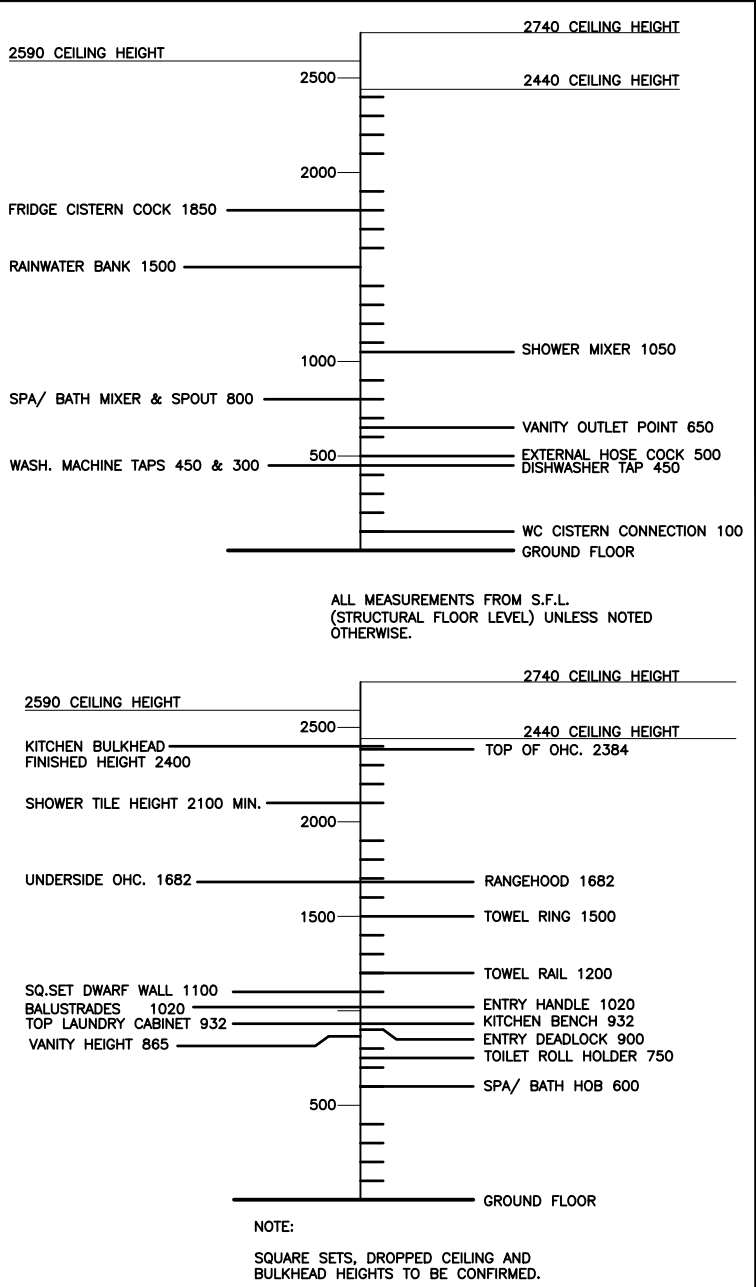


Clarendon QLD Electrical Points Installation Heights		
	Vertical mm	Horizontal mm (If required)
Light switches- standard	1350mm	
GPO heights- standard	300mm	
Kitchen Bench Top	1050mm	
Bath/ Ensuite	1050mm	
Vacuum	1500mm	500mm from corner
Garage (General)	1350mm	
Fridge	1850mm	
Washing machine	1350mm	
Microwave Tower	1575mm	
Dishwasher	750mm	
Rangehood (Drawer type/ standard)	1800mm	
Canopy Rangehood	In Ceiling	
Gas Cooktop	700mm	
Heatpump /Solar HW Units	1200mm	
GPO for Rain Bank	1500mm	
Waterproof Outlets	600mm	
Security GPO in WIR	2100mm	
Stove Switch	1050mm	
Garage Auto Door- 1970-2250 high 2251-2650 high 2651-3000 high	On Ceiling	3300 from lintel 3600 from lintel 3900 from lintel
A/C Isolators	1500mm	
Wall lights- Internal External	2000mm 1900mm	
Phone Point Outlets- General Wall Phone	300mm 1500mm	
TV Aerial Points	300mm	NOTE: All heights measured from S.F.L (structural floor level)

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2025/1594
Date: 20 March 2025


Queensland
Government



WATERPROOFING TO COMPLY WITH NCC
2022 SECTION 10.2.1 TO 10.2.32 OF
THE ABCB HOUSING PROVISION CODE

SUSTAINABILITY COMPLIANCE

- This dwelling has the following inclusions:
1. Triple 'A' rated shower roses.
 2. Dual 4.5 litre / 3 litre flush cisterns.
 3. 500 kpa pressure limiting devices.
 4. Energy efficient lighting to 80% of fixtures.
 5. ELECTRIC 280L Heat Pump / Hot Water system with 7 star energy rating.
 6. Provide R2.0 rated wall batt insulation, with sisalation to external walls, including the garage external walls.
 7. Provide R2.0 wall batts to the internal garage wall.
 8. Provide R3.5 rated ceiling batt insulation to the ceiling of the roof including the alfresco, garage & porch, plus whirly birds and snap vents to roof eaves.
 9. Provide R3.5 rated ceiling batt insulation to the cantilevered floor of the upper storey. (ie. above Porch & Alfresco spaces)
 10. Refer to Elevations for selected roof insulation
 11. Internal ceiling fans to all habitable living rooms & bedrooms.
 12. Provide Planibel G Low-E glazing to selected doors, refer floor plan for location.

AREAS	
SITE:	569 m²
GROUND FLOOR:	172.83 m²
FIRST FLOOR:	176.67 m²
GARAGE:	37.53 m²
PORCH:	10.75 m²
BALCONY:	11.17 m²
ALFRESCO:	16.35 m²
SLAB EXTENSION (Not Incl.)	10.48 m²
TOTAL:	425.30 m²
PERIMETERS	
TOTAL GROUND FLOOR:	66.94
TOTAL FIRST FLOOR:	59.24

COVER SHEET

CLIENT'S SIGNATURE: _____ DATE: _____


QBSA Lic No 80444
NSW Lic No 226716C
ABN 37 078 853 022
Clarendon Homes (QLD) P/L
3914 Pacific Highway, Loganholme QLD 4129
T: (07) 3387 1300 F:(07) 3387 1399

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DIMENSIONS TO BE READ IN
PREFERENCE TO SCALING

F	17/03/25	OASIS RFI	JB
E	04/03/25	PCV 1 & 6	JB
D	14/02/25	BA ISSUE - RFI	JB
C	20/11/24	SEWER AS CONS ADDED	JB
B	15/11/2024	CONTRACT ISSUE	M.T.
A	18/07/2024	GU TENDER ISSUE	CN
REV	DATE	AMENDMENTS	BY

20	DETAILS
19	DETAILS
18	DETAILS
17	DETAILS
16.2	STEEL PLAN
16.1	STEEL PLAN
15	SLAB DETAILS
14	SLAB PLANS
13	SECTION
12	FIRST FLOOR ELECTRICAL
11	GROUND FLOOR ELECTRICAL
10	INTERNAL DETAILS
9	INTERNALS 3
8	INTERNALS 2
7	INTERNALS 1
6	ELEVATIONS
5	ELEVATIONS
4	FIRST FLOOR PLAN
3	GROUND FLOOR PLAN
2	SITE PLAN
1	COVER SHEET
SHEET	DESCRIPTION

PRODUCT:
Sherwood 390
Hampton Facade
R/H Garage

LUXE Specification
Master Issued: _____ Revision: _____

CLIENT:
KENI DYLAN LISI POUHILA
EMILY PAIGE POUHILA
SITE ADDRESS:
LOT 4303
LOTUS COURT
GREENBANK, QLD, 4124

BA ISSUE
DRAWN: JB
DATE: 17/03/25
RATIO @ A3: N/A
SHEET: 1
Rev: F
JOB No: 49906316
QLD

Lot: 4303 on: SP344913
Area: 659 m²
Local Authority: Logan C. C.
Contour Interval: 0.25m
Datum: AHDD (GNSS vide CORS)

By: Ali Rizayee
Date: 19 March 2025



APPROX POSITION OF SEWER 'HOUSE CONNECTION'. PLUMBER TO CONFIRM ON SITE PRIOR TO COMMENCEMENT OF EXCAVATION.

Screened drying areas to be located behind the main face of the dwelling as required by PoD Design Criteria 38.
Maximum fence height not to exceed 1.8m;
Fences are not permitted along road frontages forward of the building; and
Side boundary fences to be recessed minimum 1m behind wall addressing the primary road as required by PoD Design Criteria 33.

O/H Power		- NO
U/G Power		- YES
Water		- YES
Telecom		- YES
Gas		- NOT FOUND
Sewer		- YES
Stormwater		- TO KERB

PLANS AND DOCUMENTS
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Approval no: DEV2025/1594
Date: 20 March 2025



	LIGHT POLE		LOCATOR POTHOLE
	POWER POLE		FIRE HYDRANT
	POWER BOX		AIR VALVE
	POWER LINE		STOP VALVE
	UNDERGROUND ELEC		WATER METER
	TELSTRA PIT		WATER LINE
	TELSTRA LINE		STORMWATER MANHOLE
	GAS MARKER		GULLY GRATE
	GAS LINE		ROOFWATER PIT
	SEWER MANHOLE		STORMWATER LINE
	SEWER LINE		ROCK RETAINING WALL
	SIGN		RETAINING WALL
	TEMPORARY BENCH MARK		TOP OF BANK
	PERMANENT SURVEY MARK		TOE OF BANK
	ORIGINAL PEG		FENCE

PROPOSED DWELLING
53.110m AHD APPROX

SCRAPE TO BUILDING
PLATFORM APPROX
52.800m AHD

EARTHMOVER TO PROVIDE
APPROX 1:100 GRADE TO
ALFRESCO PAD.

APPROX WALL HEIGHT = 610mm

APPROX WALL
HEIGHT= 1380mm

APPROX WALL-
HEIGHT= 1380mm

APPROX WALL
HEIGHT= 1160mm

EARTHMOVER TO PROVIDE
APPROX 1:100 GRADE TO
PORCH PAD.

APPROX SEWER
HC POINT
SL - 52.566
- IL - 51.064

- Driveway finish must not be plain concrete as required by PoD Design Criteria 26.



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YOU DIG**
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REFER TO INFORMATION
PROVIDED SOURCED FROM
DIAL BEFORE YOU DIG

TWO STOREY:

- PROVIDE H2-F TREATMENT TO SOFTWOOD MEMBERS OF TIMBER FRAME TO GROUND FLOOR FRAME AND FIRST FLOOR FRAME, STRUC-JOISTS AND TRUSSES OF HOME IN LIEU OF STANDARD. NOTE: HARDWOOD TIMBERS EXCLUDED.
- PROVIDE STRUCTAFLOR TERMINATOR PARTICLEBOARD FLOORING IN LIEU OF STANDARD.

INCLUDES TERMSPEC PROTECTION.



CLARENDON HOMES TO PROVIDE AND MAINTAIN AN ALL-WEATHER ACCESS DRIVEWAY FOR HEAVY VEHICLE ACCESS FROM THE STREET TO THE BUILDING PLATFORM PRIOR TO CONSTRUCTION FOR HOUSE SETBACKS GREATER THAN 9M. NOTE: 3M WIDE.

**TOTAL HOUSE AREA INCLUDING
ROOF OVERHANGS= 255.75m²**

SITE COVERAGE: 44.94%

SITE COVERAGE: 41.73%

8.209m TBC APPROX. HEIGHT FROM
NATURAL GROUND LEVEL @ MAX.

BEST PRACTICE PROCEDURES FOR EROSION
& SEDIMENT CONTROL AS OUTLINED BY L.C.C.
REGULATIONS TO BE ADHERED TO

HEIGHT CERTIFICATE REQUIRED DUE TO
OVERALL HEIGHT GREATER THAN 8.0m

Before entering site please review and make yourself familiar with Emergency Contacts. Site Specific Hazards and the Site Specific Induction information that is located on the Site Induction Sign. If you have any trouble understanding this instruction, contact the Site Supervisor or Emergency Contact Number located on the sign.

CLIENT'S SIGNATURE: _____ DATE: _____



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NSW Lic No 226716C
ABN 37 078 853 022

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DIMENSIONS TO BE READ IN
PREFERENCE TO SCALING

PRODUCT:

Sherwood 390
Hampton Facade
R/H Garage

LUXE Specification

CLIENT:
KENI DYLAN LISI POUHILA
EMILY PAIGE POUHILA

SITE ADDRESS:
LOT 4303
LOTUS COURT
GREENBANK, QLD, 4124

BA ISSUE

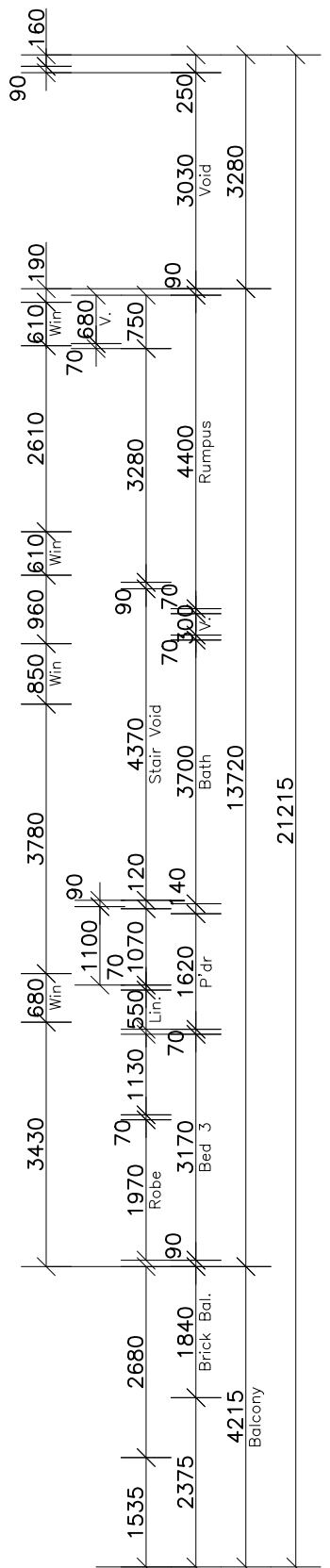
DRAWN: JB	DATE: 17/03/25	Rev: F
RATIO @ A3: 1:200	CHECKED: -	
SHEET: 2	JOB No: 49906316	QLD

- ## ARTICULATION JOINTS TO ENGINEERS DETAILS

NOTE:
PROVIDE GREY TINT TO ALL
WINDOWS & SLIDING DOORS



NOTE:
ALL FIRST FLOOR WINDOWS IN BEDROOMS AND CONNECTING ROOMS (WITH NO DOOR IN-BETWEEN) ARE TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH FALL PREVENTION MEASURES OF HOUSING PROVISION STANDARD NCC 2022, Part 11.3.7.



PROVIDE FOR BRIBIE STYLE BALUSTRADE @1050H FFL

Legend: G (Green), F (Fruit), E (Egg) with a 19/18 ratio.

Room Dimensions and Areas:

- WC: 1590
- Shr.: 180, 1920
- Bath: 2470
- P'dr: 1420
- Linen: 2630
- Sq. Set: 800, 800, 800, 850
- WIR: 1600, 1650
- Hall: 1700
- Robe: 550
- Bed 3: 3500
- Bed 2: 3690
- Bed 4: 3690
- Balcony: 4095
- Total Area: 9830

**BALUSTRADE TO BE MINIMUM 1000 HIGH
MAXIMUM 125 APERTURE TO COMPLY WITH
HOUSING PROVISION STANDARD NCC 2022,
PART 11.3.**

**NOTE:
WATERPROOFING TO COMPLY WITH NCC
2022 SECTION 10.2.1 TO 10.2.32 OF THE
ABC BUILDING CODE**

**NOTE:
PROVIDE MIN 1:80 & MAX 1:50 FALL TO
SHOWER FLOOR WASTES**

**NOTE:
PROVIDE SHOWER SCREEN TO COMPLY
WITH QDC 4.5 FIGURE A4(4)(a)**

**NOTE: ALL VANITIES ARE TO
BE WALL HUNG VANITIES.**

DATE: _____

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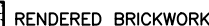
PRODUCT:

Sherwood 390
Hampton Facade
R/H Garage

LUXE Specification

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RATIO @ A3: 1:100	CHECKED: -	
SHEET: 4	JOB No: 49906316	QLD



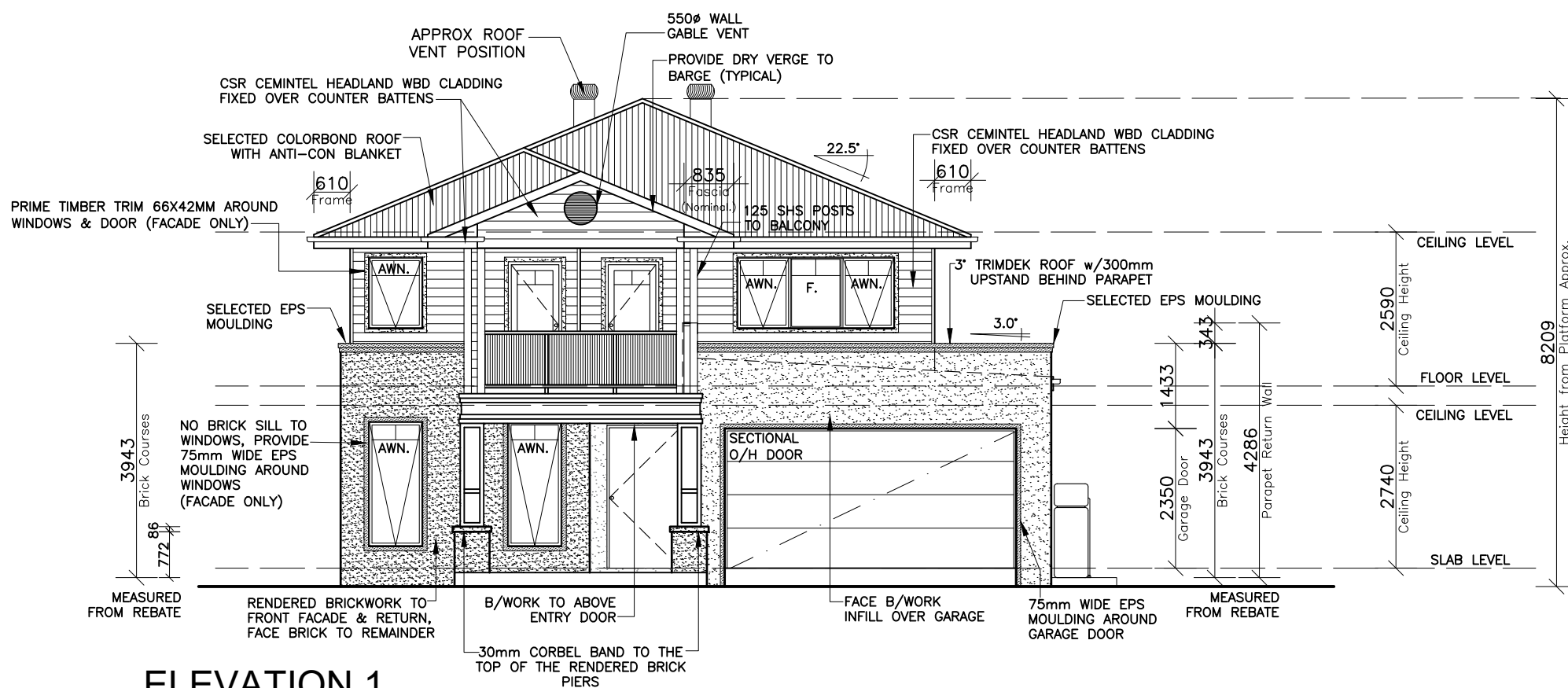
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2025/1594

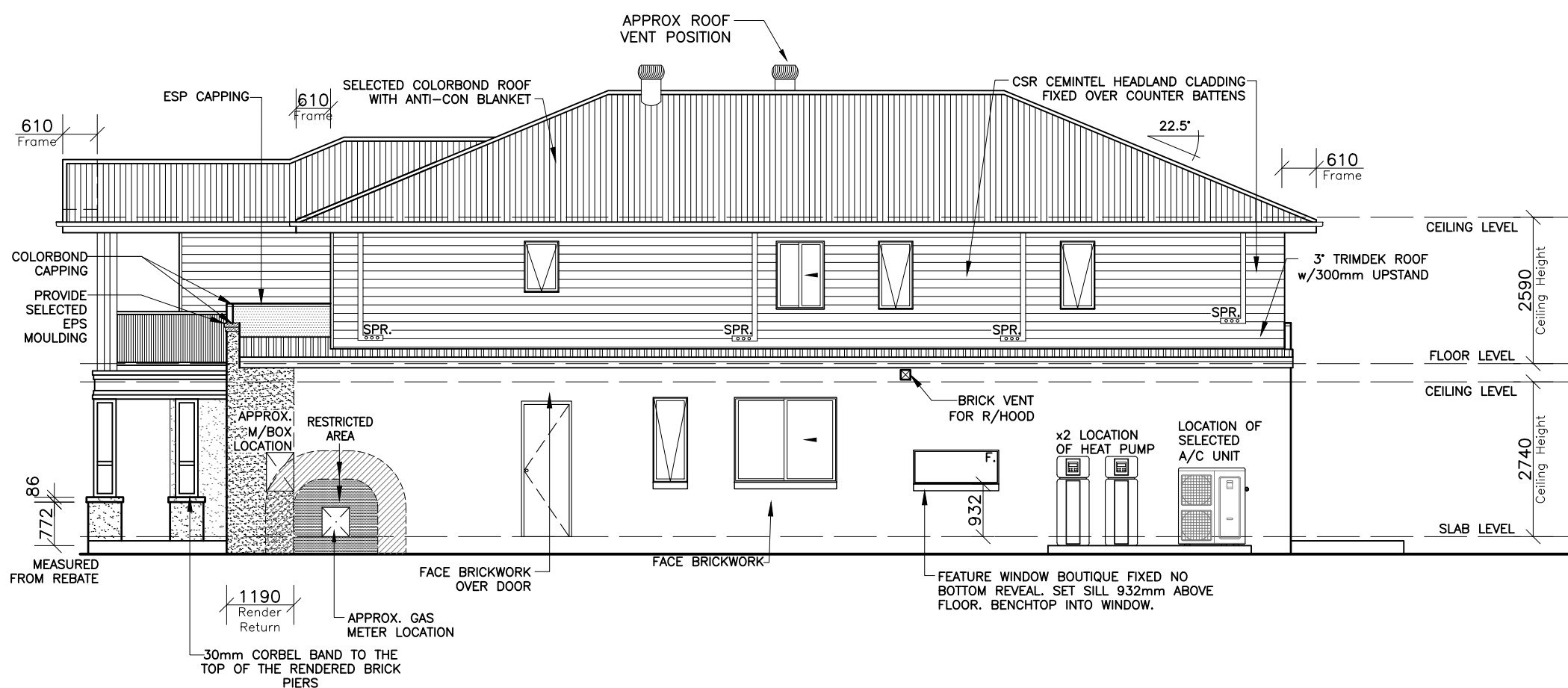
Date: 20 March 2025



NOTE:
ALL FIRST FLOOR WINDOWS IN BEDROOMS
AND CONNECTING ROOMS (WITH NO DOOR
IN-BETWEEN) ARE TO BE FITTED WITH A
RESTRICTING DEVICE COMPLIANT WITH
FALL PREVENTION MEASURES OF HOUSING
PROVISION STANDARD NCC 2022, Part 11.3.7

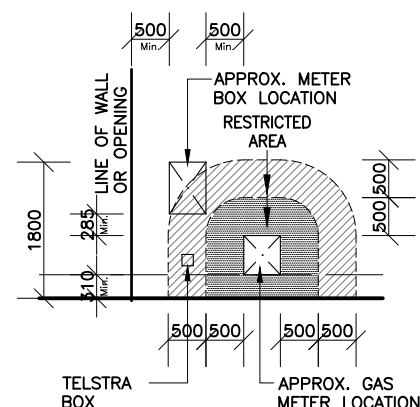


ELEVATION 1



ELEVATION 2

- * GAS METER TO BE MIN 310mm FROM FGL
- * THE METER BOX MAY BE INSTALLED ON THE SIDE WALL NO FURTHER THAN 1.5m BEYOND THE STREET FACADE OR CORNER WINDOW SUBJECT TO ACCESS BEING AVAILABLE.
- * GAS METER TO BE 1000mm MIN. FROM ANY EXTERNAL OPENING (WINDOW/DOOR), VENTS WEEPHOLES (EXCEPT SUB FLOORING OPENINGS).
- * FOR MECHANICAL AIR INLET UNITS, 3.0m MIN. FROM RELIEF DISCHARGE POINT CLEARANCE REQUIRED.
- * ELECTRICAL IGNITION SOURCES ARE AND NOT LIMITED TO POWER POINTS, PHOTO VOLTAIC (PV) INVERTERS AND ISOLATION SWITCH GEAR, ELECTRIC MOTORS FOR WATER PUMPS, AIR COMPRESSORS, AUTOMATIC GATES ETC, SPLIT CYCLE AIR CONDITIONERS AND ELECTRICAL WATER HEATER ARE TO BE MIN. 500mm AWAY
- * 1.0m CLEARANCE FROM DRIVEWAYS UNLESS AUTHORIZED BY AN APA REPRESENTATIVE



CLIENT'S SIGNATURE: _____

DATE:

ClarendonHomes

QBSA Lic No 80444
NSW Lic No 226716C
ABN 37 078 853 022

Clarendon Homes (QLD) P/L
3914 Pacific Highway, Loganholme QLD 4129
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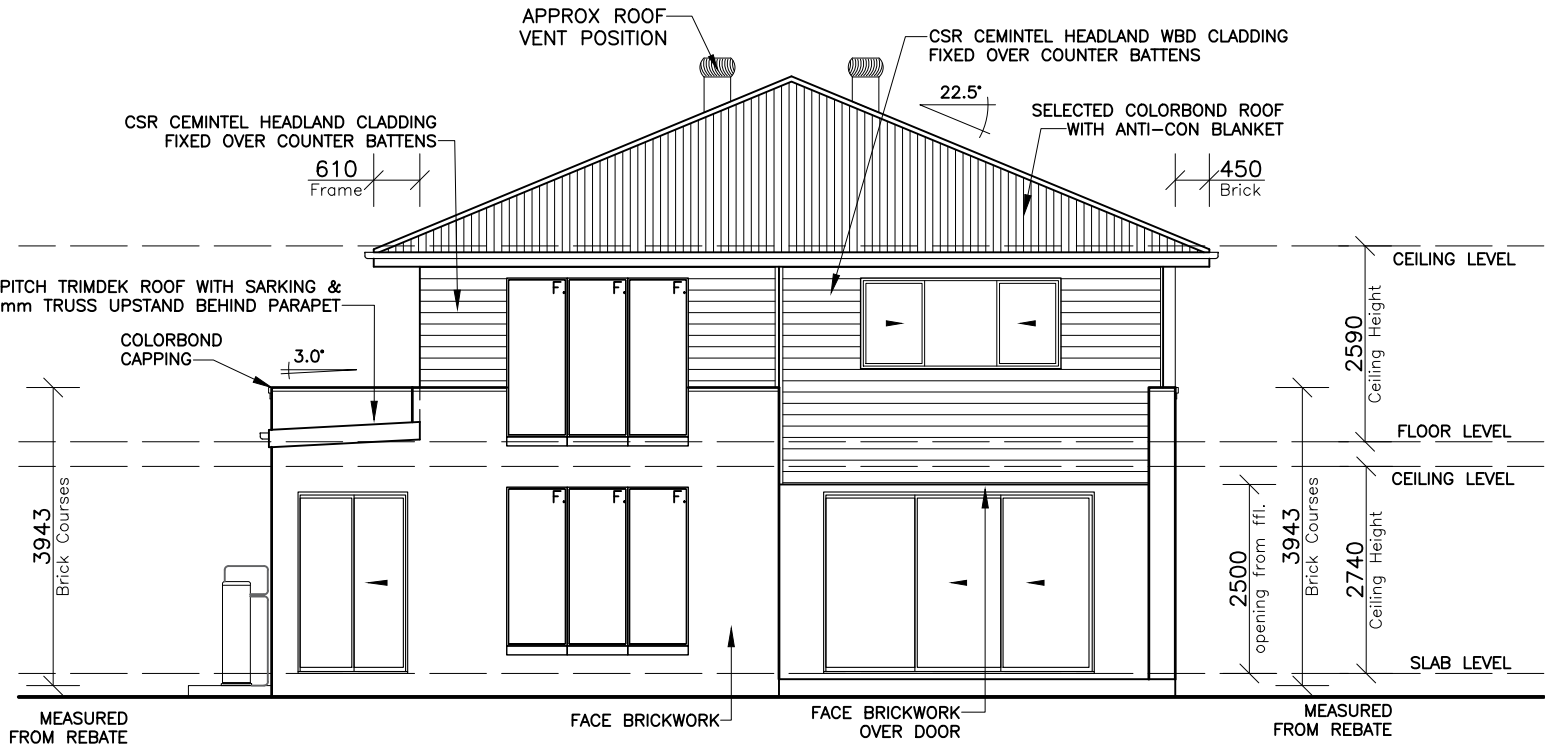
PRODUCT:
Sherwood 390
Hampton Facade
R/H Garage
LUXE Specification

CLIENT:
KENI DYLAN LISI POUHILA
EMILY PAIGE POUHILA

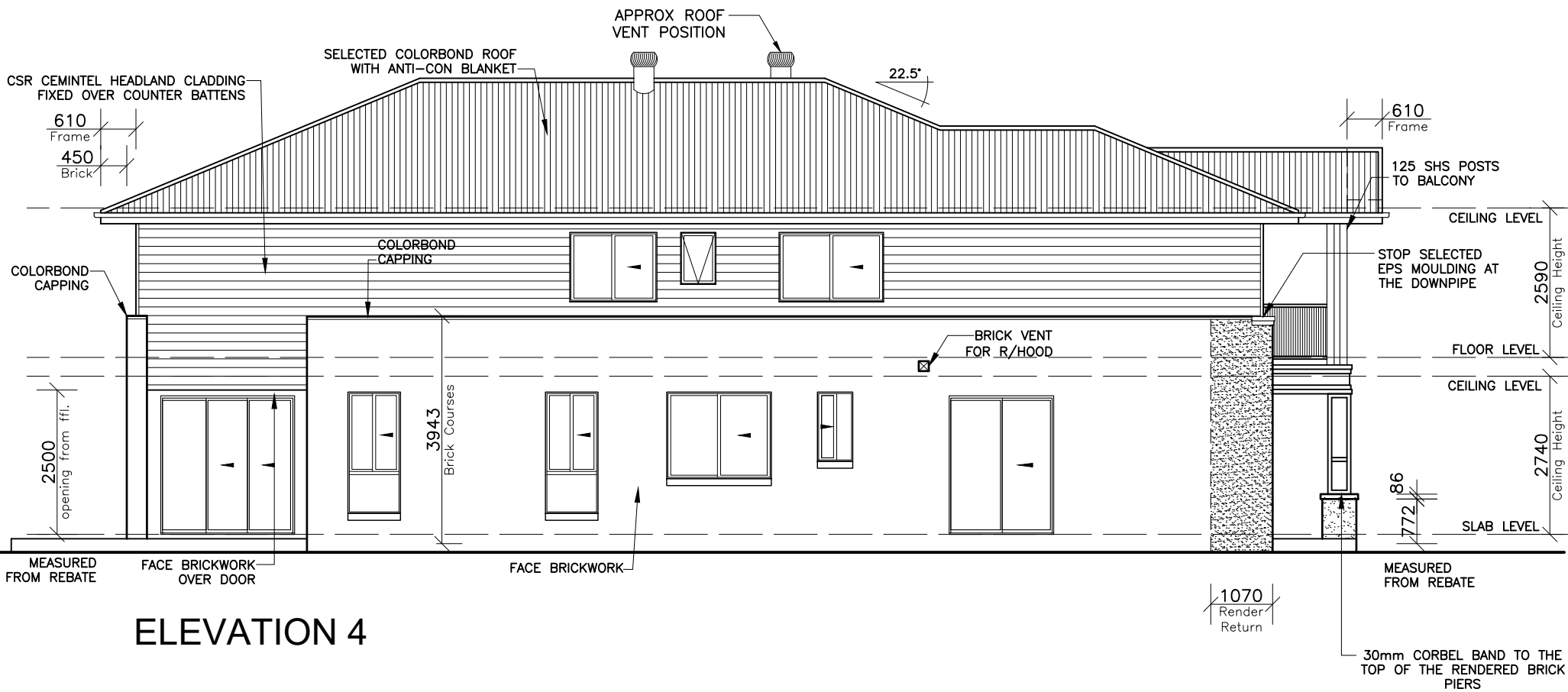
SITE ADDRESS:
LOT 4303
LOTUS COURT
GREENBANK, QLD. 4124

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SHEET: 5	JOB No: 49906316	QLD



ELEVATION 3

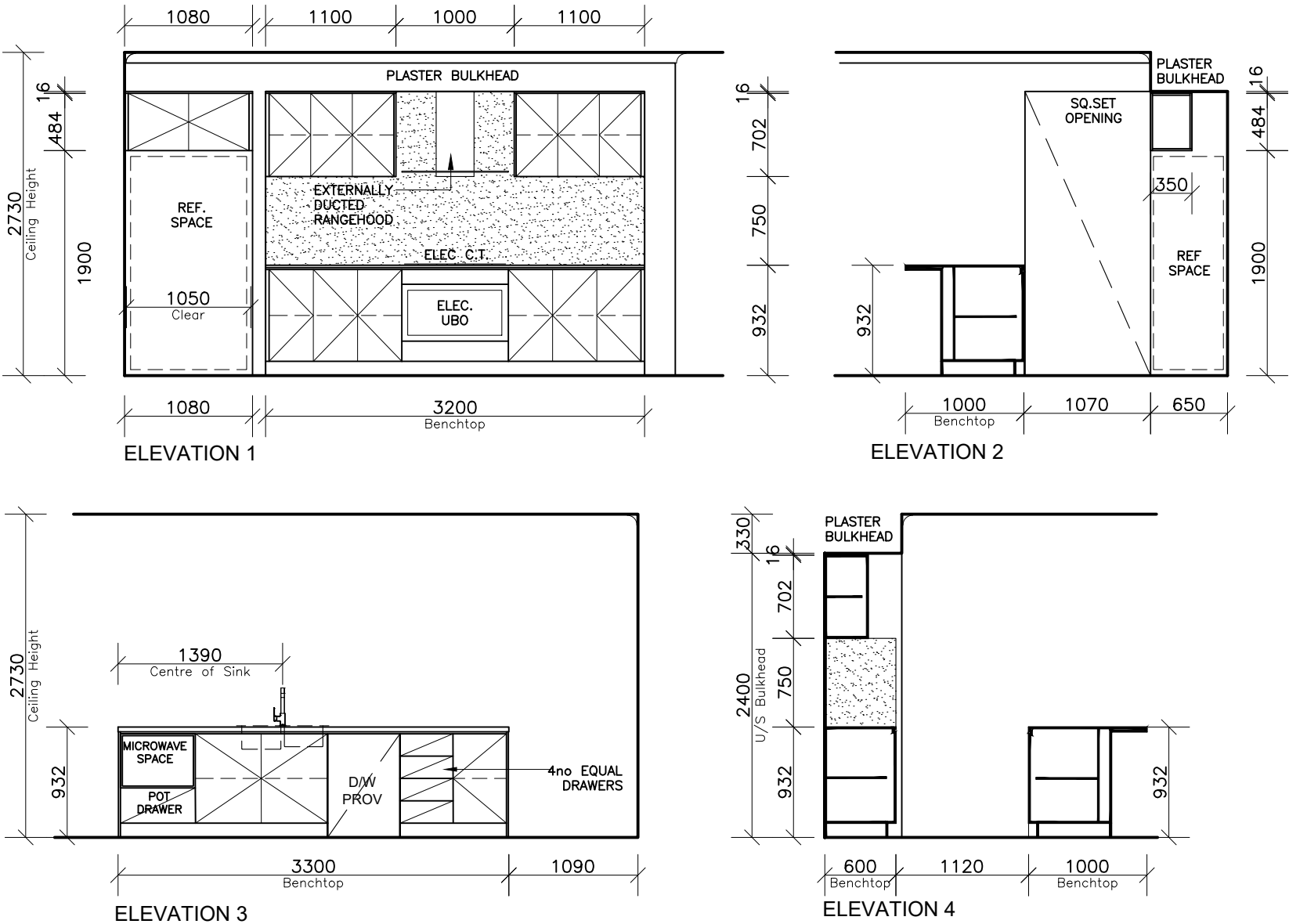


ELEVATION 4

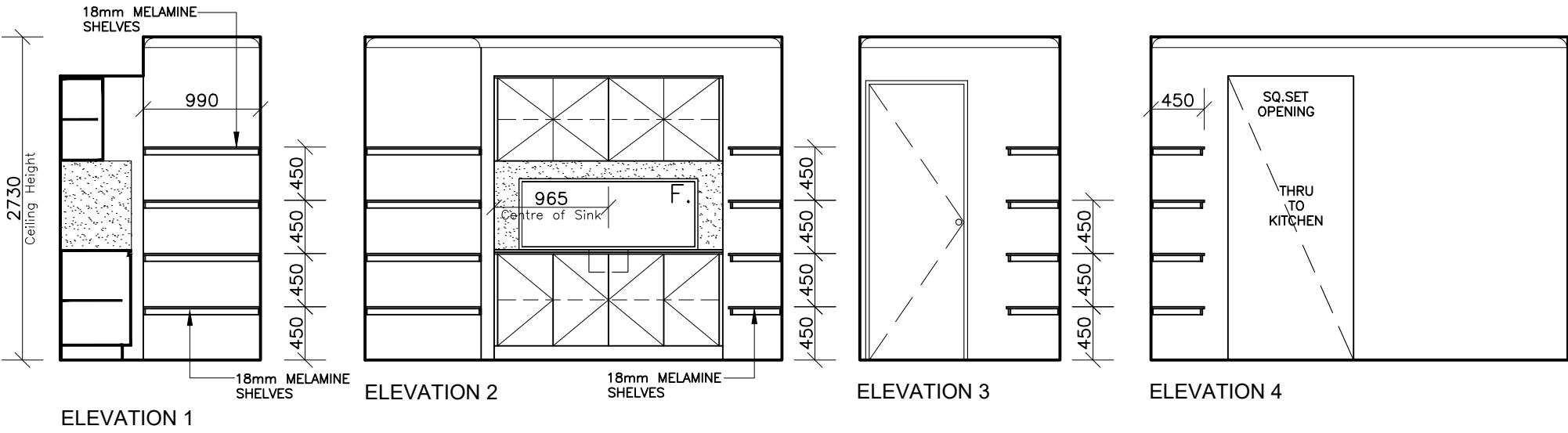
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ClarendonHomes QBSA Lic No 80444 NSW Lic No 226716C ABN 37 078 853 022 Clarendon Homes (QLD) P/L 3914 Pacific Highway, Loganholme QLD 4129 T: (07) 3387 1300 F:(07) 3387 1399	© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (QLD) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (QLD) P/L # DIMENSIONS TO BE READ IN PREFERENCE TO SCALING	PRODUCT: Sherwood 390 Hampton Facade R/H Garage LUXE Specification	CLIENT: KENI DYLAN LISI POUHILA EMILY PAIGE POUHILA SITE ADDRESS: LOT 4303 LOTUS COURT GREENBANK, QLD, 4124	BA ISSUE		
				DRAWN: JB	DATE: 17/03/25	Rev: F
				RATIO @ A3: 1:100	CHECKED: -	
				SHEET: 6	JOB No: 49906316	QLD

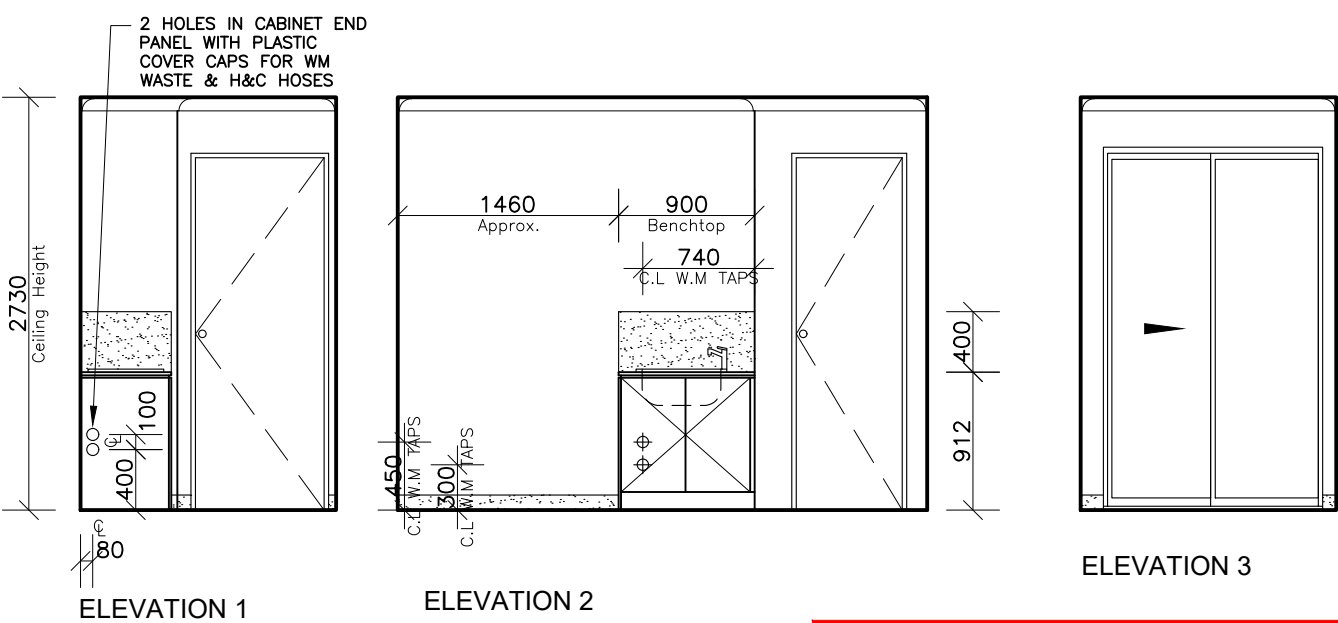
KITCHEN DETAILS



BUTLER'S PANTRY DETAILS



LAUNDRY DETAILS



- DENOTES SELECTED TILES

- NOTES:
- ALL DIMENSIONS ARE TO PLASTER UNLESS NOTED OTHERWISE
 - INTERNAL ELEVATIONS ARE INDICATIVE ONLY. ALL CUPBOARD DIMENSIONS TO BE SITE MEASURED
 - LIFT OFF HINGES TO COMPLY WITH HOUSING PROVISION STANDARD NCC 2022, PART 10.4.2.
 - NO FRAMED HOBS TO SHOWERS
 - TAPWARE SHOWN FOR ILLUSTRATION PURPOSES ONLY
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 - PROVIDE SHOWER SCREEN TO COMPLY WITH QDC 4.5 FIGURE A4(4)(a)

NOTE:
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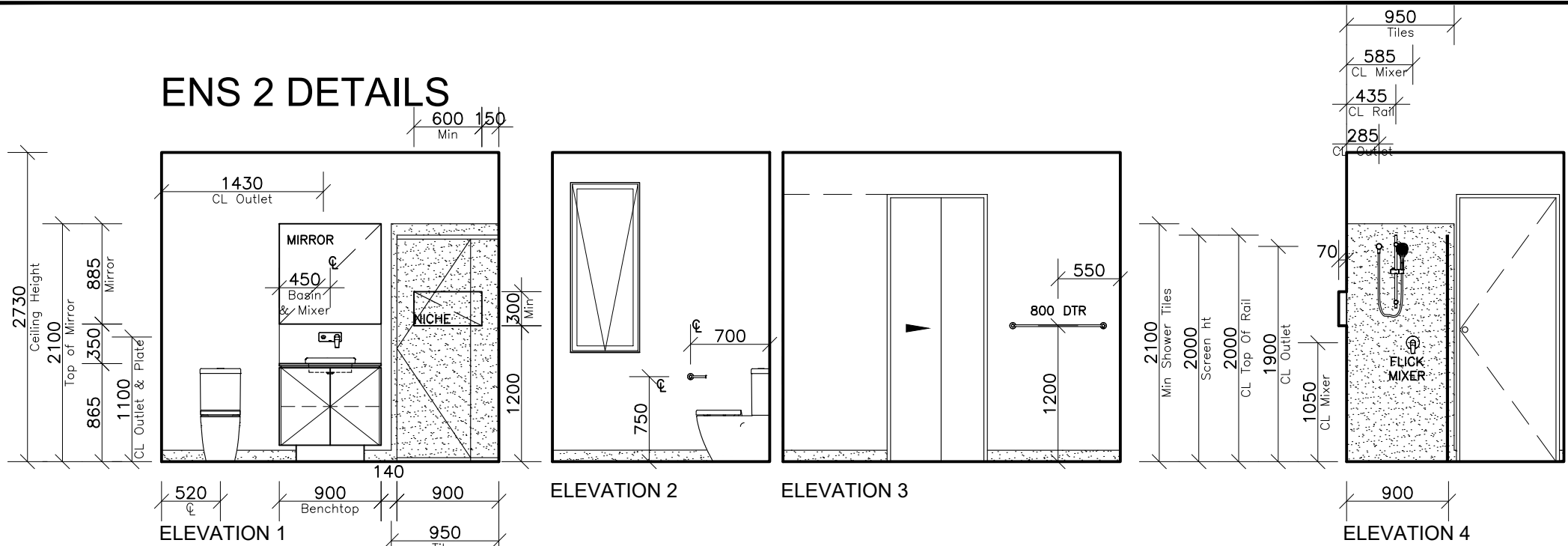
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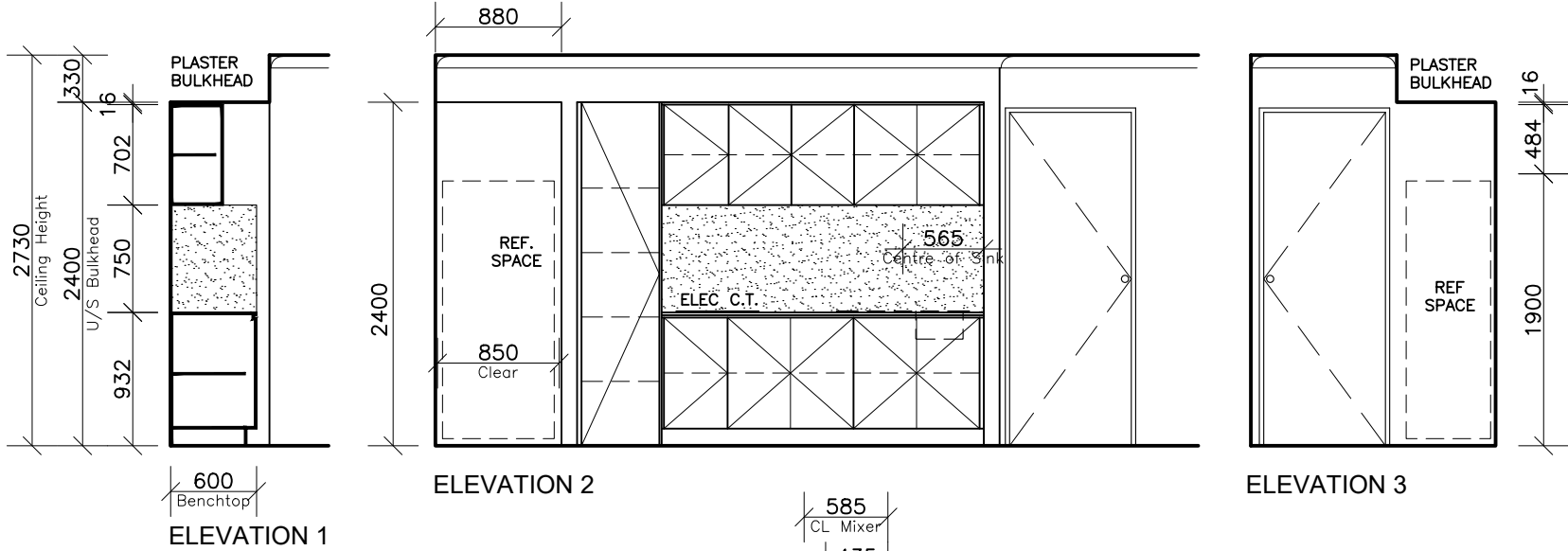
BA ISSUE

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SHEET: 7	JOB No: 49906316	QLD

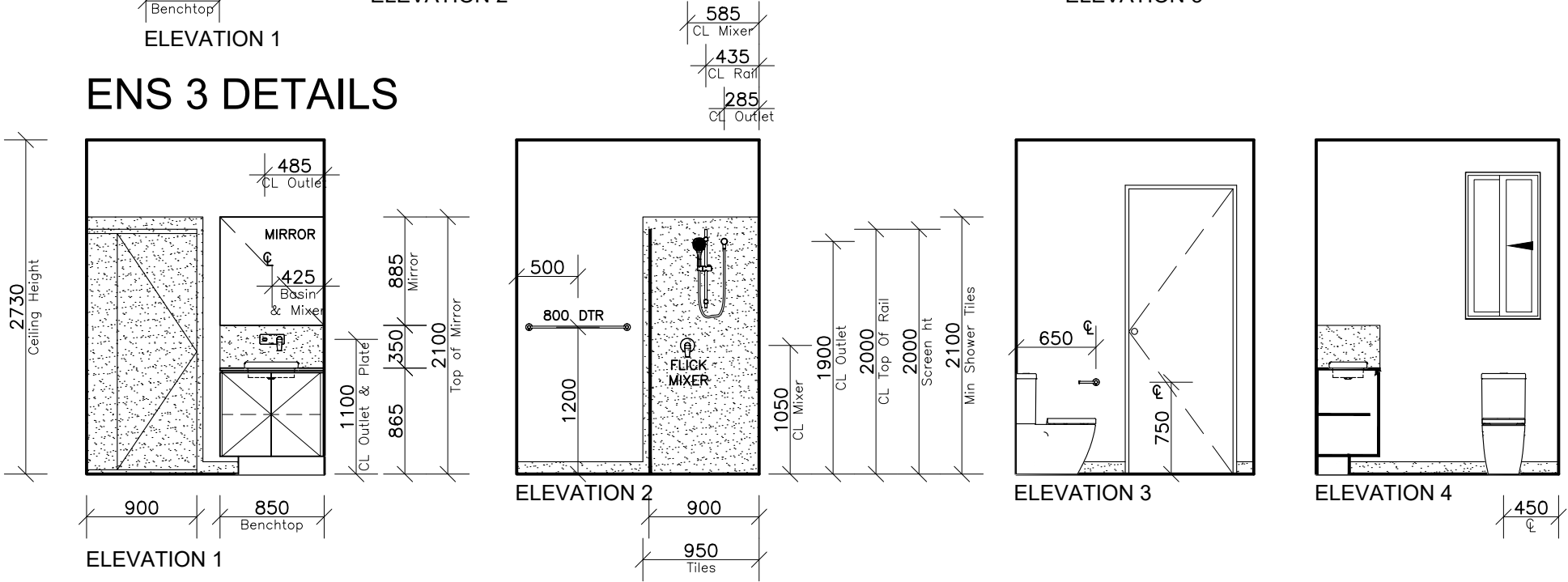
ENS 2 DETAILS



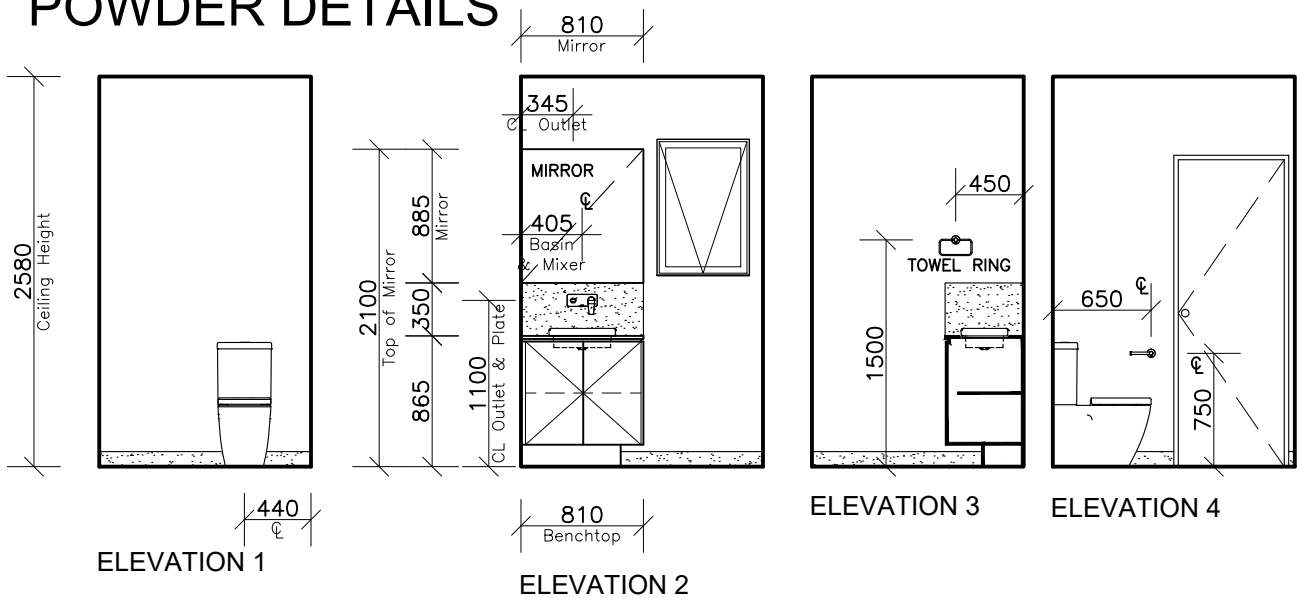
MEALS/LIVING DETAILS



ENS 3 DETAILS



POWDER DETAILS



- DENOTES SELECTED TILES

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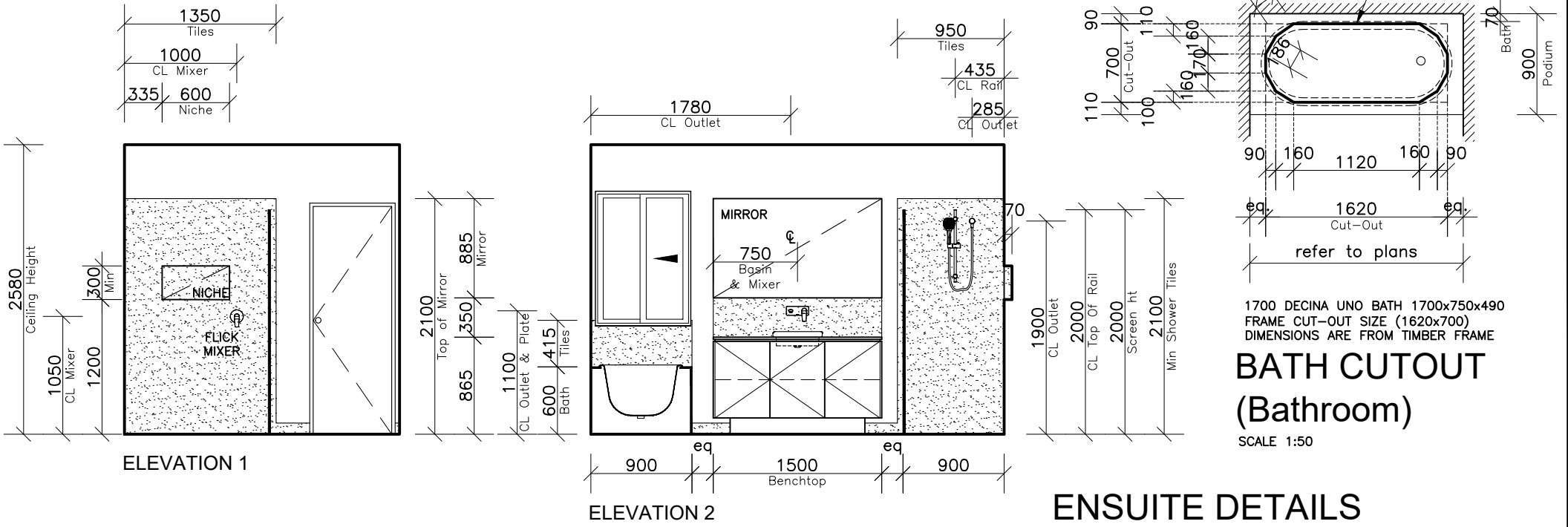
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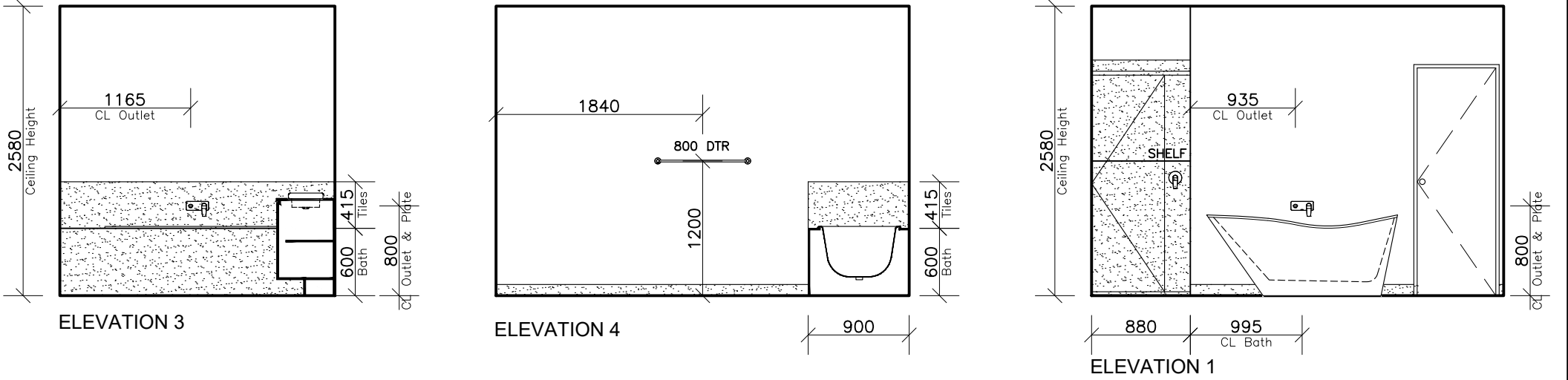
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RATIO @ A3: 1:50	CHECKED: -	
SHEET: 8	JOB No: 49906316	QLD

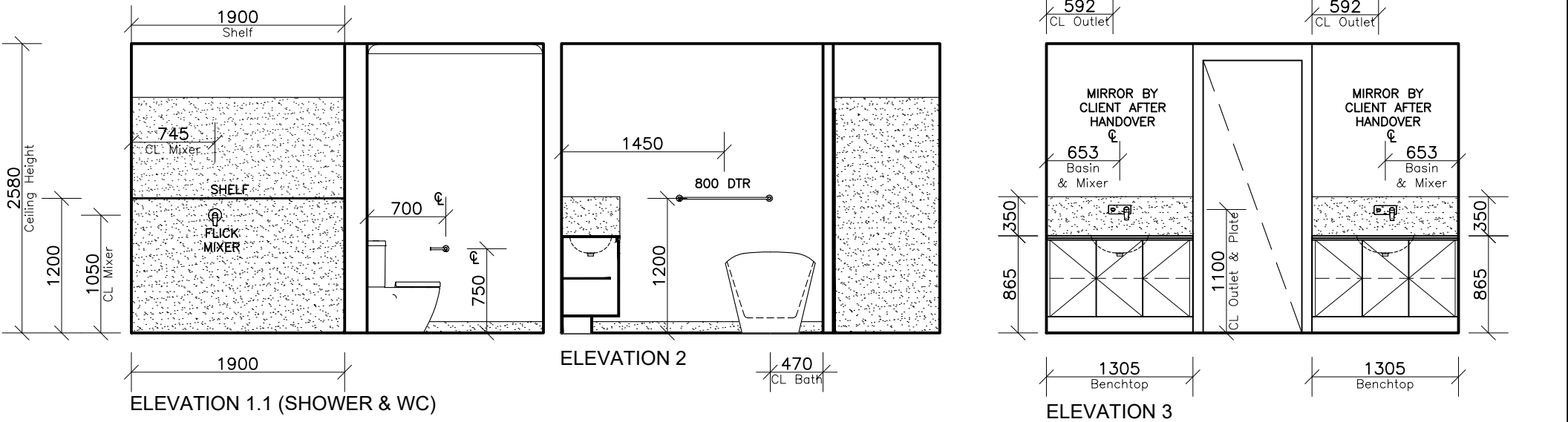
BATHROOM DETAILS



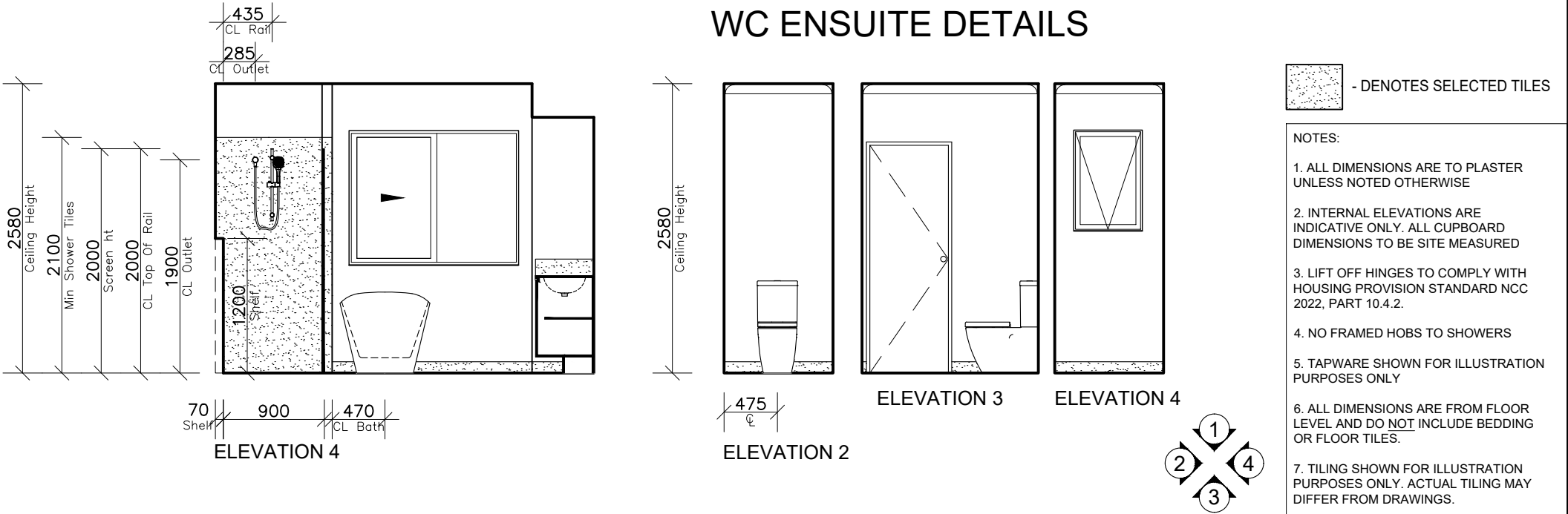
ENSUITE DETAILS



ENSUITE DETAILS



WC ENSUITE DETAILS



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NOTE:
REFER TO "YOUR HOME KITCHENS QUEENSLAND" CONSULTANTS PLANS FOR YOUR FINAL JOINERY LAYOUTS.
REFER TO YOUR TILING CONSULTANTS PLANS FOR YOUR FINAL TILING LAYOUT.

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

QBSA Lic No 80444
NSW Lic No 226716C
ABN 37 078 853 022
Clarendon Homes (QLD) P/L
3914 Pacific Highway, Loganholme QLD 4129
T: (07) 3387 1300 F:(07) 3387 1399

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DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

PRODUCT:
Sherwood 390
Hampton Facade
R/H Garage

LUXE Specification

CLIENT:
KENI DYLAN LISI POUHILA
EMILY PAIGE POUHILA
SITE ADDRESS:
LOT 4303
LOTUS COURT
GREENBANK, QLD, 4124

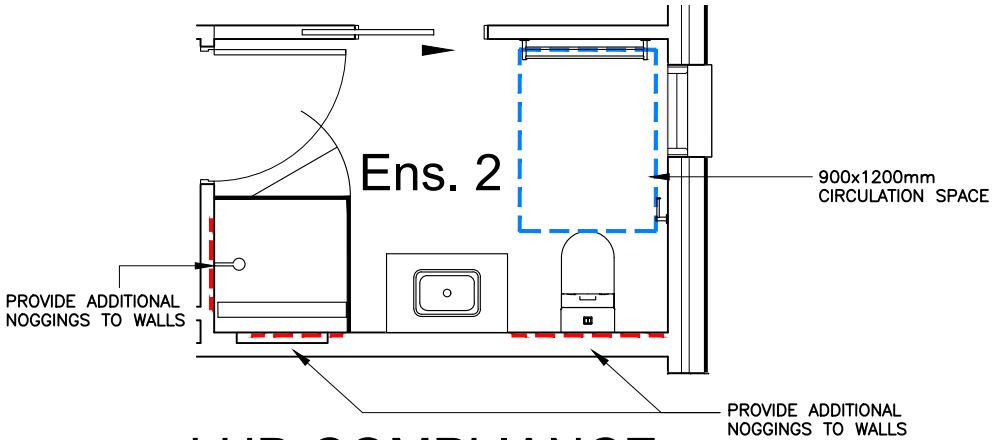
BA ISSUE

DRAWN: JB	DATE: 17/03/25	Rev: F
RATIO @ A3: 1:50	CHECKED: -	
SHEET: 9	JOB No: 49906316	QLD

NOTE:
WATERPROOFING TO COMPLY WITH NCC
2022 SECTION 10.2.1 TO 10.2.32 OF THE
ABCB HOUSING PROVISION CODE

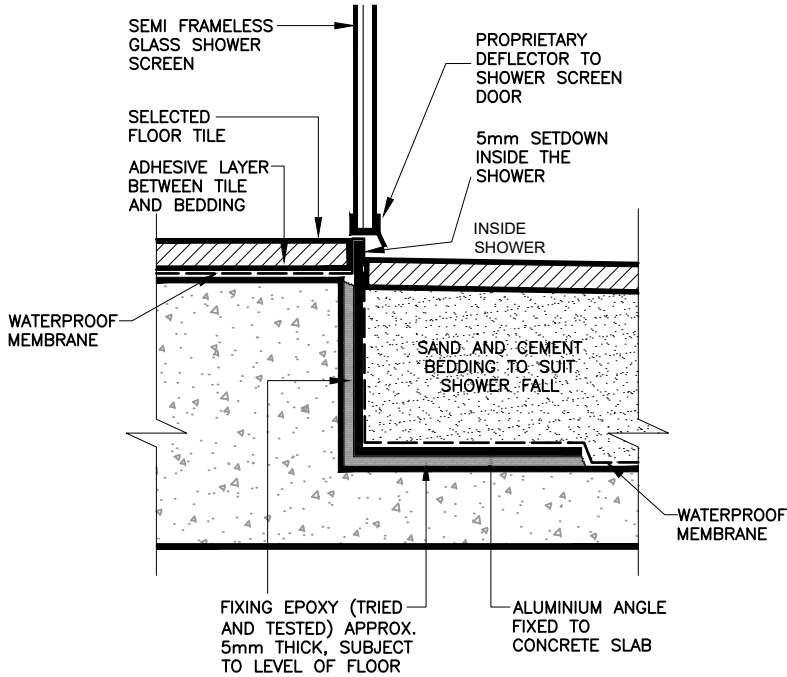
NOTE:
PROVIDE MIN 1:80 & MAX 1:50 FALL TO
SHOWER FLOOR WASTES

NOTE:
PROVIDE SHOWER SCREEN TO COMPLY
WITH QDC 4.5 FIGURE A4(4)(a)



LHD COMPLIANCE
ENS 2 DETAIL

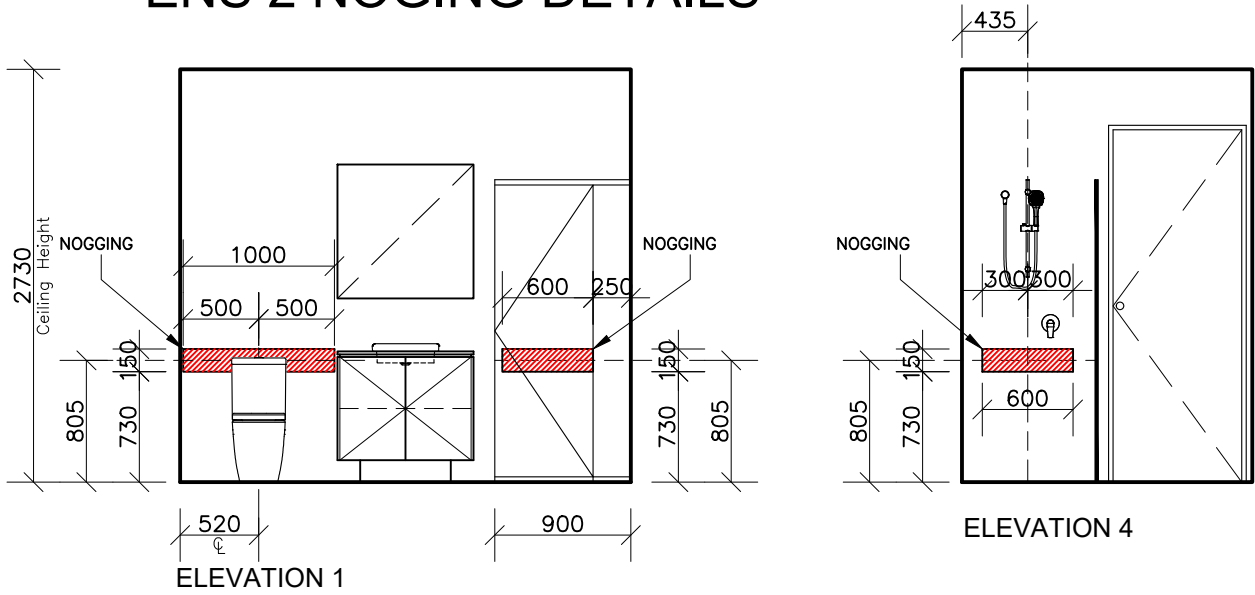
SCALE 1:50



TYPICAL SECTION THROUGH DOOR
FOR SETDOWN FOR SEMI-FRAMELESS
SHOWER SCREEN

SCALE 1:2

ENS 2 NOGING DETAILS



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DP ○ DOWN PIPE LOCATION

TAP  GARDEN TAP LOCATION

Ⓢ SMOKE DETECTOR

⊖ EXHAUST FAN

DP ○ DOWN PIPE LOCATION
TAP ⊗ GARDEN TAP LOCATION

DWELLING STANDARD ELECTRICAL ITEMS		
ENERGY EFFICIENT LIGHTS (BATTEN HOLDER)		28
EXTERNAL BUNKER WALL LIGHT		1
2-WAY SWITCH		1
SINGLE POWER POINTS TOTAL		8
DOUBLE POWER POINT		18
DOUBLE POWER POINT WITH 2x USB PORTS		1
SINGLE EXTERNAL POWER POINT FOR HWS		-
DOUBLE EXTERNAL POWER POINT		1
PERMANENT POWER		2
SINGLE POWER POINT FOR ALARM		-
SINGLE POWER POINT FOR AUTO GARAGE DOOR		1
DATA POINT/PHONE POINT/TV POINT		4
DATA POINT FOR NBN		1
ADDITIONAL PHONE POINT FOR SECURITY SYSTEM		-
EXHAUST FAN		-
SMOKE ALARM Ⓢ		11
INTERNAL CEILING FAN/LIGHT	⊗	6
INTERNAL CEILING FAN	⊗	3
EXTERNAL CEILING FAN TO ALFRESCO	⊗ Ex	1

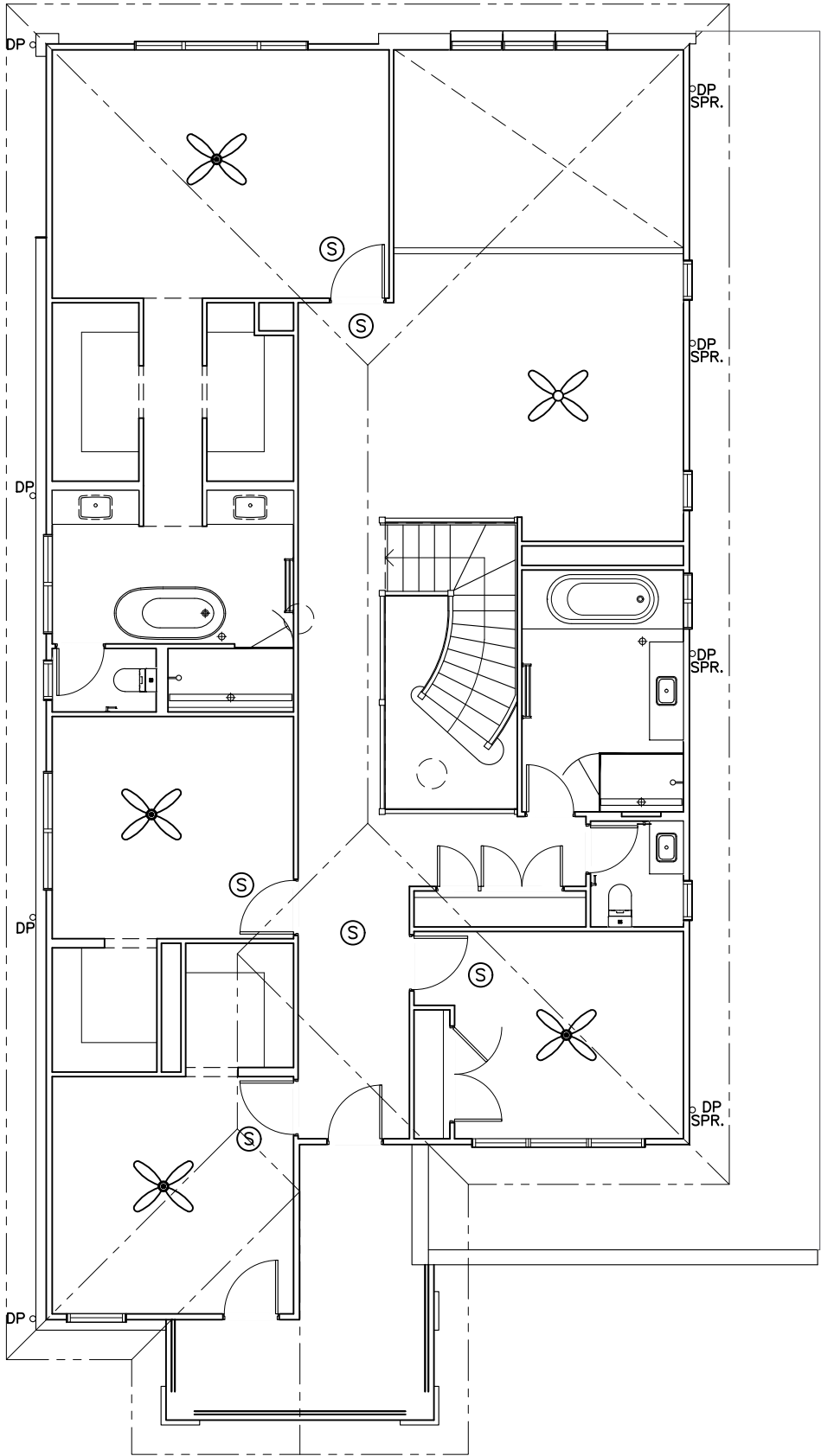
NOTE:
REFER TO YOUR
ELECTRICAL CONSULTANTS
PLANS FOR YOUR FINAL
ELECTRICAL LAYOUT

PROVIDE ENERGY EFFICIENT
ELECTRICAL FIXTURES TO MINIMUM
80% OF HOME AS REQUIRED BY
SUSTAINABLE HOUSING LEGISLATION.

1) SYMBOL INCLUDED IN THE
ELECTRICAL LEGEND DOES NOT IMPLY
THE ITEM IS INCLUDED IN HOUSE.
2) ALL SWITCH, POWER POINT
POSITIONS & HEIGHTS ARE APPROX.
AND WILL BE POSITIONED WITH IN
INDUSTRY STANDARD TOLERANCE.

POSITION OF ELECTRICAL POINTS
SUBJECT TO CONSTRUCTION
CONSTRAINTS.

NOTE:
FOR SAFETY REASONS
CLARENDON RESIDENTIAL DOES
NOT RECOMMEND PROVISION FOR
LIGHT FITTINGS IN CEILINGS
ABOVE DOUBLE STOREY VOIDS



FIRST FLOOR
ELECTRICAL LAYOUT

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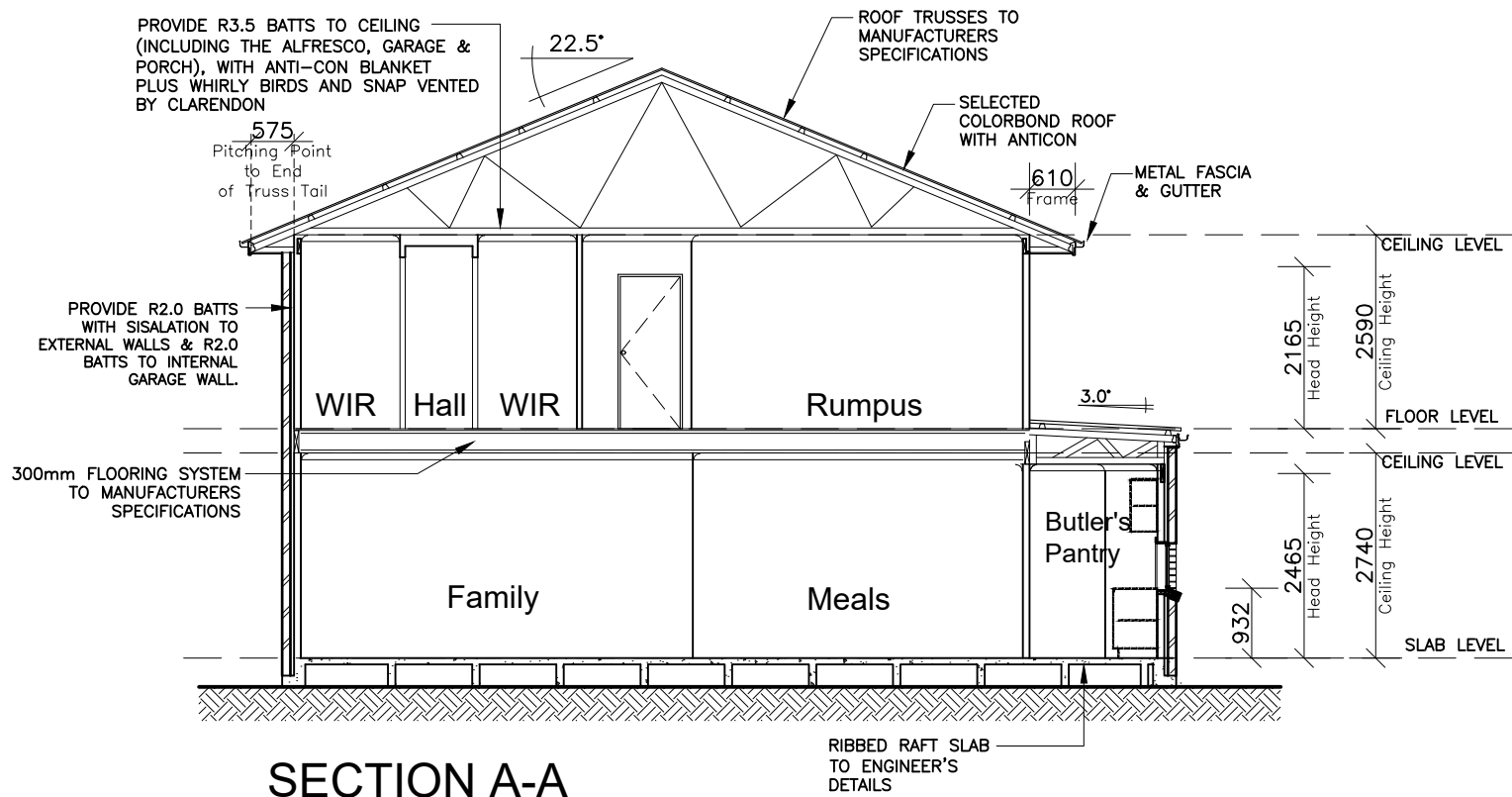
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R/H Garage
LUXE Specification

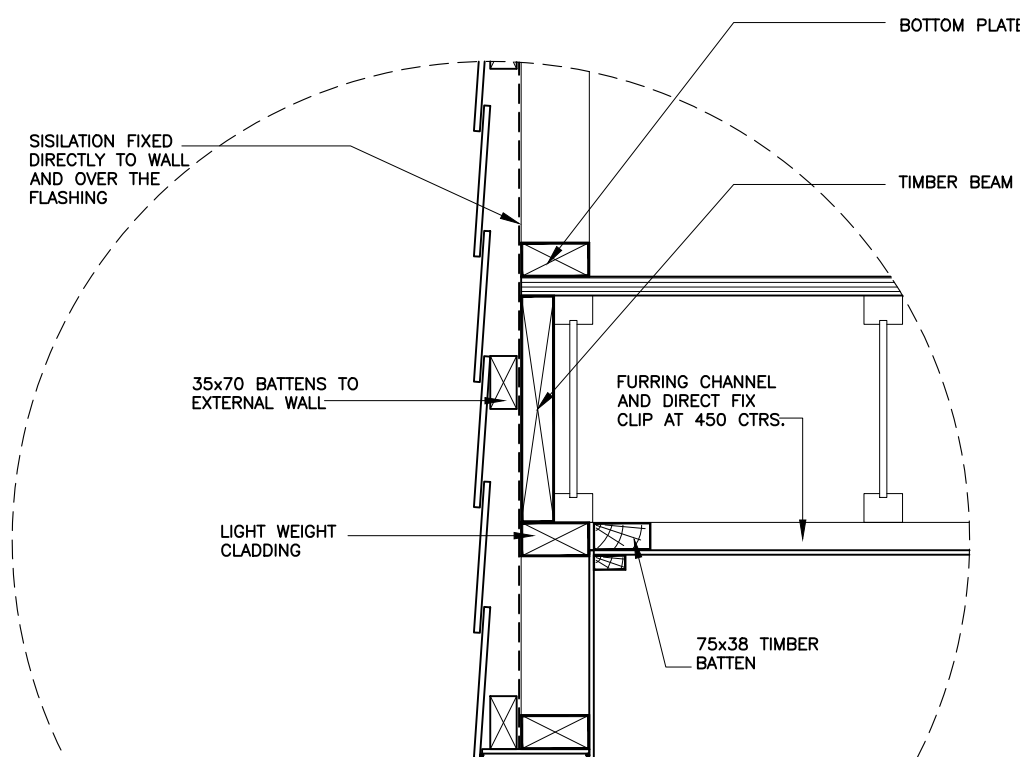
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EMILY PAIGE POUHILA
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RATIO @ A3: 1:100	CHECKED: -		
SHEET: 12	JOB No: 49906316	QLD	



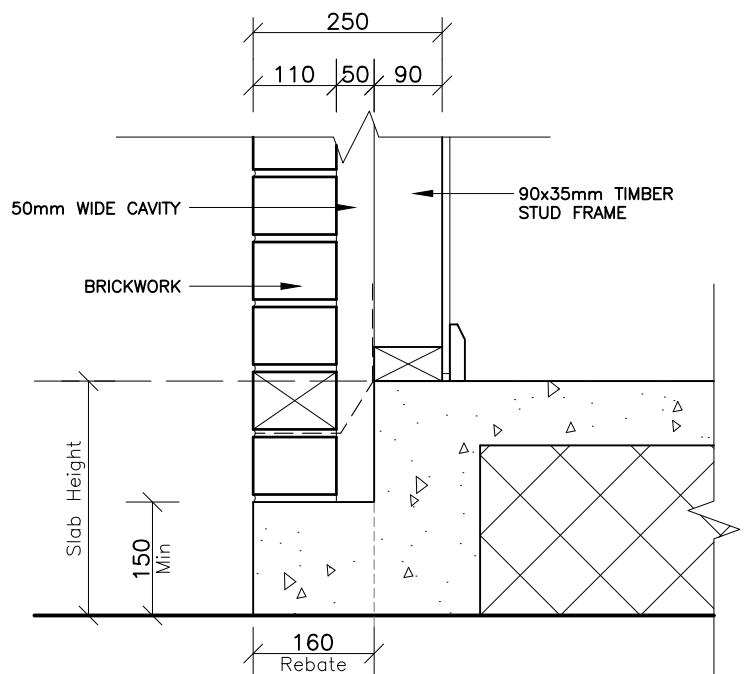
SECTION A-A

SCALE 1:100



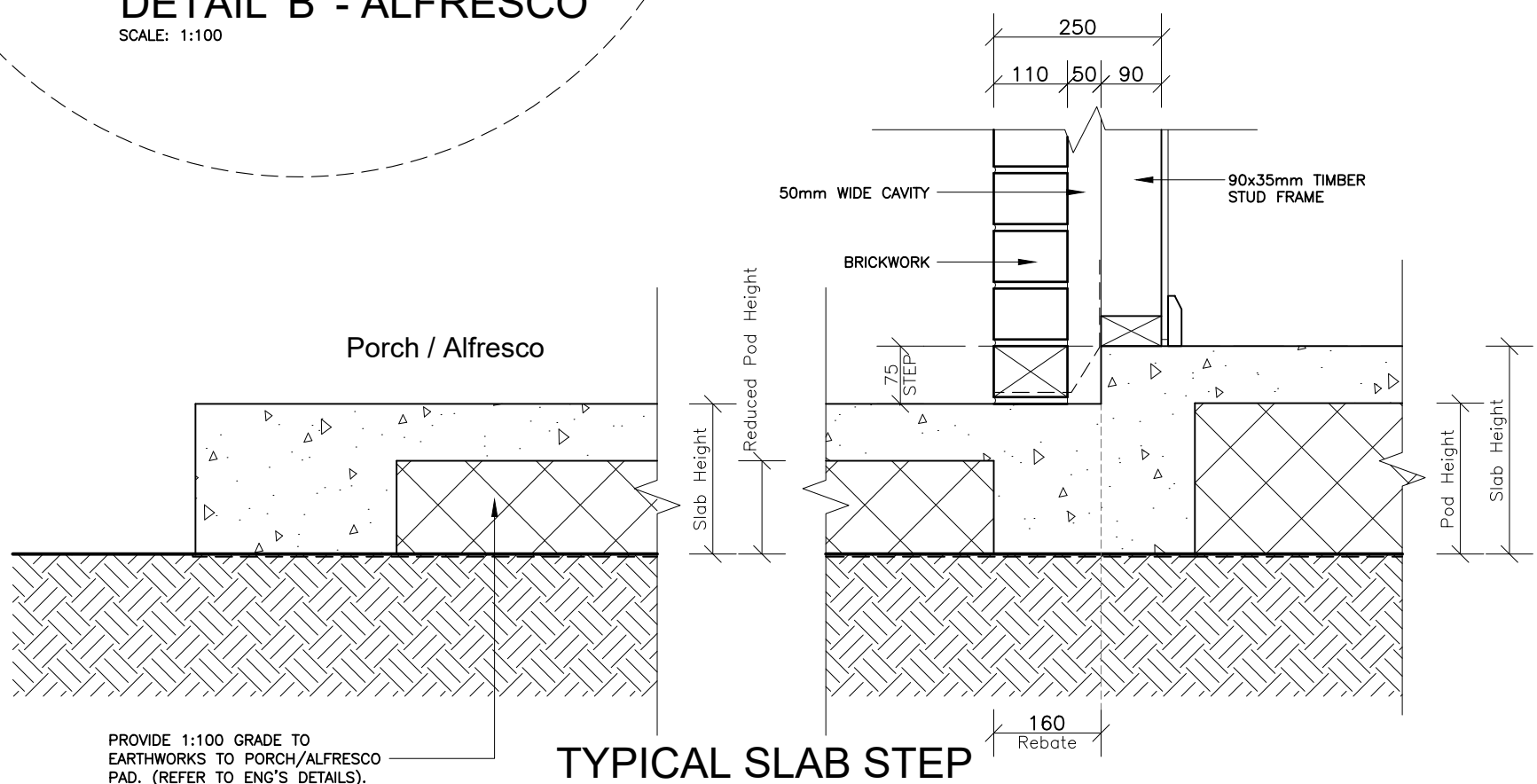
DETAIL 'B' - ALFRESCO

SCALE: 1:100



TYPICAL REBATE DETAIL (90mm FRAME)

SCALE 1:10



TYPICAL SLAB STEP DOWN DETAIL

SCALE 1:10

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Hampton Facade
R/H Garage

LUXE Specification

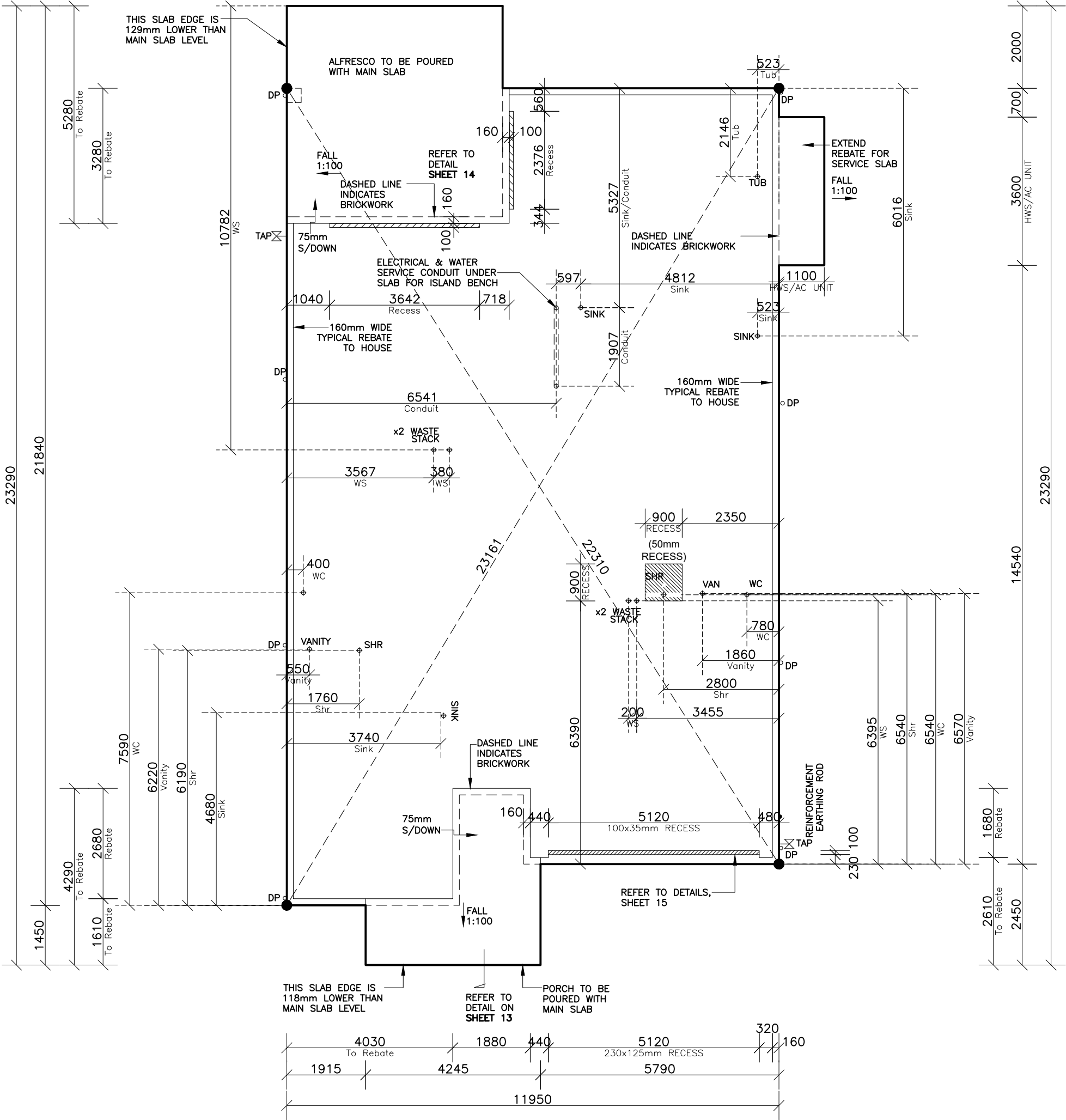
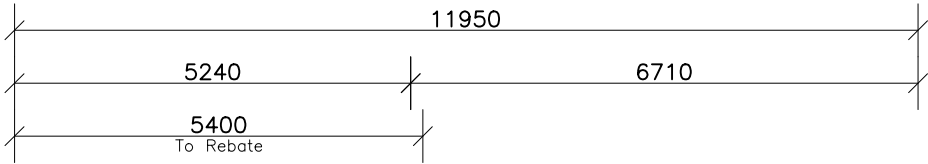
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RATIO @ A3: As Shown	CHECKED: -	
SHEET: 13	JOB No: 49906316	QLD

DOWN PIPE
LOCATION
GARDEN TAP
LOCATION

ALL SERVICES SLABS
TO BE SET DOWN 160mm
FROM SLAB F.F.L.



SLAB PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

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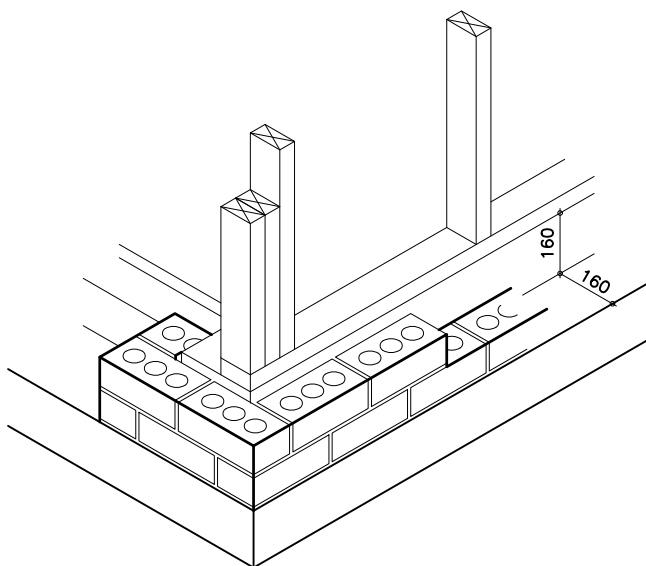
PRODUCT:
Sherwood 390
Hampton Facade
R/H Garage

LUXE Specification

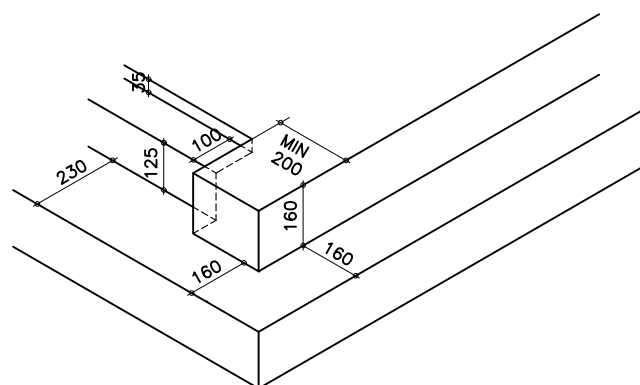
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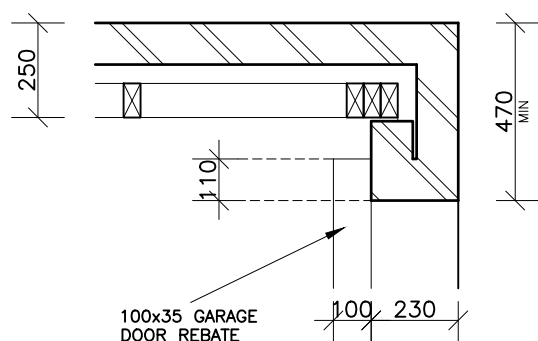
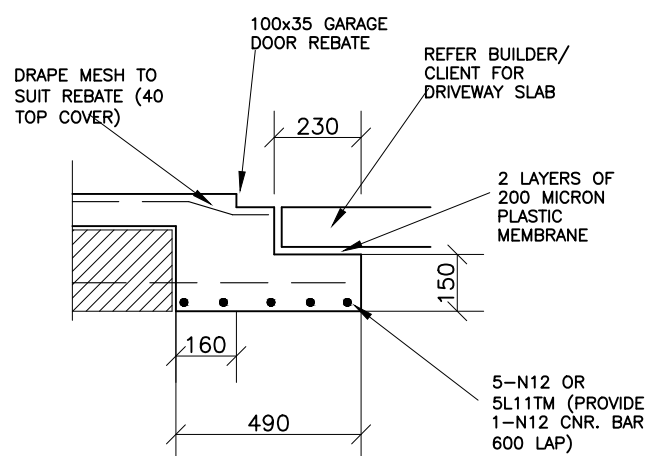
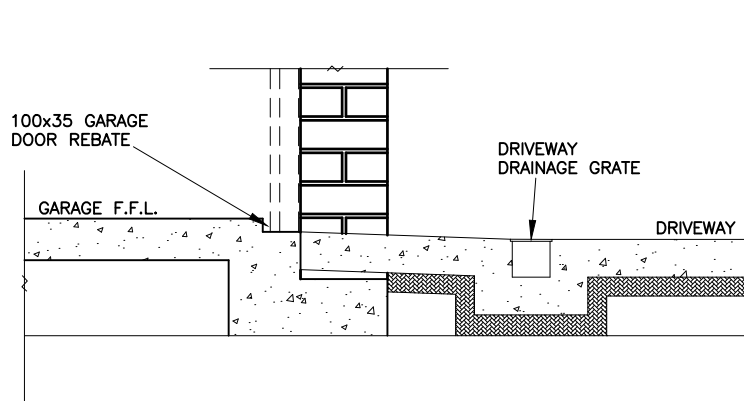
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SHEET: 14	JOB No: 49906316	QLD



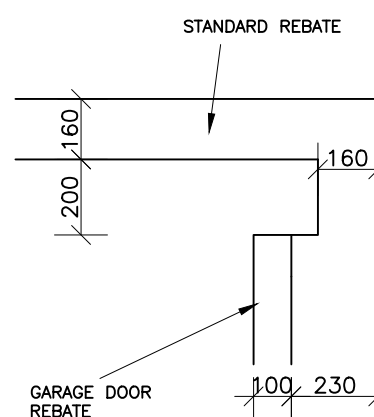
EXTERNAL ISOMETRIC OF PREPARED BRICKWORK



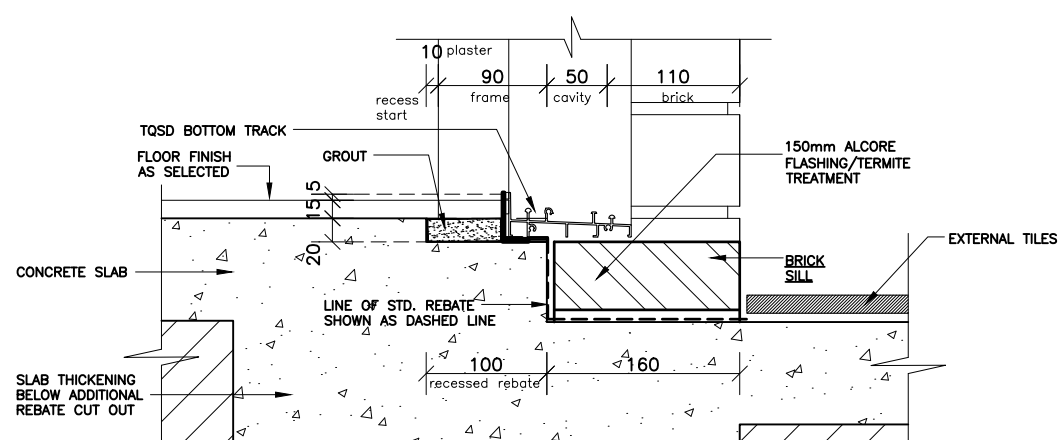
EXTERNAL ISOMETRIC OF PREPARED SLAB



FLOOR PLAN



SLAB PLAN VIEW
WITH BRICK AND
FRAME REMOVED



TYPICAL SLIDING DOOR RECESS SECTION SCALE 1:5

SLAB DETAILS

CLIENT'S SIGNATURE: _____ DATE: _____

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Hampton Facade
R/H Garage

LUXE Specification

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EMILY PAIGE POUHILA

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SHEET: 15	JOB No: 49906316	QLD

Architectural floor plan of the 1st floor. The plan shows a central staircase, several rooms, and a kitchen area. Key structural elements include concrete and steel beams, slabs, and frames. Dimensions are provided for various sections. Labels include 'CONC' TIMBER BEAM', 'CONC' STEEL BEAM', 'T-BAR', 'VOID ABOVE', and 'FRAME'. Specific beam and slab identifiers like SHS(P1) through SHS(P10) and SHS(P4) through SHS(P7) are noted. A red dashed box highlights a kitchen area, and a blue dashed box highlights a bathroom area.

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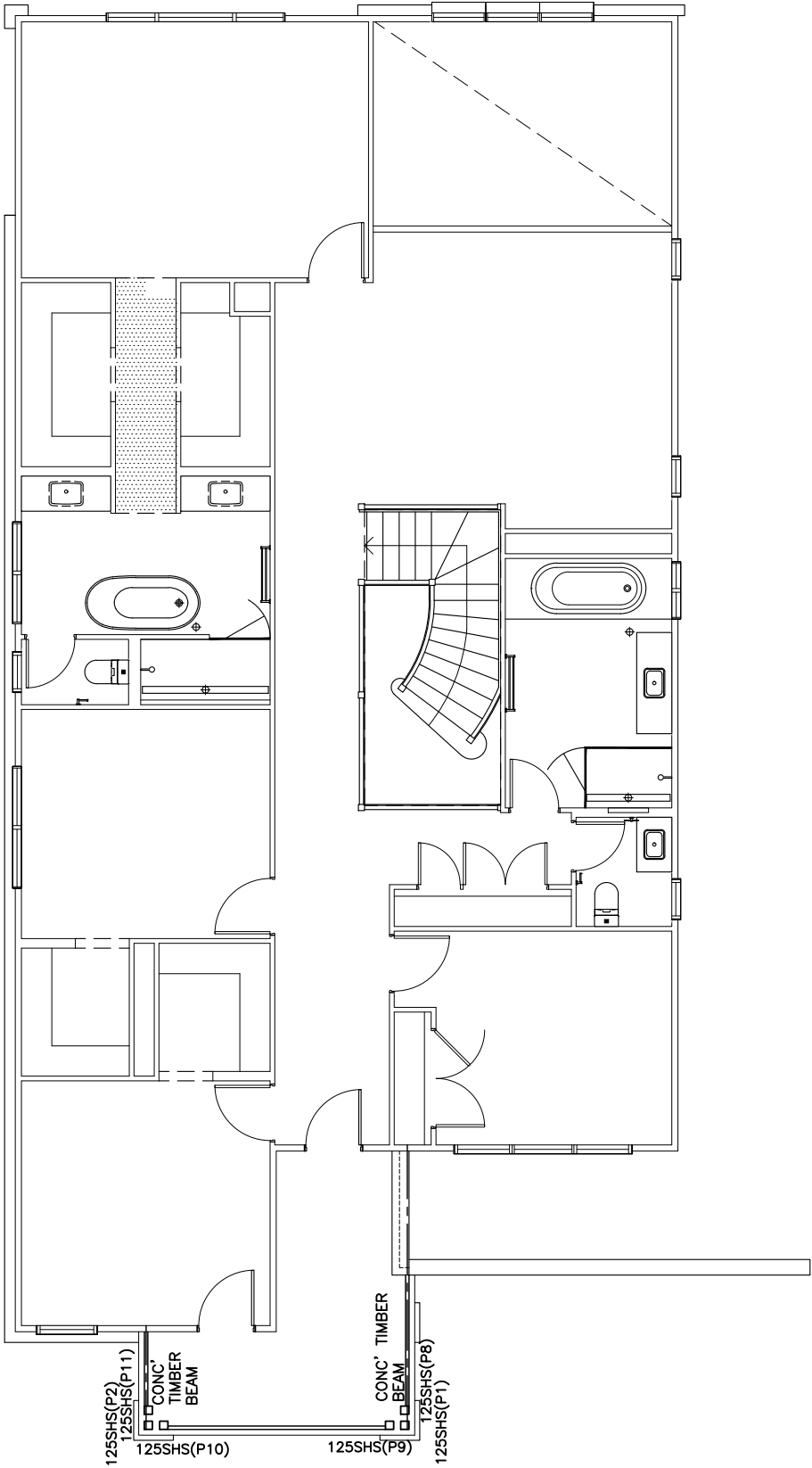
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REFER TO ENGINEER'S DESIGN FOR
BRACING REQUIREMENT, DETAILS &
TIEDOWN SCHEDULES



FIRST FLOOR
STEEL SCHEDULES

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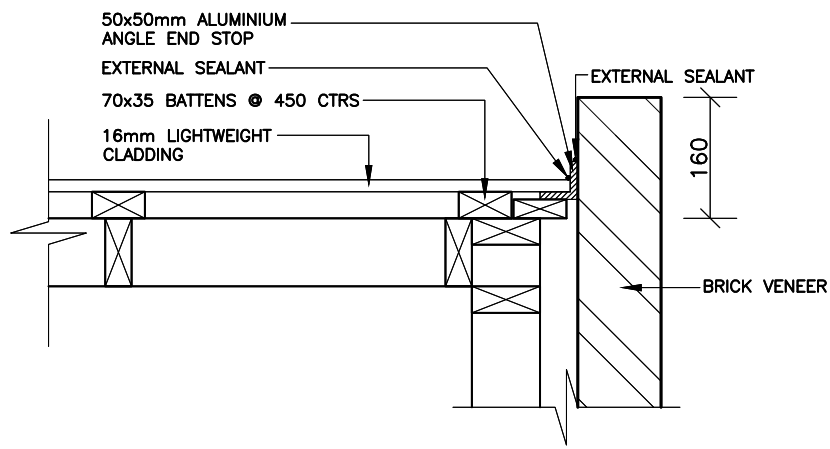
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R/H Garage

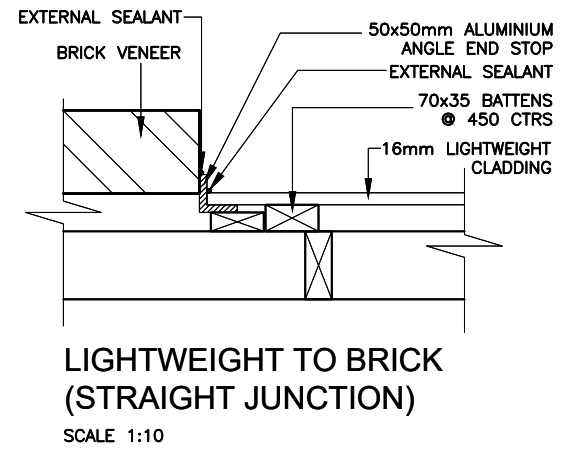
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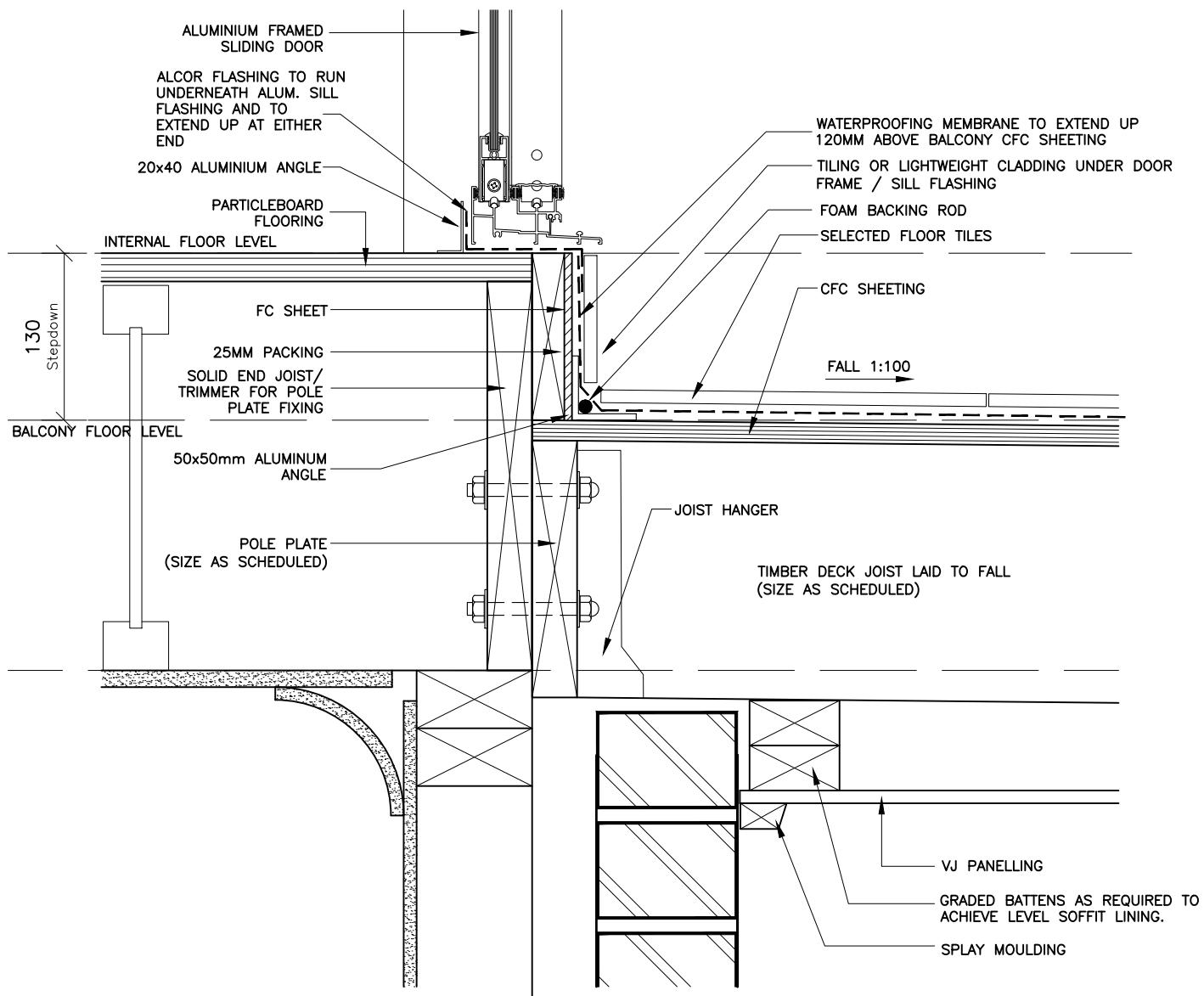
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RATIO @ A3: 1:100	CHECKED: -	
SHEET: 16.2	JOB No: 49906316	QLD



LIGHTWEIGHT TO BRICK - EXTERNAL CORNER
SCALE 1:10



**LIGHTWEIGHT TO BRICK
(STRAIGHT JUNCTION)**
SCALE 1:10



THRESHOLD - NON-BEDDED BALCONY - D
SCALE 1:5

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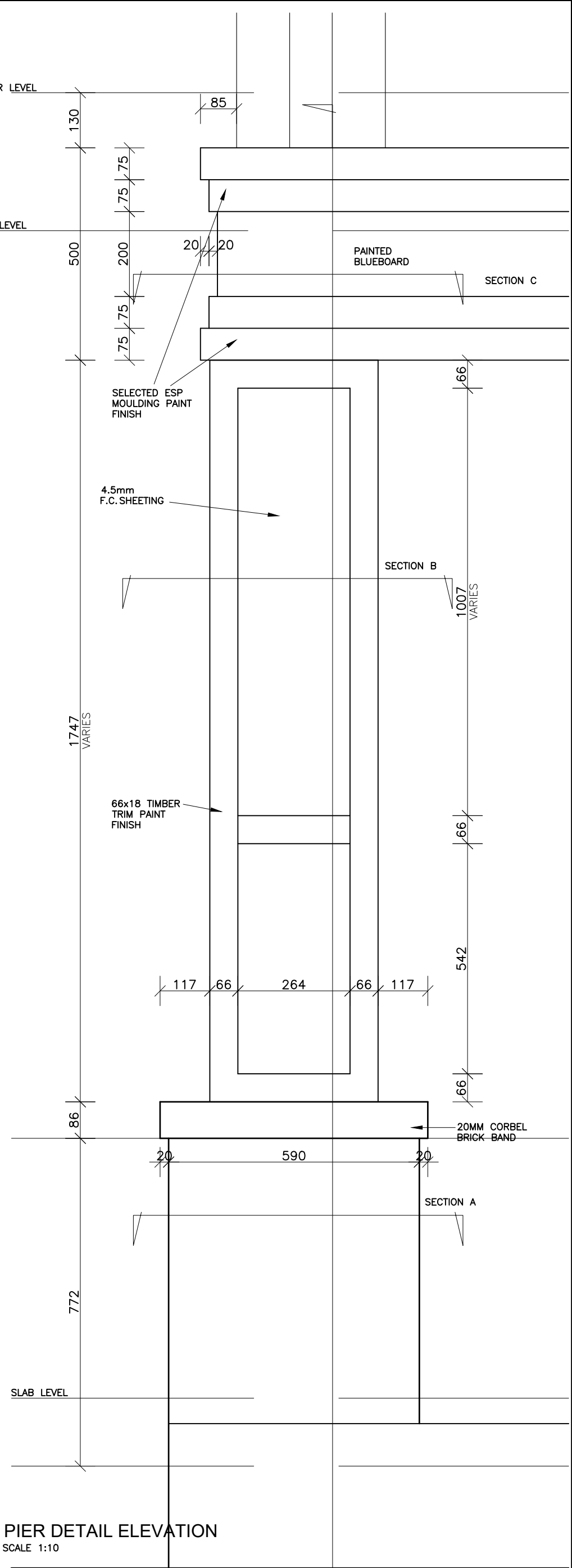
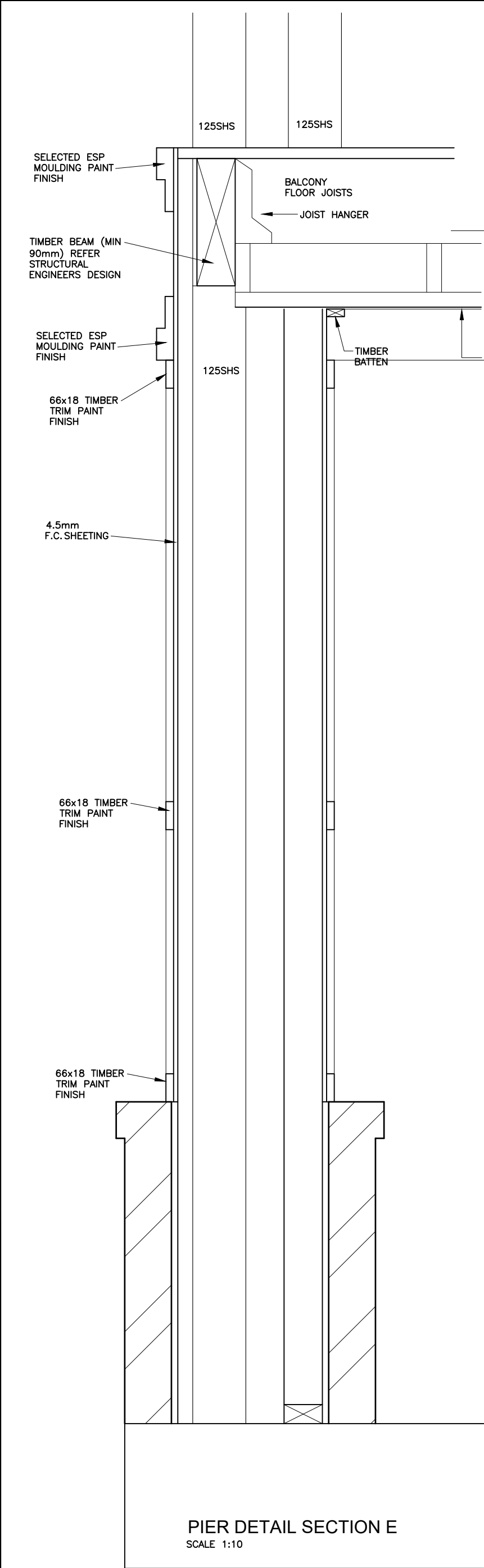
PRODUCT:
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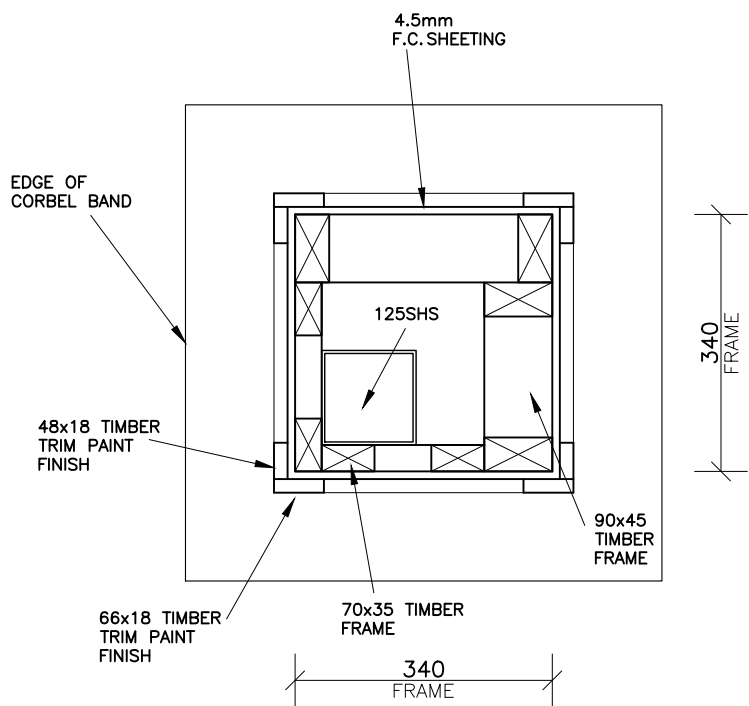
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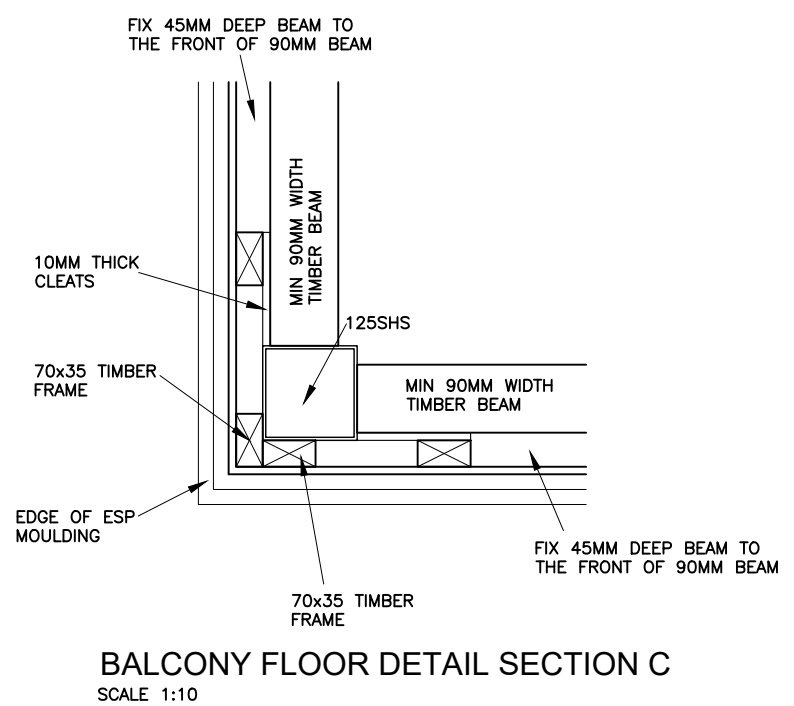
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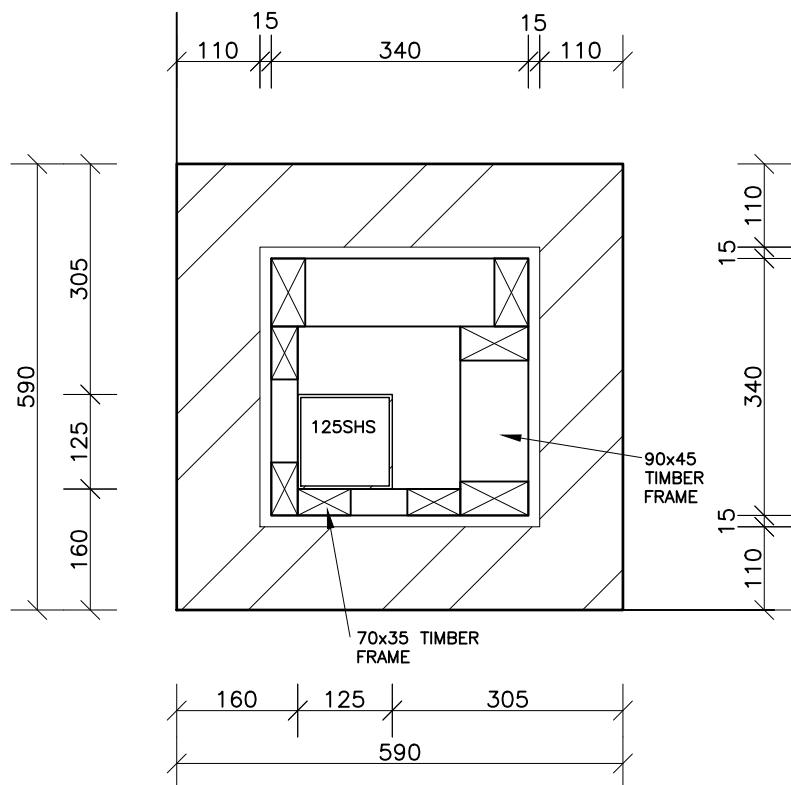
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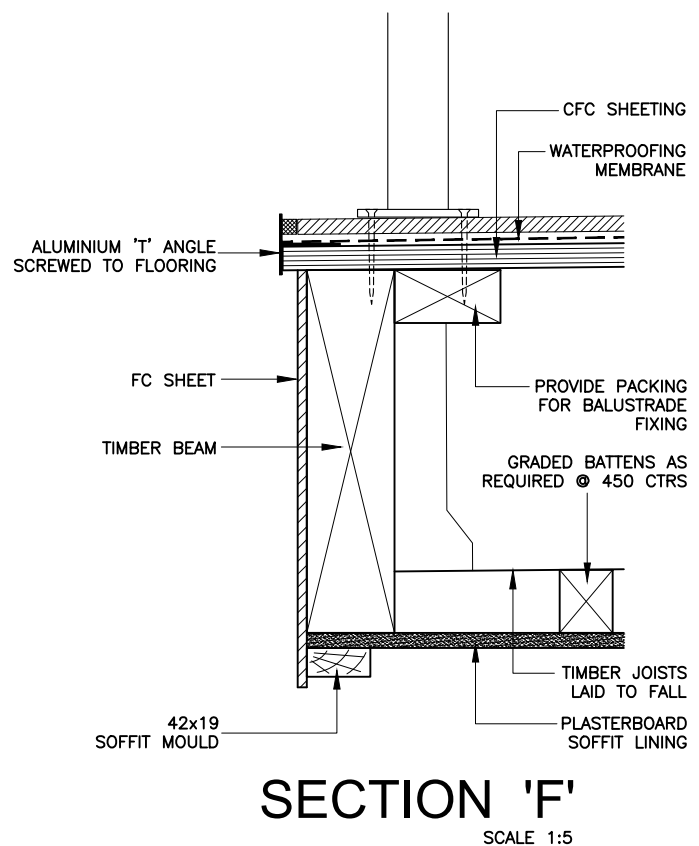
PIER DETAIL SECTION B
SCALE 1:10



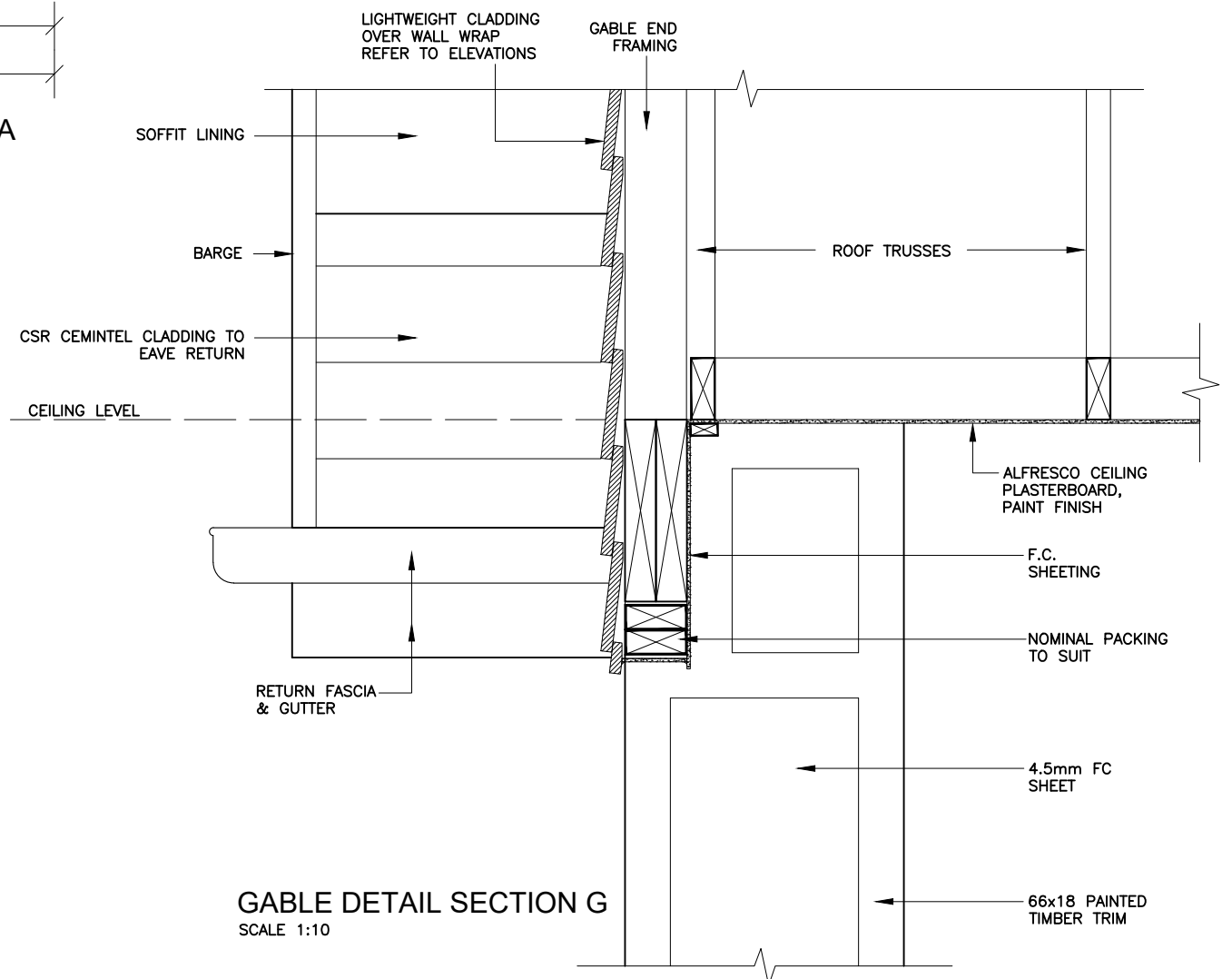
BALCONY FLOOR DETAIL SECTION C
SCALE 1:10



PIER DETAIL SECTION A
SCALE 1:10



SECTION 'F'
SCALE 1:5



GABLE DETAIL SECTION G
SCALE 1:10

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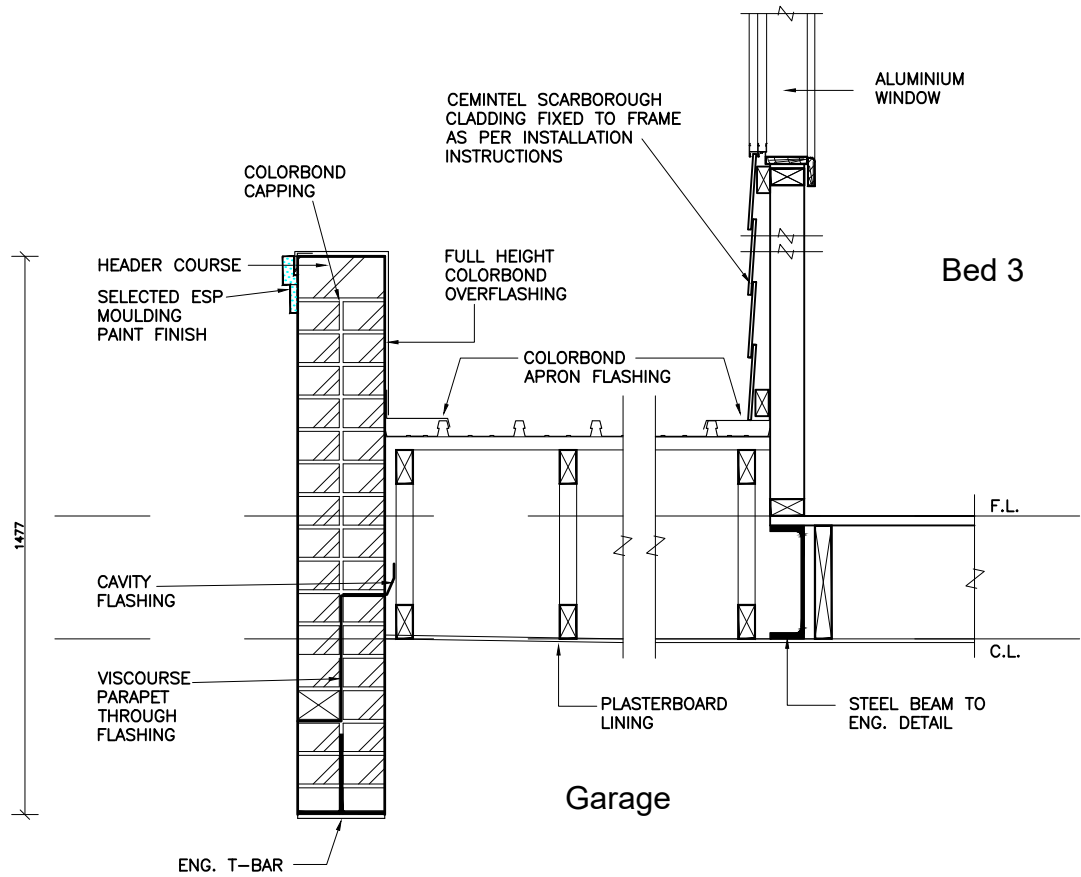
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DETAIL 'C'

SCALE 1:20

CLIENT'S SIGNATURE: _____ DATE: _____

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