

WAREHOUSE (DISTRIBUTION CENTRE)

PROPOSED LOT 101, FLAGSTONE LOGISTICS ESTATE, QLD 4280

LANDSCAPE CONCEPT REPORT
DA SUBMISSION
03.02.2025
ISSUE F



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- L-02 Design Precedent Images
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- L-04 Overall Landscape Concept Masterplan
- L-05 Tree Planting Strategy
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- L-13 Plant Schedule
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CLIENT:



LANDSCAPE ARCHITECT:



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2023/1446
Date: 19 March 2025



DESIGN PRECEDENT IMAGES

FRONT SETBACK



PARKING AREA



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PROJECT THEMES:

1. Conservation of the natural environment.

This project will lead to the future enhancement of the increasing endemic canopy tree planting promotion of social, cultural, recreational, and educational opportunities within natural landscapes.

2. Increased access to open space

Improved connections to local destinations. The quantity, quality, distribution, and accessibility of Industrial office green spaces enables the delivery of multifunctional spaces that promote healthy work environments.

3. Improved connectivity to promote active living

Improvements to the office communal areas and frontages that promote exercise and alternative modes of transport such as walking and cycling.

4. Increase urban greening to ameliorate climate extremes

We incorporate the design of green cover strategies including street trees, front setback canopy trees, cooler pavement materials and WSUD. Our landscape scheme provides benefits such as improved amenity, comfort, health, reduced stormwater run-off, improved air and water quality, energy and resource efficiency.

a) THE RE-VEGETATION STRATEGY

The strategy for re-vegetating the site focuses on canopy tree planting to reduce the “urban heat island effect”. We have proposed a mix of local endemic, native and exotic trees to strengthen the urban design principles and to comply with current sustainability guidelines. Street verges, buffer tree planting to boundaries are densely planted with canopy trees ranging from 6m to 15m+ in height and canopy spread. Bush regeneration shall be implemented along major road setbacks for existing vegetation buffers. Car parks hard surfaces are shaded by tree planting between car parking spaces. Cycleways and path systems are also shaded by canopy tree planting. WSUD principles including soft engineering through bio-swales, detention basins and grey water re-use (co-ordinated with the civil engineer) shall help in maintaining and managing the re-vegetation areas.

b) STREETSCAPES + PUBLIC DOMAIN

All streetscapes and setbacks have been designed to be multifunctional and provide connectivity throughout the Estate for vehicles, pedestrians and cyclists. The streets and landscaped setbacks form the main “green spines” throughout development. The streetscape has been designed in accordance with City of Logan Council’s Public Domain policy. The main features of the public domain are:

- 1. Provide tree canopy cover and reduce the “urban heat island effect”;
- 2. Provide safe and comfortable transit for pedestrians and cyclists;
- 3. Strengthen canopy connectivity throughout the Estate;
- 4. Allow multi-functionality through the revisions of various transit lanes such as heavy vehicle, cars, pedestrian footpaths and cycleways;
- 5. Soften and screen the bulk of the warehouses;
- 6. Help create a cooler microclimate around buildings and along pedestrian routes;
- 7. Provide multiple opportunities to create an address for each warehouse project;
- 8. Integrate lighting for safety;

- 9. Allow safe passage for visitors and workers to experience the conservation area corridors interface;
- 10. Strengthen the connection to Mt Lindesay Highway, Crowson Lane and surrounding areas
- 11. Incorporate WSUD principles into the including water quality bio-swales and vegetated detention basins

THE LANDSCAPE STRATEGY:

- Retain as much significant landscape and built form fabric as possible.
- Incorporate a creative interpretation of place through the design and layout of proposed landscaping and people movement.
- Embellish and enhance the vegetation setback buffer to the Mt Lindesay Highway and Crowson Lane with endemic tree planting.

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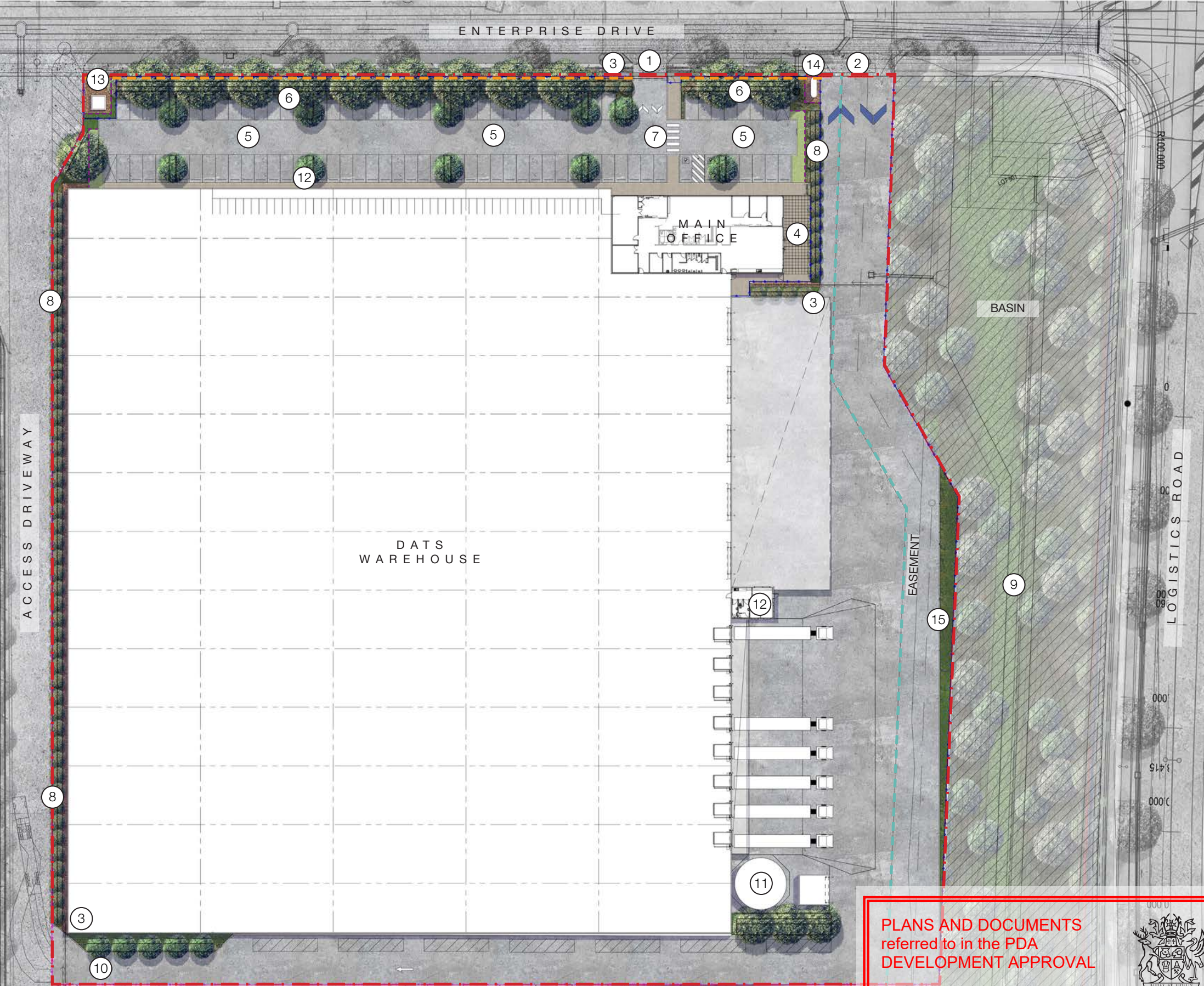
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PROJECT	DRAWING TITLE	PROJECT NO.	PURPOSE	SCALE	REVISION	DATE	DRAWN	CHECKED	PAGE	CLIENT
WAREHOUSE (DISTRIBUTION CENTRE) PROPOSED LOT 101, FLAGSTONE LOGISTICS ESTATE, QLD 4280	LANDSCAPE DESIGN PHILOSOPHY	H8-23042	DA SUBMISSION	NTS	F	03.02.2025	KM	DV	L03	Charter Hall



OVERALL LANDSCAPE CONCEPT MASTERPLAN



KEY

SITE BOUNDARY

2100mm HT PALISADE SECURITY FENCE TO CH SPECIFICATIONS

2100m HT PVC COATED CHAINMESH FENCE TO CH SPECIFICATIONS

STEEL EDGING

CONCRETE EDGING

PROPOSED CANOPY TREE PLANTING REFER TO PLANT SCHEDULE

MASS PLANTING BEDS REFER TO PLANT SCHEDULE

TURF

CONCRETE SURFACE TO ENGINEER'S DETAILS

PAVED SURFACE TO ARCHITECT'S DETAILS

- DESIGN NOTES
1. CAR ENTRY / EXIT

2. TRUCK ENTRY / EXIT

3. SLIDING SECURITY GATE TO ARCHITECT'S DETAILS

4. OUTDOOR STAFF AREA

5. CARPARK

6. LANDSCAPE SETBACK: LARGE CANOPY TREES (10m HT @10M OC) AND MEDIUM TREES (6m HT @5M OC)

7. PEDESTRIAN ACCESS

8. BOUNDARY PLANTING: SCREENING TREES AND HEDGES

9. BASIN (REFER TO SEPARATE DOCUMENTATION PACKAGE)

10. TEMPORARY FIRE ACCESS

11. SPRINKLER TANK

12. DOCK OFFICE

13. FUTURE (PMT) PAD MOUNTED TRANSFORMER

14. MAJOR PYLON SIGN

15. EASEMENT PLANTING: TURF AND LOW LYING SHRUBS

Easement planting to be native, endemic plant species

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

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AMENDED IN RED

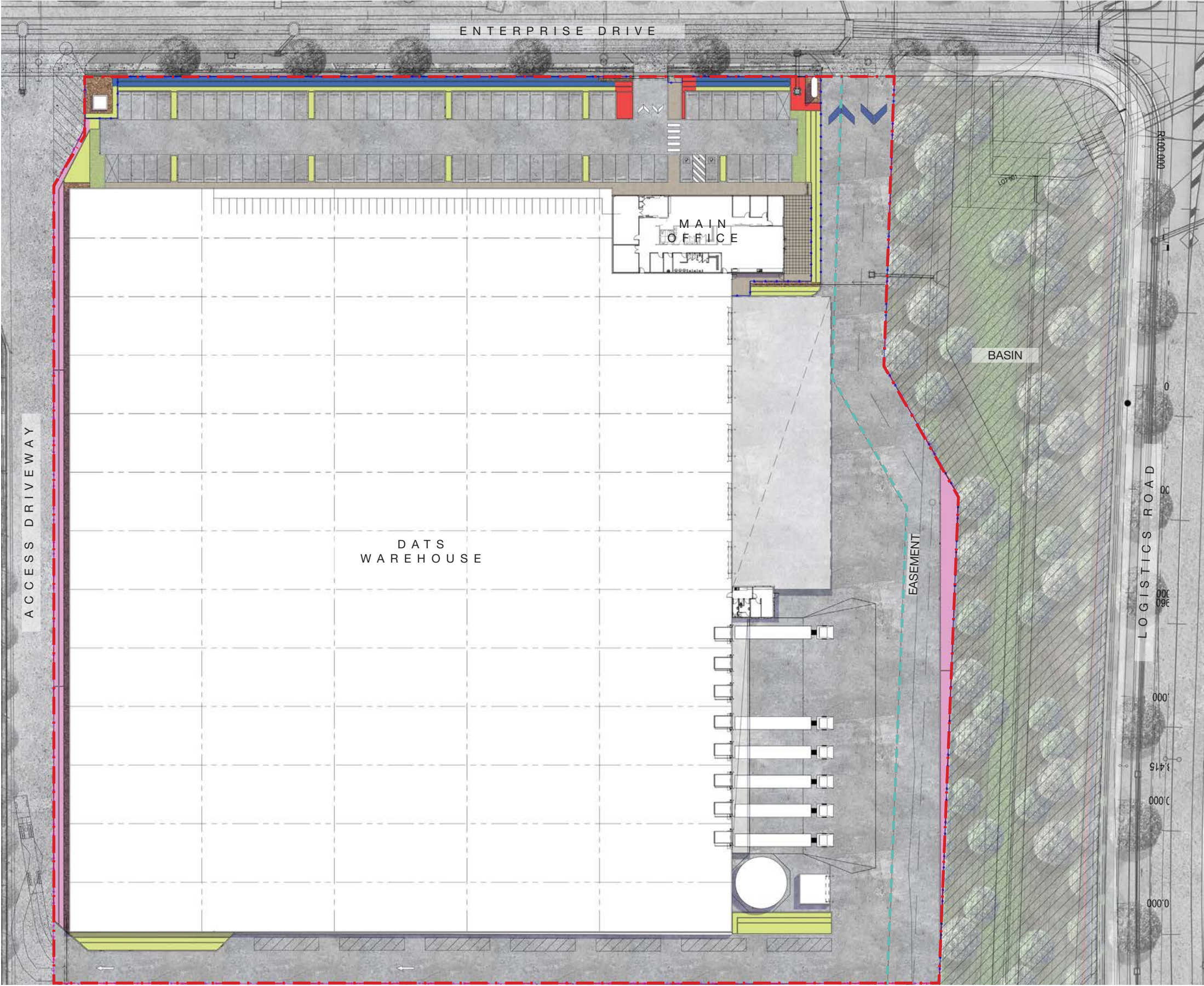
By: Jocelyn Bowyer

Date: 4 March 2025



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PLANTING STRATEGY



KEY

- FEATURE ENTRY PLANTING**
Refer to Plant Schedule
- FEATURE FRONT SETBACK PLANTING**
Refer to Plant Schedule
- CARPARK PLANTING AND OFFICE**
Refer to Plant Schedule
- BOUNDARY PLANTING AREA**
Refer to Plant Schedule
- TURF**

PLANS AND DOCUMENTS
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Tree Canopy Shadow Analysis

DESIGN NOTES

- 1. CAR ENTRY / EXIT
- 2. TREE SHADOWS
- 3. SLIDING SECURITY GATE TO ARCHITECT'S DETAILS
- 4. CARPARK AREA
- 5. LANDSCAPE SETBACK: LARGE CANOPY TREES (10-15m HT @10M OC) AND MEDIUM TREES (6-8m HT @5M OC)
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- 7. FUTURE (PMT) PAD MOUNTED TRANSFORMER
- 8. MAJOR PYLON SIGN

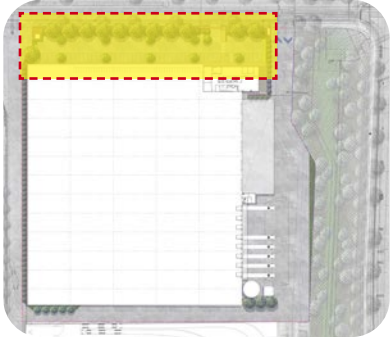
TREE CANOPY COVER (Carpark + Frontage only)

TREE NO.	TREE CANOPY	CANOPY AREA (m²)	TOTAL CANOPY COVER (m²)
7	3m	7	49
22	6m	30	660
12	10m	78	936

CARPARK + FRONTAGE AREA	3,110.83 m²
TOTAL TREE NO.	41
TOTAL SQM CANOPY COVER	1,645 m²
TOTAL CANOPY PERCENTAGE	52.88%
CARPARK + FRONTAGE LANDSCAPE AREA SQM	648.25
TOTAL LANDSCAPE PERCENTAGE	20.84%

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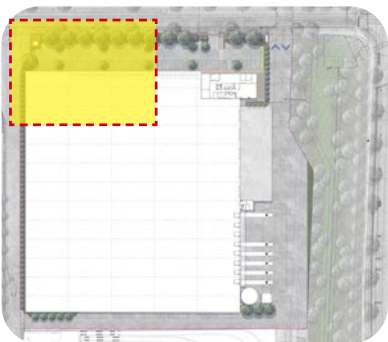
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KEY PLAN



LANDSCAPE CONCEPT PLANTING PLAN 01



KEY PLAN
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- 2100m HT PVC COATED CHAINMESH FENCE TO CH SPECIFICATIONS
- STEEL EDGING
- CONCRETE EDGING
- PROPOSED CANOPY TREE PLANTING REFER TO PLANT SCHEDULE
- MASS PLANTING BEDS REFER TO PLANT SCHEDULE
- TURF
- CONCRETE SURFACE TO ENGINEER'S DETAILS
- PAVED SURFACE TO ARCHITECT'S DETAILS

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- TEMPORARY FIRE ACCESS
- SPRINKLER TANK
- DOCK OFFICE
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- MAINTENANCE ACCESS
- MAJOR PYLON SIGN

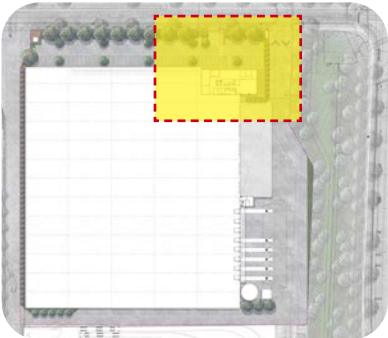
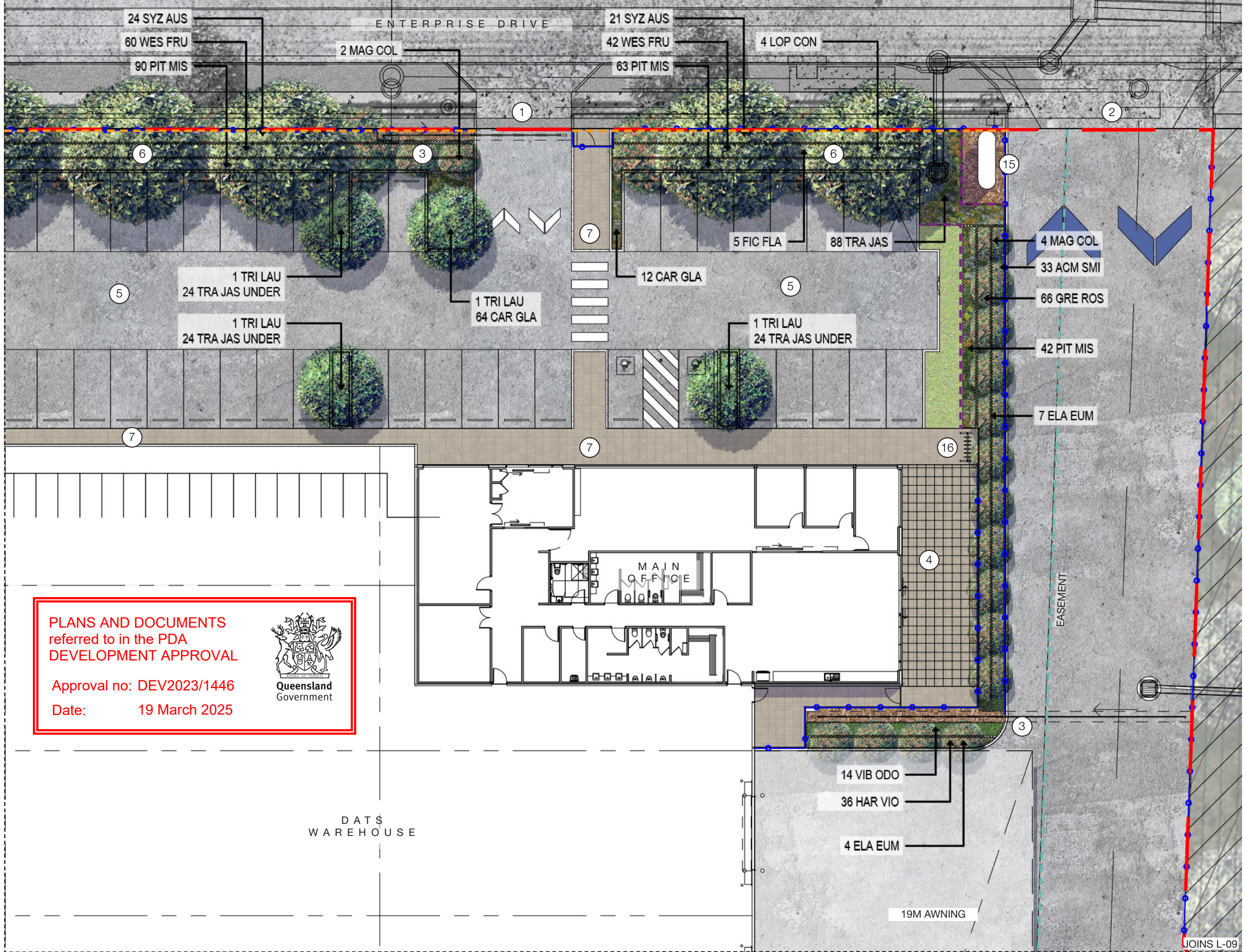
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LANDSCAPE CONCEPT PLANTING PLAN 02

JOINS L-07



KEY PLAN

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DESIGN NOTES

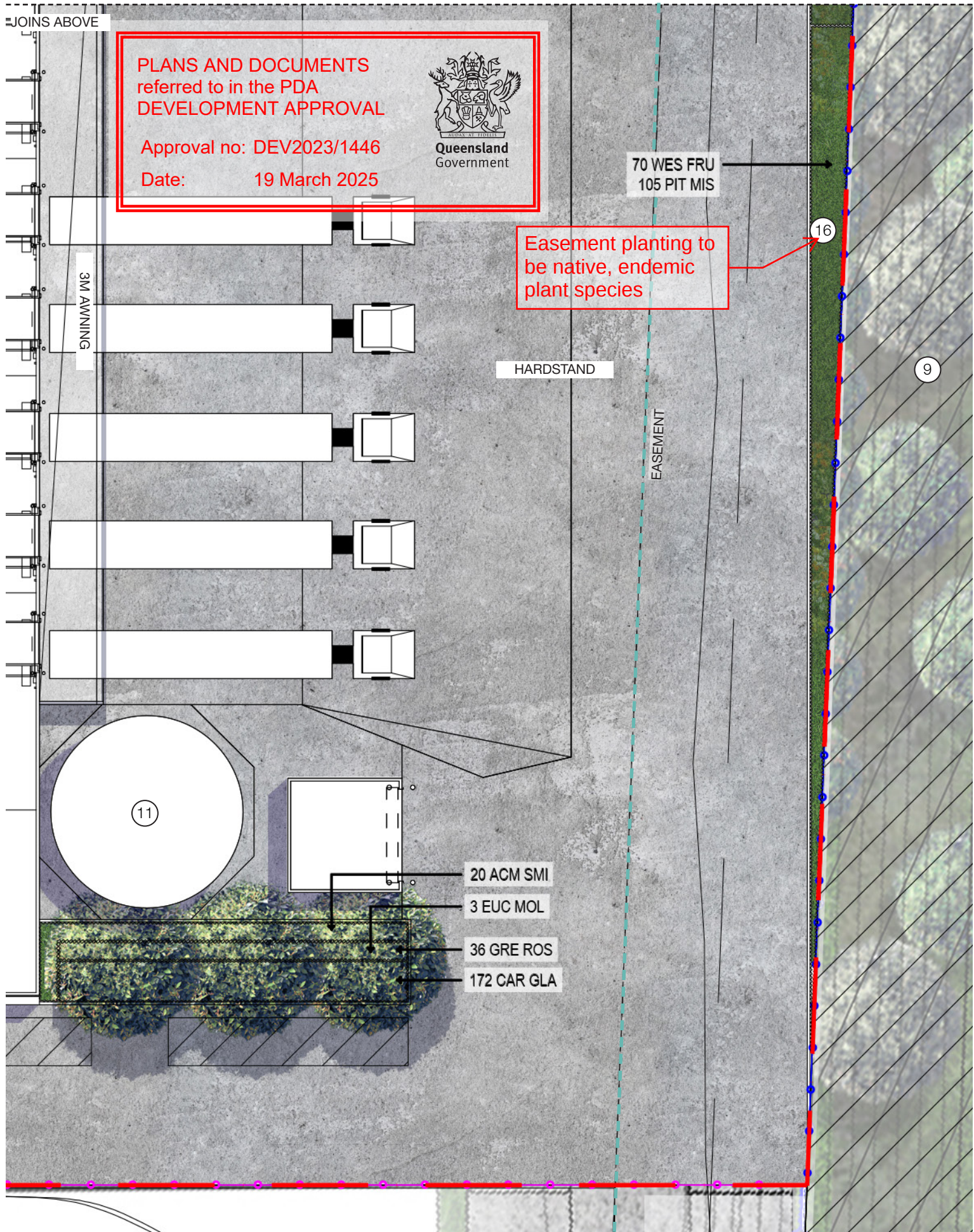
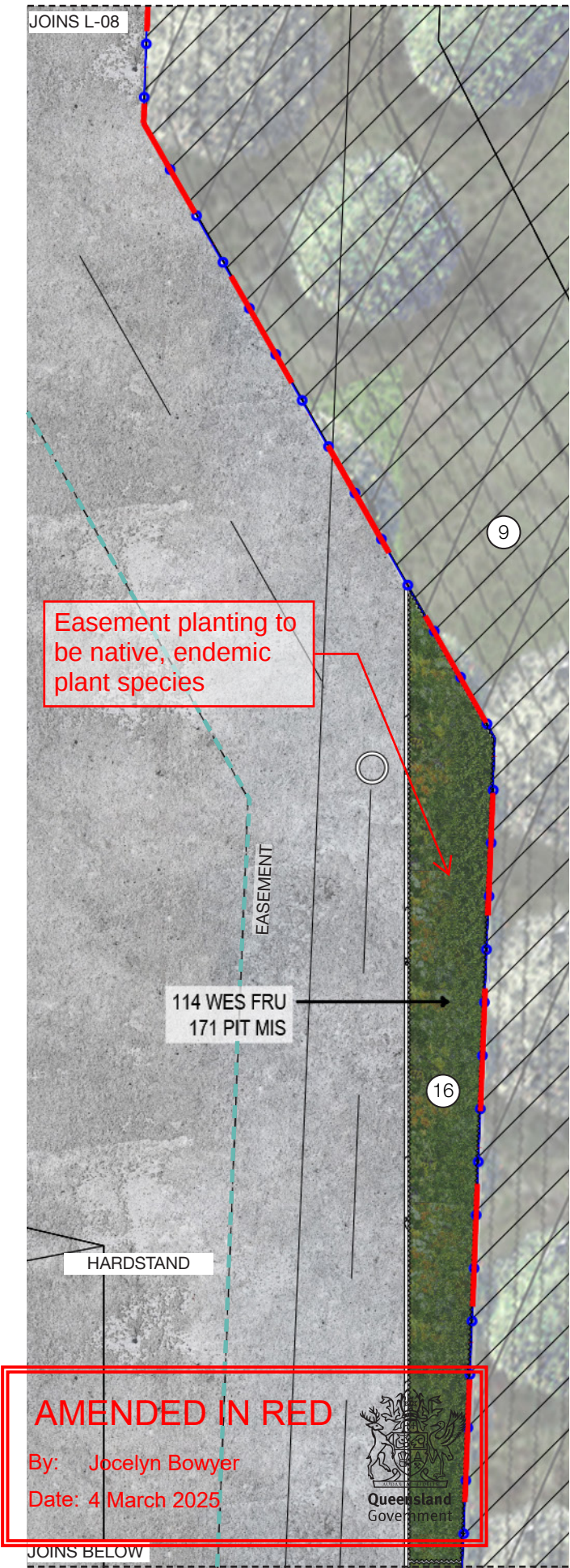
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- SPRINKLER TANK
- DOCK OFFICE
- FUTURE (PMT) PAD MOUNTED TRANSFORMER
- MAINTENANCE ACCESS
- MAJOR PYLON SIGN
- BICYCLE PARKING

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LANDSCAPE CONCEPT PLANTING PLAN 03

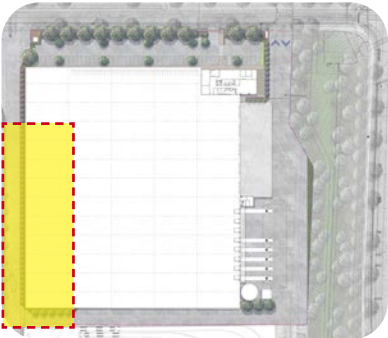
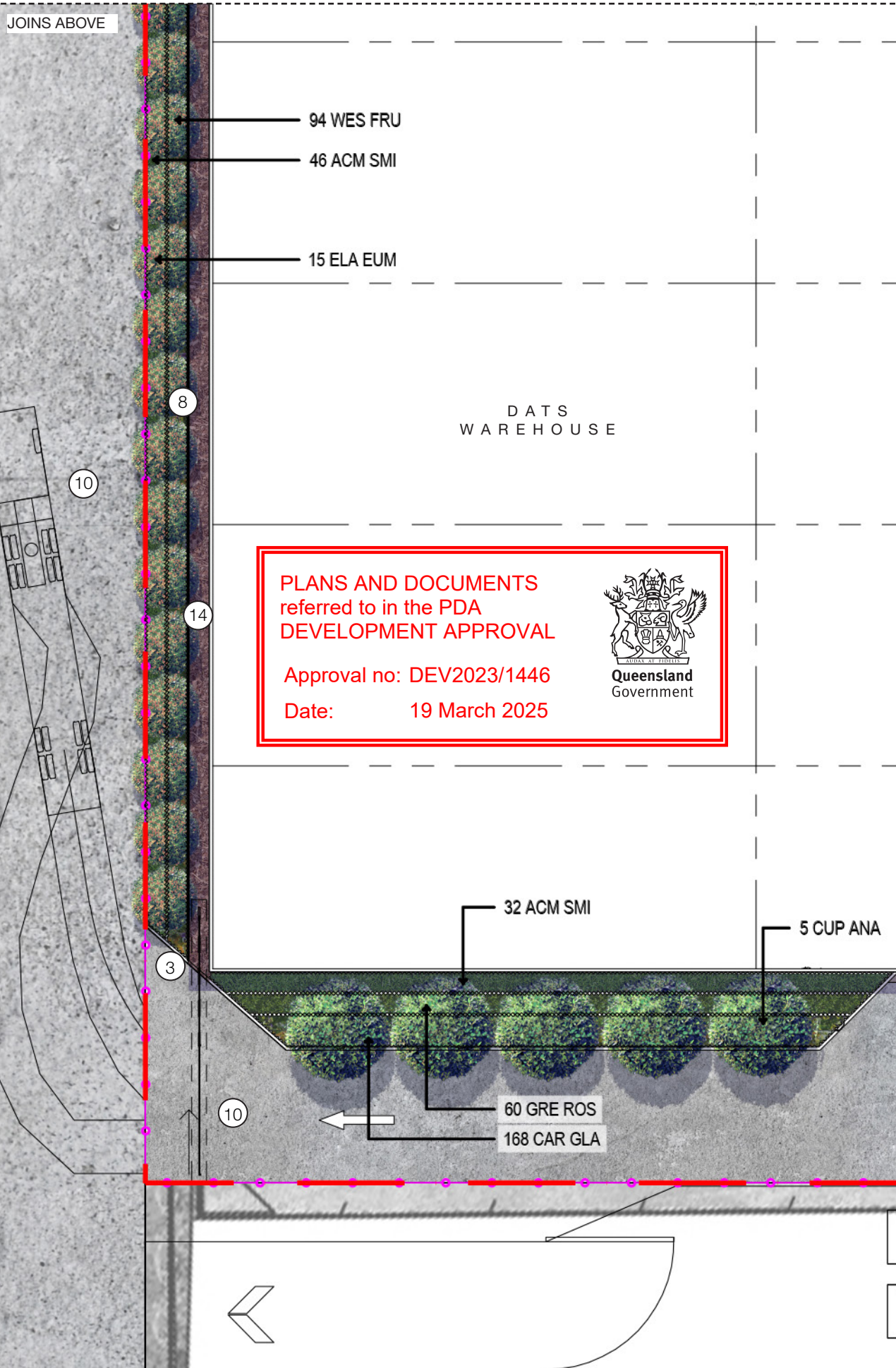
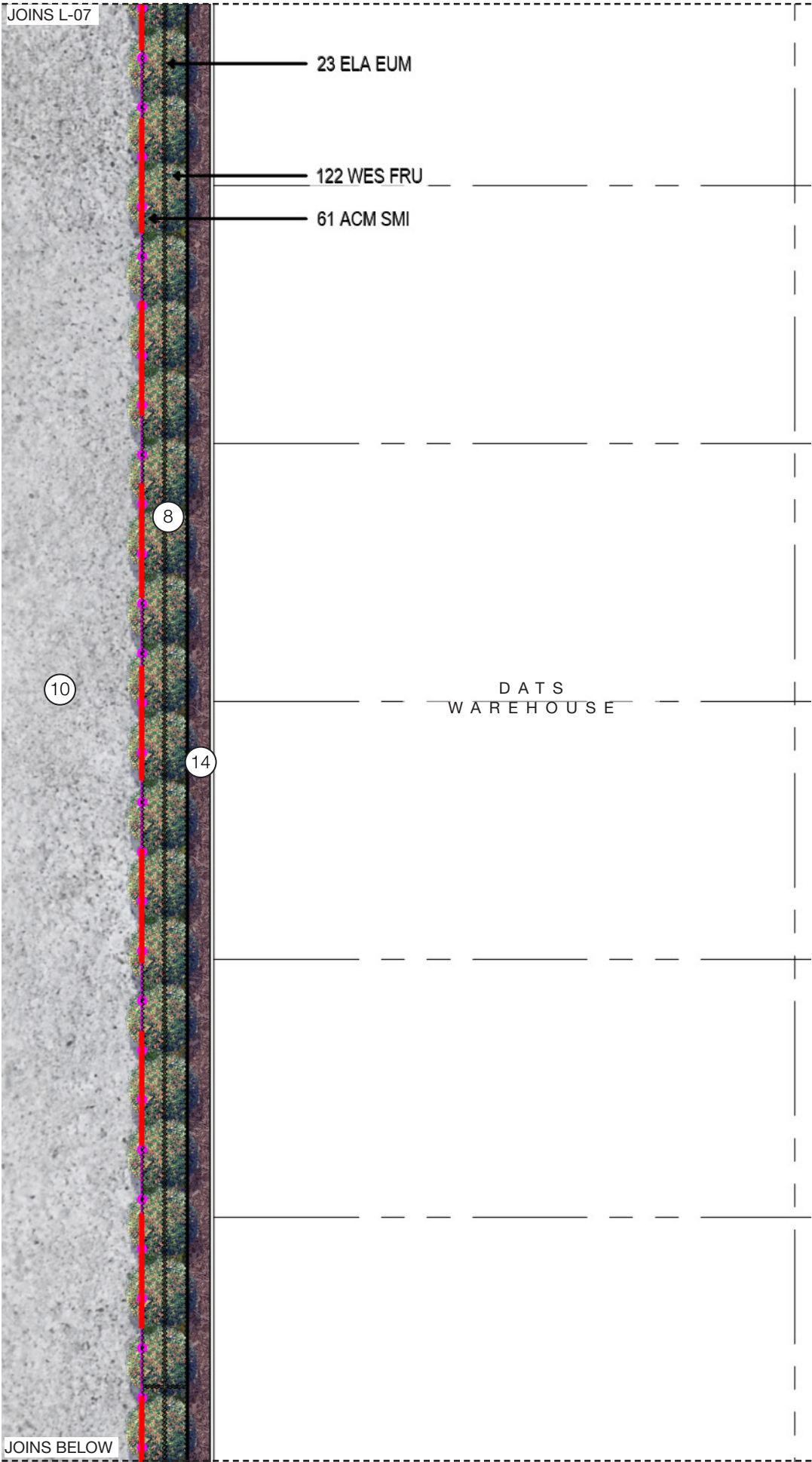


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 - EASEMENT PLANTING: TURF AND LOW LYING

LANDSCAPE CONCEPT PLANTING PLAN 04



KEY PLAN

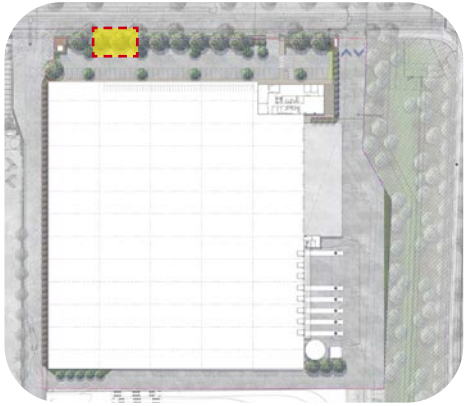
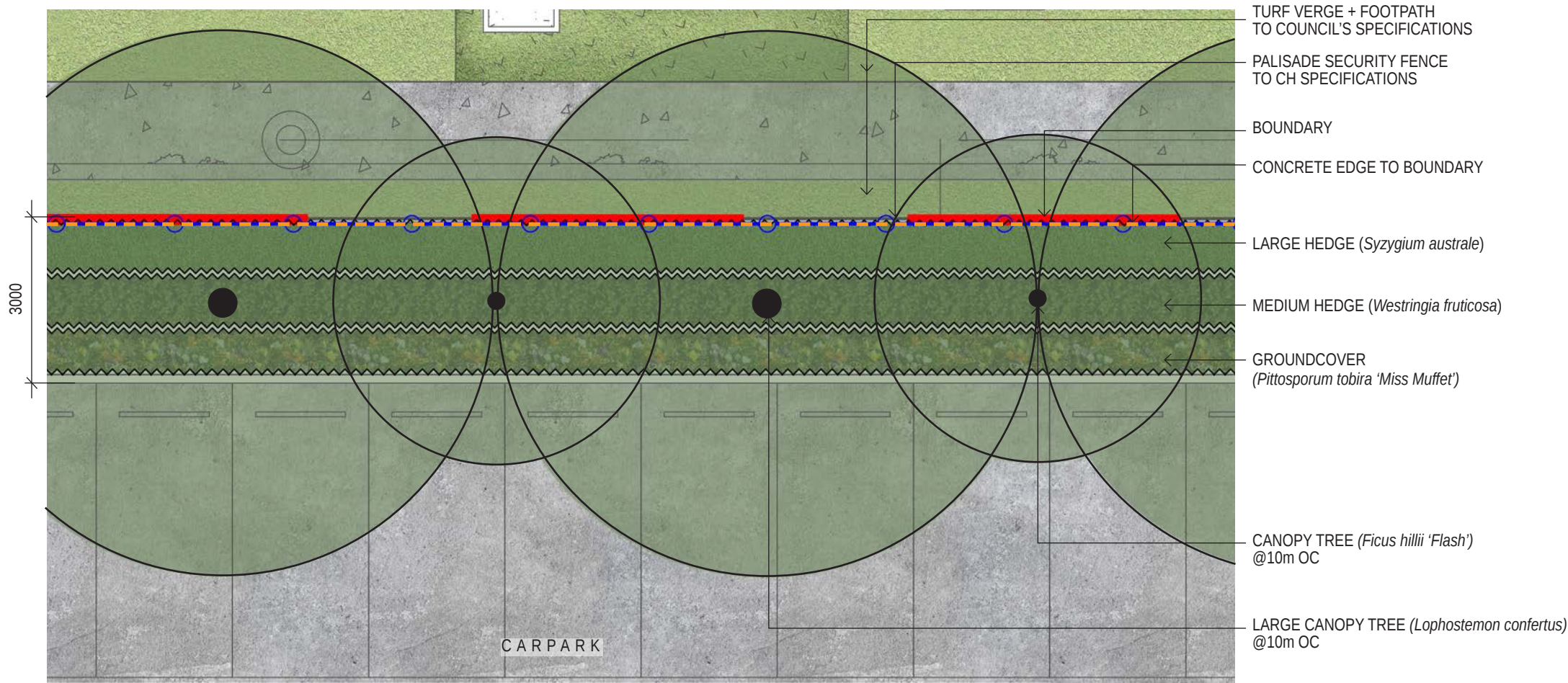
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LANDSCAPE CONCEPT PLAN: SETBACK PLANTING (TYPICAL)



KEY PLAN

01 **DETAIL PLANTING PLAN 01**
Scale 1:100@A3 / 1:50@A1



LOP CON



FIC FLA



SYZ AUS



WES FRU



PIT MIS

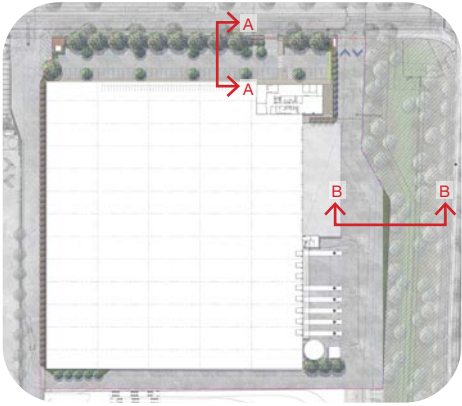
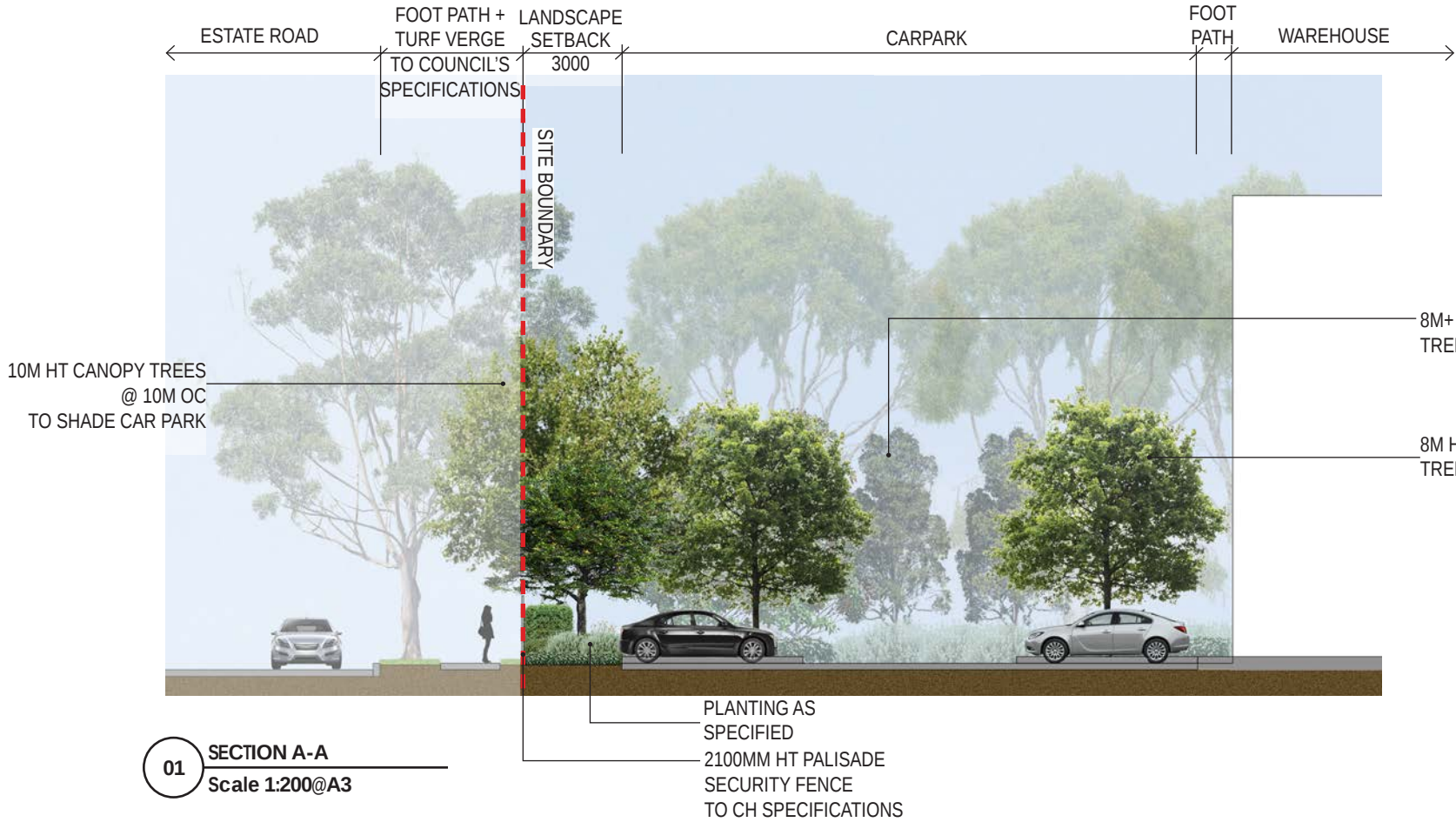
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LANDSCAPE SECTIONS



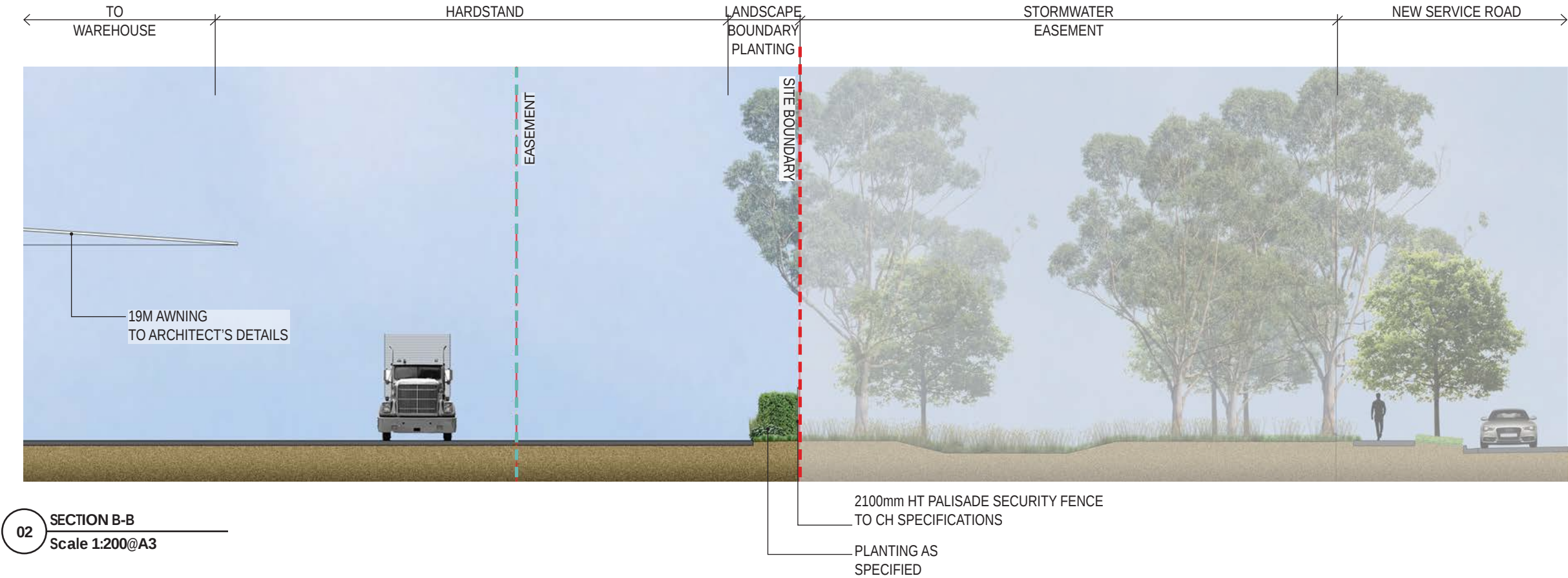
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PLANT SCHEDULE

PLANT LIST

	CODE	BOTANICAL NAME	POT SIZE	DENSITY	HT AT MATURITY	QTY.
		TREES				
	EUC MOL	<i>Eucalyptus moluccana</i>	100L	As Shown	10-15m	3
	ELA EUM	<i>Elaeocarpus eumundi</i>	100L	As Shown	3-5m	60
	LOP CON	<i>Lophostemon confertus</i>	100L	As Shown	9-12m	11
	FIC FLA	<i>Ficus hillii 'Flash'</i>	100L	As Shown	5-10m	12
	TRI LAU	<i>Tristanopsis laurina</i>	100L	As Shown	8-10m	10
	MAG COL	<i>Magnolia 'Coolwyn Gloss'</i>	200L	As Shown	3-5m	6
		SHRUBS				
	PIT MIS	<i>Pittosporum tobira 'Miss Muffet'</i>	200mm	3/m²	1m	675
	GRE ROS	<i>Grevillea rosmarinifolia</i>	200mm	2/m²	1.5-2m	156
	SYZ AUS	<i>Syzygium australe 'Southern Form'</i>	200mm	1/m²	3m	126
	ACM SMI	<i>Acmena smithii 'Minor'</i>	200mm	1/m²	3m	240
	VIB ODO	<i>Viburnum odoratissimum</i>	200mm	1/m²	3m	14
	WES FRU	<i>Westringia fruticosa</i>	200mm	2/m²	2m	710
		GROUNDCOVERS				
	HAR VIO	<i>Hardenbergia violacea</i>	150mm	4/m²	500mm	36
	TRA JAS	<i>Trachelospermum jasminoides</i>	150mm	4/m²	300mm	408
	CAR GLA	<i>Carpobrotus glaucescens</i>	150mm	4/m²	300mm	416

NOTES:
Planting sourced from City Of Logan Landscape Development Manual, The Water By Design Technical Guideline, City of Logan List of Approved Plants for Gardens on Foortpaths, and Charter Hall Industrial & Logistics Landscape Guidelines 2022



MAG COL



LOP CON



TRI LAU



ELA EUM



FIC FLA



EUC MOL



ACM SMI



SYZ AUS



VIB ODO



WES FRU



GRE ROS



PIT MIS



HAR VIO



TRA JAS



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CHARTER HALL STANDARD SPECIFICATION + MAINTENANCE NOTES

- The Charter Hall and Sprout KOP Annexure G is to be the over-riding document in any instance.
- A high standard of mature landscaping is expected leading to the customer entry. A fully designed low maintenance landscape plan with no turf shall be provided after reviewing the most recent copy of the Charter Hall Kit of Parts, to then be sent to Charter Hall for review and approval.
 - The landscaping design consider ongoing maintenance, clear lines of sight and general tidiness. For example - preference to gravel beds in car park landscaping. All stone products are to be environmentally friendly ie no river rocks.
 - The D&C Contractor shall provide an automatic watering system, connected to the rain water tanks and mains water back up, for the site with all landscaping and irrigation as per the applicable landscape drawings but not less than one tap per major garden bed and one within 30m of minor beds for hose access The Landscape Architect is to review irrigation design to ensure it is a performance based specification and adequate.
 - Irrigation to be linked to the water re-use system.
 - The contractor is to allow for all turfing and landscaping in the nature strip as required by Council.
 - 12 months' full maintenance is required after PC including a 3 month plant warranty.
 - All new trees shall be staked and tied. Existing trees deemed to remain shall be protected during construction and documented with an arborist report.
 - A follow up arborist report shall be undertaken prior to the conclusion of the 12 month defects liability period.
 - Landscape beds are to be clear of builders rubble which is not to be disposed of throughout the site.
 - Soil inside of the landscape beds are to be raised to a level that allows for importation of topsoil. Costs to remove excess filling to allow suitable topsoil placement will be charged to the builder.

SERVICES

Landscaping is to be completed to Authority requirements. Building & Estate Landscaping to be in line with the Charter Hall landscape specification and Assets Presentation Guidelines Annexure G

Remove all weed and other debris from planter beds and areas to be landscaped. Remove rocks and branches larger than 75mm.

Before landscape work is commenced the Landscape Contractor is to establish the position of all service lines and ensure tree planting is carried out at least 3 metres away from these services. Service lids, vents and hydrants shall be left exposed and not covered by any landscape finishes (turfing, paving, garden beds etc.) Finish adjoining surfaces flush with pit lids.

PLANTING MIXTURE - (300mm DEPTH)
Imported Garden Mix.
Type: Premium
Available: Australian Native Landscapes (ANL)

MULCH

APPLICATION: Place mulch to the required depth, (refer to drawings) clear of plant stems, and rake to an even surface finishing 25mm below adjoining levels. Ensure mulch is watered in and tamped down during installation.

MULCH TYPE:
Pine bark: From mature trees, graded in size from 15mm to 30mm, free from wood slivers. Dark brown in colour and texture.

COMPOST

Shall be "GO Compost" as available from Soilco or approved equal.

PLANT MATERIAL

All plants supplied are to conform with those species listed in the Plant Schedule on the drawings. Generally plants shall be vigorous, well established, hardened off, of good form consistent with species or variety, not soft or forced, free from disease or insect pests with large healthy root systems and no evidence of having been restricted or damaged. Trees shall have a leading shoot. Immediately reject dried out, damaged or unhealthy plant material before planting. All stock is to be container grown for a minimum of six (6) months prior to delivery to site.

- All plant material shall be obtained from an approved reputable nursery/supplier where plants are exposed and have been hardened-off in the open.
- Plants are to be healthy, well-grown specimens, free of pest, injury and diseases.
- Carry out the supply and installation of all planting as specified including preparation of tree holes, back filling, planting of trees, staking and tying and planting of garden beds as set out and scheduled on the Drawings.
- It is the Contractors responsibility to adequately protect and maintain vegetative material against any adverse or damaging climatic conditions before and during the planting procedure.
- Hardwood stakes, as per details are to be installed immediately after tree planting. Stakes are to be driven 600mm into the ground or deep enough to ensure that the stake will remain stable and vertical. Tie tree to stakes using 2 "figure eight" ties of canvas or approved equivalent.

FERTILISER

MASS PLANTING AREAS: Fertiliser shall be 'Nutricote' or approved equivalent in granule form intended for slow release of plant nutrients over a period of approximately nine months. Thoroughly mix fertiliser with planting mixture at the recommended rate, prior to installing plants.

TURF: Shall be Shirleys No. 17 or approved equal thoroughly mixed into the topsoil prior to placing turf.

SUPER ADVANCED TREES: Pellets shall be in the form intended to uniformly release plant food elements for a period of approximately nine months equal to Shirleys Kokei pellets, analysis 6.3:1.8:2.9. Kokei pellets shall be placed at the time of planting to the base of the plant, 50mm minimum from the root ball at a rate of two pellets per 300mm of top growth to a maximum of 8 pellets per tree.

STAKING AND TYING

Stakes shall be straight hardwood, free from knots and twists, pointed at one end and sized according to size of plants to be staked.

a. 5-15 litre size plant 1x(1200x25x25mm)
b. 35-75 litre size plant 2x(1500x38x38mm)

c. 100-greater than 200litre 3x(1800x50x50mm)

Ties shall be 50mm wide hessian webbing or approved equivalent nailed or stapled to stake. Drive stakes a minimum one third of their length, avoiding damage to the root system, on the windward side of the plant.

TURF

Obtain turf from a specialist grower of cultivated turf. turf shall be of even thickness, free from weeds and other foreign matter; lay in stretcher pattern with joints staggered and close butted, perpendicular to gradient of FSL. Water immediately after laying.

TURF TYPE: Kikuyu (Confirm with Council)

- All turf to be laid within 24hrs after delivery to site.
- Roll soil to achieve an even and firm but not compacted surface before laying of turf. Finish topsoil so as to be 15mm below adjoining pavement surfaces to allow for turf thickness. Stagger joins in each new row and make sure all joints are tightly butt jointed together. Immediately water turf after laying of turf. On gradients, turf to be laid diagonally across the slope, peg turf in areas with slopes greater than 1:3. Ensure pegs are removed after turf has established.
- Water turf a minimum once a day for the first 7 days of installation and every 2 days thereafter from day 8-21 of installation. Additional hand sprigging will be required to any areas that have failed or where coverage is noticeably inconsistent.
- Turfing is undertaken between the months of November and March, ensure grassing is watered daily (at a minimum) for the first two weeks subsequent to laying.

LANDSCAPE MAINTENANCE PROGRAM

Maintenance shall mean the care and maintenance of the landscape works by accepted horticultural practice as rectifying any defects that become apparent in the landscape works under normal use. This shall include, but shall not be limited to, watering, mowing, fertilising, re-seeding, returfing, weeding, pest and disease control, staking and tying, replanting, cultivation, pruning, aerating, renovating, top dressing, maintaining the site in a neat and tidy condition as follows:-

GENERAL

The landscape contractor shall maintain the landscape works for the term of the maintenance (or Plant establishment) period to the satisfaction of the council. The landscape contractor shall attend to the site on a weekly basis. The maintenance period shall commence at practical completion and continue for a period of twenty six (26) weeks.

WATERING

Grass, trees and garden areas shall be watered regularly so as to ensure continuous healthy growth.

RUBBISH REMOVAL

During the term of the maintenance period the landscape contractor shall remove rubbish that may occur and reoccur throughout the maintenance period. This work shall be carried out regularly so that at weekly intervals the area may be observed in a completely clean and tidy condition.

REPLACEMENTS

The landscape contractor shall replace all plants that are missing, unhealthy or dead at the Landscape Contractor's cost. Replacements shall be of the same size, quality and species as the plant that has failed unless otherwise directed by the Landscape Architect. Replacements shall be made on a continuing basis not exceeding two (2) weeks after the plant has died or is seen to be missing.

STAKES AND TIES

The landscape contractor shall replace or adjust plant stakes, and tree guards as necessary or as directed by the Landscape Architect. Remove stakes and ties at the end of the maintenance period if so directed.

PRUNING

General: Prune to reflect the natural growth flowering and regrowth habit of the individual species. Shrubs: Prune after flowering - Spring and Summer and on a spot basis as required.

Hedge trimming: Schedule trimming at times which will maintain the character and design of hedges. Allow up to three times per season.

Tip pruning: To encourage development of new shoots during the active growing season. Do not remove buds before the flowering season in those plants that have terminal flowers.

Radical pruning: To maintain a hedge or formal shape or when a particular problem, growth habit, damage, or disease requires branch removal.

Trees: Prune to eliminate diseased or damaged growth, avoid inter-branch contact and thin out crowns in a natural manner, maintain sight lines to signs and lights, or maintain visibility for personal security. Tree branch removal to AS 4373. Give notice and engage a suitably qualified 'arborist'.

MULCHED SURFACES

All mulched surfaces shall be maintained in a clean and tidy condition and be reinstated if necessary to ensure that a depth of 75mm is maintained. Ensure mulch is kept clear of plant stems at all times. Remove all mulching materials off lawn or paved areas and maintain a clean and tidy appearance when viewed on a weekly basis.

PEST AND DISEASE CONTROL

The landscape contractor shall spray against insect and fungus infestation with all spraying to be carried out in accordance with the manufacturer's directions. Report all instances of pests and diseases (immediately that they are detected) to the Landscape Architect.

GRASS AND TURF AREAS

The landscape contractor shall maintain all grass and turf areas by watering, weeding, re-seeding, rolling, mowing, trimming or other operations as necessary. Seed and turf species shall be the same as the original specified mixture. Grass and turf areas shall be sprayed with approved selective herbicide against broad leafed weeds as required by the Landscape Architect and in accordance with the manufacturer's directions. Grass and turf areas shall be fertilised once a year in autumn with "Dynamic Lifter" for lawns at a rate of 20kg per 100m2. Fertiliser shall be watered in immediately after application. Irregularities in the grass and turf shall be watered in

immediately after application.

Grass and turf areas shall be kept mown to maintain a healthy and vigorous sward. Mowing height: 30-50mm.

WEED ERADICATION

Eradicate weeds by environmentally acceptable methods using a non-residual glyphosate herbicide (eg. 'Roundup') in any of its registered formulae, at the recommended maximum rate. Regularly remove by hand, weed growth that may occur or recur throughout grassed, planted and mulched areas. Remove weed growth from an area 750mm diameter around the base of trees in grassed areas. Continue eradication throughout the course of the works and during the maintenance period.

SOIL SUBSIDENCE

Any soil subsidence or erosion which may occur after the soil filling and preparation operations shall be made good by the landscape contractor at no cost to the client.

MAINTENANCE PERIOD:

The maintenance period for all landscaping is 12 months from Practical Completion and an establishment warranty period of 3 months from Practical Completion.

During the maintenance period:

- The Contractor is responsible for the satisfactory establishment of all soft works and parts thereof prior to the issuance of the Final Completion Certificate.
- Establishment shall mean the care and maintenance of the contract area by accepted horticultural practices, as well as rectifying any defects that may become apparent in the Works under normal use within 14 days of the defect being noted.
- Keep a log book recording when and what maintenance work has been done and what materials, including toxic materials, have been used. Make the log book available for inspection on request.
- During the warranty period:
 - The Landscape Contractor is responsible for all losses of plant material due to nursery stock failure or improper horticultural care during the landscape maintenance / plant establishment period. If plants die as a result of poor horticultural practice, they are to be replaced within 48 hours. If plants die or are removed for other reasons, such as theft or vandalism, the Contractor is to notify the Superintendent immediately and replace the effected planting within 48 hours.

IRRIGATION (PERFORMANCE SPECIFICATION)

IRRIGATION OVERVIEW - Confirm with Project Manager at tender stage.

EXTENT

All mass planting landscape areas and trees are to have full coverage by a fully automatic irrigation system. The design, materials and installation are to be in accordance with Logan City Water Codes and all relevant Australian Standards.

- An automatic irrigation system is to be installed to all turf and garden bed areas.
- The irrigation system shall be designed and installed by a licensed contractor to relevant Australian standards and Logan City water guidelines.
- The irrigation system shall be connected into the rainwater tank system and pump.

DRIPLINE

Provide 13mm dripline to all garden bed areas with appropriate 13mm joiners. Dripline to be Toro drip or similar with 400mm centre drippers. Install line at 500mm spacings with the first line to be 150mm in from edge. Install dripline after planting and prior to mulching to allow for an adequate mulch cover. Anchor at 1.5m maximum intervals with u-shaped stakes. Dripline pattern to suit planting.

CONTROL VALVES

24v solenoid actuated hydraulic valve with flow control. Control valves to be Toro ezflow series solenoids 25mm or approved equal. Provide a gate valve of the same size immediately upstream of each valve. House both valves in a high impact plastic valve box with a high impact plastic cover at finished ground level. Support the box with bricks on each side.

Controller to be Toro greenkeeper or approved equal with a rain switch.

Install a master valve/pressure regulating valve equal to Toro p220 with xreg pressure regulation valve. Filter to be installed equal to Toro y filter 75mm screen filter.

CONTROL WIRES

Connect the control valves and soil moisture sensor to the controller with double insulated underground cables laid alongside piping where possible. Lay intertwined for their full length without joints except at the valves and branches off common wires. Provide waterproof connectors.

Provide a backflow prevention device to Australian standards AS 3500.

DEFECTS LIABILITY PERIOD

The irrigation system shall be subject to a 12 month defects and liability period.

RELEVANT AUSTRALIAN STANDARDS

Soil: AS4419, AS3743, AS4454
Mulch: AS4454
Tree: AS2303
Pruning: AS4373
Tree Protection: AS4970
Contractor to comply with the above Australian Standards

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2023/1446

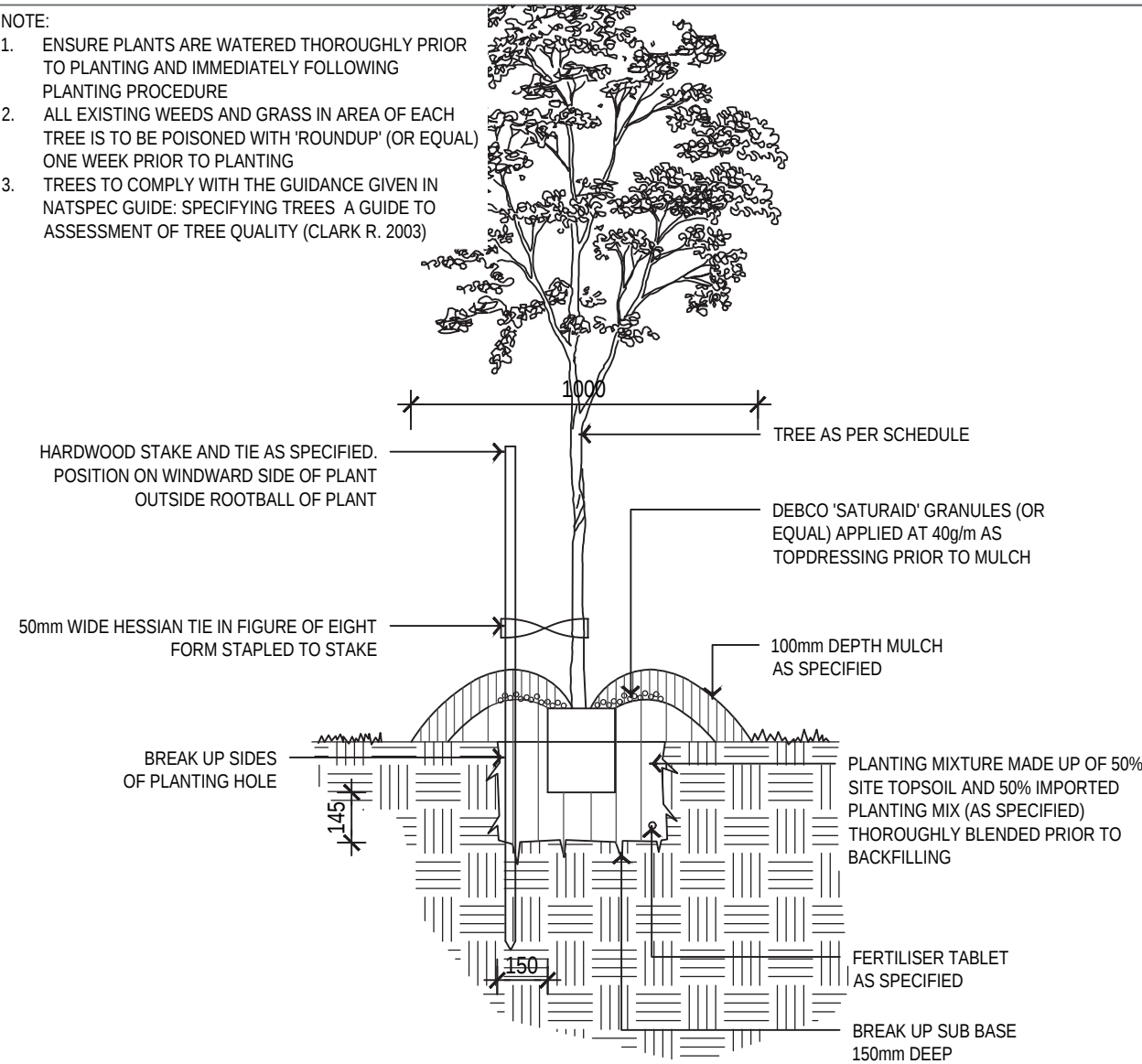
Date: 19 March 2025



TYPICAL LANDSCAPE DETAILS

NOTE:

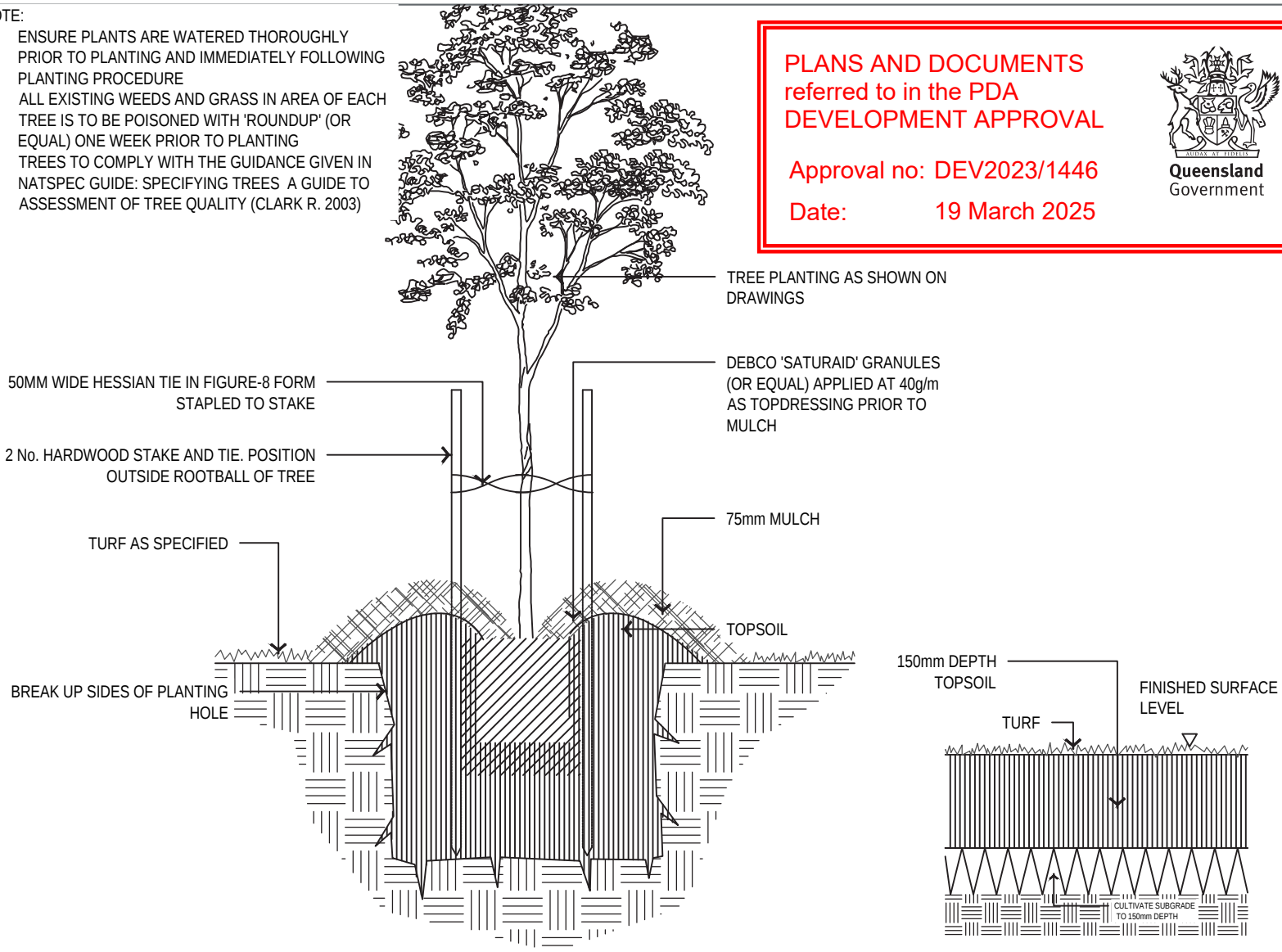
- 1. ENSURE PLANTS ARE WATERED THOROUGHLY PRIOR TO PLANTING AND IMMEDIATELY FOLLOWING PLANTING PROCEDURE
- 2. ALL EXISTING WEEDS AND GRASS IN AREA OF EACH TREE IS TO BE POISONED WITH 'ROUNDUP' (OR EQUAL) ONE WEEK PRIOR TO PLANTING
- 3. TREES TO COMPLY WITH THE GUIDANCE GIVEN IN NATSPEC GUIDE: SPECIFYING TREES A GUIDE TO ASSESSMENT OF TREE QUALITY (CLARK R. 2003)



01 TYPICAL TREE PLANTING DETAIL UNDER 100L
1:20
(IN GARDEN BED)

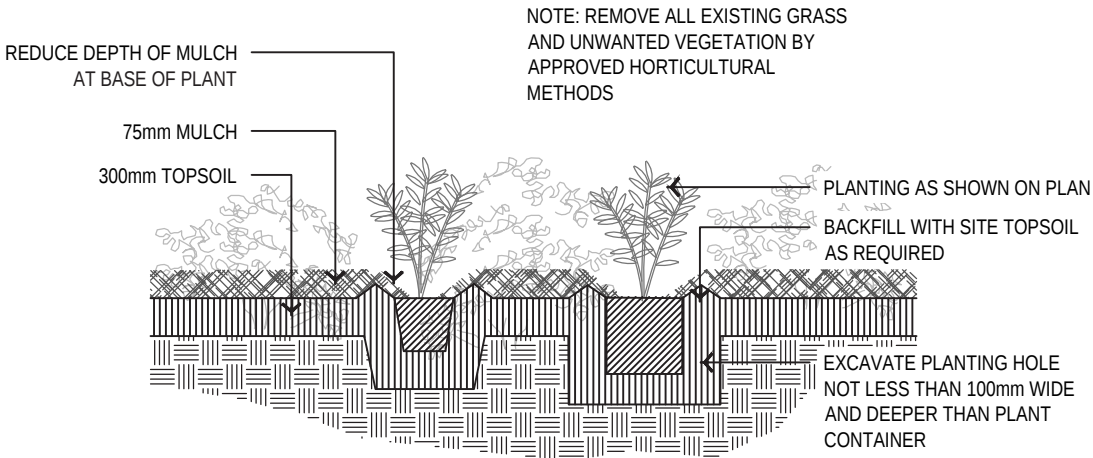
NOTE:

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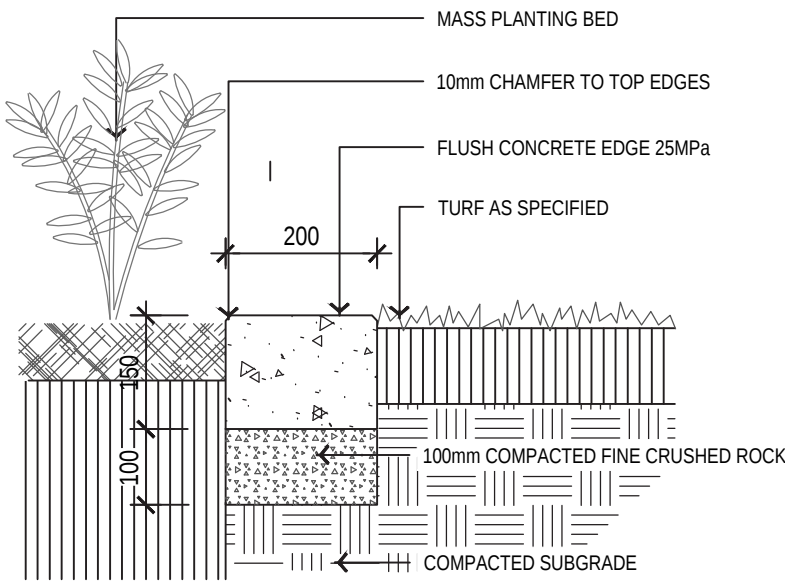


02 TYPICAL TREE PLANTING DETAIL OVER 100L
1:20

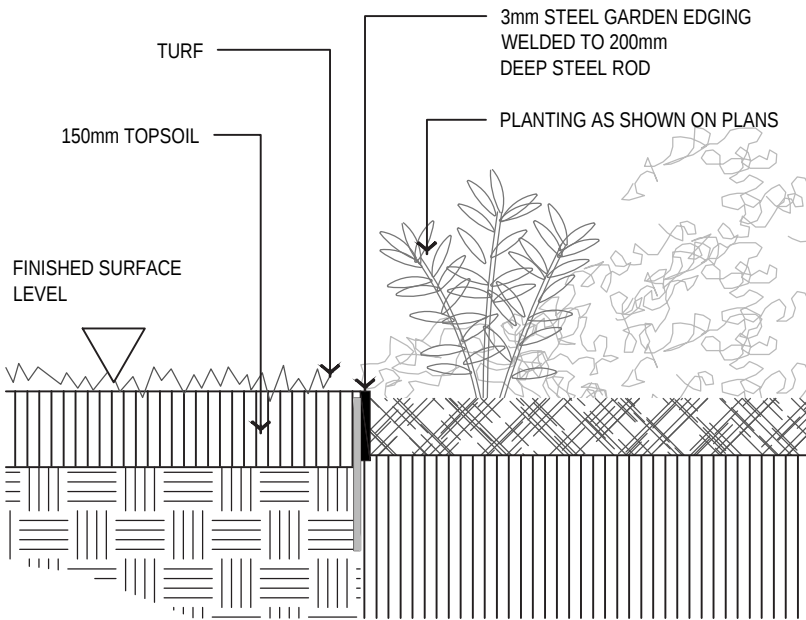
03 TURF DETAIL
1:20



04 MASS PLANTING DETAIL
1:20
(IN GARDEN BED)



05 CONCRETE EDGE DETAIL
1:10



06 STEEL EDGE DETAIL
1:10

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2023/1446

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