

AMENDED IN RED

By: Matthew Buchanan

Date: 27 February 2025



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2024/1583

Date: 25 March 2025



Advertising Device
does not form part of
this approval.

Swale to be incorporated as
recommended in supporting EDQ
Further issues letter prepared by
Hurley Consulting Engineers dated
17 February 2025 (Document Ref.:
C24005AL004) and supporting
Concept Civil Servicing Layout
Plans (Sheets 1-3) also prepared
by Hurley Consulting Engineers
and dated 8/10/2024

Maintenance Shed to
be relocated as
shown on the
approved Indicative
Site Plan



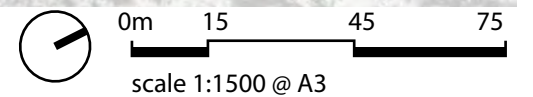
PLAN KEY

1. College Drive
2. Existing road
3. Existing streetscape
4. Existing Rail Corridor
5. Future Regional Park
6. Existing Park
7. Main vehicular and pedestrian Entry
8. Emergency vehicular and pedestrian Entry

9. Secondary pedestrian Entry
10. Entry Boulevard
11. Gate house
12. Signage Wall
13. Car park
14. Club house
15. Community Facilities
16. Maintenance shed
17. Pocket park

18. Dog park
 19. Green link
 20. Planted buffer
 21. Planted Drainage swale
 22. Decorative road thresholds
 23. Maintenance path
 - ~~24. Billboard~~
- Property Boundary

Note: all internal parking shown on the approved
Indicative Site Plan to be provided. Detailed
landscape plans are to include all required bays.



1.1 Master Plan

DWG No. LCP3

Date 21.10.2024

Flagstone Land Lease Community | DA

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PRECINCTS



STAGING

PLANS AND DOCUMENTS
referred to in the PDA
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AMENITY

1.2 Landscape Diagrams

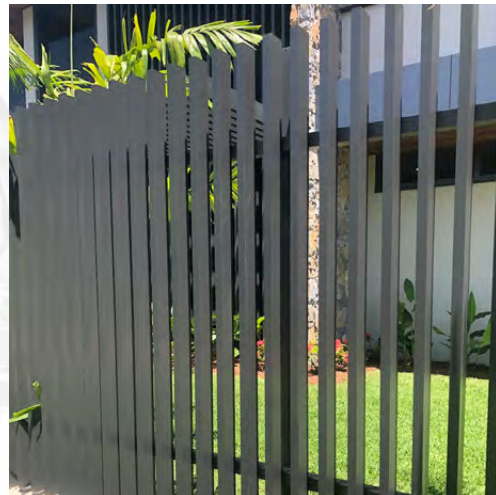
DWG No. LCP4

Date 21.10.2024

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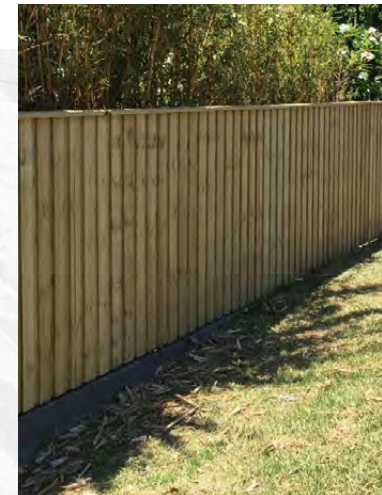
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Fence Type F:
1800mm Non-Permeable Fence

Fence Type A:
1800mm Permeable Fence

Fence Type B:
1800mm Permeable Fence

Fence Type C:
1200-1500mm Permeable

Fence Type E:
1.8m Timber Lapped & Capped

Note: All retaining walls and fencing to be
confined within the property boundary.



PLAN KEY

--- Fence Type A:
1800mm Permeable Fence

----- Fence Type B:
1800mm Permeable Fence

--- Fence Type C:
1200-1500mm Permeable Fence

----- Proposed Retaining Wall

..... Fence Type D:
Refer to Flagstone MHE, Land Lease Community-
Transport Noise Intrusion Assessment
prepared by SLR Consulting Australia

..... Fence Type E:
1.8m Timber Lapped & Capped

----- Fence Type F:
1.8m Non-Permeable Fence



Pedestrian/Vehicular
Gated Access

NOTE: Lot layout subject to change



0m 15 45 75
scale 1:1500 @ A3

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1.3 Fencing Strategy

DWG No. LCP5

Date 21.10.2024

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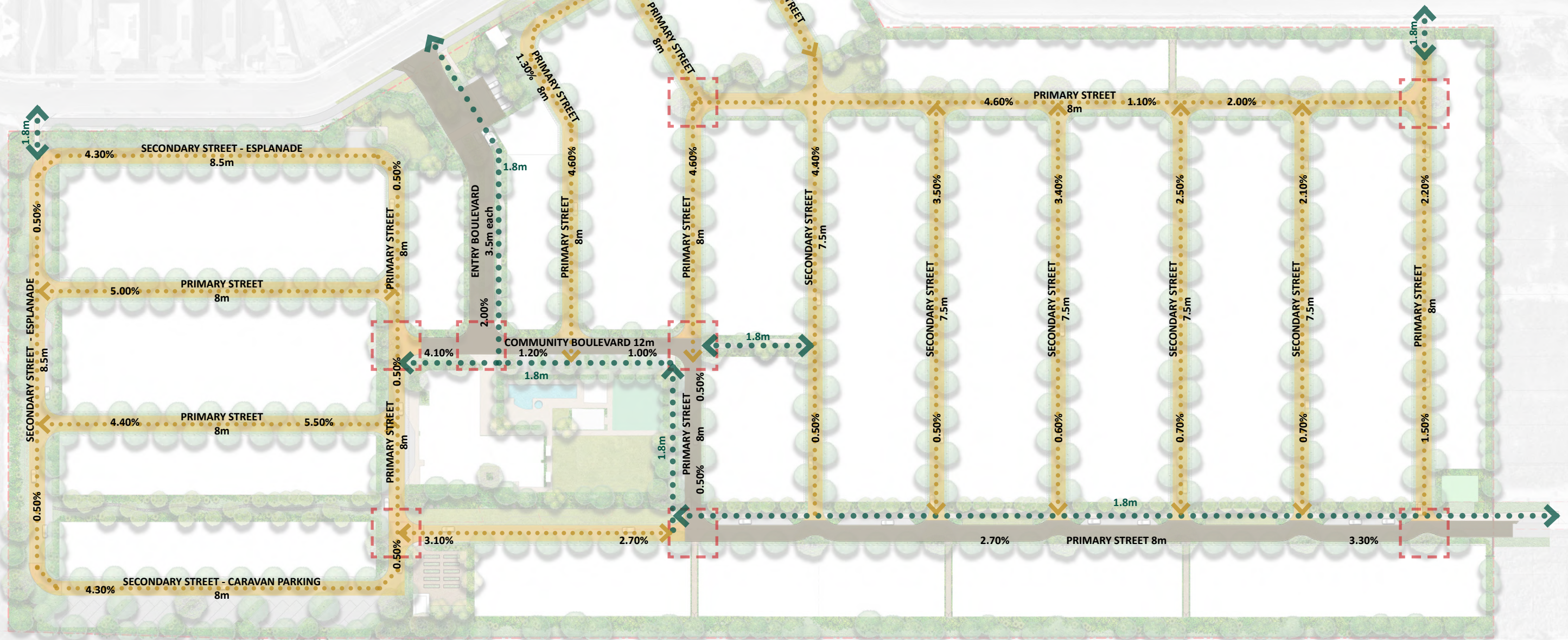
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PLAN KEY

- Main Pedestrian Circulation
1.8m wide footpath
- Secondary Pedestrian Circulation
Shared pedestrian and vehicular traffic
- Vehicular Roads
Shared access ways to pedestrians
10km/h speed limit



Traffic calming measures



0m 15 45 75
scale 1:1500 @ A3

1.4 Pedestrian Movements

DWG No. LCP6

Date 21.10.2024

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PLAN KEY

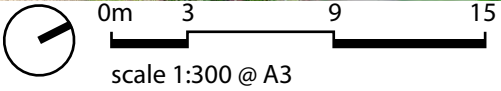
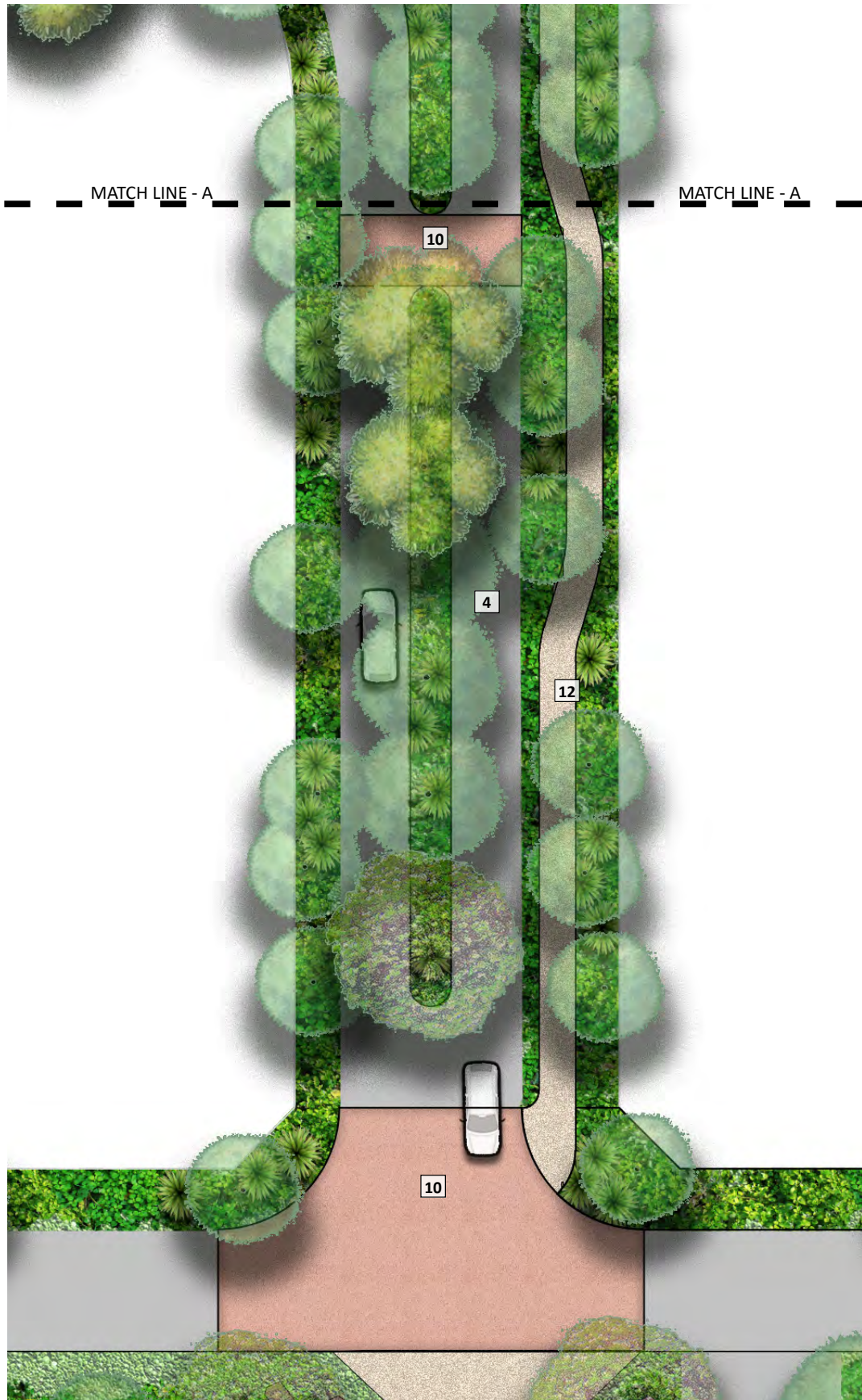
- 1. College Drive
- 2. Existing streetscape
- 3. Main vehicular and pedestrian Entry
- 4. Entry Boulevard
- 5. Gate house
- 6. Stone clad walls
- 7. Feature Powdercoated Aluminium Fence
- 8. Carpark

- 9. PMT
- 10. Decorative Concrete Thresholds
- 11. Dog park
- 12. Decorative Concrete Entry Path
- 13. Large Feature Boulders
- 14. Signage
- Property Boundary

PLANS AND DOCUMENTS
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1.5 Entry - Detail Plan

DWG No. LCP7 | Date 21.10.2024

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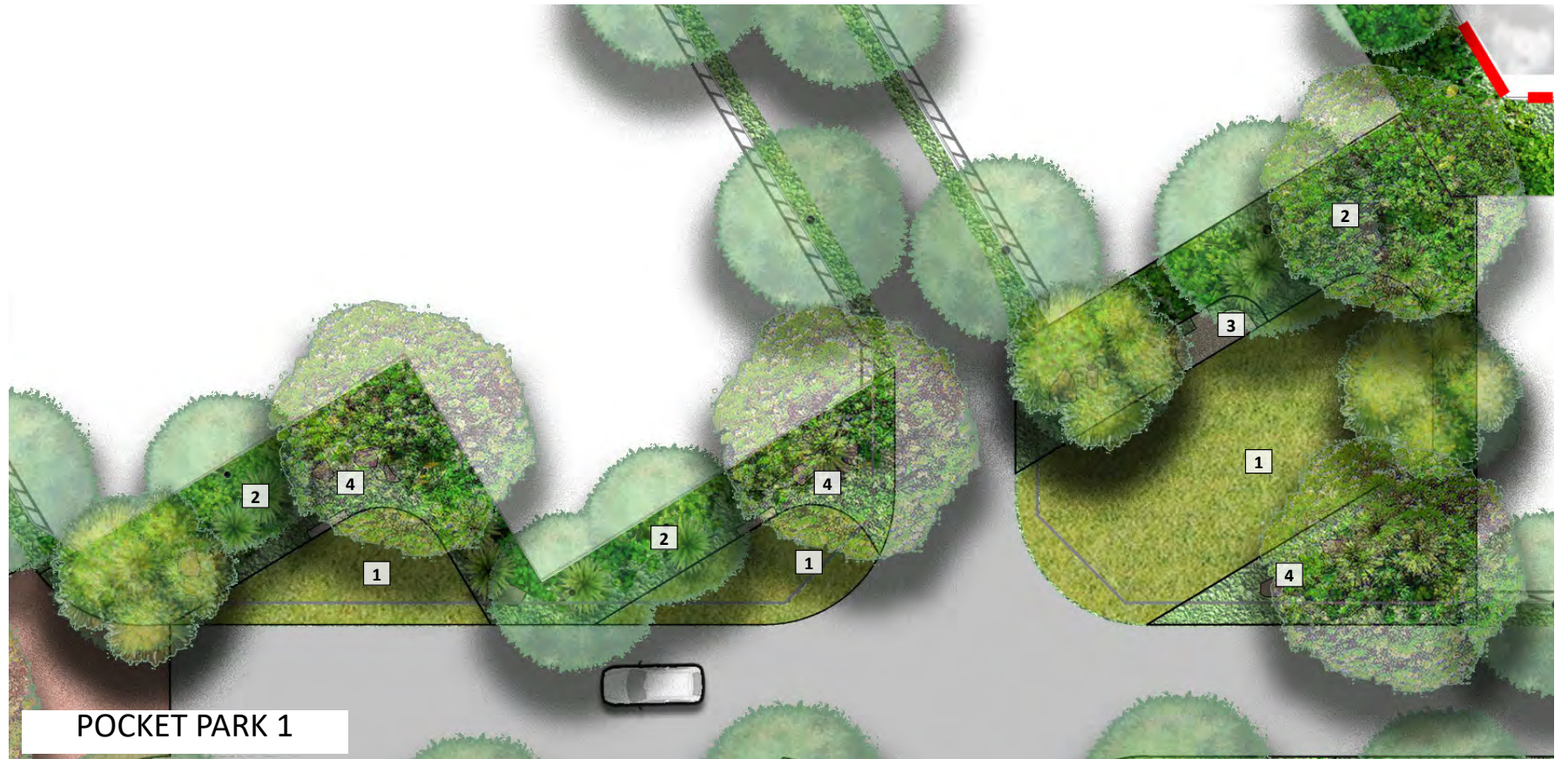


VEGETABLE GARDEN

PLAN KEY

1. Club House
2. Green link
3. Decorative Concrete Thresholds
4. Community facilities
5. Raised garden beds (herbs, veggies)
6. Fruit trees
7. Maintenance shed
8. Large Feature Boulders

— — — — — Property Boundary



POCKET PARK 1

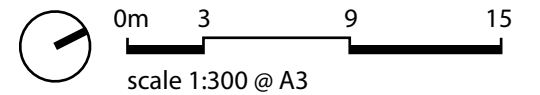
PLAN KEY

1. Lawn
2. Buffer Planting
3. Seats
4. Large Feature Boulders

PLANS AND DOCUMENTS
referred to in the PDA
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1.6 Vegetable Garden & Pocket Park Detail Plan

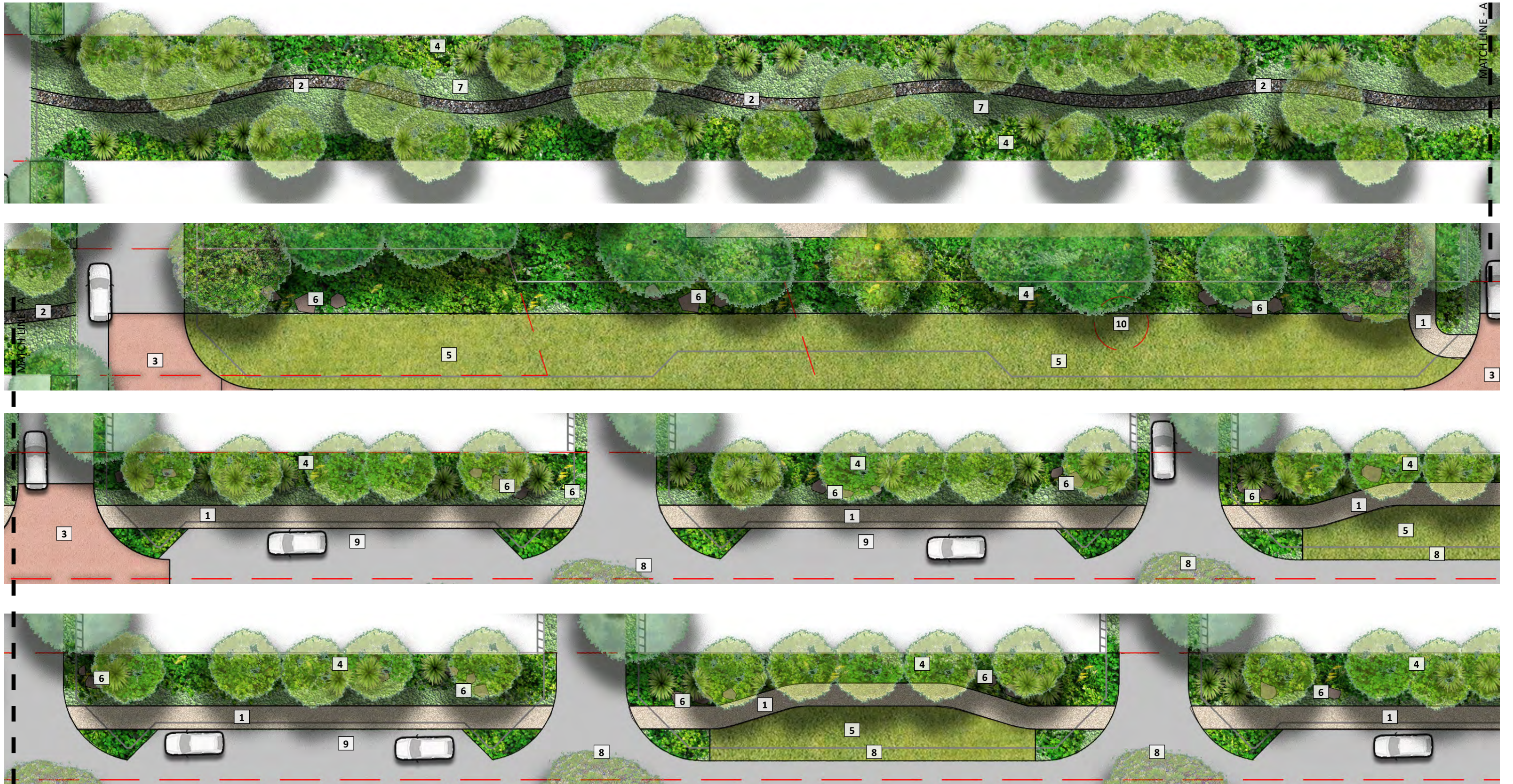
DWG No. LCP8

Date 21.10.2024

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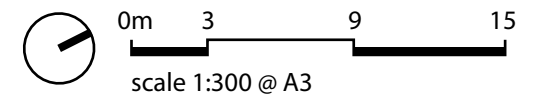


PLAN KEY

1. Footpath
 2. Rock Swale
 3. Decorative Concrete Thresholds
 4. Buffer Planting
 5. Lawn Areas
 6. Large Feature Boulders
 7. Planted Drainage Channel
 8. Street Trees
 9. Car Park
 10. Sewer Rising Main vent
- Sewer Easement

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1.7 Greenlink A - Detail Plan

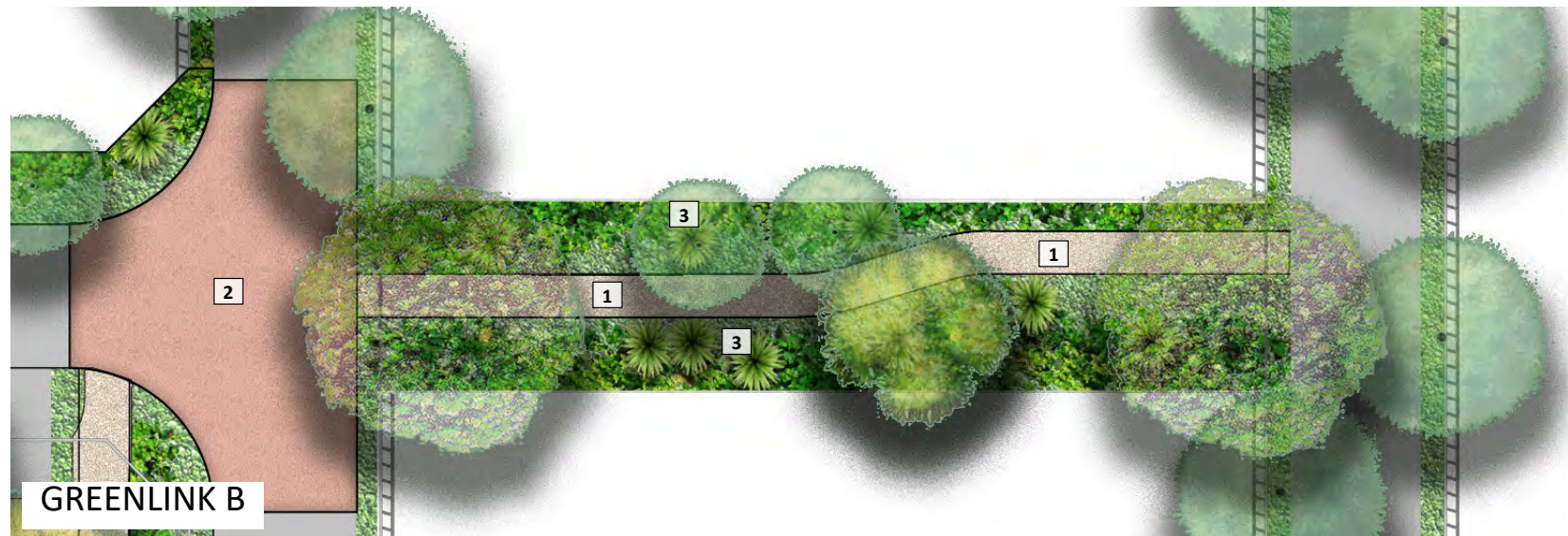
DWG No. LCP9

Date 21.10.2024

Flagstone Land Lease Community | DA

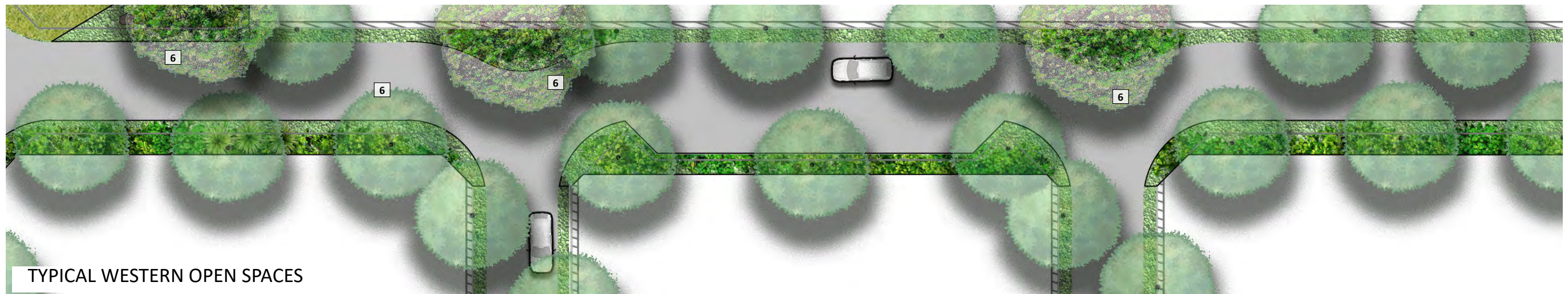
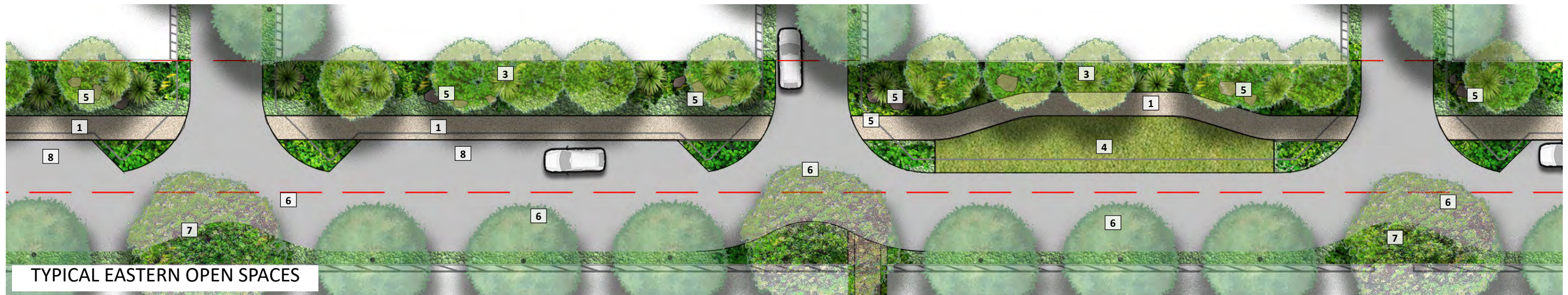
place
design
group.

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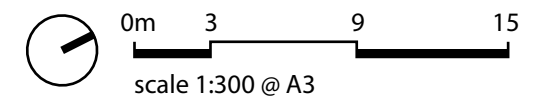


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- PLAN KEY
- | | |
|-----------------------------------|----------------------------|
| 1. Footpath | 6. Street Trees |
| 2. Decorative Concrete Thresholds | 7. Maintenance Access Path |
| 3. Buffer Planting | 8. Car Park |
| 4. Lawn Areas | — — — Sewer Easement |
| 5. Large Feature Boulders | |



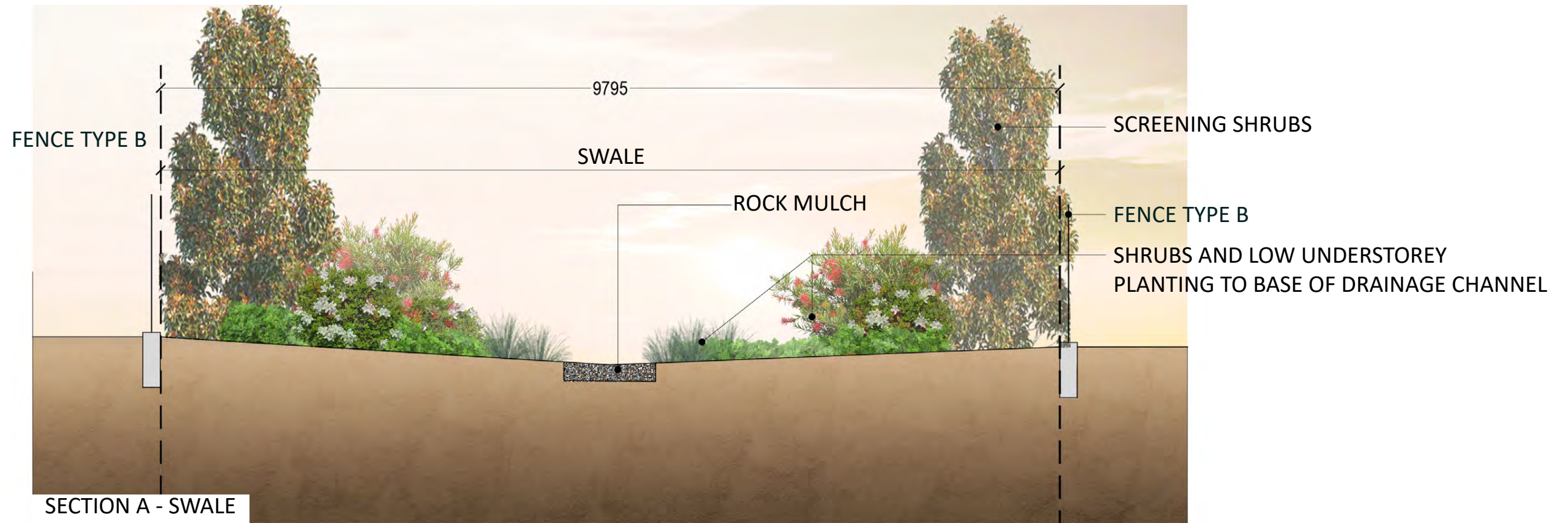
1.8 Greenlink B & Typical Open Spaces Detail Plan

DWG No. LCP10 | Date 21.10.2024
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0m 0.5 1 2 3
scale 1:50 @ A3

2.1 Landscape Section

DWG No. LCP11

Date 21.10.2024

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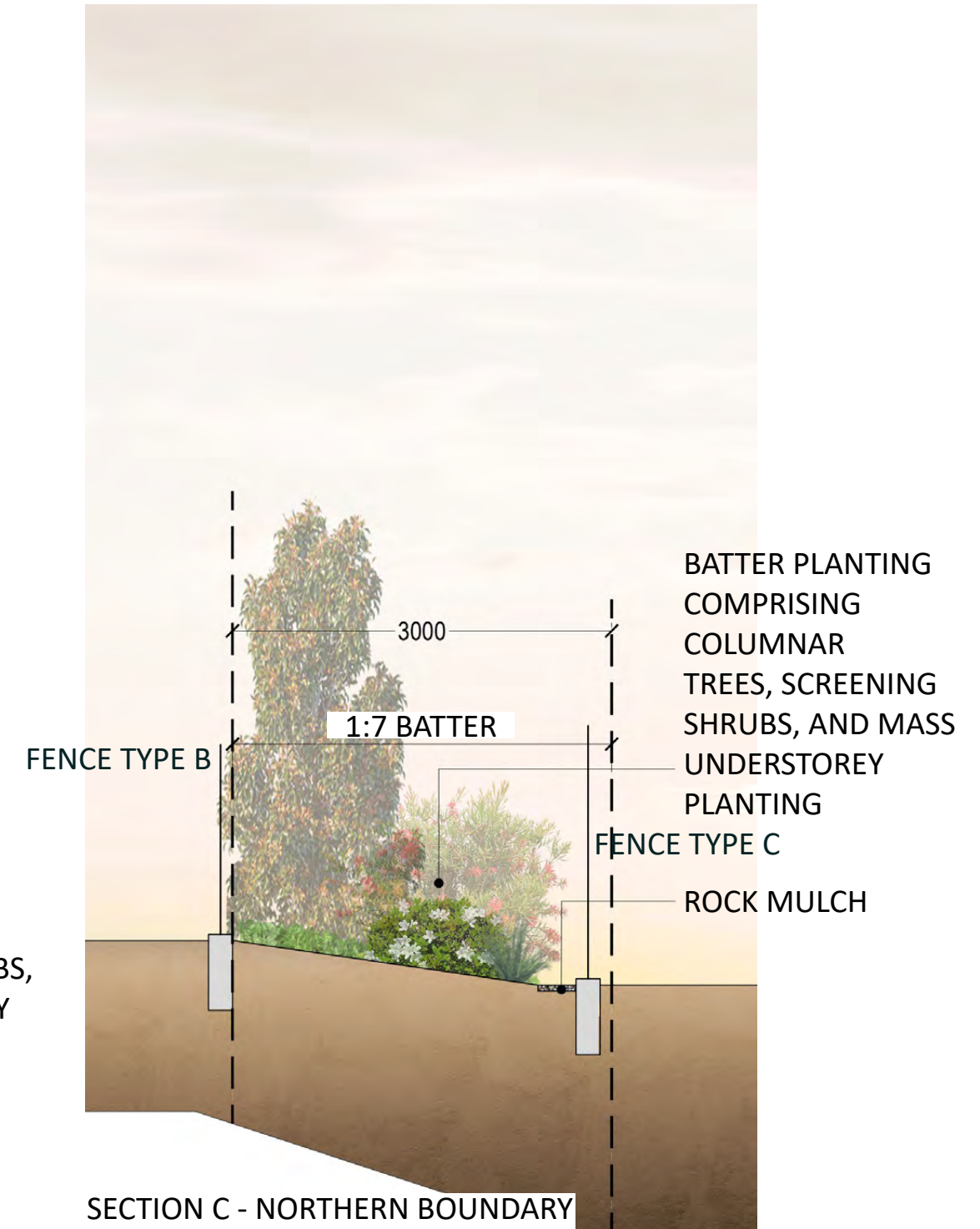
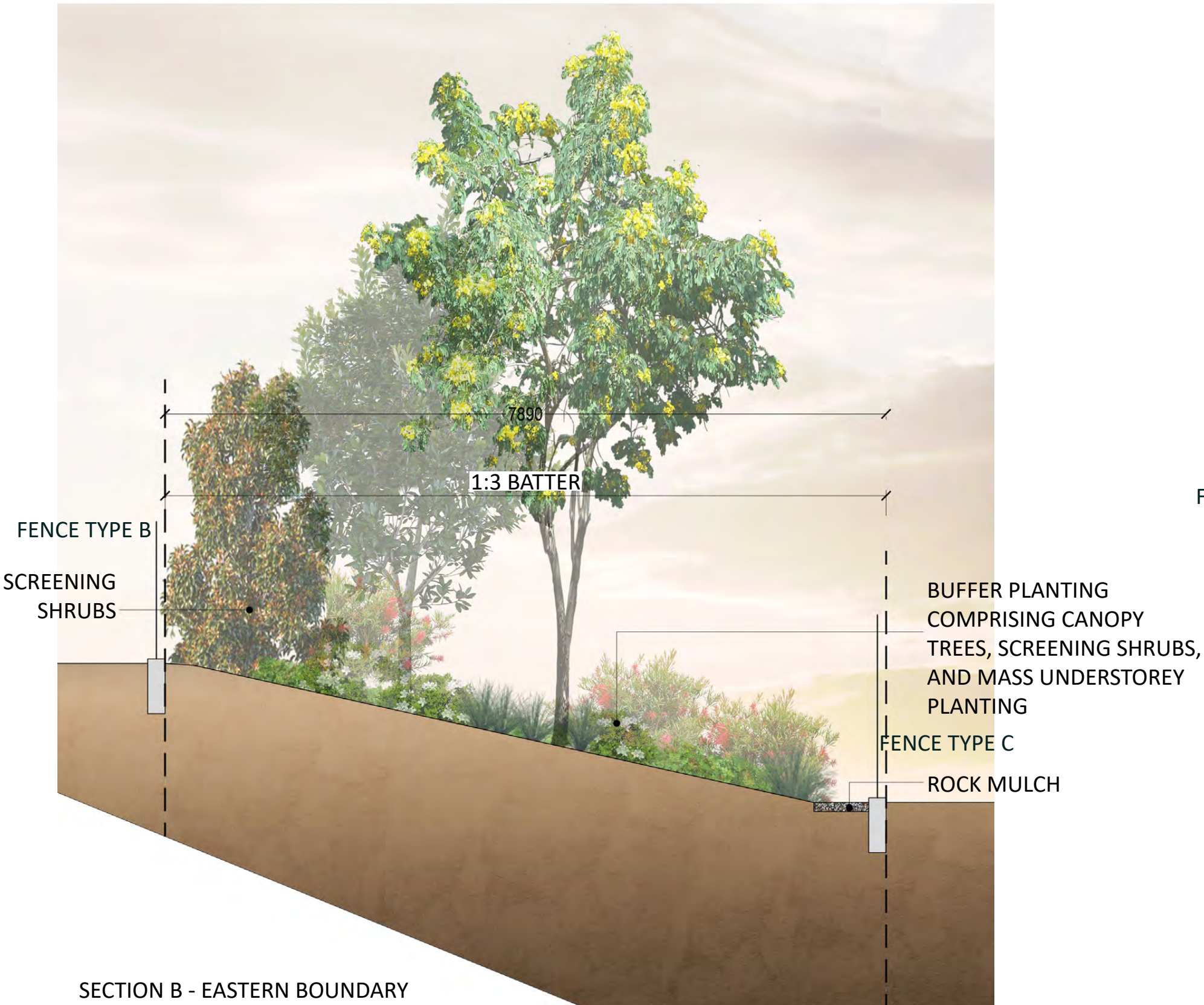
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0m 0.5 1 2 3
scale 1:50 @ A3



2.2 Landscape Section
DWG No. LCP12 | Date 21.10.2024
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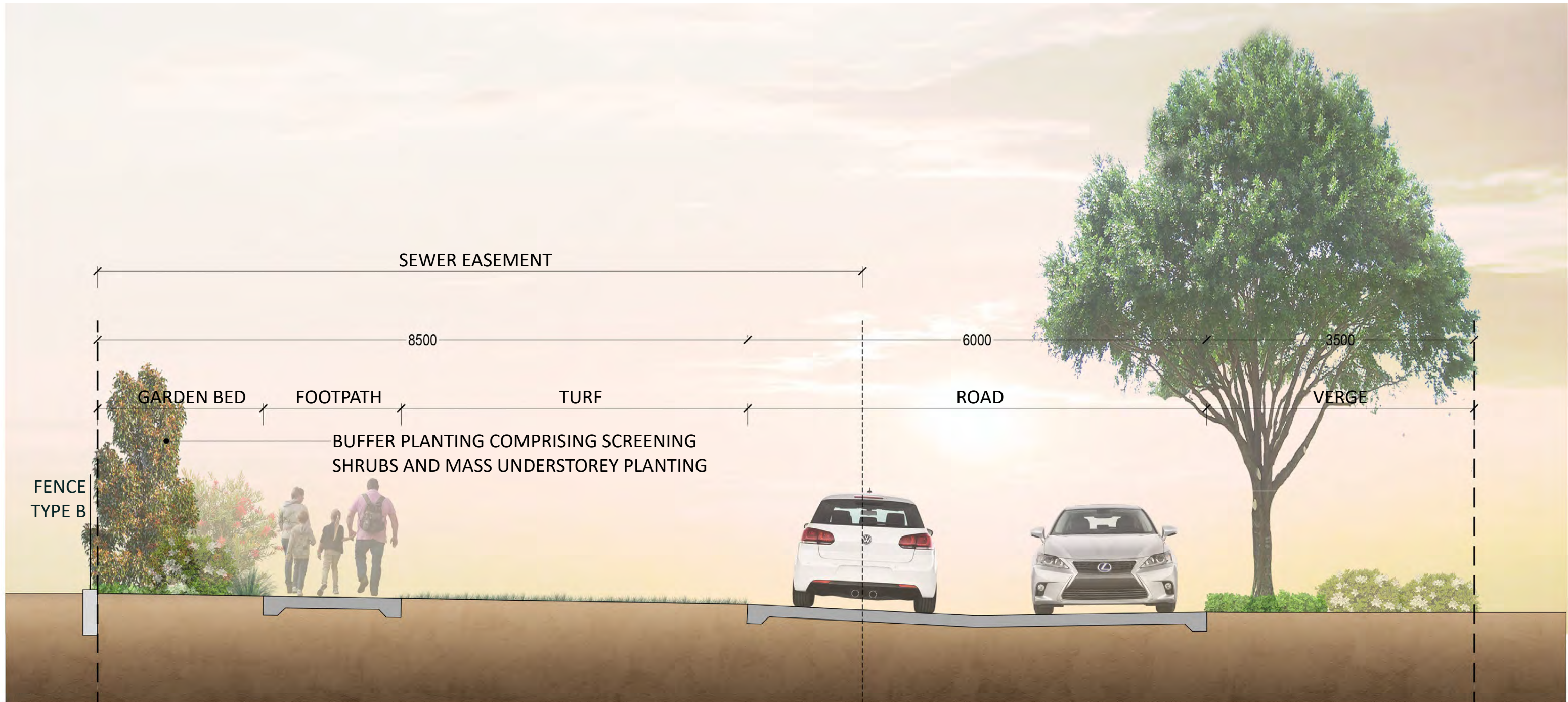
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SECTION D - STREETSCAPE

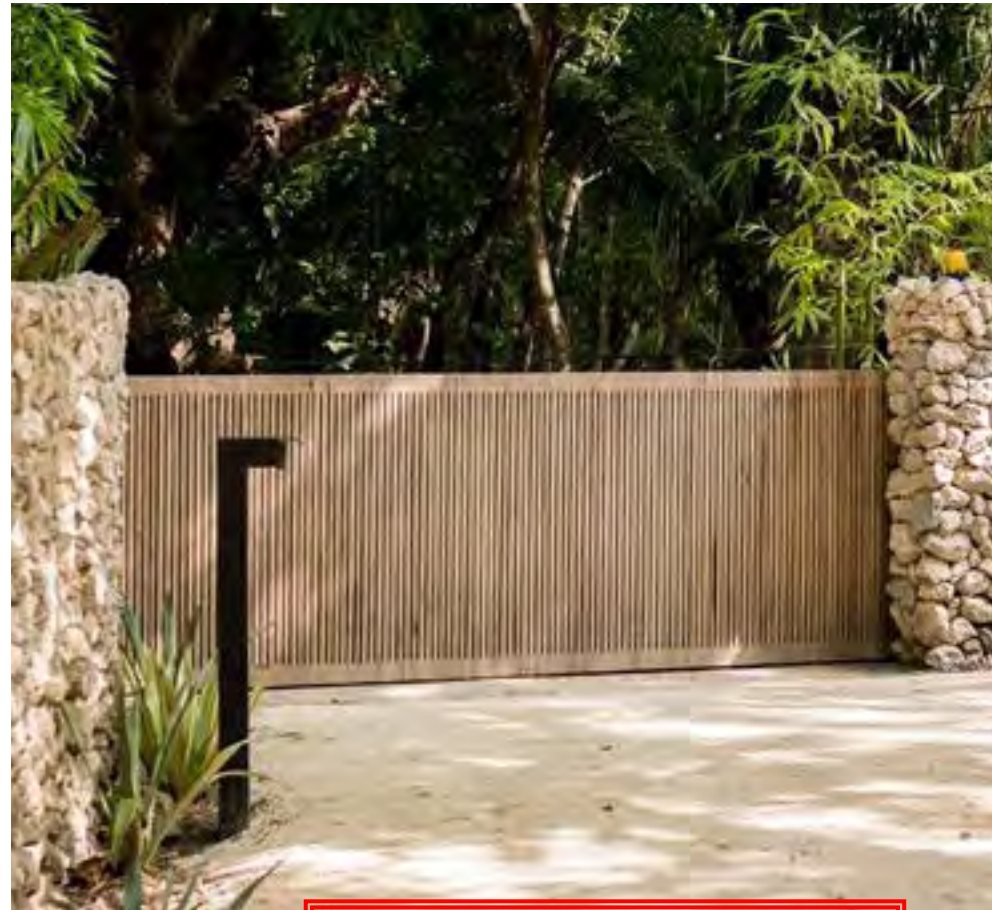
2.3 Landscape Section

DWG No. LCP13 | Date 21.10.2024

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4.0 Precedent Imagery

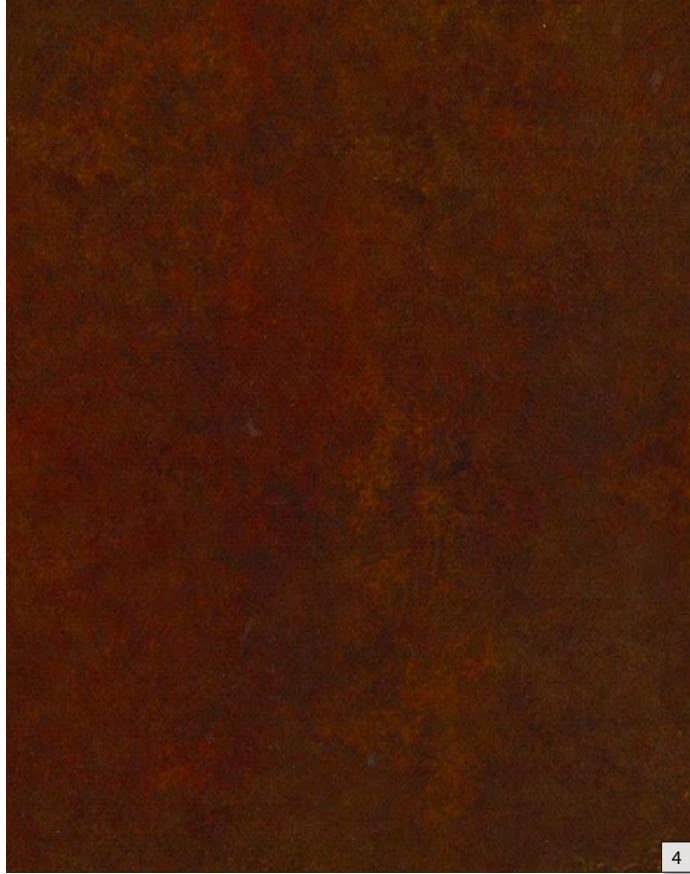
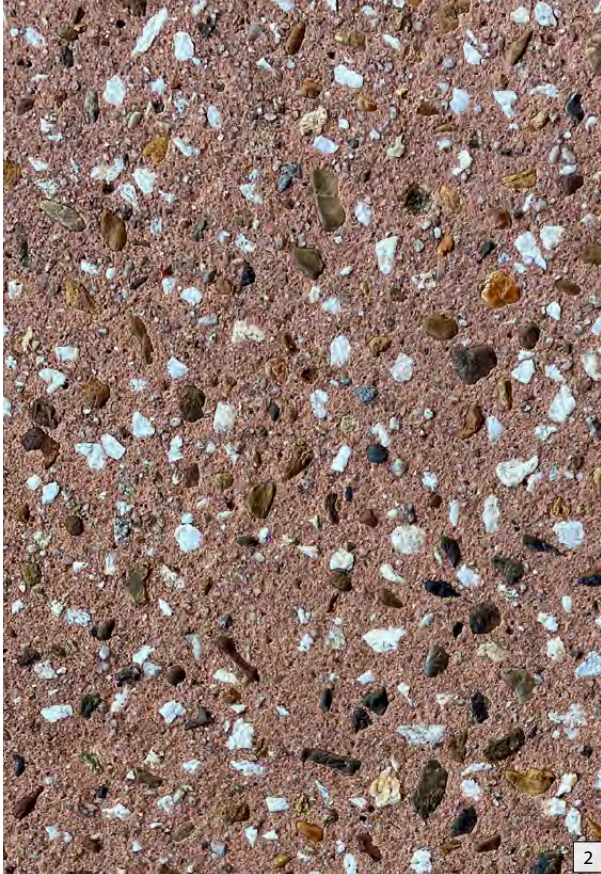
DWG No. LCP24

Date 21.10.2024

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- PLAN KEY
- 1. Curved stone clad walls at site entries and corners
 - 2. Decorative exposed aggregate concrete to road thresholds
 - 3. Decorative exposed aggregate concrete to paths
 - 4. Powdercoated aluminium - Corten steel look
 - 5. Large feature boulders amongst native planting
 - 6. Corten steel edging and planters to community facilities



TREES

ID	BOTANICAL NAME	COMMON NAME
1	ACMENA hemilampra	Lilly Pilly
2	FLINDERSIA schottiana	Silver Ash
3	LOPHOSTEMON confertus	Brush Box
4	MELALEUCA quinquinervia	Paper Bark Tree
5	TRISTANIOPSIS laurina	Water Gum
6	WATERHOUSEA floribunda	Weeping Lilly Pilly
7	XANTHOSTEMON chrysanthus	Golden Penda

SHRUBS

ID	BOTANICAL NAME	COMMON NAME
8	BANKSIA robur	Swamp Banksia
9	BANKSIA spinulosa	Hairpin Banksia
10	FICINIA nodosa	Knobby Club-Rush
11	GREVILLEA 'Honey Gem'	
12	LOMANDRA hystrix	Creek Mat-Rush
13	LOMANDRA longifolia 'Verday'	Spiny Head Mat-Rush
14	WESTRINGIA fruticosa	Coastal Rosemary

GROUNDCOVERS

ID	BOTANICAL NAME	COMMON NAME
15	CASUARINA glauca	Cousin It
16	MYOPORUM parvifolium	Creeping Boobialla

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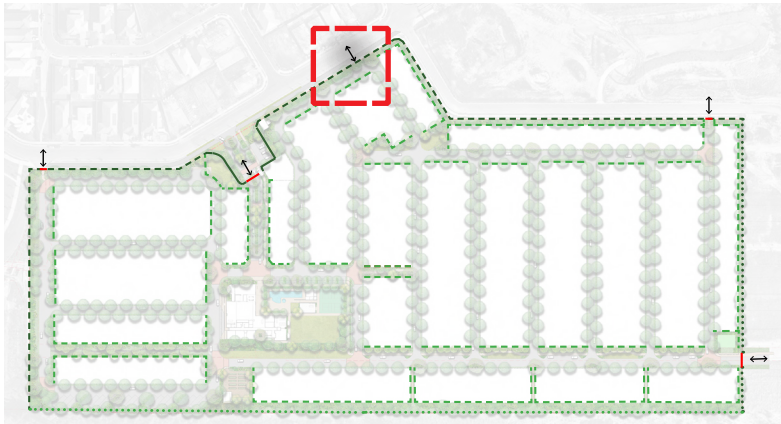
5.2 Plant Palette

DWG No. LCP26 | Date 21.10.2024

Flagstone Land Lease Community | DA



1.1 ENTRY



LEGEND

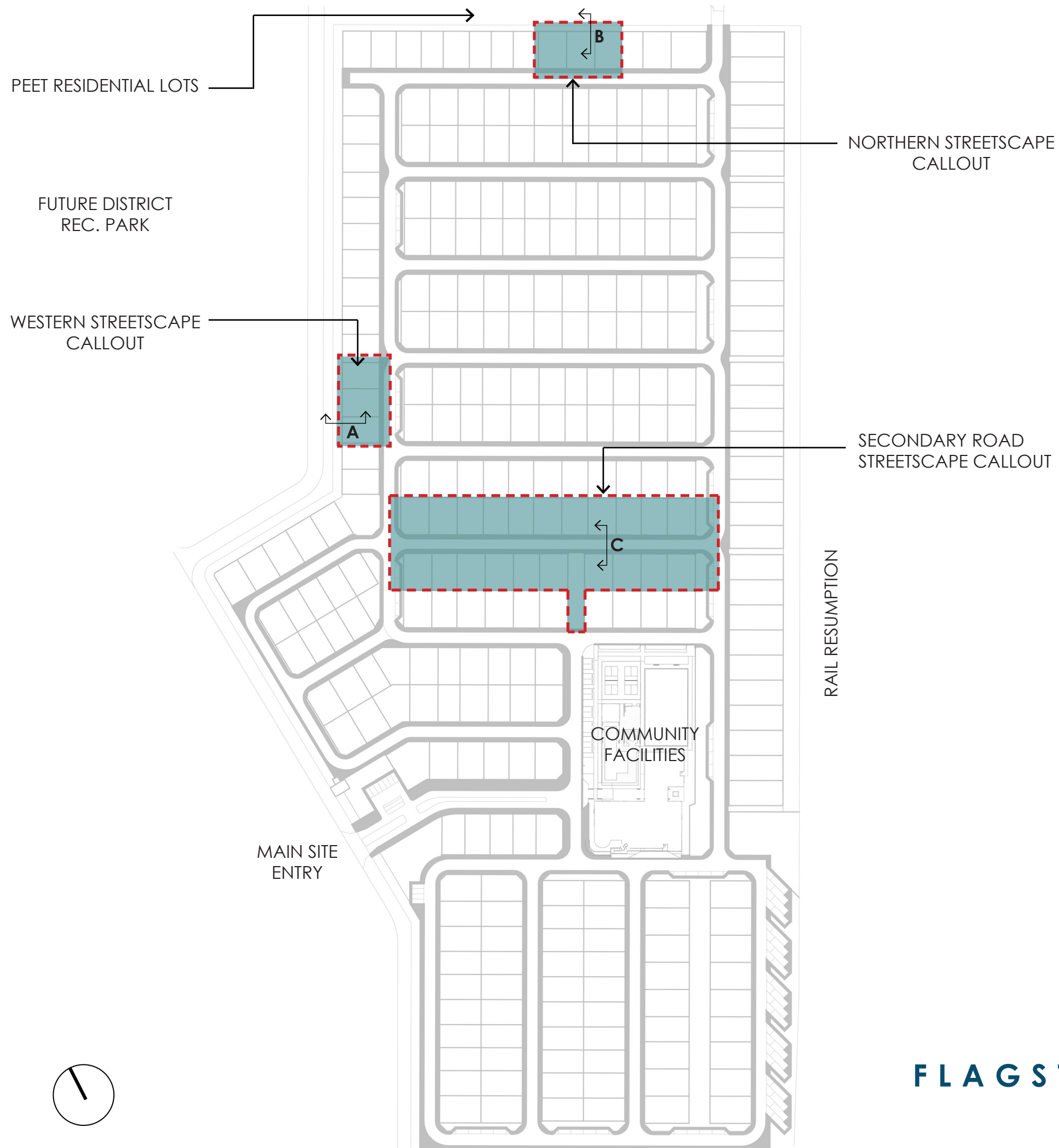
- ① Adjacent pathway
- ② 1.8m wide path connection
- ③ Buffer planting
- ④ Feature Tree
- ⑤ Gate
- ⑥ Internal Private Road

- Site boundary
- 1.8m permeable fence

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SK - 01
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08 OCTOBER 2024
JOB: 24-0005



FLAGSTONE RESIDENTIAL

COUNTRY : BUNDJALUNG

KEYPLAN

PLANS AND DOCUMENTS
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SK - 02
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08 OCTOBER 2024
JOB: 24-0005



FLAGSTONE RESIDENTIAL

COUNTRY : BUNDJALUNG

SECONDARY STREETScape - CALL OUT PLAN

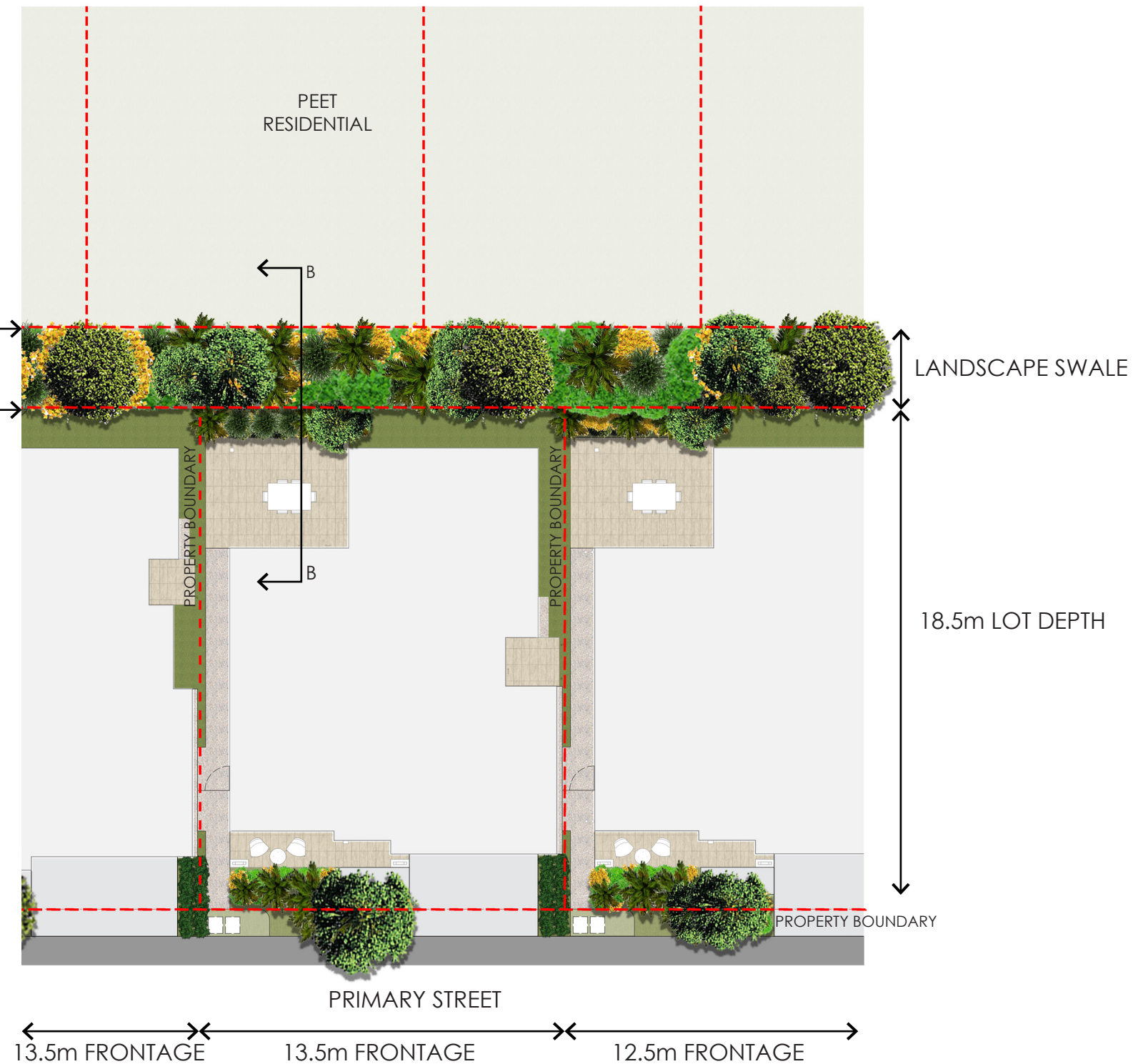
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1800MM
TYPE E FENCE
(REFER LANDSCAPE
PACKAGE)
1200-1500MM
TYPE C FENCE
(REFER LANDSCAPE PACKAGE)



SK - 04

1:200
08 OCTOBER 2024
JOB: 24-0005



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NORTHERN STREETSCAPE CALL OUT PLAN



PLANS AND DOCUMENTS
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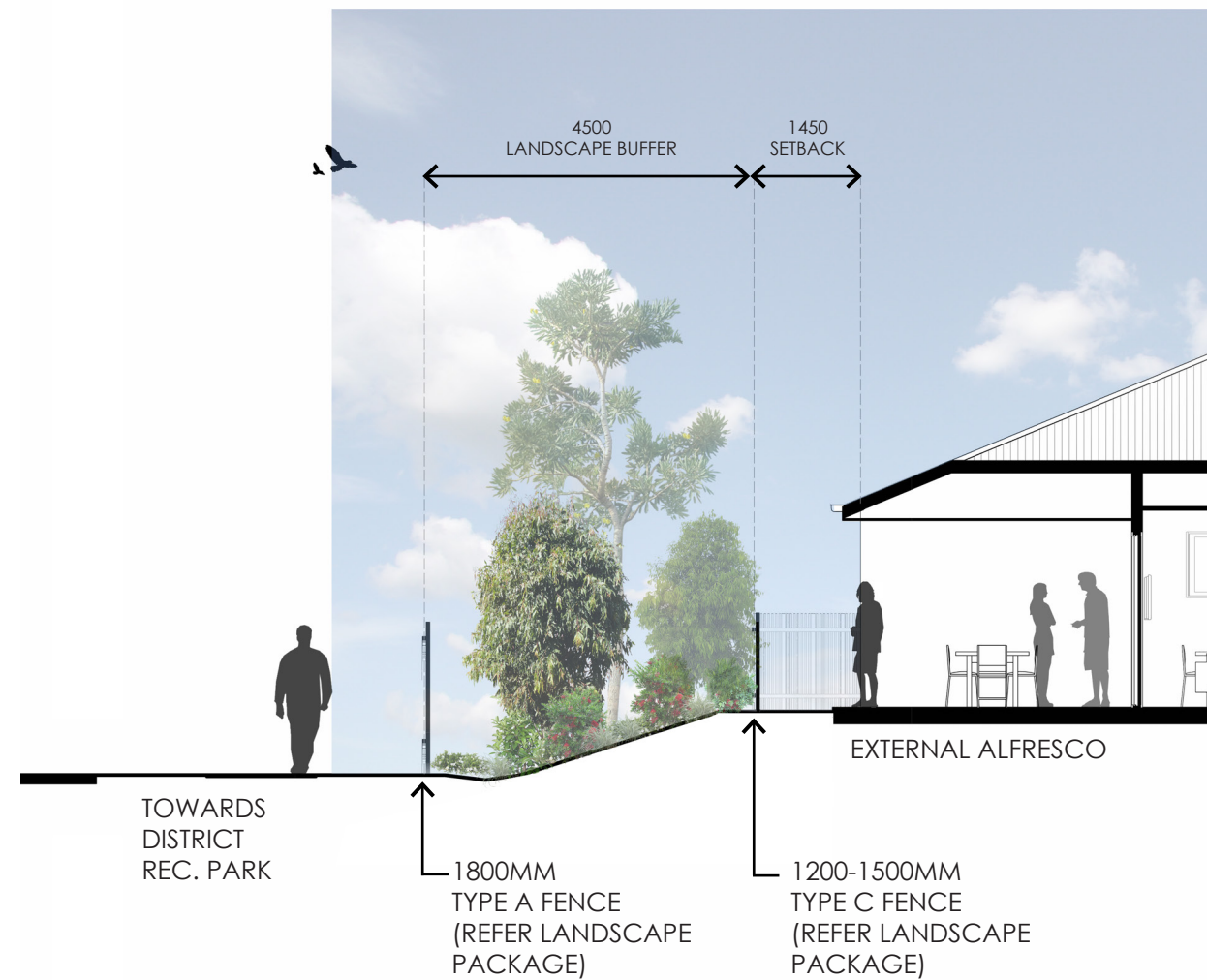
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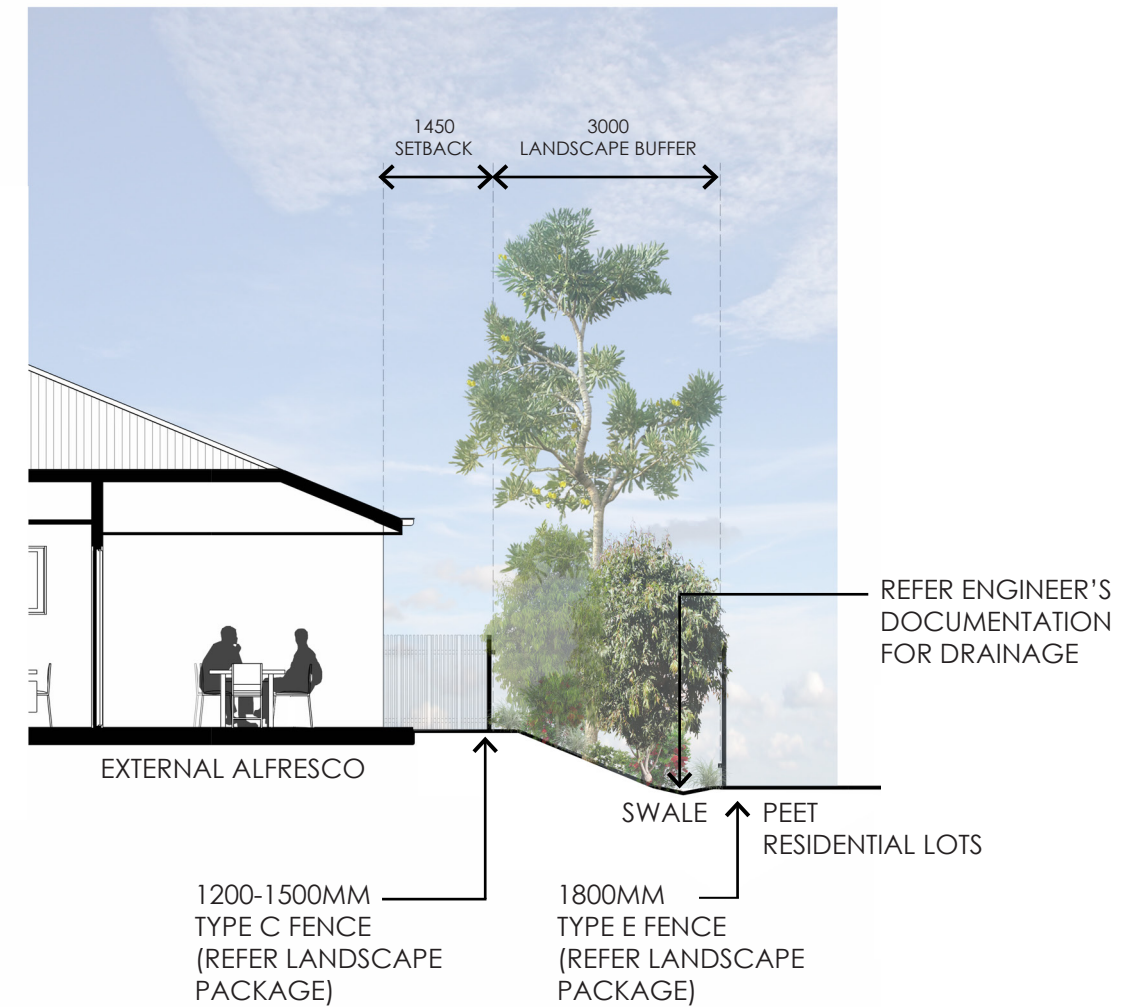
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WESTERN STREETSCAPE CALL OUT PLAN



SECTION A



SECTION B

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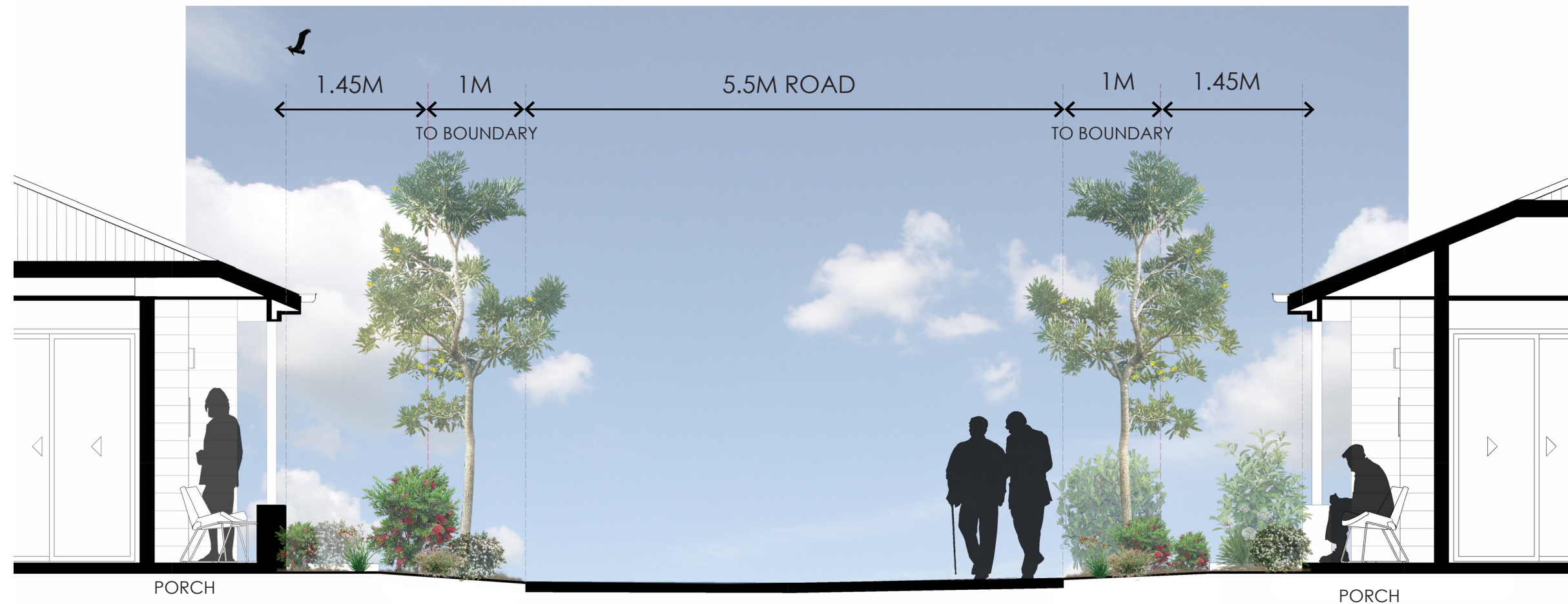
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LVL 2, 15 MALT STREET | FORTITUDE VALLEY QLD | 07 3358 0888
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PERIMETER LANDSCAPE BUFFER SECTIONS

These design drawings, prepared by Arqus Design, are intended to demonstrate one possible approach for future development of the nominated site. Further investigations and enquiry is required by interested parties (including land owner and/or prospective purchaser) to verify site conditions, planning and building code compliance and development feasibility. The copyright and intellectual property remains exclusively with Arqus Design.
Registration: Nominated Architect: Scott Peabody
QLD: 2644 NSW: 9038
VIC: 800111 (Arqus Design: 600035)



SECTION C - STREETScape 7.5M INTERNAL ROAD CORRIDOR

PLANS AND DOCUMENTS
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SK - 07
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08 OCTOBER 2024
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STREETSCAPE SECTIONS