

Issue Date: 2025/03/13

DA Drawings Rev0

Drawing Schedule

A000	Cover Page
A002	Artistic Impressions
A003	Artistic Impressions
A050	Site Plan
A101	Ground Floor Plan
A102	Mezzanine Floor Plan
A103	Roof Plan
A200	Site Elevations
A201	Site Elevations & Site Section

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2024/1574

Date: 16 April 2025



Project:
Proposed Warehouse

Location:
Lot 1116-1118 Edison Crescent St., Cor. Strong Street.
QLD

Client:
Shadcon

prepared by
ZEEN DESIGN

in colaboration with
SHADCON



powered by:



- LEGEND**
- PROPERTY LINE
 - POWER LINE
 - SEWER LINE
 - WATER LINE
 - TELSTRA LINE
 - DOWN PIPES

- DEVELOPMENT DATA**
1. Site Area
Total 483 m²
2. Site Coverage
Total Allowed 3418 m² / 70%
Total Provided 2750 m² / 56%
3. Max. Height Allowed 15 m
4. Proposed Height TBC m
5. Setbacks
Frontage 6.00 m
Sides 0.00 m
Rear 0.00 m
6. Carparking No.
1 Space/50m² Unit/ 500m² - 1 Space/100m² Thereafter
1 Space/20m² (Unit 3)
Total GFA (Unit 1&2) = 2307 m²
Total GFA (Unit 3) = 815 m²
Parking Required = 28 (Unit 1&2) + 41 (Unit 3) = 69 Total
- TOTAL PARKING PROVIDED= 65**
7. Landscape Required 488.3 m² / 10%
Landscape Area Provided 583 m² / 12%

8. Bicycle spaces.
1 Space/500m² or Minimum of 5
- Total GFA = 3122 m²
TOTAL REQUIRED = 6
TOTAL PROVIDED = 6

- Area Calculation**
Ground Floor 2525 m²
Mezzanine 597 m²
Total GFA 3122 m²

- GFA (Unit 1)**
Ground Floor 1375 m²
Mezzanine 199 m²
TOTAL 1574 m²

- GFA (Unit 2)**
Ground Floor 534 m²
Mezzanine 199 m²
TOTAL 733 m²

- GFA (Unit 3)**
Ground Floor 616 m²
Mezzanine 199 m²
TOTAL 815 m²



CONCEPT DRAWINGS ONLY
NOT FOR CONSTRUCTION

PREPARED BY:

ZEEN DESIGN

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BD Building Design
Queensland
MEMBER

NOTES:

1. LEVELS OF DRAINAGE TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION
2. SUBJECT TO CHECK AND CONFIRM ALL REQUIREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION
3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE AT ALL TIMES
4. STORM WATER THROUGH P.V.C. PIPE TO LOCAL COUNCIL REGULATION
5. SUBJECT TO INSURE ALL RELEVANT SERVICES HAVE BEEN COVERED OUT REGARDING LOCATION OF EXISTING, STORM WATER DRAIN PRIOR TO CONSTRUCTION

SHADCON
Uncompromising commitment

KEYPLAN:

N

PLANS AND DOCUMENTS
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No.	Description	Date
0	DA Drawings	2025/03/13

Client: Shadcon

Project: Proposed Warehouse

Lot 1116-1118 Edison Crescent St., Cor. Strong Street QLD

Project Status: DA Drawings

Drawing Title: Site Plan

Scale: As Indicated

Checked by: FBH	Drawn by: BA	Issued Date: 13/03/2025 10:44:55 am
Project number: 0001	Sheet No: A050	Rev No: 0



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NOTES:
1. LEVELS OF BUILDING TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.
2. DESIGNER TO CHECK AND CONFIRM ALL MEASUREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE AT ALL TIMES.
4. STORM WATER THROUGHOUT P.L.C. PIPE TO LOCAL COUNCIL REGULATIONS.
5. DESIGNER TO ENSURE ALL RELEVANT SERVICES HAVE BEEN LAYED OUT REGARDING LOCATION OF FOUNDATIONS, STORM WATER & DESIGN PRIOR TO CONSTRUCTION.



KEYPLAN:



PLANS AND DOCUMENTS
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Date: 16 April 2025



No.	Description	Date
0	DA Drawings	2025/03/13

Client:

Shadcon

Project:

Proposed Warehouse

Lot 1116-1118 Edison Crescent St., Cor. Strong Street, QLD

Project Status:

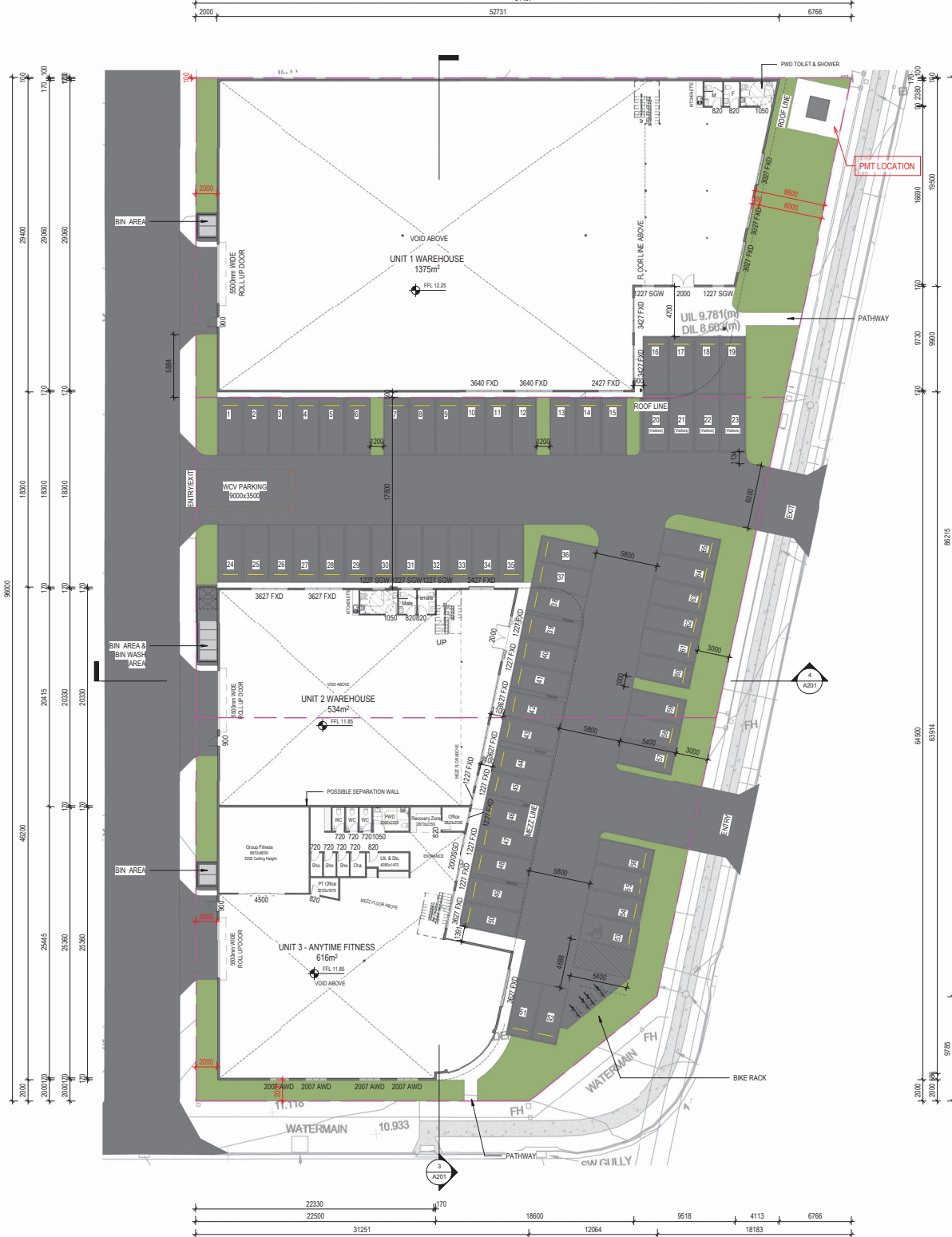
DA Drawings

Drawing Title:

Ground Floor Plan

Scale: 1:200

Checked by FBH	Drawn by BA	Issued Date 13/03/2025 10:45:23 am
Project number 0001	Sheet No. A101	Rev No. 0





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NOTES:
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2. BUILDING TO BE CONSTRUCTED TO COMPLY WITH ALL REQUIREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE AT ALL TIMES.
4. STORM WATER THROUGH P.V.C. PIPE TO LOCAL COUNCIL REGULATION.
5. BUILDING TO BE CONSTRUCTED TO COMPLY WITH ALL REQUIREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
6. LOCATION OF BUILDINGS, STORM WATER & BUILDING TO BE CONSTRUCTED.



KEYPLAN:



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Shadcon

Project:

Proposed Warehouse

Lot 1116-1118 Edison Crescent St., Cor. Strong Street. QLD

Project Status:

DA Drawings

Drawing Title:

Mezzanine Floor Plan

Scale: 1:200

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4. STORM WATER THROUGH P.V.C PIPE TO LOCAL COUNCIL REGULATIONS.
5. DRAINAGE TO BE DETERMINED BY RELEVANT AGENCIES HAVE BEEN OBTAINED OUTSTANDING LOCATION OF FLOODING, STORM WATER & DRAINAGE PRIOR TO CONSTRUCTION.



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Shadcon

Project

Proposed Warehouse

Lot 1116-1118 Edison Crescent St., Cor. Strong Street, QLD

Project Status

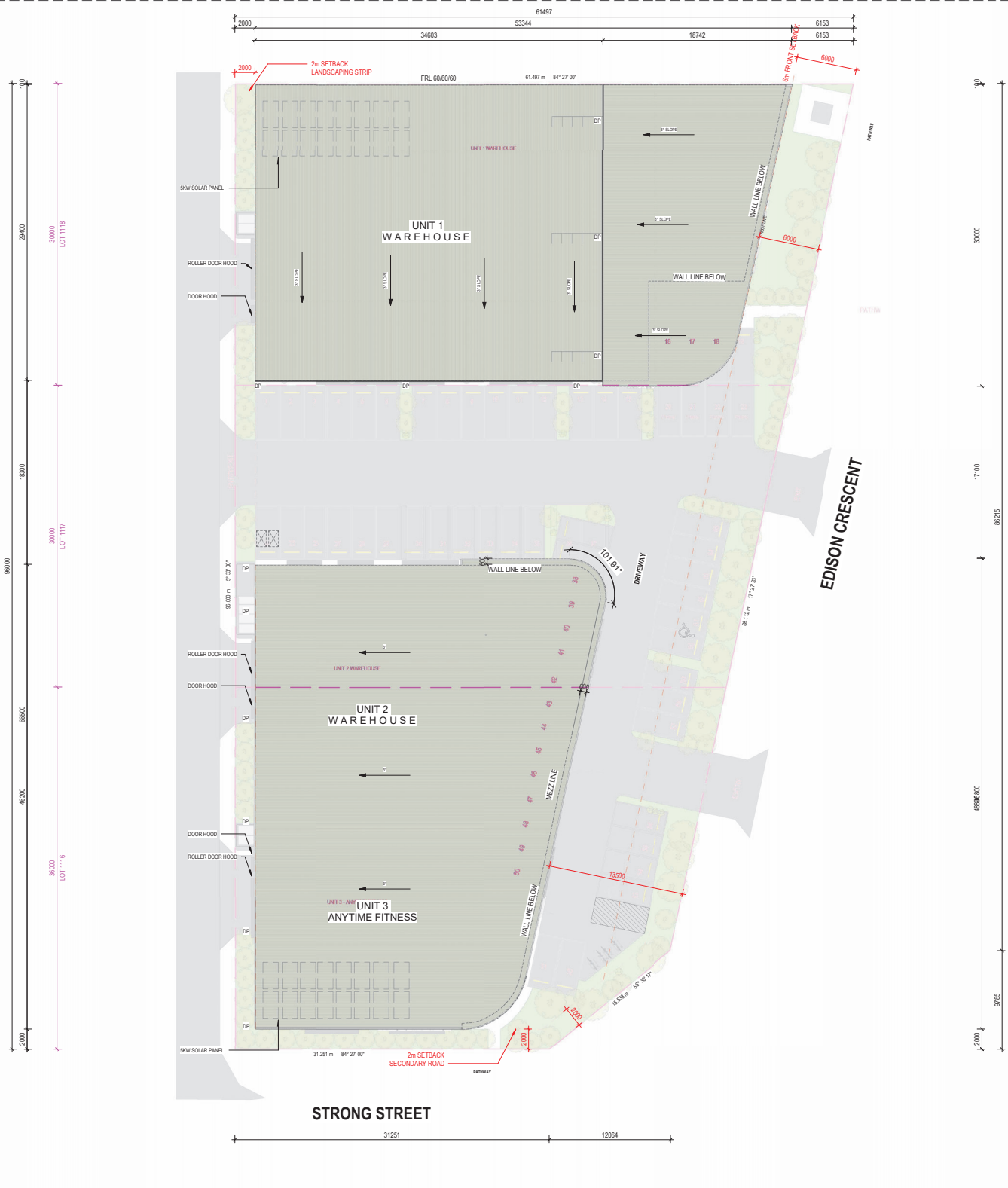
DA Drawings

Drawing Title

Roof Plan

Scale: 1:200

Checked by FBH	Drawn by BA	Issued Date 13/03/2025 10:45:42 am
Project number 0001	Sheet No. A103	Rev No. 0





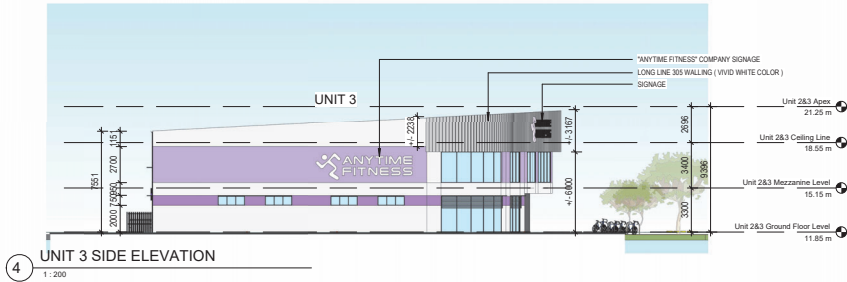
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4. STORM WATER THROUGH P.V.C. PIPE TO LOCAL COUNCIL REGULATIONS.
5. SUBJECT TO INSURE ALL RELIEF VALVES HAVE BEEN CORRECTLY LOCATED.
LOCATION OF FLOODGATES, STORM WATERS & DRAIN PRIOR TO CONSTRUCTION.



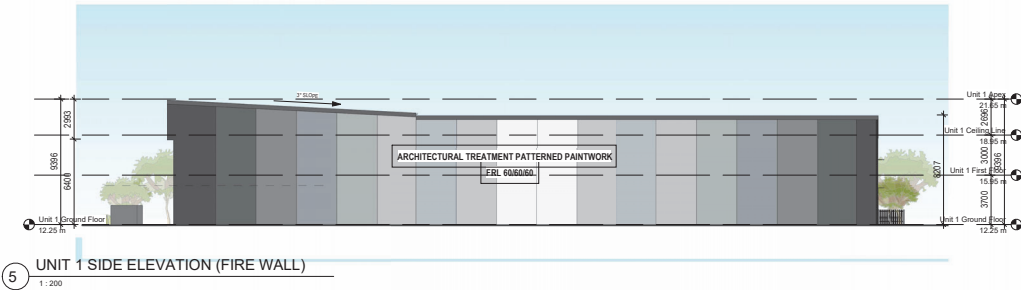
KEYPLAN:



UNIT 3 SIDE ELEVATION
1:200



2 SITE ELEVATIONS (REAR)
1:200



5 UNIT 1 SIDE ELEVATION (FIRE WALL)
1:200

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Proposed Warehouse

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Project Status

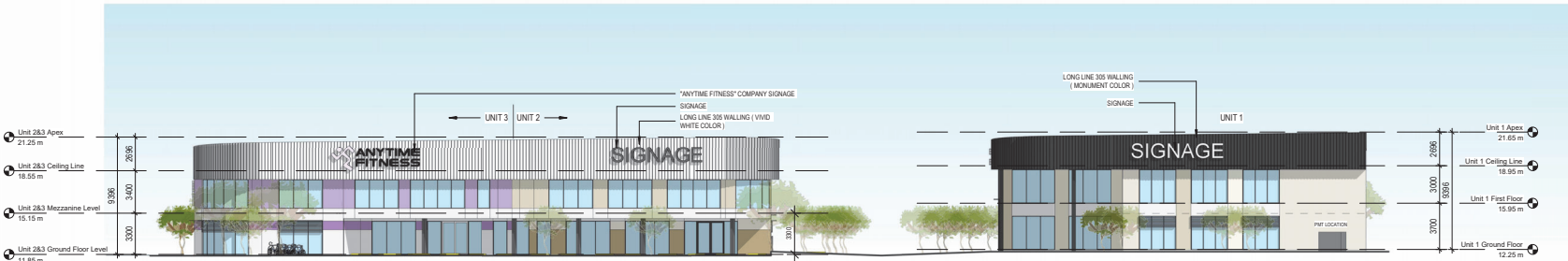
DA Drawings

Drawing Title

Site Elevations

Scale: 1:200

Checked by	Author	Issued Date
Checker	Author	13/03/2025 10:45:37 am
Project number	Sheet No.	Rev No.
0001	A200	0



1 SITE ELEVATIONS (FRONT)
1:200



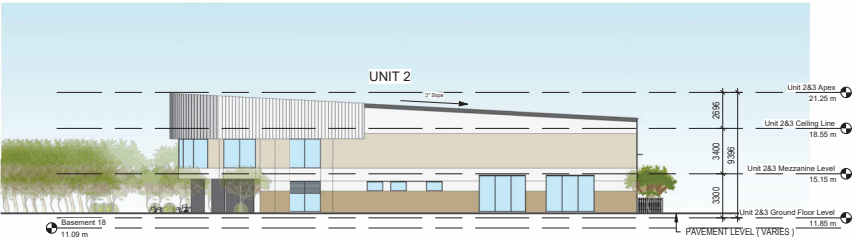
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KEYPLAN:



1 Unit 2 Side Elevation
1 : 200



5 UNIT 1 SIDE ELEVATION
1 : 200

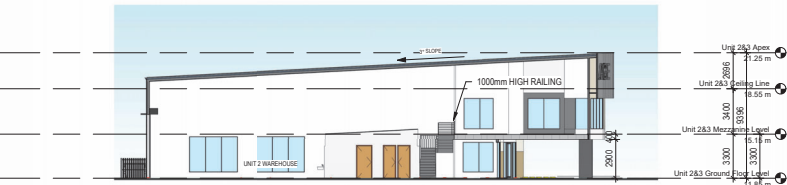
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3 SITE SECTION
1 : 200



4 Unit 2 Cross Section
1 : 200

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0	DA Drawings	2025/03/13
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Project Status

DA Drawings

Drawing Title

Site Elevations & Site Section

Scale: 1 : 200

Checked by	Drawn by	Issued Date
Checker	Author	13/03/2025 10:46:10 am
Project number	Sheet No.	Rev No.
0001	A201	0