATER MAIN |
| | SERVICE MAIN (OD125 PE-100 PN16) |
| W | WATER MAIN (OD180 PE-100 PN16) |
| FH | FIRE HYDRANT |
| DFH | TEMPORARY DUCKFOOT FIRE HYDRANT |
| TEE | TEE |
| BEND | BEND |
| DEC | END CAP |
| CONN | CONNECTOR |
| SV | STOP/GATE VALVE |

## COORDINATE DATUM NOTE:

HORIZONTAL COORDINATES(E,N) SUPPLIED ARE MAPPING GRID OF AUSTRALIA(MGA), ZONE 56 BASED ON THE UNIVERSAL TRANSVERSE MERCATOR PROJECTION AND THE GEOCENTRIC DATUM OF AUSTRALIA 1994.

0 5 10 15 20 25m

SCALE 1:250 @A1

AS CONSTRUCTED

A1

| INDEX | DATE | REVISIONS | DRAWN | CHECKED | PASSED |
|---|---|---|---|---|---|
| 0 | 15/12/2022 | AS-CONSTRUCTED | BAS | ET | |

| | INITIALS | DATE |
|---|---|---|
| DRAWN | BAS | 15/12/2022 |
| CHECKED | ET | 15/12/2022 |
| PASSED | | |

SMEC Member of the Surbana Jurong Group

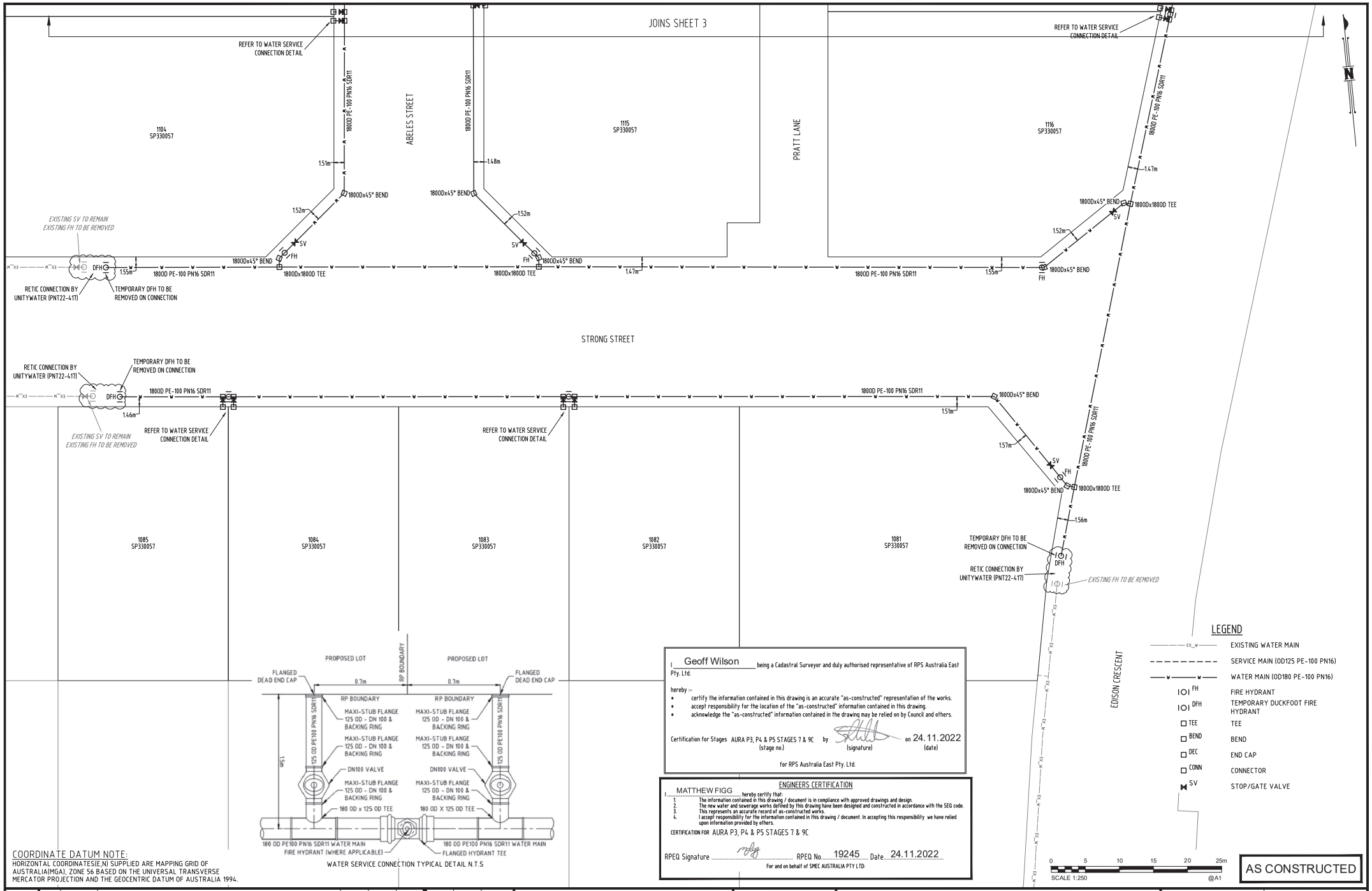
Level 1, The Edge East, 10 Lake Kawana Boulevard, Birtinya QLD 4575

Unitywater

2018013146
AURA PRECINCT P3, P4 & P5 STAGES 7 & 9C
AS-CONSTRUCTED
WATER SUPPLY

SHEET 3 OF 7 SHEETS | SCALE 1:250
REVISION DATE 15/12/2022 | REVISION 0
DISCIPLINE CODE C
DRAWING NO. U-2021-3816

Copyright © 2011 Unitywater, All Rights Reserved




I, Geoff Wilson being a Cadastral Surveyor and duly authorised representative of RPS Australia East Pty. Ltd.

hereby :-

- certify the information contained in this drawing is an accurate "as-constructed" representation of the works.
- accept responsibility for the location of the "as-constructed" information contained in this drawing.
- acknowledge the "as-constructed" information contained in the drawing may be relied on by Council and others.

Certification for Stages AURA P3, P4 & P5 STAGES 7 & 9C (stage no.) by (signature) on 24.11.2022 (date)

for RPS Australia East Pty. Ltd.

ENGINEERS CERTIFICATION

I MATTHEW FIGG hereby certify that:

1. The information contained in this drawing / document is in compliance with approved drawings and design.
2. The new water and sewerage works defined by this drawing have been designed and constructed in accordance with the SEQ code.
3. This represents an accurate record of as-constructed works.
4. I accept responsibility for the information contained in this drawing / document. In accepting this responsibility we have relied upon information provided by others.

CERTIFICATION FOR AURA P3, P4 & P5 STAGES 7 & 9C

RPEQ Signature ..... RPEQ No. 19245 Date 24.11.2022

For and on behalf of SMEC AUSTRALIA PTY LTD:

COORDINATE DATUM NOTE:
HORIZONTAL COORDINATES(E,N) SUPPLIED ARE MAPPING GRID OF AUSTRALIA(MGA), ZONE 56 BASED ON THE UNIVERSAL TRANSVERSE MERCATOR PROJECTION AND THE GEOCENTRIC DATUM OF AUSTRALIA 1994.

A1

| INDEX | DATE | REVISIONS | DRAWN | CHECKED | PASSED |
|---|---|---|---|---|---|
| 0 | 15/12/2022 | AS-CONSTRUCTED | BAS | ET | |

| | INITIALS | DATE |
|---|---|---|
| DRAWN | BAS | 15/12/2022 |
| CHECKED | ET | 15/12/2022 |
| PASSED | | |

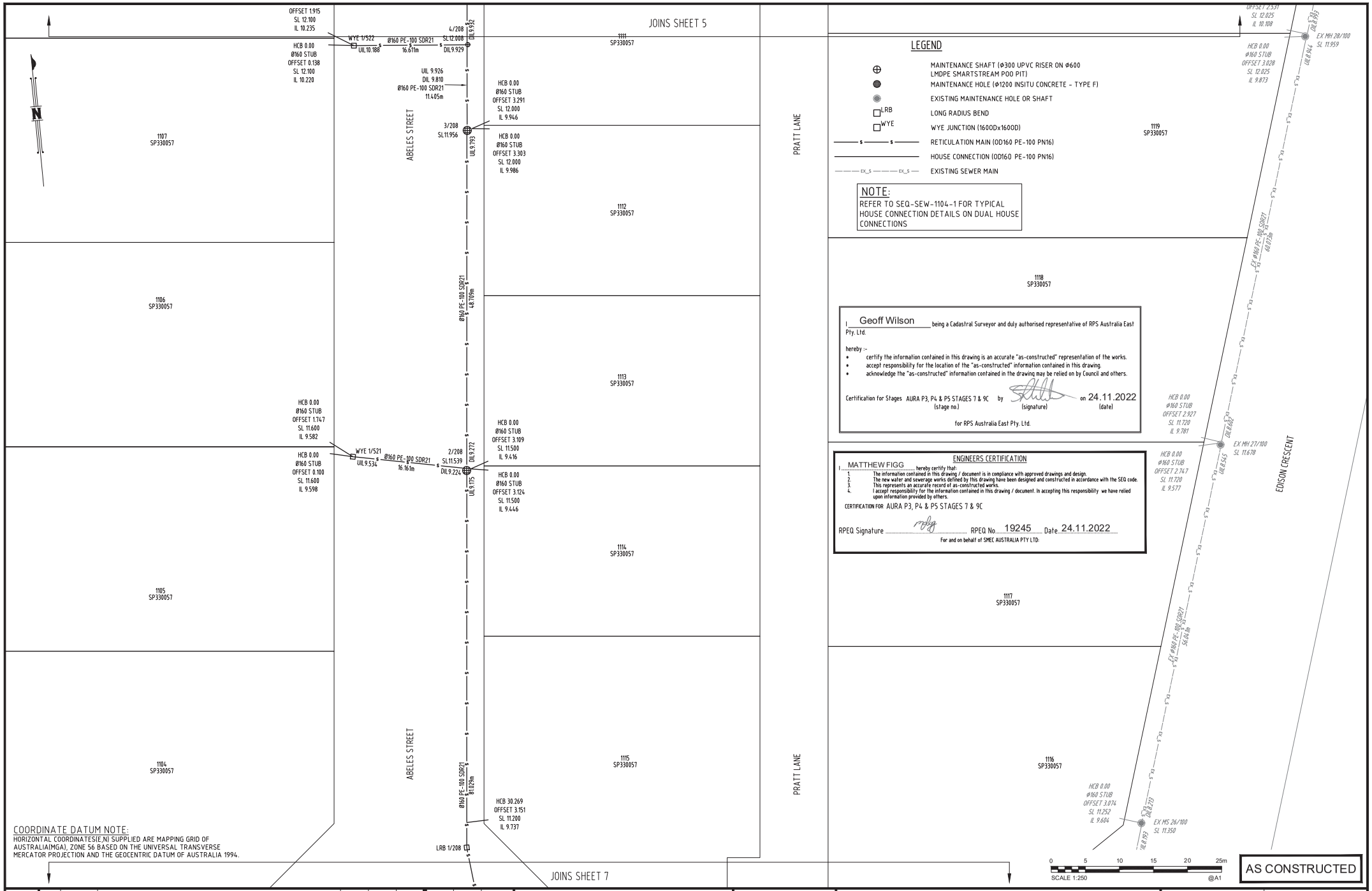
SMEC
Member of the Surbana Jurong Group
Level 1, The Edge East, 10 Lake Kawana Boulevard, Birtinya QLD 4575

Unitywater

Unitywater
2018013146
AURA PRECINCT P3, P4 & P5 STAGES 7 & 9C
AS-CONSTRUCTED
WATER SUPPLY

| | | | |
|---|---|---|---|
| SHEET 4 OF 7 | SHEETS | SCALE 1:250 | |
| REVISION DATE | 15/12/2022 | REVISION | 0 |
| DISCIPLINE CODE | C | | |
| DRAWING NO. | U-2021-3816 | | |

Copyright © 2011 Unitywater, All Rights Reserved




## LEGEND

- MAINTENANCE SHAFT (Ø300 UPVC RISER ON Ø600 LMDPE SMARTSTREAM POO PIT)
- MAINTENANCE HOLE (Ø1200 INSITU CONCRETE - TYPE F)
- EXISTING MAINTENANCE HOLE OR SHAFT
- LRB — LONG RADIUS BEND
- WYE — WYE JUNCTION (1600Dx1600D)
- RETICULATION MAIN (OD160 PE-100 PN16)
- HOUSE CONNECTION (OD160 PE-100 PN16)
- EXISTING SEWER MAIN

**NOTE:**
REFER TO SEQ-SEW-1104-1 FOR TYPICAL HOUSE CONNECTION DETAILS ON DUAL HOUSE CONNECTIONS

I Geoff Wilson being a Cadastral Surveyor and duly authorised representative of RPS Australia East Pty. Ltd.

hereby :-

- certify the information contained in this drawing is an accurate "as-constructed" representation of the works.
- accept responsibility for the location of the "as-constructed" information contained in this drawing.
- acknowledge the "as-constructed" information contained in the drawing may be relied on by Council and others.

Certification for Stages AURA P3, P4 & P5 STAGES 7 & 9C (stage no.) by (signature) on 24.11.2022 (date)

for RPS Australia East Pty. Ltd.

**ENGINEERS CERTIFICATION**

I MATTHEW FIGG hereby certify that:

1. The information contained in this drawing / document is in compliance with approved drawings and design.
2. The new water and sewerage works defined by this drawing have been designed and constructed in accordance with the SEQ code.
3. This represents an accurate record of as-constructed works.
4. I accept responsibility for the information contained in this drawing / document. In accepting this responsibility we have relied upon information provided by others.

CERTIFICATION FOR AURA P3, P4 & P5 STAGES 7 & 9C

RPEQ Signature ..... RPEQ No. 19245 Date 24.11.2022

For and on behalf of SMEC AUSTRALIA PTY LTD:

**COORDINATE DATUM NOTE:**
HORIZONTAL COORDINATES(E,N) SUPPLIED ARE MAPPING GRID OF AUSTRALIA(MGA), ZONE 56 BASED ON THE UNIVERSAL TRANSVERSE MERCATOR PROJECTION AND THE GEOCENTRIC DATUM OF AUSTRALIA 1994.

AS CONSTRUCTED

A1

| INDEX | DATE | REVISIONS | DRAWN | CHECKED | PASSED |
|---|---|---|---|---|---|
| 0 | 15/12/2022 | AS-CONSTRUCTED | BAS | ET | |

| | INITIALS | DATE |
|---|---|---|
| DRAWN | BAS | 15/12/2022 |
| CHECKED | ET | 15/12/2022 |
| PASSED | | |

SMEC — Member of the Surbana Jurong Group

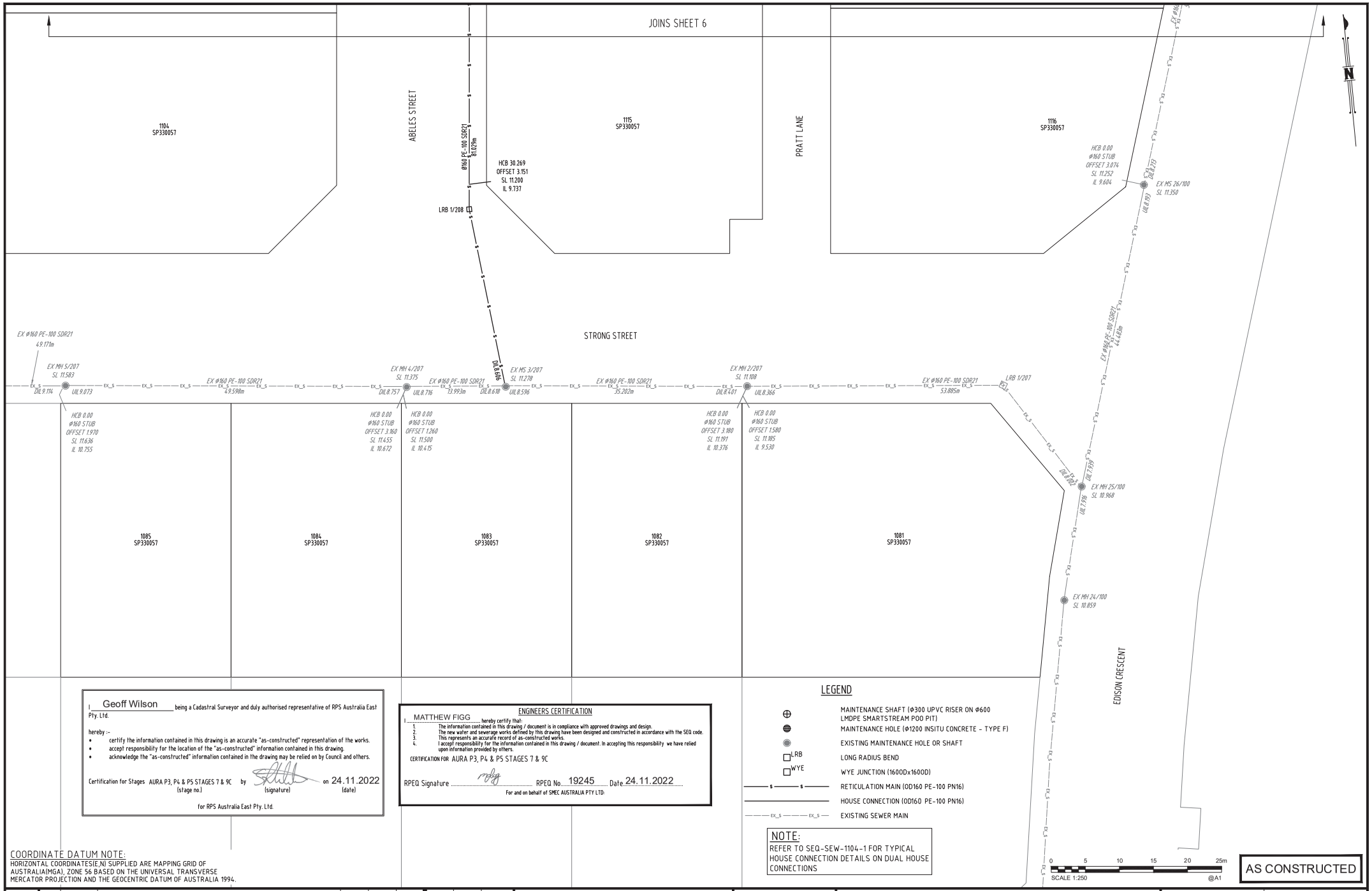
Level 1, The Edge East, 10 Lake Kawana Boulevard, Birtinya QLD 4575

Unitywater

2018013146
AURA PRECINCT P3, P4 & P5 STAGES 7 & 9C
AS-CONSTRUCTED
SEWERAGE

| | | | |
|---|---|---|---|
| SHEET 6 OF 7 | SHEETS | SCALE 1:250 | |
| REVISION DATE | 15/12/2022 | REVISION | 0 |
| DISCIPLINE CODE | C | | |
| DRAWING NO. | U-2021-3816 | | |

Copyright © 2011 Unitywater, All Rights Reserved




I Geoff Wilson being a Cadastral Surveyor and duly authorised representative of RPS Australia East Pty. Ltd.

hereby :-

- certify the information contained in this drawing is an accurate "as-constructed" representation of the works.
- accept responsibility for the location of the "as-constructed" information contained in this drawing.
- acknowledge the "as-constructed" information contained in the drawing may be relied on by Council and others.

Certification for Stages AURA P3, P4 & P5 STAGES 7 & 9C (stage no.) by (signature) on 24.11.2022 (date)

for RPS Australia East Pty. Ltd.

ENGINEERS CERTIFICATION

I MATTHEW FIGG hereby certify that:

1. The information contained in this drawing / document is in compliance with approved drawings and design.
2. The new water and sewerage works defined by this drawing have been designed and constructed in accordance with the SEQ code.
3. This represents an accurate record of as-constructed works.
4. I accept responsibility for the information contained in this drawing / document. In accepting this responsibility we have relied upon information provided by others.

CERTIFICATION FOR AURA P3, P4 & P5 STAGES 7 & 9C

RPEQ Signature ..... RPEQ No. 19245 Date 24.11.2022

For and on behalf of SMEC AUSTRALIA PTY LTD:

## LEGEND

- MAINTENANCE SHAFT (Ø300 UPVC RISER ON Ø600 LMDPE SMARTSTREAM POO PIT)
- MAINTENANCE HOLE (Ø1200 INSITU CONCRETE - TYPE F)
- EXISTING MAINTENANCE HOLE OR SHAFT
- LRB — LONG RADIUS BEND
- WYE — WYE JUNCTION (1600Dx1600D)
- RETICULATION MAIN (OD160 PE-100 PN16)
- HOUSE CONNECTION (OD160 PE-100 PN16)
- EXISTING SEWER MAIN

NOTE:
REFER TO SEQ-SEW-1104-1 FOR TYPICAL HOUSE CONNECTION DETAILS ON DUAL HOUSE CONNECTIONS

COORDINATE DATUM NOTE:
HORIZONTAL COORDINATES(E,N) SUPPLIED ARE MAPPING GRID OF AUSTRALIA(MGA), ZONE 56 BASED ON THE UNIVERSAL TRANSVERSE MERCATOR PROJECTION AND THE GEOCENTRIC DATUM OF AUSTRALIA 1994.

AS CONSTRUCTED

A1

| INDEX | DATE | REVISIONS | DRAWN | CHECKED | PASSED |
|---|---|---|---|---|---|
| 0 | 15/12/2022 | AS-CONSTRUCTED | BAS | ET | |

| | INITIALS | DATE |
|---|---|---|
| DRAWN | BAS | 15/12/2022 |
| CHECKED | ET | 15/12/2022 |
| PASSED | | |

SMEC
Member of the Surbana Jurong Group
Level 1, The Edge East, 10 Lake Kawana Boulevard, Birtinya QLD 4575

Unitywater

Unitywater
2018013146
AURA PRECINCT P3, P4 & P5 STAGES 7 & 9C
AS-CONSTRUCTED
SEWERAGE

SHEET 7 OF 7 SHEETS
SCALE 1:250
REVISION DATE 15/12/2022
REVISION 0
DISCIPLINE CODE C
DRAWING NO. U-2021-3816

Copyright © 2011 Unitywater, All Rights Reserved

Appendix

# D

# Engineering Drawings

# PROPOSED WAREHOUSE DEVELOPMENT
# at LOT 1116-1118 EDISON CRESCENT, BARINGA
# for SHADCON PTY LTD
# CONTRACT No. C6527/24/01

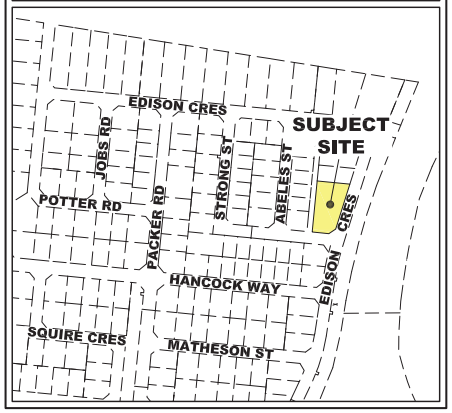
## PROPERTY DESCRIPTION

33, 35 & 37 EDISON CRESCENT, BARINGA
Lot 1116-1118 on SP 330057
Site Area = 0.488 Hectares
L.G.A. = Sunshine Coast Council (S.C.C.)
S.C.C. Reference: TBC

## Job : C6527 DRAWING SCHEDULE DECEMBER 2024

| DRG No. | DESCRIPTION |
|---|---|
| C6527/24/L01 | LOCALITY PLAN AND SCHEDULE OF DRAWINGS |
| | |
| C6527/24/E01 | EARTHWORKS LAYOUT PLAN |
| C6527/24/E02 | EARTHWORKS SECTIONS PLAN - SHEET 1 of 2 |
| C6527/24/E03 | EARTHWORKS SECTIONS PLAN - SHEET 2 of 2 |
| | |
| C6527/24/R01 | ROADWORKS LAYOUT PLAN |
| C6527/24/R02 | DRIVEWAY 1 LONGITUDINAL & CROSS SECTIONS |
| C6527/24/R03 | DRIVEWAY 2 LONGITUDINAL & CROSS SECTIONS |
| C6527/24/R04 | ROADWORKS LINEMARKING PLAN |
| C6527/24/R05 | ROADWORKS SETOUT PLAN |
| C6527/24/R06 | ROADWORKS CONCRETE JOINTING PLAN |
| C6527/24/R07 | ROADWORKS DETAILS & NOTES |
| | |
| C6527/24/D01 | STORMWATER DRAINAGE LAYOUT PLAN |
| | |
| C6527/24/S01 | SERVICES LAYOUT PLAN |
| C6527/24/S02 | SERVICES & GENERAL NOTES |
| | |
| C6527/24/TP01 | VEHICLE SWEPT PATH |
| | |
| C6527/24/CA01 | STORMWATER DRAINAGE CATCHMENT PLAN |

## LOCALITY PLAN





WALSH CONSULTING ENGINEERS
P 07 5443 4443
E engineers@walsheng.net.au
W walsheng.net.au
A 15/72 Wises Road, Maroochydore Q 4558
PO Box 5512, Maroochydore BC Q 4558
A.B.N. 39 611 482 716


| REV | DATE | DESCRIPTION | BY | CHKD |
|---|---|---|---|---|
| A | 11/03/25 | REVISED IN ACCORDANCE WITH EDQ INFORMATION REQUEST DATED 30/01/25 | BWM | QKP |

FILENAME : C6527-24-L01.dwg - DATE : 12/3/25 - 11:54am

A1 Sheet Size

CHECKED

DIRECTOR APPROVAL
RPEQ - 4665

**FOR APPROVAL**
NOT FOR CONSTRUCTION

Design: BWM | Drawn: BWM | Date: DEC 2024

PROJECT:
**PROPOSED WAREHOUSE DEVELOPMENT at 1116-1118 EDISON CRESCENT, BARINGA for SHADCON PTY LTD**


© This plan is Copyright. Other than for the purposes of and subject to the conditions prescribed under the Copyright Act, no part of it may in any form or by any means (electronic, mechanical, micro copying, photo-copying, recording or otherwise) be reproduced, stored in a retrieval system or transmitted without the prior written permission of Walsh Consulting Engineers. All intellectual property remains within Walsh Consulting Engineers. All enquiries should be directed to Walsh Consulting Engineers.


DRAWING TITLE:
**LOCALITY PLAN AND SCHEDULE OF DRAWINGS**

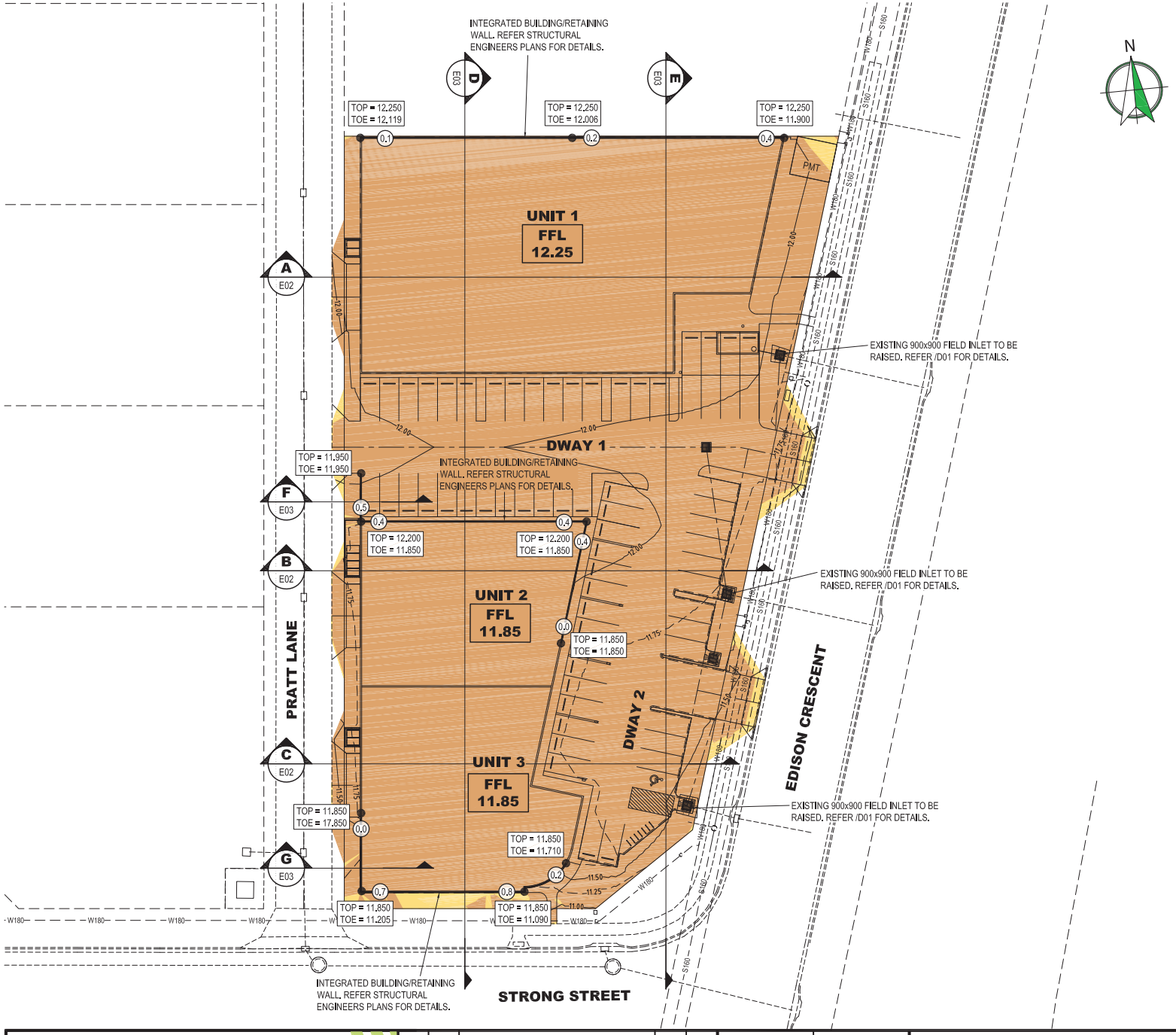
DRAWING No: **C6527/24/L01**

REVISION: **A**

COUNCIL REFERENCE:

SHEET: 1 of 1

WALSH CONSULTING ENGINEERS




## EARTHWORKS NOTES:

1. NOT ALL SERVICES HAVE NECESSARILY BEEN RECORDED AND SHOWN ON THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE TO LIASE WITH THE RELEVANT SERVICE AUTHORITY PRIOR TO COMMENCEMENT OF CONSTRUCTION TO DETERMINE THE LOCATION AND LEVEL OF ALL EXISTING SERVICE UTILITIES.
2. THE CONTRACTOR SHALL IMPLEMENT SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH IECA GUIDELINES. ALL PERIMETER CONTROL MEASURES & SEDIMENT BASIN SHALL BE INSTALLED PRIOR TO DISTURBANCE OF THE SITE.
3. THE CONTRACTOR IS TO ALLOW FOR STRIPPING AND STOCKPILING OF SOIL FOR RESPREADING ON-SITE.
4. FILL IS TO BE PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF AS 3798-2007 "GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS" - LEVEL ONE SUPERVISION AND TESTING.
5. MINIMUM RELATIVE COMPACTION:
   - RESIDENTIAL LOTS = 95% STANDARD AS1289.S.1.1
   - ROAD SUBGRADE = 100% STANDARD AS1289.S.1.1
6. THE FINISHED SURFACE SHALL BE FREE DRAINING (1:200 ON LOTS MIN).
7. ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH WALSH CONSULTING ENGINEERS TECHNICAL SPECIFICATION.

NOTE - WAREHOUSE PAD LEVEL TO BE CONFIRMED. REFER STRUCTURAL ENGINEERS PLANS FOR SLAB THICKNESS.

## LEGEND

- PROPOSED EARTHWORKS FILL
- PROPOSED EARTHWORKS CUT
- 12.00 — PROPOSED SURFACE CONTOUR
- FFL 11.85 — PROPOSED FINISHED FLOOR LEVEL
- TOP = 12.200 TOE = 11.850 — PROPOSED RETAINING WALL TOP AND TOE SURFACE LEVELS
- 0.8 — PROPOSED RETAINING WALL HEIGHT
- PROPOSED STORMWATER DRAINAGE
- EXISTING STORMWATER DRAINAGE
- W180 — EXISTING WATER RETICULATION/SIZE
- S160 — EXISTING SEWER RETICULATION/SIZE

0 5 10 15 20 25m

SCALE 1:250 A1, 1:500 A3


WALSH CONSULTING ENGINEERS
P 07 5443 4443
E engineers@walsheng.net.au
W walsheng.net.au
A 15/72 Wises Road, Maroochydore Q 4558
PO Box 5512, Maroochydore BC Q 4558
A.B.N. 39 611 482 716


| REV | DATE | DESCRIPTION | BY | CHKD |
|---|---|---|---|---|
| A | 11/03/25 | REVISED IN ACCORDANCE WITH EDQ INFORMATION REQUEST DATED 30/01/25 | BWM | QKP |

FILENAME : C6527-24-E01.dwg - DATE : 12/3/25 - 11:47am

A1 Sheet Size

CHECKED

DIRECTOR APPROVAL RPEQ - 4665

**FOR APPROVAL**
NOT FOR CONSTRUCTION

Design: BWM | Drawn: BWM | Date: DEC 2024

PROJECT:
**PROPOSED WAREHOUSE DEVELOPMENT at LOT 1116-1118 EDISON CRESCENT, BARINGA for SHADCON PTY LTD**


© This plan is Copyright. Other than for the purposes of and subject to the conditions prescribed under the Copyright Act, no part of it may in any form or by any means (electronic, mechanical, micro copying, photo-copying, recording or otherwise) be reproduced, stored in a retrieval system or transmitted without the prior written permission of Walsh Consulting Engineers. All intellectual property remains within Walsh Consulting Engineers. All enquiries should be directed to Walsh Consulting Engineers.


DRAWING TITLE:
**EARTHWORKS LAYOUT PLAN**

WALSH CONSULTING ENGINEERS

DRAWING No: **C6527/24/E01**

REVISION: **A**

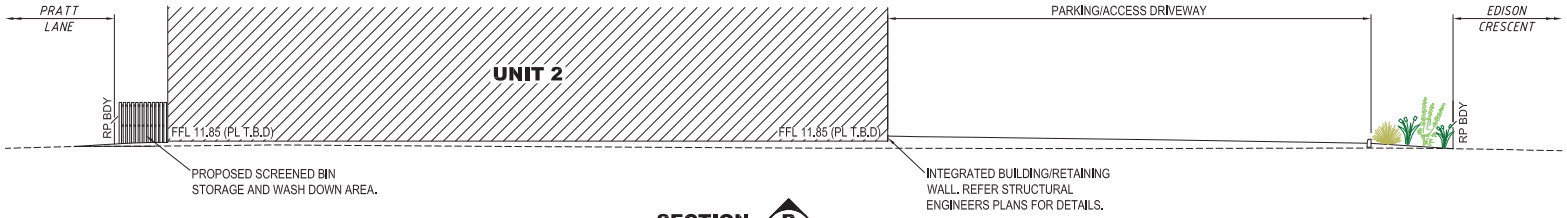
COUNCIL REFERENCE:

SHEET: 1 of 3

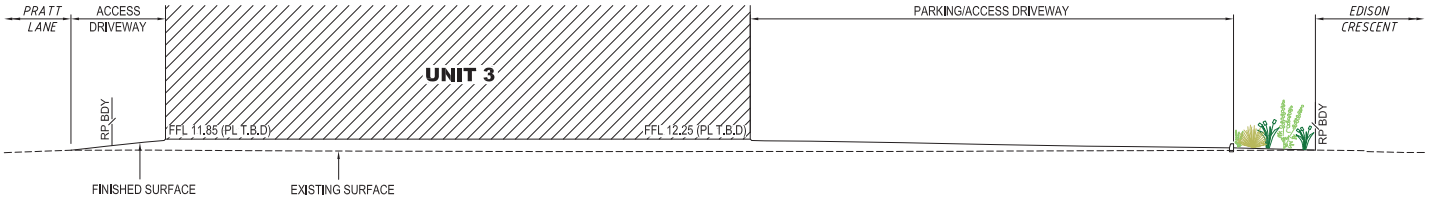
**SECTION A** SCALE 1:100 E01

NOTE - WAREHOUSE PAD LEVEL TO BE CONFIRMED. REFER STRUCTURAL ENGINEERS PLANS FOR SLAB THICKNESS.

**ALL CONSTRUCTION OF RETAINING WALLS TO BE COMPLETED IN ACCORDANCE WITH THE STRUCTURAL ENGINEERS ADVICE.**




**SECTION B** SCALE 1:100 E01




**SECTION C** SCALE 1:100 E01

0 2.0 4.0 6.0 8.0 10.0m

SCALE 1:100 A1, 1:200 A3

WALSH CONSULTING ENGINEERS
P 07 5443 4443
E engineers@walsheng.net.au
W walsheng.net.au
A 15/72 Wises Road, Maroochydore Q 4558
PO Box 5512, Maroochydore BC Q 4558
A.B.N. 39 611 482 716

| REV | DATE | DESCRIPTION | BY | CHKD |
|---|---|---|---|---|
| A | 11/03/25 | REVISED IN ACCORDANCE WITH EDQ INFORMATION REQUEST DATED 30/01/25 | BWM | QKP |

FILENAME : C6527-24-E02.dwg - DATE : 12/3/25 - 11:48am | A1 Sheet Size

CHECKED | DIRECTOR APPROVAL RPEQ - 4665

**FOR APPROVAL**
NOT FOR CONSTRUCTION

Design: BWM | Drawn: BWM | Date: DEC 2024

PROJECT:
**PROPOSED WAREHOUSE DEVELOPMENT at LOT 1116-1118 EDISON CRESCENT, BARINGA for SHADCON PTY LTD**

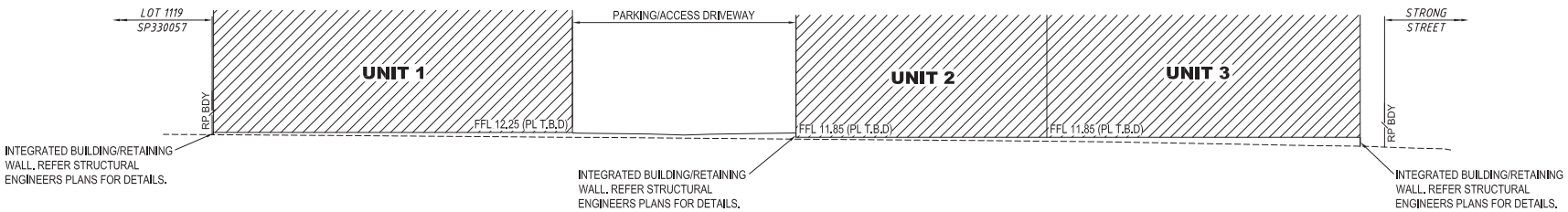
© This plan is Copyright. Other than for the purposes of and subject to the conditions prescribed under the Copyright Act, no part of it may in any form or by any means (electronic, mechanical, micro copying, photo-copying, recording or otherwise) be reproduced, stored in a retrieval system or transmitted without the prior written permission of Walsh Consulting Engineers. All intellectual property remains within Walsh Consulting Engineers. All enquiries should be directed to Walsh Consulting Engineers.

DRAWING TITLE:
**EARTHWORKS SECTIONS PLAN SHEET 1 OF 2**

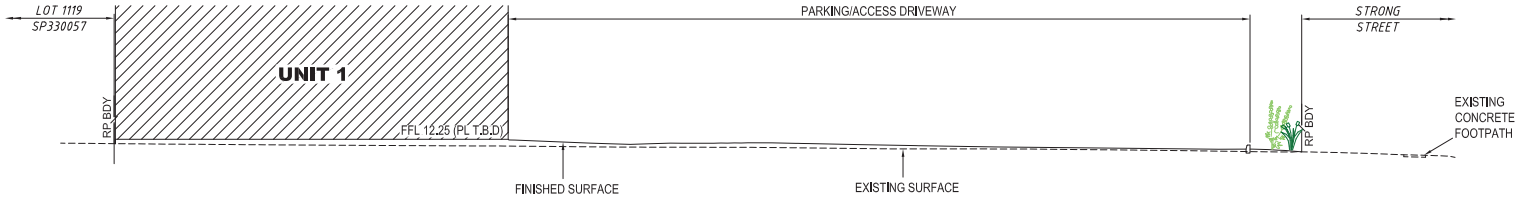
DRAWING No: **C6527/24/E02** | REVISION: **A**

COUNCIL REFERENCE: | SHEET: 2 of 3

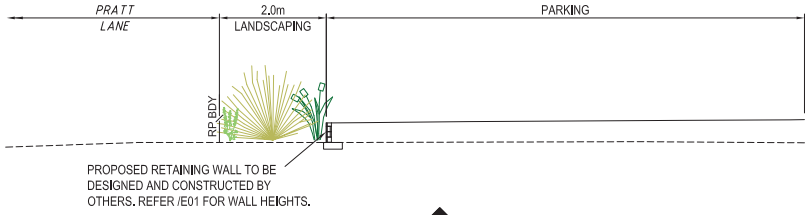
WALSH CONSULTING ENGINEERS



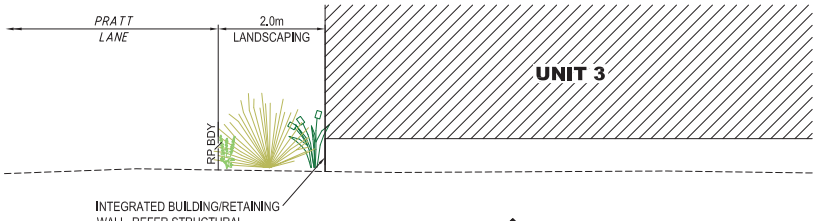

**SECTION D** E01
SCALE 1:200




**SECTION E** E01
SCALE 1:200




**SECTION F** E01
SCALE 1:50




**SECTION G** E01
SCALE 1:50

SCALE 1:50 A1, 1:100 A3

SCALE 1:200 A1, 1:400 A3

WALSH CONSULTING ENGINEERS
P 07 5443 4443
E engineers@walsheng.net.au
W walsheng.net.au
A 15/72 Wises Road, Maroochydore Q 4558
PO Box 5512, Maroochydore BC Q 4558
A.B.N. 39 611 482 716

| REV | DATE | DESCRIPTION | BY | CHKD |
|---|---|---|---|---|
| A | 11/03/25 | REVISED IN ACCORDANCE WITH EDQ INFORMATION REQUEST DATED 30/01/25 | BWM | QKP |

FILENAME : C6527-24-E03.dwg - DATE : 12/3/25 - 11:49am
A1 Sheet Size

CHECKED
DIRECTOR APPROVAL
RPEQ - 4665

**FOR APPROVAL**
NOT FOR CONSTRUCTION

Design: BWM | Drawn: BWM | Date: DEC 2024

PROJECT:
**PROPOSED WAREHOUSE DEVELOPMENT at LOT 1116-1118 EDISON CRESCENT, BARINGA for SHADCON PTY LTD**

© This plan is Copyright. Other than for the purposes of and subject to the conditions prescribed under the Copyright Act, no part of it may in any form or by any means (electronic, mechanical, micro copying, photo-copying, recording or otherwise) be reproduced, stored in a retrieval system or transmitted without the prior written permission of Walsh Consulting Engineers. All intellectual property remains within Walsh Consulting Engineers. All enquiries should be directed to Walsh Consulting Engineers.

DRAWING TITLE:
**EARTHWORKS SECTIONS PLAN SHEET 2 OF 2**

DRAWING No: **C6527/24/E03**
REVISION: **A**
COUNCIL REFERENCE:
SHEET: 3 of 3

WALSH CONSULTING ENGINEERS

## ROADWORKS NOTES:

1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH IPWEA, SUNSHINE COAST COUNCIL & MAIN ROADS STANDARD DRAWINGS.
2. SEDIMENTATION CONTROL DEVICES TO BE PROVIDED IN ACCORDANCE WITH THE ENVIRONMENTAL MANAGEMENT PLAN, AS SPECIFIED IN EROSION AND SEDIMENT CONTROL DRAWINGS AND AS DIRECTED ON SITE BY SUPERINTENDENT.
3. ROAD PAVEMENTS TO BE COMPACTED TO ACHIEVE A MINIMUM DRY DENSITY RATIO (M.D.D.R.) OF 100% STD.
4. ALL CONDUITS TO BE IDENTIFIED BY BRASS PLAQUES ON KERB AND CHANNEL AS PER IPWEA STANDARD DRAWING RSD-601 U.N.O.
5. WHERE CONCRETE FOOTPATHS ABUT KERB AND CHANNEL, THE CONTRACTOR IS TO CONSTRUCT KERB RAMPS IN ACCORDANCE WITH IPWEA STD DWGS PCD-201 TO PCD-205
6. WHERE CONCRETE DRIVEWAYS ABUT KERB & CHANNEL, THE CONTRACTOR IS TO CONSTRUCT A CROSS-OVER IN ACCORDANCE WITH IPWEA STANDARD DRAWINGS RSD-100 AND RSD-101.
7. PROVIDE ENERGEX AND TELSTRA CONDUITS UNDER DRIVEWAYS & FOOTPATHS (IF REQUIRED).
8. ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH WALSH CONSULTING ENGINEERS STANDARD SPECIFICATION.
9. ROADWORKS AND DRAINAGE SET-OUT INFORMATION IS AVAILABLE FOR THE CONTRACTOR VIA COMPUTER MODEL PROVIDED BY WALSH CONSULTING ENGINEERS. HOWEVER, WALSH CONSULTING ENGINEERS ACCEPTS NO RESPONSIBILITY FOR INCORRECT SETOUT FROM THE DATA PROVIDED. CONTRACTOR SHALL CONFIRM THE CORRECT COORDINATES WITH THE HORIZONTAL CURVE DATA PROVIDED ON THESE DRAWINGS.

## LEGEND

- PROPOSED CONCRETE DRIVEWAY
- PROPOSED WAREHOUSE
- PROPOSED LANDSCAPE AREA
- PROPOSED STORMWATER DRAINAGE
- EXISTING STORMWATER DRAINAGE
- W180 EXISTING WATER RETICULATION/SIZE
- S160 EXISTING SEWER RETICUALTION/SIZE

0 5 10 15 20 25m

SCALE 1:250 A1, 1:500 A3


WALSH CONSULTING ENGINEERS
P 07 5443 4443
E engineers@walsheng.net.au
W walsheng.net.au
A 15/72 Wises Road, Maroochydore Q 4558
PO Box 5512, Maroochydore BC Q 4558
A.B.N. 39 611 482 716


| REV | DATE | DESCRIPTION | BY | CHKD |
|---|---|---|---|---|
| A | 11/03/25 | REVISED IN ACCORDANCE WITH EDQ INFORMATION REQUEST DATED 30/01/25 | BWM | QKP |

FILENAME : C6527-24-R01.dwg - DATE : 12/2/25 - 11:38am

A1 Sheet Size

CHECKED

DIRECTOR APPROVAL RPEQ - 4665

**FOR APPROVAL**
NOT FOR CONSTRUCTION

Design: BWM | Drawn: BWM | Date: DEC 2024

PROJECT:
**PROPOSED WAREHOUSE DEVELOPMENT at LOT 1116-1118 EDISON CRESCENT, BARINGA for SHADCON PTY LTD**


© This plan is Copyright. Other than for the purposes of and subject to the conditions prescribed under the Copyright Act, no part of it may in any form or by any means (electronic, mechanical, micro copying, photo-copying, recording or otherwise) be reproduced, stored in a retrieval system or transmitted without the prior written permission of Walsh Consulting Engineers. All intellectual property remains within Walsh Consulting Engineers. All enquiries should be directed to Walsh Consulting Engineers.


DRAWING TITLE:
**ROADWORKS LAYOUT PLAN**

WALSH CONSULTING ENGINEERS

DRAWING No: **C6527/24/R01**

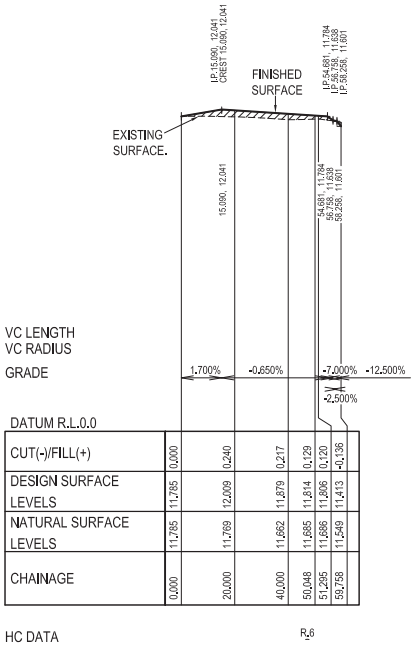
REVISION: **A**

COUNCIL REFERENCE:

SHEET: 1 of 7

## PAVEMENT DETAILS

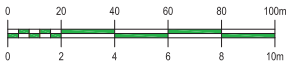
150mm CONCRETE SLAB (Fc=32MPa
SL82 MESH WITH 50 TOP COVER)
150mm SUB BASE TYPE 2.1)



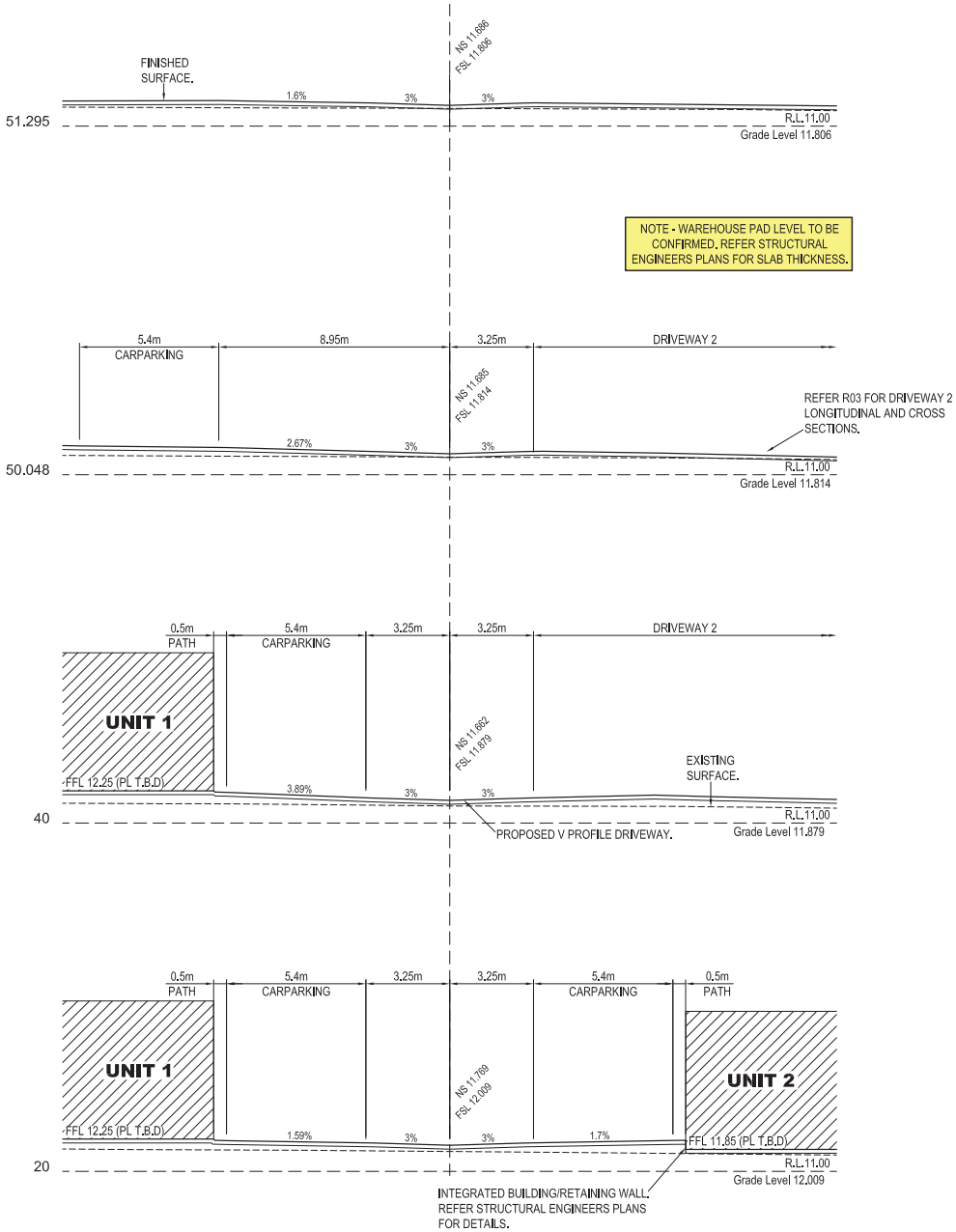

| | | | | | | | |
|---|---|---|---|---|---|---|---|
| CUT(-)/FILL(+) | 0.000 | 0.240 | 0.217 | 0.129 | 0.120 | -0.136 | |
| DESIGN SURFACE LEVELS | 11.785 | 12.009 | 11.879 | 11.814 | 11.806 | 11.413 | |
| NATURAL SURFACE LEVELS | 11.785 | 11.769 | 11.662 | 11.685 | 11.686 | 11.549 | |
| CHAINAGE | 0.000 | 20.000 | 40.000 | 50.048 | 51.295 | 59.758 | |

HC DATA

R6




HORIZONTAL SCALE
1:1000 A1, 1:2000 A3
VERTICAL SCALE
1:100 A1, 1:200 A3



SCALE 1:100 A1, 1:200 A3


WALSH CONSULTING ENGINEERS
P 07 5443 4443
E engineers@walsheng.net.au
W walsheng.net.au
A 15/72 Wises Road, Maroochydore Q 4558
PO Box 5512, Maroochydore BC Q 4558
A.B.N. 39 611 482 716


| REV | DATE | DESCRIPTION | BY | CHKD |
|---|---|---|---|---|
| A | 11/03/25 | REVISED IN ACCORDANCE WITH EDQ INFORMATION REQUEST DATED 30/01/25 | BWM | QKP |

FILENAME : C6527-24-R02.dwg - DATE : 12/3/25 - 11:38am

A1 Sheet Size

CHECKED

DIRECTOR APPROVAL
RPEQ - 4665

**FOR APPROVAL**
NOT FOR CONSTRUCTION

Design: BWM | Drawn: BWM | Date: DEC 2024

PROJECT:
**PROPOSED WAREHOUSE DEVELOPMENT at LOT 1116-1118 EDISON CRESCENT, BARINGA for SHADCON PTY LTD**


© This plan is Copyright. Other than for the purposes of and subject to the conditions prescribed under the Copyright Act, no part of it may in any form or by any means (electronic, mechanical, micro copying, photo-copying, recording or otherwise) be reproduced, stored in a retrieval system or transmitted without the prior written permission of Walsh Consulting Engineers. All intellectual property remains within Walsh Consulting Engineers. All enquiries should be directed to Walsh Consulting Engineers.


DRAWING TITLE:
**DRIVEWAY 1 LONGITUDINAL & CROSS SECTIONS**

WALSH CONSULTING ENGINEERS

DRAWING No: **C6527/24/R02**

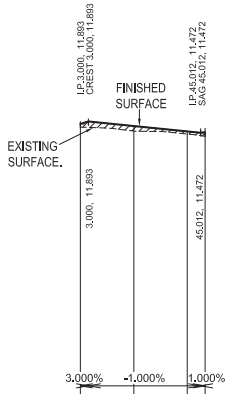
REVISION: **A**

COUNCIL REFERENCE:

SHEET: 2 of 7

## PAVEMENT DETAILS

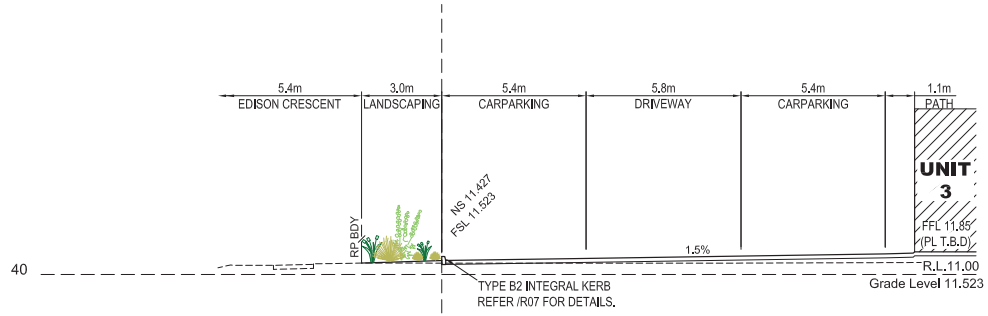
150mm CONCRETE SLAB (Fc=32MPa
SL82 MESH WITH 50 TOP COVER)
150mm SUB BASE TYPE 2.1)

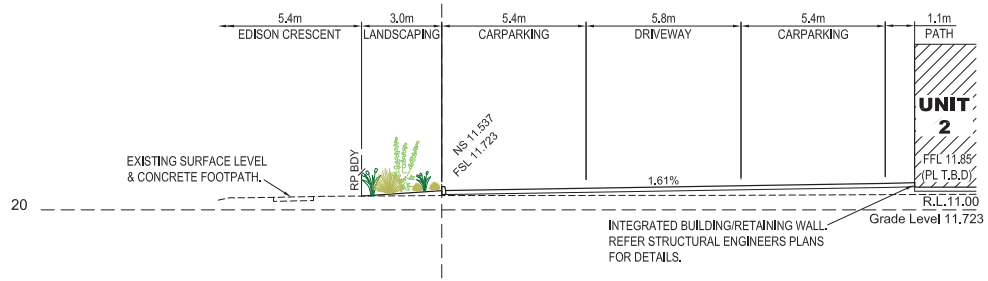



DATUM R.L.0.0

| | | | | |
|---|---|---|---|---|
| CUT(-)/FILL(+) | 0.120 | 0.185 | 0.096 | 0.149 |
| DESIGN SURFACE LEVELS | 11.803 | 11.723 | 11.523 | 11.489 |
| NATURAL SURFACE LEVELS | 11.683 | 11.537 | 11.427 | 11.340 |
| CHAINAGE | 0.000 | 20.000 | 40.000 | 46.683 |

NOTE - WAREHOUSE PAD LEVEL TO BE CONFIRMED. REFER STRUCTURAL ENGINEERS PLANS FOR SLAB THICKNESS.




0 2.0 4.0 6.0 8.0 10.0m

SCALE 1:100 A1, 1:200 A3


WALSH CONSULTING ENGINEERS
P 07 5443 4443
E engineers@walsheng.net.au
W walsheng.net.au
A 15/72 Wises Road, Maroochydore Q 4558
PO Box 5512, Maroochydore BC Q 4558
A.B.N. 39 611 482 716


| REV | DATE | DESCRIPTION | BY | CHKD |
|---|---|---|---|---|
| A | 11/03/25 | REVISED IN ACCORDANCE WITH EDQ INFORMATION REQUEST DATED 30/01/25 | BWM | QKP |

FILENAME : C6527-24-R03.dwg - DATE : 12/3/25 - 11:40am | A1 Sheet Size

CHECKED | DIRECTOR APPROVAL RPEQ - 4665

**FOR APPROVAL**
NOT FOR CONSTRUCTION

Design: BWM | Drawn: BWM | Date: DEC 2024

PROJECT:
**PROPOSED WAREHOUSE DEVELOPMENT at LOT 1116-1118 EDISON CRESCENT, BARINGA for SHADCON PTY LTD**

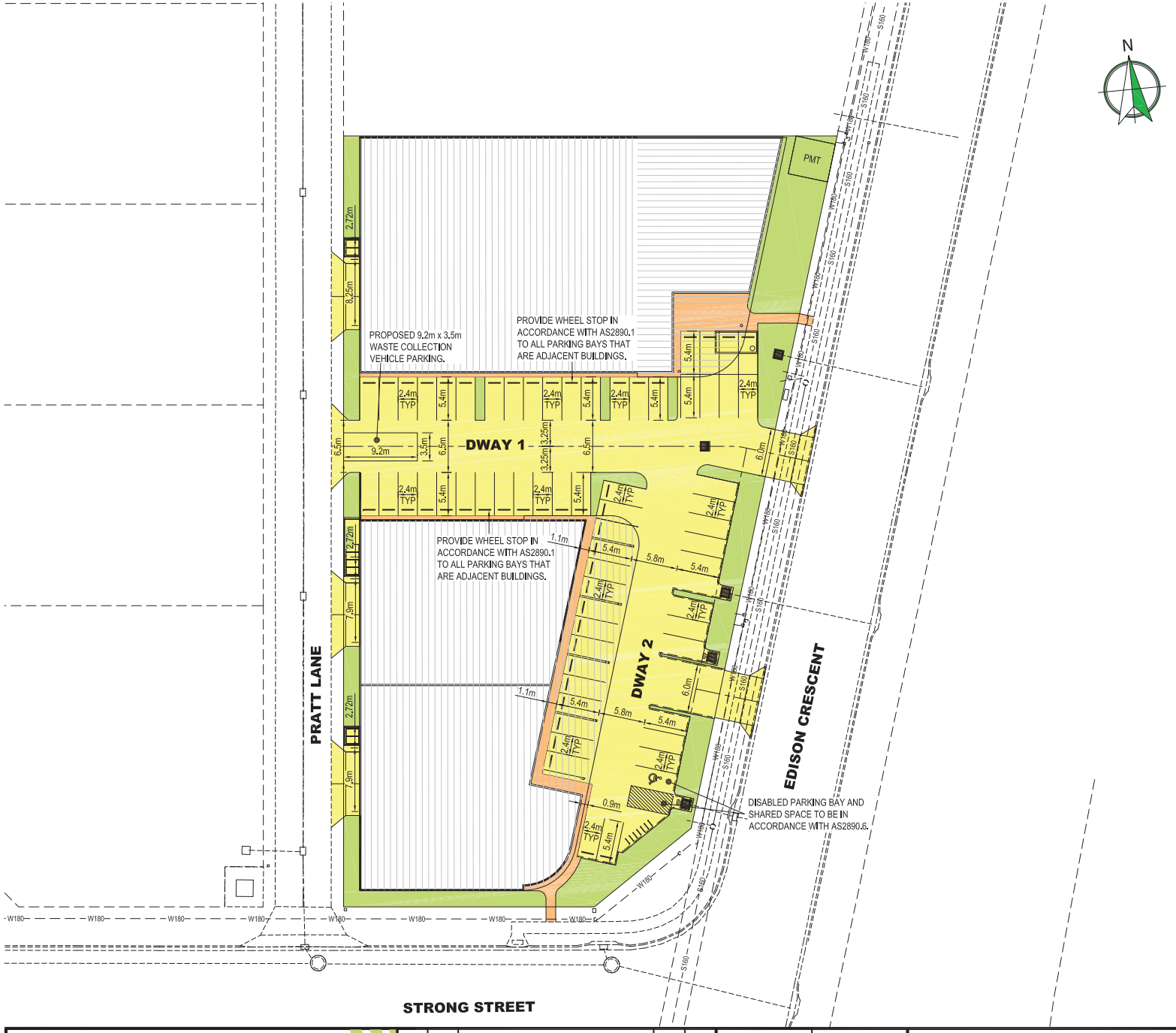

© This plan is Copyright. Other than for the purposes of and subject to the conditions prescribed under the Copyright Act, no part of it may in any form or by any means (electronic, mechanical, micro copying, photo-copying, recording or otherwise) be reproduced, stored in a retrieval system or transmitted without the prior written permission of Walsh Consulting Engineers. All intellectual property remains within Walsh Consulting Engineers. All enquiries should be directed to Walsh Consulting Engineers.


DRAWING TITLE:
**DRIVEWAY 2 LONGITUDINAL & CROSS SECTIONS**

DRAWING No: **C6527/24/R03** | REVISION: **A**

COUNCIL REFERENCE: | SHEET: 3 of 7

WALSH CONSULTING ENGINEERS




## LINEMARKING NOTES:

1. ALL LINEMARKING, SIGNAGE AND R.R.P.M.'s SHALL BE IN ACCORDANCE WITH DMR's "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES"
2. PAINT USED FOR ALL PAVEMENT MARKINGS SHALL BE WATER-BORNE ROAD MARKING PAINT CONFORMING TO THE REQUIREMENTS OF AS4049.3 AND HAVING APPROVAL UNDER THE AUSTRALIAN PAINT APPROVAL SCHEME IN ACCORDANCE WITH THE REQUIREMENTS OF DMR's STANDARD SPECIFICATION No. MRS11.45 (12/07).
3. YELLOW PAINT WHERE SPECIFIED SHALL BE EQUIVALENT TO Y12, WATTLE OR Y14, GOLDEN YELLOW AS DETAILED IN AS2700 OR ANY OTHER COLOUR DEEMED TO LIE BETWEEN THESE TWO COLOURS.
4. ALL REDUNDANT PAVEMENT MARKINGS SHALL BE REMOVED VIA ABRASIVE BLASTING IN ACCORDANCE WITH THE REQUIREMENTS OF DMR's STANDARD SPECIFICATION No. MRS11.45 (12/07).

## LEGEND

- PROPOSED CONCRETE DRIVEWAY
- PROPOSED WAREHOUSE
- PROPOSED LANDSCAPE AREA
- PROPOSED STORMWATER DRAINAGE
- EXISTING STORMWATER DRAINAGE
- W180 — EXISTING WATER RETICULATION/SIZE
- S160 — EXISTING SEWER RETICUALTION/SIZE

0 5 10 15 20 25m

SCALE 1:250 A1, 1:500 A3


WALSH CONSULTING ENGINEERS
P 07 5443 4443
E engineers@walsheng.net.au
W walsheng.net.au
A 15/72 Wises Road, Maroochydore Q 4558
PO Box 5512, Maroochydore BC Q 4558
A.B.N. 39 611 482 716


| REV | DATE | DESCRIPTION | BY | CHKD |
|---|---|---|---|---|
| A | 11/03/25 | REVISED IN ACCORDANCE WITH EDQ INFORMATION REQUEST DATED 30/01/25 | BWM | QKP |

FILENAME : C6527-24-R04.dwg - DATE : 12/3/25 - 11:40am

A1 Sheet Size

CHECKED

DIRECTOR APPROVAL RPEQ - 4665

**FOR APPROVAL**
NOT FOR CONSTRUCTION

Design: BWM | Drawn: BWM | Date: DEC 2024

PROJECT:
**PROPOSED WAREHOUSE DEVELOPMENT at LOT 1116-1118 EDISON CRESCENT, BARINGA for SHADCON PTY LTD**


© This plan is Copyright. Other than for the purposes of and subject to the conditions prescribed under the Copyright Act, no part of it may in any form or by any means (electronic, mechanical, micro copying, photo-copying, recording or otherwise) be reproduced, stored in a retrieval system or transmitted without the prior written permission of Walsh Consulting Engineers. All intellectual property remains within Walsh Consulting Engineers. All enquiries should be directed to Walsh Consulting Engineers.


DRAWING TITLE:
**ROADWORKS LINEMARKING PLAN**

WALSH CONSULTING ENGINEERS

DRAWING No: **C6527/24/R04**

REVISION: **A**

COUNCIL REFERENCE:

SHEET: 4 of 7

NOTE - LEVEL IS TOP OF CONCRETE FINISHED SURFACE LEVEL/FACE OF KERB. EARTHWORKS PAD LEVELS TO BE 300mm BELOW FINISHED LEVEL.

## ROADWORKS SETOUT COORDINATES

| POINT | EASTING | NORTHING | LEVEL | POINT | EASTING | NORTHING | LEVEL |
|---|---|---|---|---|---|---|---|
| 1 | 5049.511 | 24623.756 | 12.110 | 52 | 5098.965 | 24599.175 | 11.905 |
| 2 | 5049.817 | 24628.376 | 12.021 | 53 | 5099.510 | 24598.219 | 11.883 |
| 3 | 5051.791 | 24626.541 | 12.250 | 54 | 5101.023 | 24597.744 | 11.652 |
| 4 | 5050.683 | 24615.138 | 12.250 | 55 | 5099.223 | 24592.020 | 11.866 |
| 5 | 5048.963 | 24615.305 | 12.005 | 56 | 5092.393 | 24594.168 | 11.902 |
| 6 | 5048.671 | 24615.106 | 11.923 | 57 | 5090.910 | 24593.586 | 11.932 |
| 7 | 5045.662 | 24584.150 | 11.727 | 58 | 5090.760 | 24593.109 | 11.931 |
| 8 | 5046.431 | 24592.058 | 11.746 | 59 | 5095.724 | 24591.483 | 11.879 |
| 9 | 5048.421 | 24591.864 | 11.800 | 60 | 5092.051 | 24579.727 | 11.757 |
| 10 | 5046.867 | 24575.870 | 11.800 | 61 | 5092.443 | 24578.975 | 11.725 |
| 11 | 5045.129 | 24576.039 | 11.661 | 62 | 5093.753 | 24578.563 | 11.718 |
| 12 | 5044.856 | 24575.853 | 11.644 | 63 | 5093.330 | 24577.206 | 11.712 |
| 13 | 5043.626 | 24563.197 | 11.622 | 64 | 5086.439 | 24579.373 | 11.827 |
| 14 | 5043.917 | 24566.185 | 11.650 | 65 | 5086.139 | 24578.419 | 11.812 |
| 15 | 5045.907 | 24565.992 | 11.800 | 66 | 5091.148 | 24576.844 | 11.726 |
| 16 | 5044.830 | 24554.908 | 11.800 | 67 | 5089.587 | 24571.883 | 11.673 |
| 17 | 5043.106 | 24555.076 | 11.570 | 68 | 5089.980 | 24571.131 | 11.643 |
| 18 | 5042.818 | 24554.880 | 11.537 | 69 | 5091.288 | 24570.719 | 11.637 |
| 19 | 5067.860 | 24539.365 | 10.898 | 70 | 5090.868 | 24569.384 | 11.630 |
| 20 | 5066.666 | 24539.482 | 10.928 | 71 | 5083.979 | 24571.550 | 11.703 |
| 21 | 5066.944 | 24542.341 | 11.071 | 72 | 5084.196 | 24570.906 | 11.690 |
| 22 | 5066.045 | 24543.433 | 11.168 | 73 | 5091.541 | 24568.596 | 11.565 |
| 23 | 5064.328 | 24543.600 | 11.850 | 74 | 5089.741 | 24562.872 | 11.505 |
| 24 | 5068.661 | 24543.462 | 11.278 | 75 | 5082.473 | 24565.158 | 11.642 |
| 25 | 5068.185 | 24542.704 | 11.092 | 76 | 5081.819 | 24564.682 | 11.641 |
| 26 | 5106.812 | 24610.117 | 11.718 | 77 | 5086.827 | 24563.107 | 11.581 |
| 27 | 5107.172 | 24611.262 | 11.721 | 78 | 5084.034 | 24554.226 | 11.491 |
| 28 | 5105.445 | 24611.804 | 11.730 | 79 | 5084.426 | 24553.473 | 11.467 |
| 29 | 5099.971 | 24612.375 | 12.127 | 80 | 5086.295 | 24552.886 | 11.450 |
| 30 | 5100.129 | 24611.154 | 12.094 | 81 | 5085.816 | 24551.673 | 11.445 |
| 31 | 5105.085 | 24610.659 | 11.726 | 82 | 5084.006 | 24552.138 | 11.465 |
| 32 | 5047.658 | 24604.684 | 11.825 | 83 | 5083.254 | 24551.746 | 11.490 |
| 33 | 5048.184 | 24604.044 | 11.878 | 84 | 5083.128 | 24551.346 | 11.495 |
| 34 | 5049.592 | 24603.908 | 11.928 | 85 | 5076.834 | 24547.334 | 11.736 |
| 35 | 5050.114 | 24609.282 | 12.189 | 86 | 5076.405 | 24547.469 | 11.745 |
| 36 | 5064.446 | 24607.890 | 12.189 | 87 | 5075.897 | 24545.853 | 11.762 |
| 37 | 5063.924 | 24602.515 | 12.116 | 88 | 5071.318 | 24547.293 | 11.810 |
| 38 | 5065.119 | 24602.399 | 12.109 | 89 | 5074.046 | 24555.968 | 11.777 |
| 39 | 5065.641 | 24607.774 | 12.189 | 90 | 5067.941 | 24557.888 | 11.773 |
| 40 | 5079.973 | 24606.381 | 12.189 | 91 | 5077.793 | 24589.211 | 12.177 |
| 41 | 5079.451 | 24601.006 | 12.019 | 92 | 5079.152 | 24593.531 | 12.044 |
| 42 | 5080.645 | 24600.890 | 12.012 | 93 | 5084.303 | 24591.911 | 11.980 |
| 43 | 5081.168 | 24606.265 | 12.189 | 94 | 5084.387 | 24592.178 | 11.975 |
| 44 | 5088.334 | 24605.569 | 12.189 | 95 | 5083.101 | 24594.121 | 11.982 |
| 45 | 5087.812 | 24600.194 | 11.967 | 96 | 5077.628 | 24594.653 | 12.026 |
| 46 | 5088.508 | 24600.126 | 11.963 | 97 | 5077.106 | 24589.278 | 12.189 |
| 47 | 5089.054 | 24600.575 | 11.981 | 98 | 5048.441 | 24592.063 | 12.180 |
| 48 | 5089.528 | 24605.453 | 12.189 | 99 | 5048.963 | 24597.438 | 11.945 |
| 49 | 5089.926 | 24605.414 | 12.189 | 100 | 5047.968 | 24597.535 | 11.836 |
| 50 | 5090.478 | 24611.087 | 12.189 | 101 | 5047.236 | 24597.312 | 11.795 |
| 51 | 5100.033 | 24610.159 | 12.084 | 102 | 5046.916 | 24597.048 | 11.755 |

0 5 10 15 20 25m

SCALE 1:250 A1, 1:500 A3

WALSH CONSULTING ENGINEERS
P 07 5443 4443
E engineers@walsheng.net.au
W walsheng.net.au
A 15/72 Wises Road, Maroochydore Q 4558
PO Box 5512, Maroochydore BC Q 4558
A.B.N. 39 611 482 716

| REV | DATE | DESCRIPTION | BY | CHKD |
|---|---|---|---|---|
| A | 11/03/25 | REVISED IN ACCORDANCE WITH EDQ INFORMATION REQUEST DATED 30/01/25 | BWM | QKP |

FILENAME : C6527-24-R05.dwg - DATE : 12/3/25 - 11:41am

A1 Sheet Size

CHECKED

DIRECTOR APPROVAL RPEQ - 4665

**FOR APPROVAL**
NOT FOR CONSTRUCTION

Design: BWM | Drawn: BWM | Date: DEC 2024

PROJECT:
**PROPOSED WAREHOUSE DEVELOPMENT at LOT 1116-1118 EDISON CRESCENT, BARINGA for SHADCON PTY LTD**

© This plan is Copyright. Other than for the purposes of and subject to the conditions prescribed under the Copyright Act, no part of it may in any form or by any means (electronic, mechanical, micro copying, photo-copying, recording or otherwise) be reproduced, stored in a retrieval system or transmitted without the prior written permission of Walsh Consulting Engineers. All intellectual property remains within Walsh Consulting Engineers. All enquiries should be directed to Walsh Consulting Engineers.

DRAWING TITLE:
**ROADWORKS SETOUT PLAN**

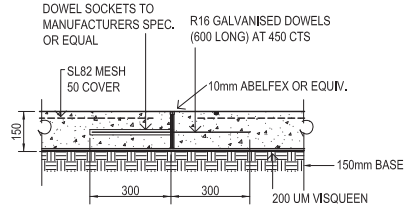
WALSH CONSULTING ENGINEERS

DRAWING No: **C6527/24/R05**

REVISION: **A**

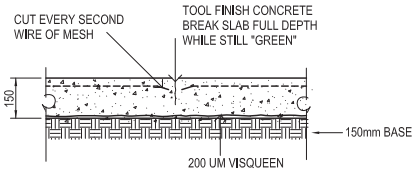
COUNCIL REFERENCE:

SHEET: 5 of 7




**DOWELLED CONSTRUCTION JOINT**

N.T.S




**CONTROL JOINT**

N.T.S.

## LEGEND

- PROPOSED DOWELED JOINT
- PROPOSED CONTROL JOINT
- PROPOSED STORMWATER PIT
- PROPOSED CONCRETE ACCESS DRIVEWAY

0 5 10 15 20 25m

SCALE 1:250 A1, 1:500 A3


WALSH CONSULTING ENGINEERS
P 07 5443 4443
E engineers@walsheng.net.au
W walsheng.net.au
A 15/72 Wises Road, Maroochydore Q 4558
PO Box 5512, Maroochydore BC Q 4558
A.B.N. 39 611 482 716


| REV | DATE | DESCRIPTION | BY | CHKD |
|---|---|---|---|---|
| A | 11/03/25 | REVISED IN ACCORDANCE WITH EDQ INFORMATION REQUEST DATED 30/01/25 | BWM | QKP |

FILENAME : C6527-24-R06.dwg - DATE : 12/3/25 - 11:42am

A1 Sheet Size

CHECKED

DIRECTOR APPROVAL
RPEQ - 4665

**FOR APPROVAL**
NOT FOR CONSTRUCTION

Design: BWM | Drawn: BWM | Date: DEC 2024

PROJECT:
**PROPOSED WAREHOUSE DEVELOPMENT at LOT 1116-1118 EDISON CRESCENT, BARINGA for SHADCON PTY LTD**


© This plan is Copyright. Other than for the purposes of and subject to the conditions prescribed under the Copyright Act, no part of it may in any form or by any means (electronic, mechanical, micro copying, photo-copying, recording or otherwise) be reproduced, stored in a retrieval system or transmitted without the prior written permission of Walsh Consulting Engineers. All intellectual property remains within Walsh Consulting Engineers. All enquiries should be directed to Walsh Consulting Engineers.


DRAWING TITLE:
**ROADWORKS CONCRETE JOINTING PLAN**

DRAWING No: **C6527/24/R06**

REVISION: **A**

COUNCIL REFERENCE:

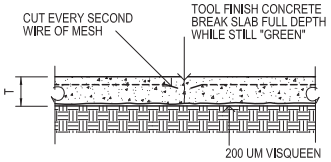
SHEET: 6 of 7

## NOTE:

REFER TO LANDSCAPE ARCHITECT'S PLANS FOR CONCRETE FINISH / COLOURS. IF EXPOSED AGGREGATE IS SPECIFIED THEN THE CONTRACTOR MUST SUPPLY SAMPLES OF AGGREGATE SIZE AND COLOUR FOR APPROVAL PRIOR TO PLACEMENT OF ANY CONCRETE PAVEMENT.

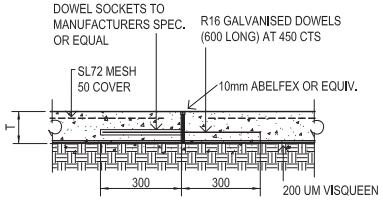
## CONCRETE FOOTPATH DETAILS

100mm CONCRETE SLAB (Fc=32MPa), SL72 MESH WITH 50 TOP & SIDE COVER COMPACTED SUBGRADE (100% STANDARD COMPACTION)
EXACT PAVEMENT DEPTHS TO BE DETERMINED BY THE SUPERVISING ENGINEER.
BOLSTER JOINTS AT 2m cts, DOWEL JOINTS AT 8m cts (MAX)



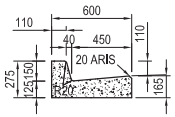

## CONTROL JOINT

N.T.S.




## DOWELLED JOINT

N.T.S.




## B1 BARRIER KERB & CHANNEL

SCALE 1:20

## REINFORCED CONCRETE NOTES:

GENERALLY, CONCRETE SHALL BE IN ACCORDANCE WITH AUSTRALIAN STANDARD SPECIFICATIONS

| | |
|---|---|
| AS 3600-1994 | "SAA CONCRETE STRUCTURES CODE". |

IN ADDITION TO THE ABOVE CODE THE FOLLOWING AUSTRALIAN STANDARD SPECIFICATIONS AND CODES OR THEIR LATEST REVISION SHALL APPLY:

| | |
|---|---|
| AS 1012 PTS 1-19 | METHODS FOR THE TESTING OF CONCRETE (METRIC UNITS) |
| AS 3583.1,2,3,8 | METHODS OF TEST FOR SUPPLEMENTARY CEMENTITIOUS MATERIALS FOR USE WITH PORTLAND CEMENT |
| AS 3582.1 | SUPPLEMENTARY CEMENTITIOUS MATERIALS FOR USE WITH PORTLAND CEMENT- FLY ASH |
| AS 1141 | METHODS FOR SAMPLING AND TESTING AGGREGATES |
| AS 1302 | STEEL REINFORCING BARS FOR CONCRETE |
| AS 1303 | HARD DRAWN STEEL REINFORCING WIRE FOR CONCRETE |
| AS 1304 | HARD DRAWN STEEL WIRE REINFORCING FABRIC FOR CONCRETE |
| AS 3972 | PORTLAND AND BLENDED CEMENTS |
| AS 1379 | READY-MIXED CONCRETE (METRIC UNITS) |
| AS 2758 | CONCRETE AGGREGATES |
| AS 1478, 1479 | CODE OF PRACTICE FOR USE OF CHEMICAL ADMIXTURES IN CONCRETE |
| AS 3610 | FORMWORK FOR CONCRETE |

### SUPPLY:

- ALL CONCRETE IS TO BE SUPPLIED BY A LICENSED READY MIXED CONCRETE MANUFACTURER.
- NO ON SITE BATCHING IS ACCEPTABLE.
- MANUFACTURERS MUST HAVE AN APPROVED AND CERTIFIED QUALITY ASSURANCE PROGRAM IN PLACE AND BE APPROVED BY THE ENGINEER PRIOR TO SUPPLY OF ANY CONCRETE.
- ALL MATERIALS, STORAGE, BATCHING, ETC TO CONFORM TO THE REQUIREMENTS OF THE RELEVANT AUSTRALIAN STANDARDS.
- ALL CONCRETE TO BE NORMAL-CLASS IN ACCORDANCE WITH AS 3600 UNLESS NOTED OTHERWISE.
- ALL CONCRETE SHALL HAVE A SHRINKAGE STRAIN NOT EXCEEDING 600 MICROSTRAIN.
- ALL CONCRETE IS SPECIFIED BY 28 DAY COMPRESSIVE STRENGTH UNLESS NOTED OTHERWISE.
- ALL REINFORCEMENT TO BE SUPPLIED BY A REGISTERED MANUFACTURER WITH AN APPROVED AND CERTIFIED QUALITY ASSURANCE PROGRAM IN PLACE. ALL REINFORCEMENT IS TO COMPLY WITH THE REQUIREMENTS OF AS 1302, AS 1303 AND AS 1304 AS APPLICABLE.
- ALL REINFORCEMENT IS TO BE DELIVERED TO SITE FREE FROM OIL, GREASE OR OTHER SURFACE COATINGS WHICH MAY IMPAIR BOND TO CONCRETE.
- ALL REINFORCEMENT TO BE 500 MPA MINIMUM YIELD UNLESS NOTED OTHERWISE.

### FORMWORK:

- ALL CONCRETE OTHER THAN CAST AGAINST GROUND, SHALL BE PLACED AGAINST TIMBER, PLYWOOD OR STEEL FORMS.
- ALL FORMWORK SHALL COMPLY WITH THE REQUIREMENTS OF AS 1509 AND AS 1510.
- REFER ARCHITECT'S DRAWINGS FOR REQUIRED FORMWORK CLASS WHERE APPLICABLE. CLASS B FORMWORK SHALL BE ADOPTED UNLESS NOTED OTHERWISE.
- ALL TEMPORARY FORMWORK, FALSEWORK, PROPPING, BRACING, TO BE DESIGNED AND CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER (RPEQ) PRIOR TO ERECTION.
- ALL REINFORCEMENT TO BE SUPPORTED OFF FORMS WITH PLASTIC OR PLASTIC TIPPED WIRE CHAIRS TO PROVIDE THE SPECIFIED COVER. ALL CONCRETE CAST AGAINST GROUND TO BE UNDERLAIN BY WATERPROOF MEMBRANE.

### TRANSPORT :

ALL CONCRETE IS TO BE TRANSPORTED TO SITE IN AGITATOR TRUCKS.
CONCRETE NOT PLACED WITHIN ONE HOUR AFTER BATCHING MAY BE REJECTED AT THE ENGINEER'S DISCRETION.

### PLACEMENT, COMPACTION AND FINISHING :

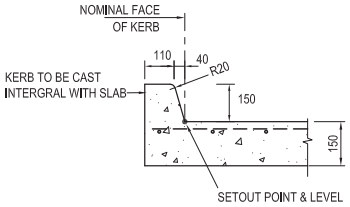
- CONCRETE TO BE PLACED IN FORMS BY HORIZONTAL 'CHUTING' NO MORE THAN 3M³, CONCRETE PUMPING OR KIBBLING. UNDER NO CIRCUMSTANCES SHALL CONCRETE BE INDUCED TO FLOW HORIZONTALLY BY USE OF VIBRATORS.
- ALL CONCRETE SHALL BE PLACED CONTINUOUSLY BETWEEN CONSTRUCTION JOINTS AS DETAILED, IN SUCH A MANNER AS TO AVOID 'COLD JOINTS'. CONSTRUCTION JOINTS SHALL BE LOCATED AS DETAILED ON DRAWINGS OR AS INSTRUCTED IN WRITING BY THE ENGINEER.
- ALL CONCRETE IS TO BE COMPACTED UPON PLACEMENT USING 50MM DIAMETER VIBRATORS.
- SLABS AND BEAMS ARE TO HAVE A FILM OF APPROVED ALPHATIC ALCOHOL APPLIED TO THE SURFACE, DIRECTLY AFTER SCREEDING, PRIOR TO FLOATING, REGARDLESS OF WEATHER CONDITIONS.
- ADDITIONAL PROTECTIVE MEASURES SUCH AS CHILLED MIX WATER, SHADING PLACEMENT AREAS, WIND BREAKS, ETC MAY BE REQUIRED BY THE ENGINEER IF PLACING CONCRETE DURING UNUSUALLY HOT, DRY OR WINDY CONDITIONS.
- ALL CONCRETE SLABS SHALL BE STEEL TROWEL FINISHED UNLESS NOTED OTHERWISE.
- BROOM FINISHING, WHERE SPECIFIED, SHALL BE CARRIED OUT AFTER STEEL TROWEL FINISHING.
- ALL CONCRETE TO BE ORDERED AND PLACED AT 80MM SLUMP UNLESS NOTED OTHERWISE.
- NO WATER TO BE ADDED ON SITE UNLESS APPROVED BY THE ENGINEER.

### TESTING:

ALL CONCRETE TESTING IS TO BE CARRIED OUT BY A NATA REGISTERED LABORATORY, IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF AS 1012.
THE FOLLOWING TESTING SCHEDULE IS TO BE ADOPTED IN ADDITION TO THE REQUIREMENTS OF THE MANUFACTURER'S QUALITY ASSURANCE PROGRAM :

- A MINIMUM OF ONE TEST (3 CYLINDERS) TO BE TAKEN FROM EACH ELEMENT CAST ON ANY GIVEN DAY (EG. COLUMNS, FOOTINGS, ETC)
- A MINIMUM OF ONE TEST (3 CYLINDERS) TO BE TAKEN FROM EACH CONCRETE STRENGTH GRADE CAST ON ANY GIVEN DAY.
- A MINIMUM OF ONE TEST (3 CYLINDERS) TO BE TAKEN FROM EACH 50M³ OR PART THEREOF CAST ON A GIVEN DAY FOR EACH STRENGTH GRADE.

ALL SAMPLES ARE TO BE TAKEN FROM THE AGITATOR, ON SITE.
IF WATER IS ADDED ON SITE, WITH THE ENGINEER'S PERMISSION, SAMPLES FOR TESTING SHALL BE TAKEN AFTER THE ADDITION OF WATER.




## INTEGRAL KERB - TYPE B2

PAVEMENT JOINTS TO EXTEND THROUGH KERB WITH ADDITIONAL TOOLED JOINTS AT MIDPOINTS (3000 CRS MAX).

0 0.4 0.8 1.2 1.6 2.0m

SCALE 1:20 A1, 1:40 A3


WALSH CONSULTING ENGINEERS
P 07 5443 4443
E engineers@walsheng.net.au
W walsheng.net.au
A 15/72 Wises Road, Maroochydore Q 4558
PO Box 5512, Maroochydore BC Q 4558
A.B.N. 39 611 482 716


| REV | DATE | DESCRIPTION | BY | CHKD |
|---|---|---|---|---|
| | | | | |

FILENAME : C6527-24-R07.dwg - DATE : 6/12/24 - 9:52am

A1 Sheet Size

CHECKED

DIRECTOR APPROVAL RPEQ - 4665

**FOR APPROVAL**
NOT FOR CONSTRUCTION

Design: BWM | Drawn: BWM | Date: DEC 2024

PROJECT:
**PROPOSED WAREHOUSE DEVELOPMENT at LOT 1116-1118 EDISON CRESCENT, BARINGA for SHADCON PTY LTD**


© This plan is Copyright. Other than for the purposes of and subject to the conditions prescribed under the Copyright Act, no part of it may in any form or by any means (electronic, mechanical, micro copying, photo-copying, recording or otherwise) be reproduced, stored in a retrieval system or transmitted without the prior written permission of Walsh Consulting Engineers. All intellectual property remains within Walsh Consulting Engineers. All enquiries should be directed to Walsh Consulting Engineers.


DRAWING TITLE:
**ROADWORKS DETAILS & NOTES**

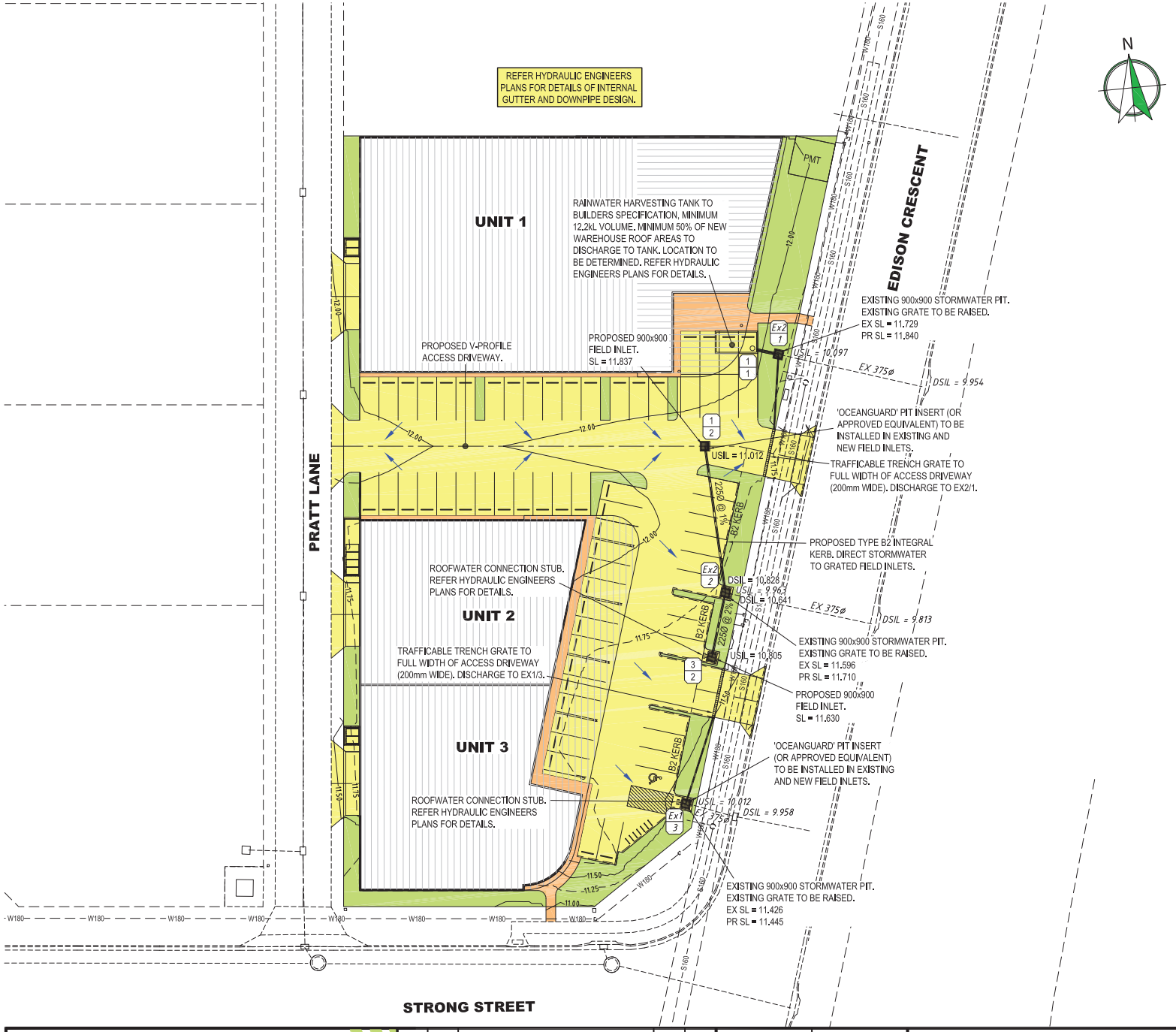
WALSH CONSULTING ENGINEERS

DRAWING No: **C6527/24/R07**

REVISION:

COUNCIL REFERENCE:

SHEET: 7 of 7




## STORMWATER NOTES:

1. ALL ROOFWATER PIPES ARE U-PVC.
2. ALL STORMWATER PIPES ARE R.C.P. CLASS 3, R.R.J. U.N.O.
3. ALL BOX CULVERTS TO BE INSTALLED AS PER IPWEA STD DWG DSD-201-TYPE CROSS SECTIONS-EXCAVATION, BEDDING AND BACKFILLING OF PRECAST BOX CULVERTS.
4. ALL BOX CULVERT SLABS TO BE CONSTRUCTED IN ACCORDANCE WITH DMR STD DWG 1317-CONSTRUCTION OF BASES WITH NIBS & APRONS.
5. ALL STORMWATER PITS TO BE IPWEA TYPE 'S' LIP-IN-LINE U.N.O.
6. ALL STORMWATER MANHOLES ARE TO BE STD 1050 DIA U.N.O.
7. ALL ALLOTMENTS NOT SERVICED BY INTER-ALLOTMENT DRAINAGE ARE TO HAVE TWO (2) 'KASEY' ALLOY KERB ADAPTORS OR APPROVED EQUIVALENT, ONE ON EACH COMMON BOUNDARY IF THE ALLOTMENT FRONTAGE IS RELATIVELY FLAT OR ONE AT THE DOWN STREAM COMMON BOUNDARY AND ONE IN THE MIDDLE OF THE ALLOTMENT FRONTAGE. WHERE ALLOTMENTS ARE FRONTED BY CONCRETE FOOTPATHS OR LANDSCAPED AREAS ROOFWATER CONDUITS ARE TO EXTEND TO PROPERTY BOUNDARY.
8. ALL PROPOSED STORMWATER OUTLETS NOTED AS "STONE PITCHED HEADWALL" ARE TO BE DIMENSIONED IN ACCORDANCE WITH MAIN ROADS CONCRETE EQUIVALENT.
9. ALL ROOFWATER PITS TO HAVE CAPPED 150DIA STUBS.
10. ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH WALSH CONSULTING ENGINEERS STANDARD SPECIFICATION.
11. ROADWORKS AND DRAINAGE SET-OUT INFORMATION IS AVAILABLE FOR THE CONTRACTOR VIA COMPUTER MODEL PROVIDED BY WALSH CONSULTING ENGINEERS. HOWEVER, WALSH CONSULTING ENGINEERS ACCEPTS NO RESPONSIBILITY FOR INCORRECT SETOUT FROM THE DATA PROVIDED. CONTRACTOR SHOULD CONFIRM THE CORRECT COORDINATES WITH THE MANHOLE SETOUT DATA PROVIDED ON THESE DRAWINGS.

## LEGEND

- Ex1 / 1 — STORMWATER PIT LABEL
- PROPOSED STORMWATER DRAINAGE
- EXISTING STORMWATER DRAINAGE
- W180 — EXISTING WATER RETICULATION/SIZE
- S160 — EXISTING SEWER RETICULATION/SIZE
- 12.00 — PROPOSED SURFACE CONTOUR
- DIRECTION OF FLOW

0 5 10 15 20 25m

SCALE 1:250 A1, 1:500 A3


WALSH CONSULTING ENGINEERS
P 07 5443 4443
E engineers@walsheng.net.au
W walsheng.net.au
A 15/72 Wises Road, Maroochydore Q 4558
PO Box 5512, Maroochydore BC Q 4558
A.B.N. 39 611 482 716


| REV | DATE | DESCRIPTION | BY | CHKD |
|---|---|---|---|---|
| A | 11/03/25 | REVISED IN ACCORDANCE WITH EDQ INFORMATION REQUEST DATED 30/01/25 | BWM | QKP |

FILENAME : C6527-24-D01.dwg - DATE : 12/3/25 - 11:47am

A1 Sheet Size

CHECKED

DIRECTOR APPROVAL RPEQ - 4665

**FOR APPROVAL**
NOT FOR CONSTRUCTION

Design: BWM | Drawn: BWM | Date: DEC 2024

PROJECT:
**PROPOSED WAREHOUSE DEVELOPMENT at LOT 1116-1118 EDISON CRESCENT, BARINGA for SHADCON PTY LTD**


© This plan is Copyright. Other than for the purposes of and subject to the conditions prescribed under the Copyright Act, no part of it may in any form or by any means (electronic, mechanical, micro copying, photo-copying, recording or otherwise) be reproduced, stored in a retrieval system or transmitted without the prior written permission of Walsh Consulting Engineers. All intellectual property remains within Walsh Consulting Engineers. All enquiries should be directed to Walsh Consulting Engineers.


DRAWING TITLE:
**STORMWATER DRAINAGE LAYOUT PLAN**

WALSH CONSULTING ENGINEERS

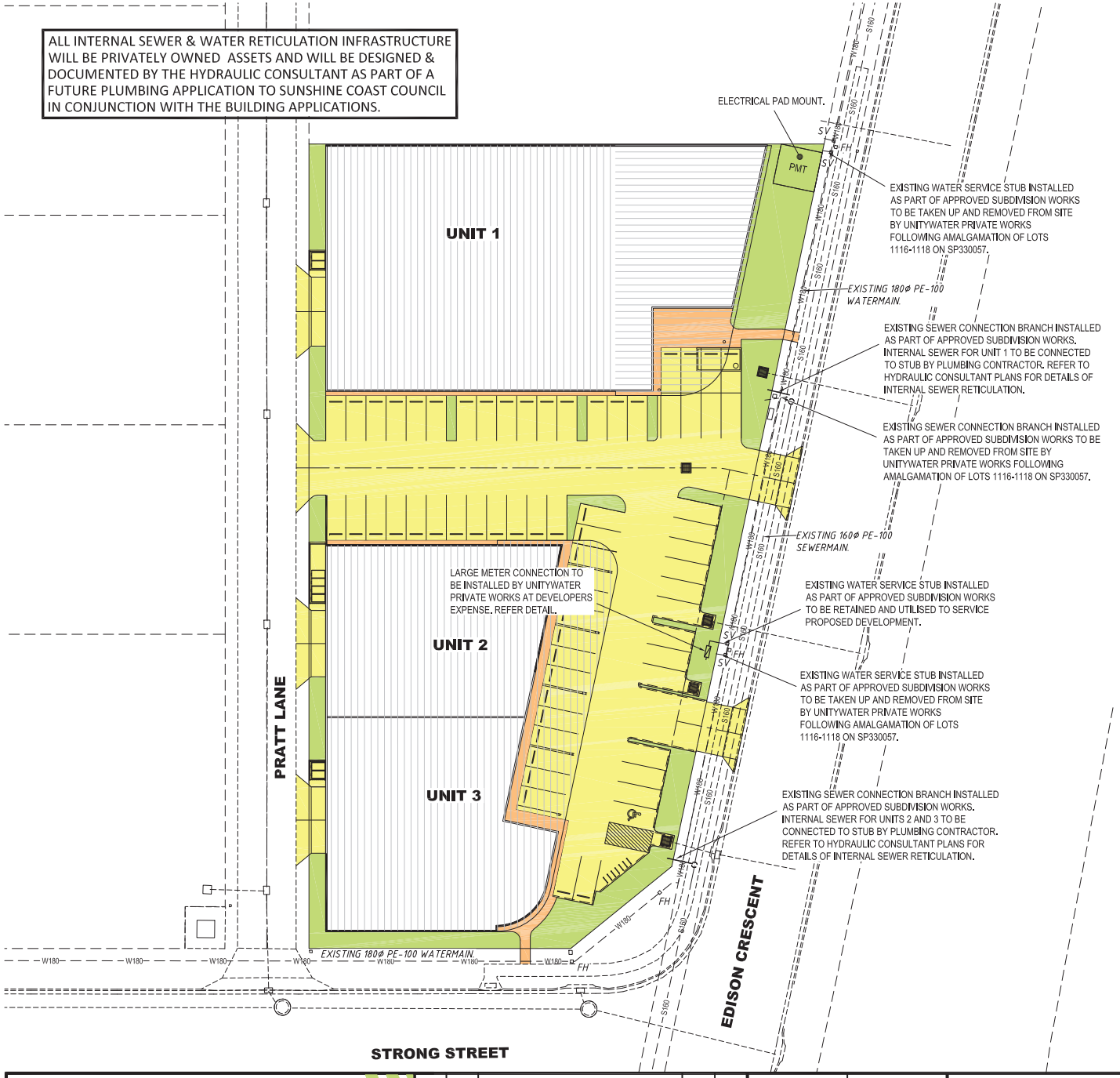
DRAWING No: **C6527/24/D01**

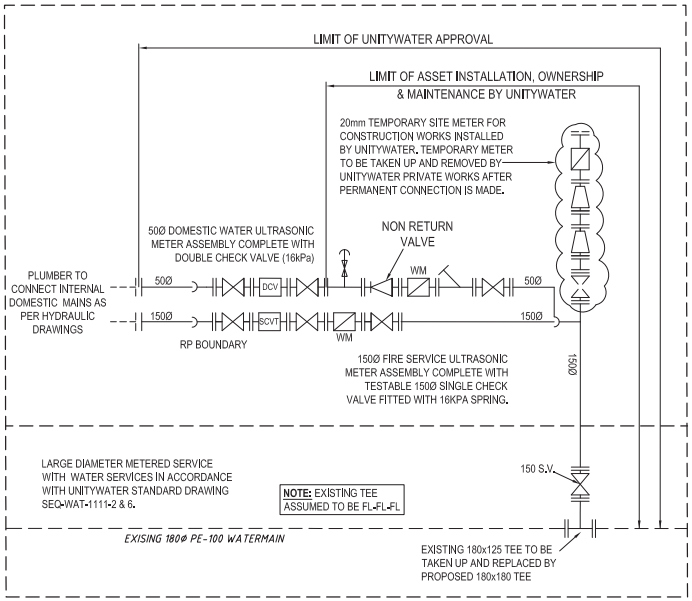
REVISION: **A**

COUNCIL REFERENCE:

SHEET: 1 of 1

ALL INTERNAL SEWER & WATER RETICULATION INFRASTRUCTURE WILL BE PRIVATELY OWNED ASSETS AND WILL BE DESIGNED & DOCUMENTED BY THE HYDRAULIC CONSULTANT AS PART OF A FUTURE PLUMBING APPLICATION TO SUNSHINE COAST COUNCIL IN CONJUNCTION WITH THE BUILDING APPLICATIONS.




UNITY WATER LIVE CONNECTION
APPROVED CONNECTIONS

## LARGE METER CONNECTION - DETAIL

NOT TO SCALE

## LEGEND

- W180 — EXISTING WATER RETICULATION/SIZE
- S160 — EXISTING SEWER RETICULATION/SIZE
- EXISTING SEWER HOUSE CONNECTION
- EXISTING ELECTRICAL SERVICE
- EXISTING WATER SERVICE
- EXISTING STORMWATER DRAINAGE
- PROPOSED STORMWATER DRAINAGE
- PROPOSED WAREHOUSE

0 5 10 15 20 25m

SCALE 1:250 A1, 1:500 A3


WALSH CONSULTING ENGINEERS
P 07 5443 4443
E engineers@walsheng.net.au
W walsheng.net.au
A 15/72 Wises Road, Maroochydore Q 4558
PO Box 5512, Maroochydore BC Q 4558
A.B.N. 39 611 482 716


| REV | DATE | DESCRIPTION | BY | CHKD |
|---|---|---|---|---|
| A | 11/03/25 | REVISED IN ACCORDANCE WITH EDQ INFORMATION REQUEST DATED 30/01/25 | BWM | QKP |

FILENAME : C6527-24-S01.dwg - DATE : 12/3/25 - 11:49am

A1 Sheet Size

CHECKED

DIRECTOR APPROVAL RPEQ - 4665

**FOR APPROVAL**
NOT FOR CONSTRUCTION

Design: BWM | Drawn: BWM | Date: DEC 2024

PROJECT:
**PROPOSED WAREHOUSE DEVELOPMENT at LOT 1116-1118 EDISON CRESCENT, BARINGA for SHADCON PTY LTD**


© This plan is Copyright. Other than for the purposes of and subject to the conditions prescribed under the Copyright Act, no part of it may in any form or by any means (electronic, mechanical, micro copying, photo-copying, recording or otherwise) be reproduced, stored in a retrieval system or transmitted without the prior written permission of Walsh Consulting Engineers. All intellectual property remains within Walsh Consulting Engineers. All enquiries should be directed to Walsh Consulting Engineers.


DRAWING TITLE:
**SERVICES LAYOUT PLAN**

WALSH CONSULTING ENGINEERS

DRAWING No: **C6527/24/S01**

REVISION: **A**

COUNCIL REFERENCE:

SHEET: 1 of 2

## GENERAL NOTES:

1. ALL WORK ON THIS CONTRACT IS TO BE CARRIED OUT IN ACCORDANCE WITH WALSH CONSULTING ENGINEERS SPECIFICATION AND TO THE SATISFACTION OF THE LOCAL AUTHORITY AND THE ENGINEER.

2. THE CONTRACTOR IS TO CONTACT ENERGEX, TELSTRA, COUNCIL AND OTHER SERVICE AUTHORITIES AND LOCATE EXISTING UNDERGROUND SERVICES PRIOR TO CONSTRUCTION.

3. CONDUIT LOCATIONS IF SHOWN ON THE PLANS ARE PROVISIONAL ONLY AND THE CONTRACTOR IS TO LIAISE WITH THE ENGINEER, TELSTRA AND THE ELECTRICAL CONSULTANT FOR THEIR FINAL PLANS IMMEDIATELY PRIOR TO LAYING ROAD AND FOOTPATH CONDUITS.

4. THE ENGINEERING DESIGN IS BASED PARTLY ON A DATA TERRAIN MODEL COMPUTER GENERATED FROM THE SITE SURVEY AND SOME ELEMENTS OF THE SURVEY DATA ARE INTERPOLATED AND MAY VARY FROM THE ACTUAL SITE CONDITIONS. THE CONTRACTOR SHALL LIAISE WITH THE ENGINEER AND SURVEYOR AND SET OUT THE WORKS ONLY FROM APPROVED REFERENCE PEGS AND LEVEL BENCH MARKS.

5. THE CONTRACTOR IS TO ORGANISE WORKS SO THAT EROSION, DEPOSITION OF SILT, AND STORMWATER RUNOFF FROM THE JOB SITE DOES NOT EXCEED THE PRE CONSTRUCTION RATES AT ANY POINT AS A RESULT OF THEIR ACTIONS.

6. CLEAR ALL VEGETATION FROM THOSE AREAS TO BE EXCAVATED OR FILLED. IN OTHER AREAS WHERE CLEARING IS SPECIFIED SELECTED CLEARING ONLY IS TO BE CARRIED OUT BY RETAINING THOSE TREES MARKED BY THE ENGINEER AND LEAVING THE AREA IN A CONDITION SUITABLE FOR SLASHING.

7. THE CONTRACTOR IS TO PRESENT UP THE JOB FOR ON-MAINTENANCE AND OFF-MAINTENANCE INSPECTIONS WHEN DIRECTED BY THE ENGINEER WITH ALL PIPES, ROADS AND ALLOTMENTS FREE OF RUBBISH OR SILT AND WITH FOOTPATHS AND PARK AREA SLASHED OR MOWN AND UNDERGROUND SERVICES OPENED FOR INSPECTION.

8. NO WORK IS TO COMMENCE ON THE SITE UNTIL THE APPROVAL OF THE COUNCIL HAS BEEN RECEIVED IN WRITING AND AN OFFICIAL PRE-START MEETING WITH A REPRESENTATIVE OF COUNCIL AND THE ENGINEER HAVE BEEN HELD. THE CONTRACTOR IS TO OBTAIN A COPY OF THE MINUTES OF THE PRE-START MEETING AND SHALL COMPLY WITH ALL REQUIREMENTS THEREOF.

9. ALL CONSTRUCTION IS TO BE SET OUT BY THE CONTRACTOR FROM PEGGING OF ROAD CENTRELINE, MANHOLE POSITIONS, LOT STAKING AND TBM'S PROVIDED BY THE PRINCIPAL'S LICENSED SURVEYOR

10. THE CONTRACTOR IS TO MAINTAIN THE SITE DURING CONSTRUCTION FREE OF RUBBISH ETC. TO THE SATISFACTION OF THE SUPERINTENDENT.

## SEWER RETICULATION NOTES

1. NOT ALL SERVICES HAVE NECESSARILY BEEN RECORDED AND SHOWN ON THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE TO LIAISE WITH THE RELEVANT SERVICE AUTHORITY PRIOR TO COMMENCEMENT OF CONSTRUCTION TO DETERMINE THE LOCATION AND LEVEL OF ALL EXISTING SERVICE UTILITIES. THE CONTRACTOR SHALL BEAR THE COST OF ANY DAMAGE TO EXISTING SERVICES.

2. THE CONTRACTOR SHALL OBTAIN ALL AS-CONSTRUCTED SURVEY FOR ROADWORKS, DRAINAGE WORKS, SEWER MAINS ETC. PRIOR TO BACKFILLING. ALL SURVEY TO BE CARRIED OUT BY A LICENSED SURVEYOR TO THE REQUIREMENTS OF THE COUNCIL ENGINEER.

3. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT UNITYWATER SPECIFICATIONS AND STANDARDS.

4. UNLESS SPECIFIED OTHERWISE ALL MATERIALS AND WORK SHALL COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS.

5. ALL BENCHMARKS AND LEVELS ARE TO AHD.

6. ALL BEDDING OF SEWER TO BE IN ACCORDANCE WITH WSAA STANDARD DRAWINGS SEW-1200 SERIES AND SPECIFICATION 4.6 "CONSTRUCTION OF GRAVITY SEWERS AND ASSOCIATED WORKS"

7. PE SEWERS SHALL BE PE100 MIN SDR21 TO AS/NZS 4130. VC SEWERS SHALL BE CLASS 4 TO AS1741 OR CONFORM TO EN295-1. UPVC SEWERS SHALL BE SN8 TO AS1260, EXCEPT FOR DN100 WHICH SHALL BE SN10 TO AS1260. DICL SEWERS SHALL BE CLASS PN35 TO AS2280 AND POLYETHELENE SLEEVED.

8. SURFACE LEVELS SHOWN ON LINES ARE INTERPOLATED FROM A SPOT LEVEL SURVEY, THEREFORE DESIGN LEVELS BASED ON THIS INFORMATION MAY BE VARIED BY THE SUPERINTENDENT ON SITE. CONTRACTOR TO ENSURE SEWER MANHOLES TO BE APPROX 100mm ABOVE FINISHED GROUND LEVEL (UNO).

9. ALL CONCRETE MANHOLES TO BE SEALED WITH 6.5mm THICK GREASY HEMP ON COMPLETION OF THE MAINTENANCE INSPECTION.

10. EXTERNAL FORMWORK IS TO BE USED FOR CAST INSITU MANHOLES.

11. MANHOLE LIDS TO BE SLOPED TO SUIT THE DESIGN FINISHED SURFACE.

12. CONNECTIONS TO EXISTING SEWERS TO BE CARRIED OUT BY UNITY WATER AT DEVELOPER'S EXPENSE.

13. MAXIMUM DEPTH OF HOUSE DRAIN INSPECTION OPENING - 1.5m.

14. ALL ALLOTMENTS WITHOUT EXISTING HOUSE CONNECTIONS TO BE PROVIDED WITH HOUSE CONNECTIONS UNLESS NOTED OTHERWISE.

15. LOCATION AND LEVEL OF EXISTING SEWER CONNECTION POINTS TO BE CHECKED BY CONTRACTOR BEFORE WORK COMMENCES.

17. EACH ALLOTMENT SHALL BE SERVED BY A DN110 OD (OR DN100) PROPERTY CONNECTION. FOR ALLOTMENTS OTHER THAN SINGLE RESIDENTIAL, A DN160 OD (OR DN150) PROPERTY CONNECTION SHALL BE PROVIDED.

18. NOT MORE THAN ONE DN160 SEWER OR NOT MORE THAN TWO DN110 PROPERTY CONNECTION SEWERS SHALL BE PERMITTED TO CONNECT TO THE MS RISER; EACH CONNECTION SHALL BE LOCATED AT A DIFFERENT LEVEL.

19. PCB'S SHALL BE LOCATED 1.2m FROM THE DOWNSTREAM ALIGNMENT. IF THIS IS NOT POSSIBLE, PCB'S SHALL NOT BE GREATER THAN 3.5m FROM THE DOWNSTREAM ALIGNMENT.

20. PROPERTY CONNECTION SEWERS MAY BE CONNECTED TO THE SEWER WITH AN APPROVED 45° SADDLE AND A 45° SHORT RADIUS BEND. THE MAXIMUM LENGTH OF THE PROPERTY CONNECTION SEWER SHALL BE 25m.

21. PROPERTY CONNECTION BRANCHES SHALL EXTEND INTO THE PROPERTY A MINIMUM OF 300mm AND A MAXIMUM OF 750mm.

22. MAINTENANCE SHAFTS OR TERMINAL ENTRY POINTS SHALL BE LOCATED AT THE UPSTREAM END OF ANY SEWER WHERE THE DISTANCE TO A DOWNSTREAM MS IS GREATER THAN 40m IN ACCORDANCE WITH DRG. NO. 486/5/25 SP001/1.
STOP ENDS SHALL BE PROVIDED AT THE UPSTREAM END OF ANY SEWER WHERE THE DISTANCE TO A DOWNSTREAM MS IS LESS THAN 40m. THE STOP END SHALL COMPRISE A RUBBER RING SEAL SCREWED CAP FITTING WELDED INTO SEWER PIPELINE.

23. WHERE PIPES ARE LAID IN FILL, THE FILLING SHALL BE CARRIED OUT IN LAYERS NOT EXCEEDING 300MM (LOOSE) IN DEPTH AND SHALL BE COMPACTED UNTIL THE COMPACTION IS NOT LESS THAN 95% OF THE MATERIALS MAXIMUM COMPACTION WHEN TESTED IN ACCORDANCE WITH AS 1289 (MODIFIED COMPACTION). TESTING SHALL BE CARRIED OUT AFTER EACH ALTERNATE LAYER. IN ALL SUCH CASES APPROVAL OF CONSTRUCTED SEWERS WILL NOT BE ISSUED BY THE COUNCIL UNLESS CERTIFICATES ARE PRODUCED CERTIFYING THAT THE REQUIRED COMPACTION HAS BEEN ACHIEVED.

24. PROVIDE THE FOLLOWING MINIMUM HORIZONTAL SEPARATION FROM SEWER RETICULATION:
    STORMWATER PIPES - 1.0m
    WATER SUPPLY - 1.0m

## WATER RETICULATION NOTES

1. RETICULATION MAINS ARE TO BE LAID AT 1.50m OFF PROPERTY ALIGNMENT UNLESS OTHERWISE DIRECTED BY COUNCIL ENGINEER.
2. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT SOUTH EAST QUEENSLAND WATER SUPPLY CODE SPECIFICATIONS AND STANDARDS.
3. UNLESS SPECIFIED OTHERWISE ALL MATERIALS AND WORK SHALL COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS.
4. ADOPT LIP OF KERB OR SHOULDER OF ROAD AS PERMANENT LEVEL.
5. COVER ON MAINS FROM PERMANENT LEVEL TO BE AS FOLLOWS:-

| LOCATION | NOMINAL DIAMETER | |
|---|---|---|
| | ≤150 | ≥200 |
| NON-ROADWAYS | 600 | 1000 |
| SEALED ROADWAYS | 600 | 1000 |
| MAJOR ROADWAYS/ EMBANKMENTS | 750 | 1000 |
| FREEWAYS | 1200 | 1200 |

6. CONDUITS TO BE INSTALLED IN ACCORDANCE WITH THE STANDARD DRAWINGS.
7. A WATER METER SUPPLIED AT THE DEVELOPER'S COST, IS TO BE INSTALLED AT THE SERVICE POINT OF EACH LOT IN ACCORDANCE WITH THE STANDARD DRAWING FOR THE SEQ-SP.
8. ALL MATERIALS USED IN THE WORKS SHALL COMPLY WITH THE SEQ-SP's ACCEPTED PRODUCTS AND MATERIALS LIST OR BE APPROPRIATELY SHOWN, LISTED AND DEFINED IN THE ENGINEERING SUBMISSION SO THAT THE ALTERNATIVE PRODUCT OR MATERIAL CAN BE ASSESSED AND IF APPROPRIATE, APPROVED BY THE SEQ-SP.
9. THRUST BLOCKS TO BE PROVIDED ON ALL BENDS, TEES AND DEAD ENDSAS PER STD DRG SEQ-WAT-1205-1, 1206-1 AND 1207-1.
10. PAVEMENT MARKERS TO BE IN STALLED AS PER STD DRG SEQ-WAT-1300-1 AND 1300-2.
11. DETECTABLE MARKER TAPE IS REQUIRED TO BE INSTALLED ON ALL WATERMAINS.
12. ALL CONCRETE FOOTPATHS TO BE CLEAR OF WATER MAINS.
13. TEST/CHLORINATION POINTS TO BE INSTALLED IN ACCORDANCE WITH STANDARD DRAWING NO.SEQ-WAT-1410-1.
14. THE CONSTRUCTION OF THE WATER RETICULATION WORK SHOWN ON THIS DRAWING MUST BE SUPERVISED BY AN ENGINEER WHO HAS RPEQ REGISTRATION. WORKS NOT COMPLYING WITH THIS REQUIREMENT WILL NOT BE PERMITTED TO CONNECT TO THE RETICULATION SYSTEM.

WALSH CONSULTING ENGINEERS
P 07 5443 4443
E engineers@walsheng.net.au
W walsheng.net.au
A 15/72 Wises Road, Maroochydore Q 4558
PO Box 5512, Maroochydore BC Q 4558
A.B.N. 39 611 482 716

| REV | DATE | DESCRIPTION | BY | CHKD |
|---|---|---|---|---|
| | | | | |

FILENAME : C6527-24-S02.dwg - DATE : 6/12/24 - 9:58am
A1 Sheet Size

CHECKED
DIRECTOR APPROVAL
RPEQ - 4665

**FOR APPROVAL**
NOT FOR CONSTRUCTION

Design: BWM | Drawn: BWM | Date: DEC 2024

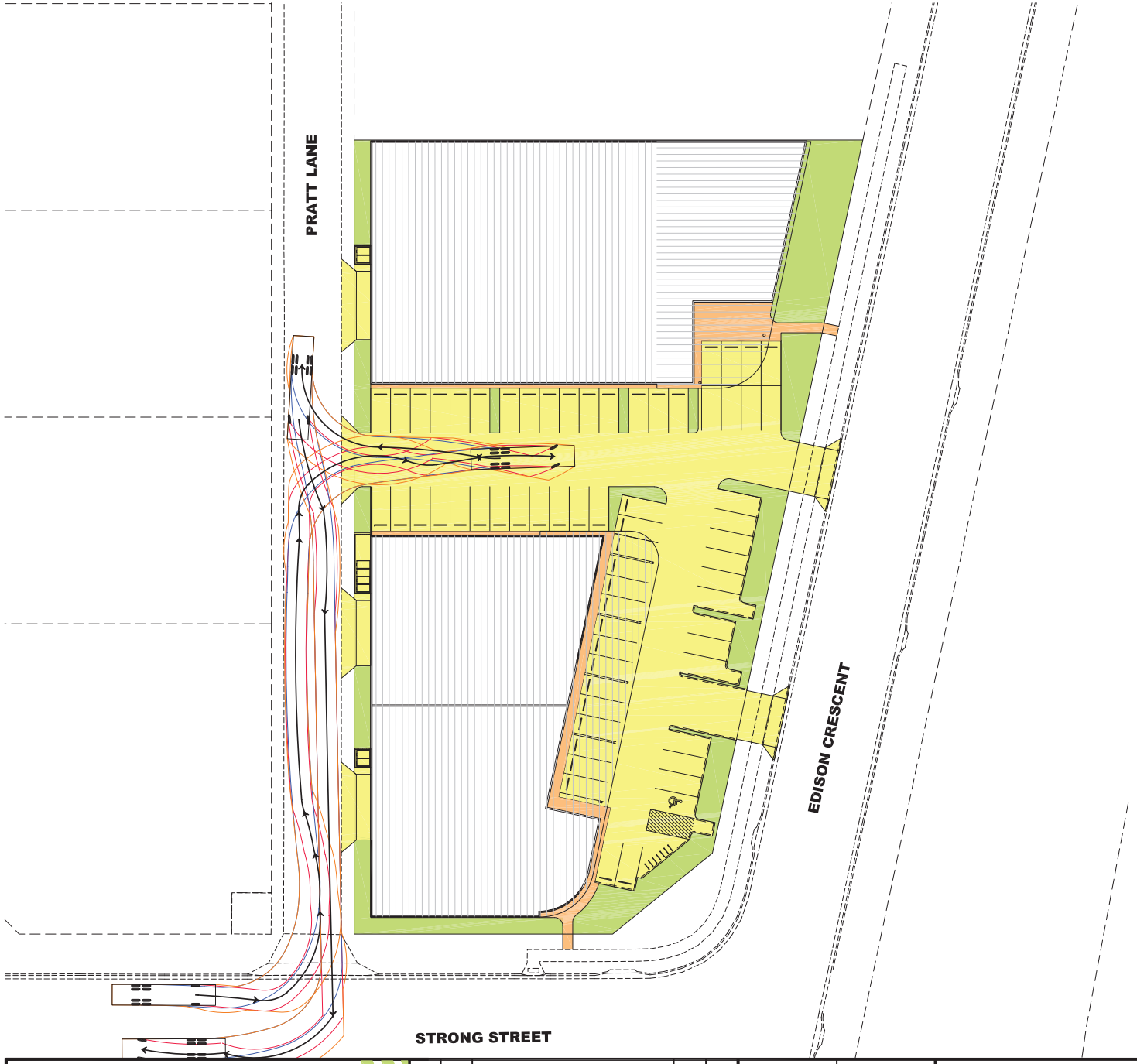
PROJECT:
**PROPOSED WAREHOUSE DEVELOPMENT at LOT 1116-1118 EDISON CRESCENT, BARINGA for SHADCON PTY LTD**

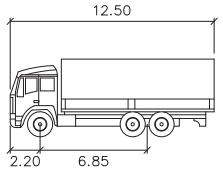
© This plan is Copyright. Other than for the purposes of and subject to the conditions prescribed under the Copyright Act, no part of it may in any form or by any means (electronic, mechanical, micro copying, photo-copying, recording or otherwise) be reproduced, stored in a retrieval system or transmitted without the prior written permission of Walsh Consulting Engineers. All intellectual property remains within Walsh Consulting Engineers. All enquiries should be directed to Walsh Consulting Engineers.

DRAWING TITLE:
**SERVICES & GENERAL NOTES**

DRAWING No: **C6527/24/S02**
REVISION:
COUNCIL REFERENCE:
SHEET: 2 of 2

WALSH CONSULTING ENGINEERS




HRV/WCV

| | meters |
|---|---|
| Width | : 2.50 |
| Track | : 2.50 |
| Lock to Lock Time | : 6.0 |
| Steering Angle | : 36.7 |

**HEAVY RIGID / WASTE COLLECTION VEHICLE DIMENSIONS**

0 5 10 15 20 25m

SCALE 1:250 A1, 1:500 A3

WALSH CONSULTING ENGINEERS
P 07 5443 4443
E engineers@walsheng.net.au
W walsheng.net.au
A 15/72 Wises Road, Maroochydore Q 4558
PO Box 5512, Maroochydore BC Q 4558
A.B.N. 39 611 482 716

| REV | DATE | DESCRIPTION | BY | CHKD |
|---|---|---|---|---|
| A | 20/11/24 | REVISED TO SUIT ARCHITECTURAL PLANS | BWM | QKP |

FILENAME : C6527-24-TP01.dwg - DATE : 12/3/25 - 11:50am

A1 Sheet Size

CHECKED

DIRECTOR APPROVAL
RPEQ - 4665

**FOR APPROVAL**
NOT FOR CONSTRUCTION

Design: BWM | Drawn: BWM | Date: DEC 2024

PROJECT:
**PROPOSED WAREHOUSE DEVELOPMENT at LOT 1116-1118 EDISON CRESCENT, BARINGA for SHADCON PTY LTD**

© This plan is Copyright. Other than for the purposes of and subject to the conditions prescribed under the Copyright Act, no part of it may in any form or by any means (electronic, mechanical, micro copying, photo-copying, recording or otherwise) be reproduced, stored in a retrieval system or transmitted without the prior written permission of Walsh Consulting Engineers. All intellectual property remains within Walsh Consulting Engineers. All enquiries should be directed to Walsh Consulting Engineers.

DRAWING TITLE:
**VEHICLE SWEPT PATH**

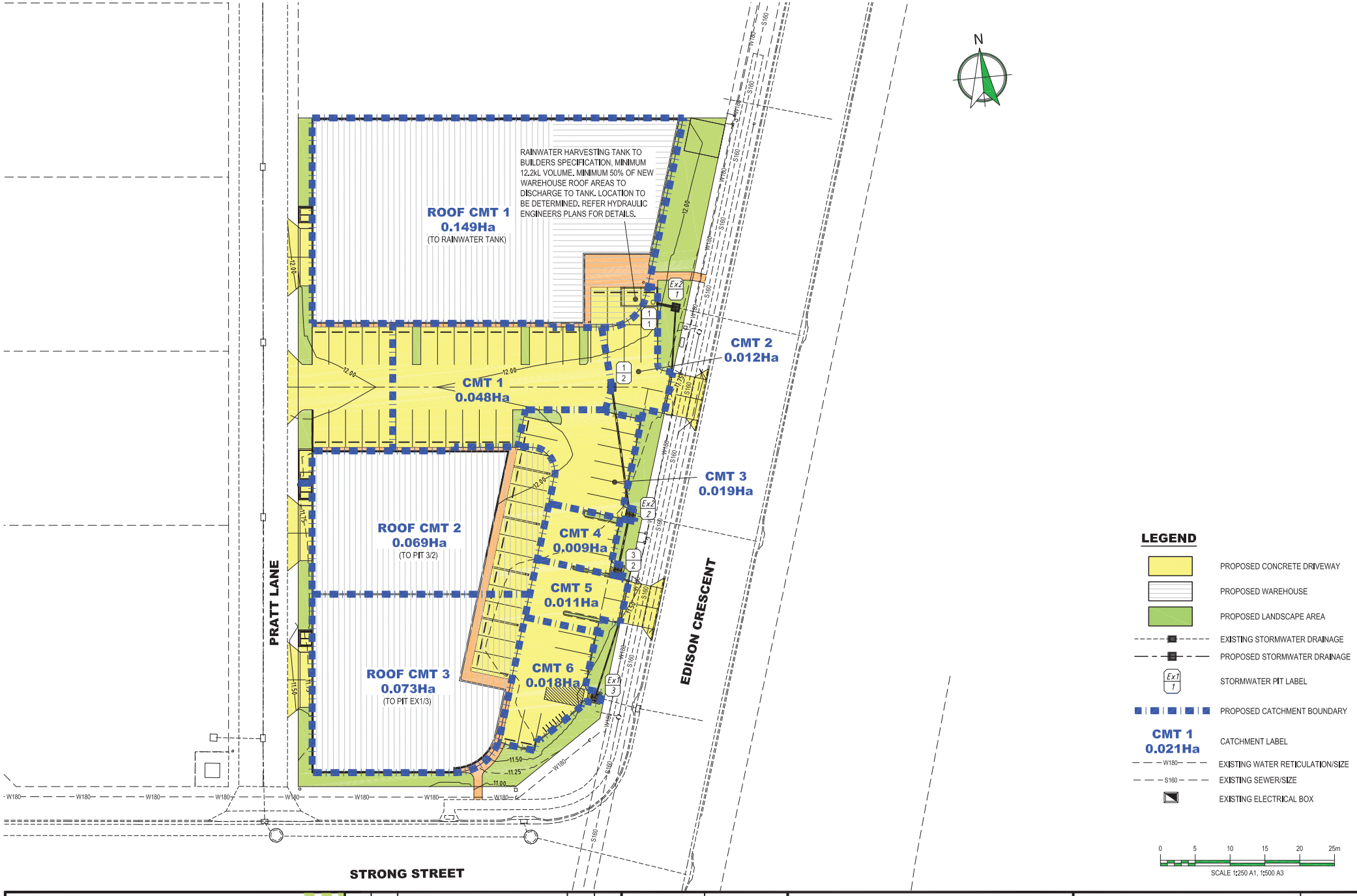
WALSH CONSULTING ENGINEERS

DRAWING No: **C6527/24/TP01**

REVISION: **A**

COUNCIL REFERENCE:

SHEET: 1 of 1





WALSH CONSULTING ENGINEERS
P 07 5443 4443
E engineers@walsheng.net.au
W walsheng.net.au
A 15/72 Wises Road, Maroochydore Q 4558
PO Box 5512, Maroochydore BC Q 4558
A.B.N. 39 611 482 716


| REV | DATE | DESCRIPTION | BY | CHKD |
|---|---|---|---|---|
| A | 11/03/25 | REVISED IN ACCORDANCE WITH EDQ INFORMATION REQUEST DATED 30/01/25 | BWM | QKP |

FILENAME : C6527-24-CA01.dwg - DATE : 12/3/25 - 11:46am

A1 Sheet Size

CHECKED

DIRECTOR APPROVAL
RPEQ - 4665

**FOR APPROVAL**
NOT FOR CONSTRUCTION

Design: BWM | Drawn: BWM | Date: DEC 2024

PROJECT:
**PROPOSED WAREHOUSE DEVELOPMENT at LOT 1116-1118 EDISON CRESCENT, BARINGA for SHADCON PTY LTD**


© This plan is Copyright. Other than for the purposes of and subject to the conditions prescribed under the Copyright Act, no part of it may in any form or by any means (electronic, mechanical, micro copying, photo-copying, recording or otherwise) be reproduced, stored in a retrieval system or transmitted without the prior written permission of Walsh Consulting Engineers. All intellectual property remains within Walsh Consulting Engineers. All enquiries should be directed to Walsh Consulting Engineers.


DRAWING TITLE:
**STORMWATER DRAINAGE CATCHMENT PLAN**

WALSH CONSULTING ENGINEERS

DRAWING No: **C6527/24/CA01**

REVISION: **A**

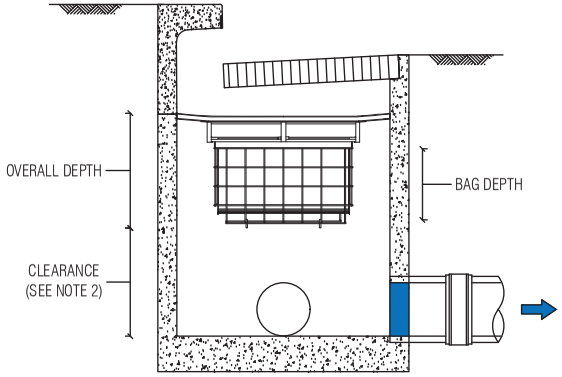
COUNCIL REFERENCE:

SHEET: 1 of 1

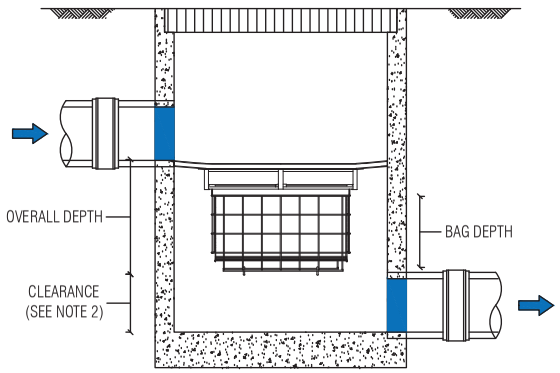
Appendix

E

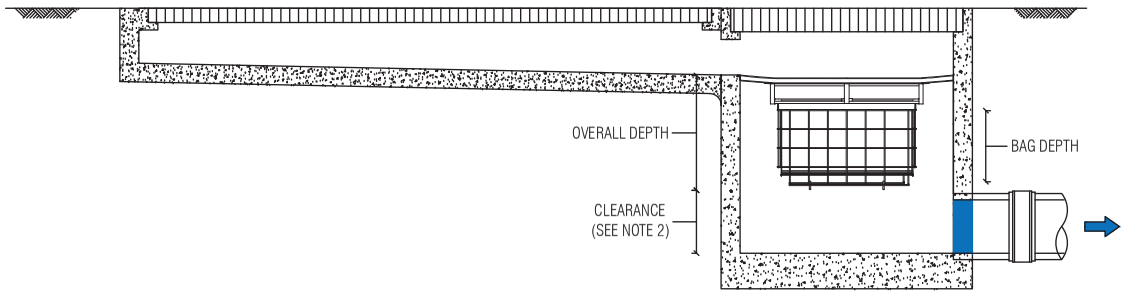
# ‘OceanGuard’ Standard Drawing




SURFACE FLOW CONFIGURATION




PIPE FLOW CONFIGURATION

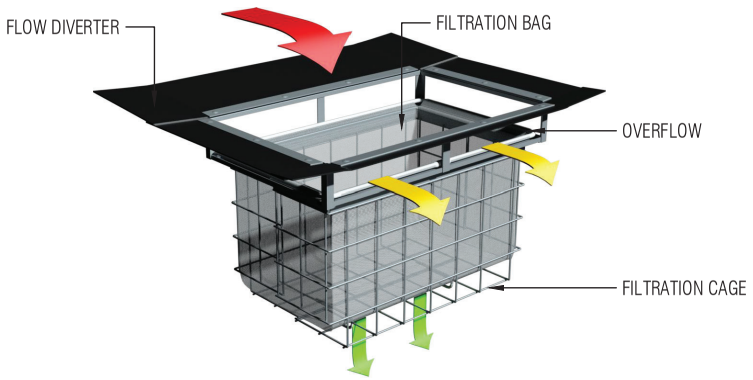



GRATED STRIP DRAIN CONFIGURATION

| PLAN ID | MAXIMUM PIT PLAN DIMENSIONS |
|---|---|
| S | 450mm x 450mm |
| M | 600mm x 600mm |
| L | 900mm x 900mm |
| XL | 1200mm x 1200mm |

| DEPTH ID | BAG DEPTH | OVERALL DEPTH |
|---|---|---|
| 1 | 170 | 270 |
| 2 | 300 | 450 |
| 3 | 600 | 700 |

| | | DEPTH ID | | |
|---|---|---|---|---|
| | | 1 | 2 | 3 |
| PLAN ID | S | ■ | | |
| | M | ■ | ■ | |
| | L | ■ | ■ | ■ |
| | XL | ■ | ■ | ■ |




GENERAL NOTES

1. THE MINIMUM CLEARANCE DEPENDS ON THE CONFIGURATION (SEE NOTE 2) AND THE LOCAL COUNCIL REQUIREMENTS.
2. CLEARANCE FOR ANY PIT WITHOUT AN INLET PIPE (ONLY USED FOR SURFACE FLOW) CAN BE AS LOW AS 50mm. FOR OTHER PITS, THE RECOMMENDED CLEARANCE SHOULD BE GREATER OR EQUAL TO THE PIPE OBVERT SO AS NOT TO INHIBIT HYDRAULIC CAPACITY.
3. OCEAN PROTECT PROVIDES TWO FILTRATION BAG TYPES:- 200 MICRON BAGS FOR HIGHER WATER QUALITY FILTERING AND A COARSE BAG FOR TARGETING GROSS POLLUTANTS.
4. DRAWINGS NOT TO SCALE.

OCEAN PROTECT
PHONE: 1300 354 722
www.oceanprotect.com.au

OCEAN PROTECT
OCEANGUARD
TYPCIAL ARRANGEMENTS
SPECIFICATION DRAWING

LAST MODIFIED: 18-03-19