

The map displays a residential subdivision with numerous lots, each labeled with a number and its area in square meters. The lots are arranged in a grid-like pattern, with some larger lots and some smaller ones. The roads are shown as solid lines, and the topographical features are indicated by contour lines and a creek. The map is color-coded by lot area, with different colors representing different ranges of lot sizes. The map includes a scale bar and a north arrow.

Lot Numbers and Areas:

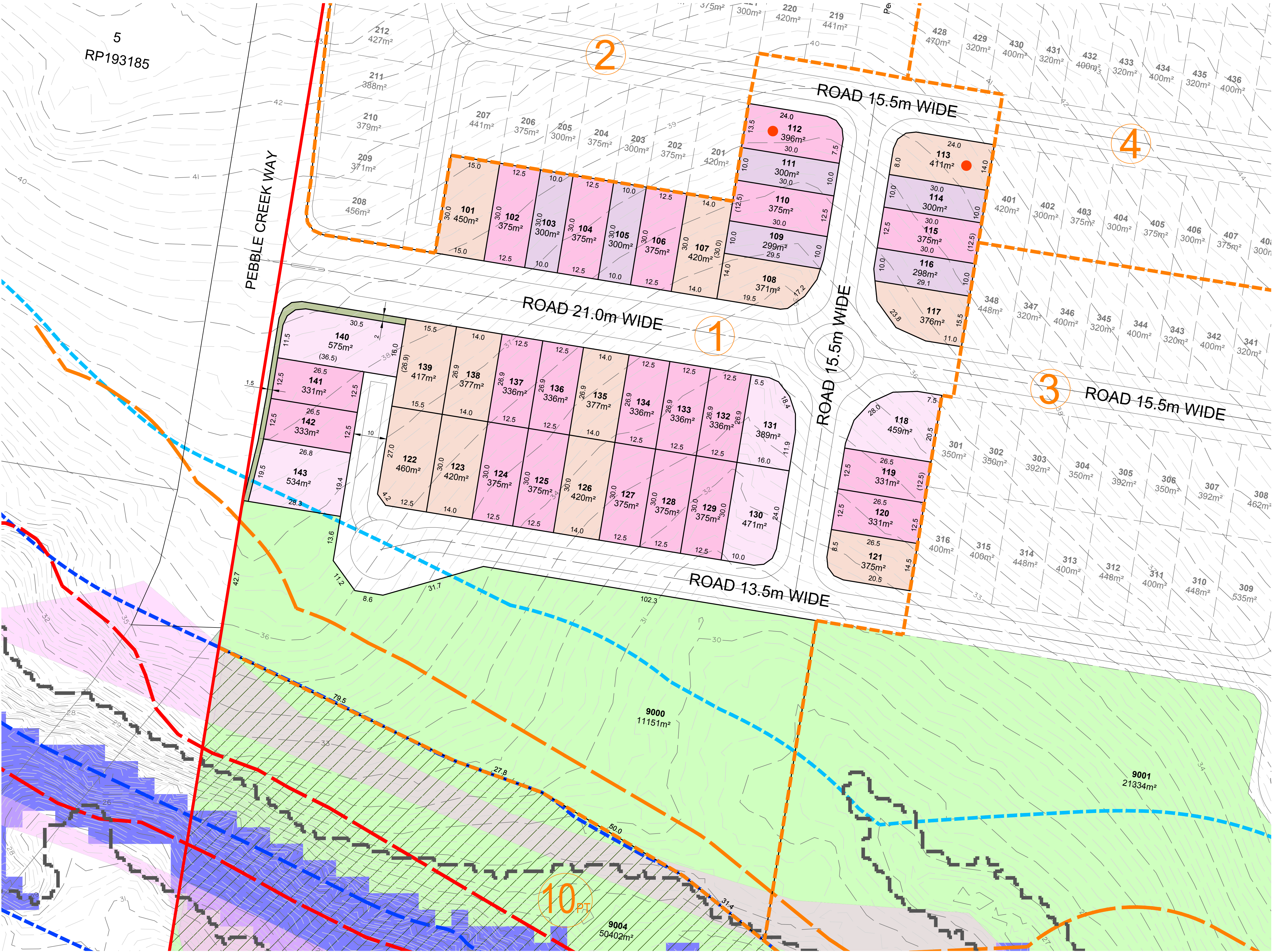
- Lot 1: 100m x 100m, 10,000m²
- Lot 2: 100m x 100m, 10,000m²
- Lot 3: 100m x 100m, 10,000m²
- Lot 4: 100m x 100m, 10,000m²
- Lot 5: 100m x 100m, 10,000m²
- Lot 6: 100m x 100m, 10,000m²
- Lot 7: 100m x 100m, 10,000m²
- Lot 8: 100m x 100m, 10,000m²
- Lot 9: 100m x 100m, 10,000m²
- Lot 10: 100m x 100m, 10,000m²
- Lot 11: 100m x 100m, 10,000m²
- Lot 12: 100m x 100m, 10,000m²
- Lot 13: 100m x 100m, 10,000m²
- Lot 14: 100m x 100m, 10,000m²
- Lot 15: 100m x 100m, 10,000m²
- Lot 16: 100m x 100m, 10,000m²
- Lot 17: 100m x 100m, 10,000m²
- Lot 18: 100m x 100m, 10,000m²
- Lot 19: 100m x 100m, 10,000m²
- Lot 20: 100m x 100m, 10,000m²
- Lot 21: 100m x 100m, 10,000m²
- Lot 22: 100m x 100m, 10,000m²
- Lot 23: 100m x 100m, 10,000m²
- Lot 24: 100m x 100m, 10,000m²
- Lot 25: 100m x 100m, 10,000m²
- Lot 26: 100m x 100m, 10,000m²
- Lot 27: 100m x 100m, 10,000m²
- Lot 28: 100m x 100m, 10,000m²
- Lot 29: 100m x 100m, 10,000m²
- Lot 30: 100m x 100m, 10,000m²
- Lot 31: 100m x 100m, 10,000m²
- Lot 32: 100m x 100m, 10,000m²
- Lot 33: 100m x 100m, 10,000m²
- Lot 34: 100m x 100m, 10,000m²
- Lot 35: 100m x 100m, 10,000m²
- Lot 36: 100m x 100m, 10,000m²
- Lot 37: 100m x 100m, 10,000m²
- Lot 38: 100m x 100m, 10,000m²
- Lot 39: 100m x 100m, 10,000m²
- Lot 40: 100m x 100m, 10,000m²
- Lot 41: 100m x 100m, 10,000m²
- Lot 42: 100m x 100m, 10,000m²
- Lot 43: 100m x 100m, 10,000m²
- Lot 44: 100m x 100m, 10,000m²
- Lot 45: 100m x 100m, 10,000m²
- Lot 46: 100m x 100m, 10,000m²
- Lot 47: 100m x 100m, 10,000m²
- Lot 48: 100m x 100m, 10,000m²
- Lot 49: 100m x 100m, 10,000m²
- Lot 50: 100m x 100m, 10,000m²
- Lot 51: 100m x 100m, 10,000m²
- Lot 52: 100m x 100m, 10,000m²
- Lot 53: 100m x 100m, 10,000m²
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- Lot 55: 100m x 100m, 10,000m²
- Lot 56: 100m x 100m, 10,000m²
- Lot 57: 100m x 100m, 10,000m²
- Lot 58: 100m x 100m, 10,000m²
- Lot 59: 100m x 100m, 10,000m²
- Lot 60: 100m x 100m, 10,000m²
- Lot 61: 100m x 100m, 10,000m²
- Lot 62: 100m x 100m, 10,000m²
- Lot 63: 100m x 100m, 10,000m²
- Lot 64: 100m x 100m, 10,000m²
- Lot 65: 100m x 100m, 10,000m²
- Lot 66: 100m x 100m, 10,000m²
- Lot 67: 100m x 100m, 10,000m²
- Lot 68: 100m x 100m, 10,000m²
- Lot 69: 100m x 100m, 10,000m²
- Lot 70: 100m x 100m, 10,000m²
- Lot 71: 100m x 100m, 10,000m²
- Lot 72: 100m x 100m, 10,000m²
- Lot 73: 100m x 100m, 10,000m²
- Lot 74: 100m x 100m, 10,000m²
- Lot 75: 100m x 100m, 10,000m²
- Lot 76: 100m x 100m, 10,000m²
- Lot 77: 100m x 100m, 10,000m²
- Lot 78: 100m x 100m, 10,000m²
- Lot 79: 100m x 100m, 10,000m²
- Lot 80: 100m x 100m, 10,000m²
- Lot 81: 100m x 100m, 10,000m²
- Lot 82: 100m x 100m, 10,000m²
- Lot 83: 100m x 100m, 10,000m²
- Lot 84: 100m x 100m, 10,000m²
- Lot 85: 100m x 100m, 10,000m²
- Lot 86: 100m x 100m, 10,000m²
- Lot 87: 100m x 100m, 10,000m²
- Lot 88: 100m x 100m, 10,000m²
- Lot 89: 100m x 100m, 10,000m²
- Lot 90: 100m x 100m, 10,000m²
- Lot 91: 100m x 100m, 10,000m²
- Lot 92: 100m x 100m, 10,000m²
- Lot 93: 100m x 100m, 10,000m²
- Lot 94: 100m x 100m, 10,000m²
- Lot 95: 100m x 100m, 10,000m²
- Lot 96: 100m x 100m, 10,000m²
- Lot 97: 100m x 100m, 10,000m²
- Lot 98: 100m x 100m, 10,000m²
- Lot 99: 100m x 100m, 10,000m²
- Lot 100: 100m x 100m, 10,000m²

Roads:

- Mountain Ridge Road
- Pebble Creek Way
- Namucca St - 15.5m Wide
- Yappar Road - 15.5m Wide
- Steward St - 15.5m Wide
- Pascoe St - 15.5m Wide
- Maroochy St - 15.5m Wide
- Endeavour Circuit - 15.5m Wide
- Claremont St - 15.5m Wide
- Noosa Street - 15

MOUNTAIN RIDGE ROAD, SOUTH MACLEAN 05/02/2025 9534 P 03 Rev AM-PRO 01

STAGING PLAN - STAGE 1



STAGING PLAN - STAGE 2

NOT TO BE USED FOR ENGINEERING DESIGN
OR CONSTRUCTION

NOTES

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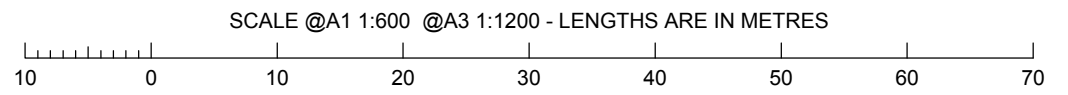
PROJECTION: SURVEY COORDINATES
SUBJECT BOUNDARIES: LOT CALCULATIONS FROM SAUNDERS
HAVILL GROUP DATED 09/05/2023
CONTOURS: ELVIS - LIDAR

LEGEND

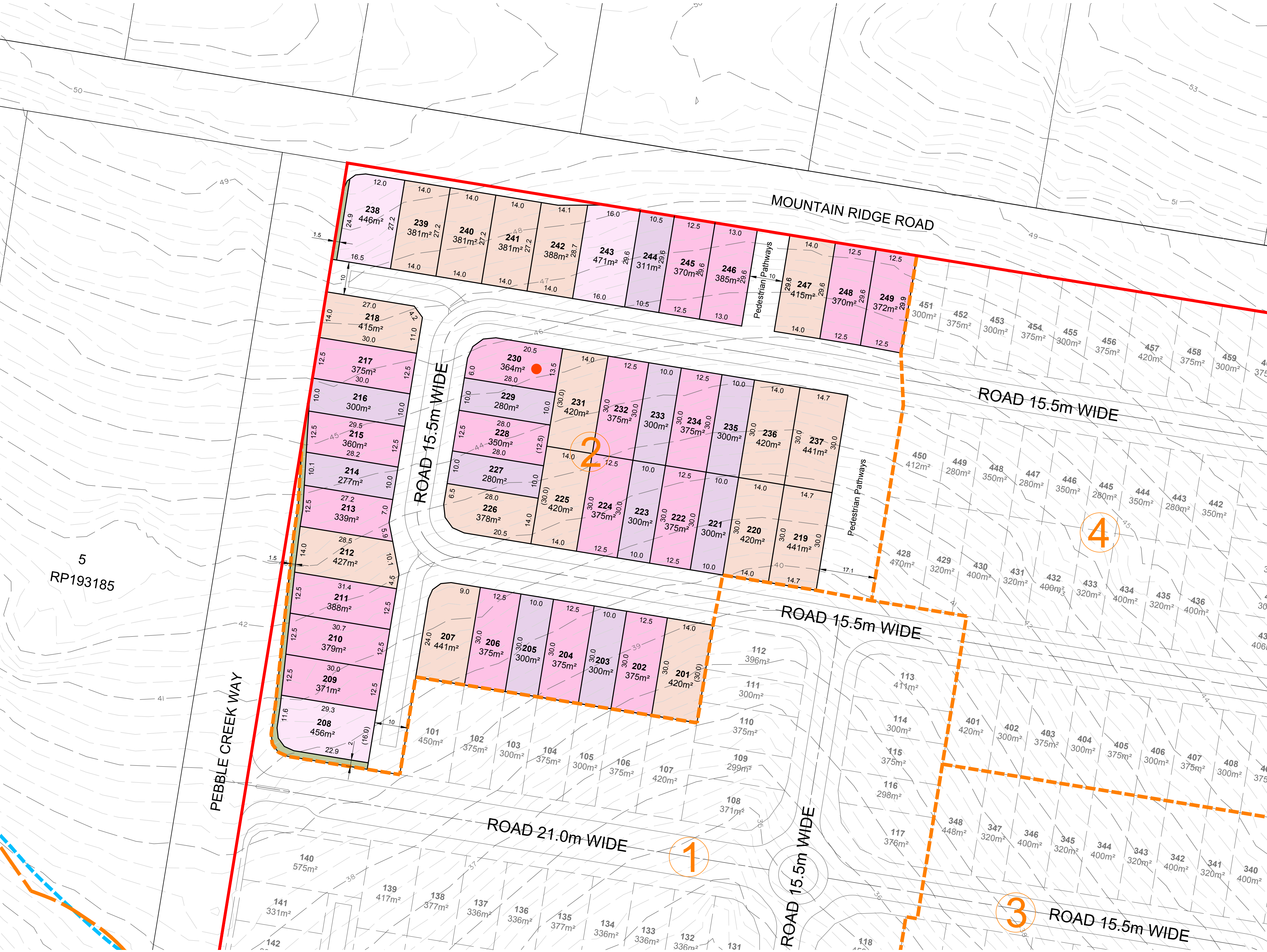
- Site Boundary
- Major Contour (1.0m interval)
- Minor Contour (0.25m interval)
- Staging Boundary
- Stage No.
- 100m Centreline Waterway Buffer
- 50m High Bank Offset
- Potential Multiple Residential Allotment

DEVELOPMENT STATISTICS - Stage 2			
RESIDENTIAL ALLOTMENTS	No. Lots	%	Net Area
Vila Lots	11	22.4%	0.325 ha
Premium Villa Lots	19	38.8%	0.705 ha
Courtyard Lots	16	32.7%	0.659 ha
Premium Courtyard Lots	3	6.1%	0.137 ha
Total Residential Allotments	49	100.0%	1.826 ha
Land Budget	Area (Ha)	%	
Area of Subject Site / Stage	2.570 ha	0.0%	
Net Residential Area (no roads)	1.826 ha	71.1%	
Communal Open Space/Landscape Buffer	0.025 ha	1.0%	
Road Areas	0.719 ha	28.0%	
Total	2.570 ha	100.0%	
Average Lot Size (m²)	373 m²		
Length of New Road	297 m		

RP DESCRIPTION: Lot 30 on SP309195



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STAGING PLAN - STAGE 3

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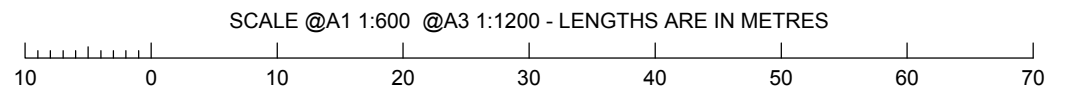
PROJECTION: SURVEY COORDINATES
SUBJECT BOUNDARIES: LOT CALCULATIONS FROM SAUNDERS
HAVILL GROUP DATED 09/05/2023
CONTOURS: ELVIS - LIDAR

LEGEND

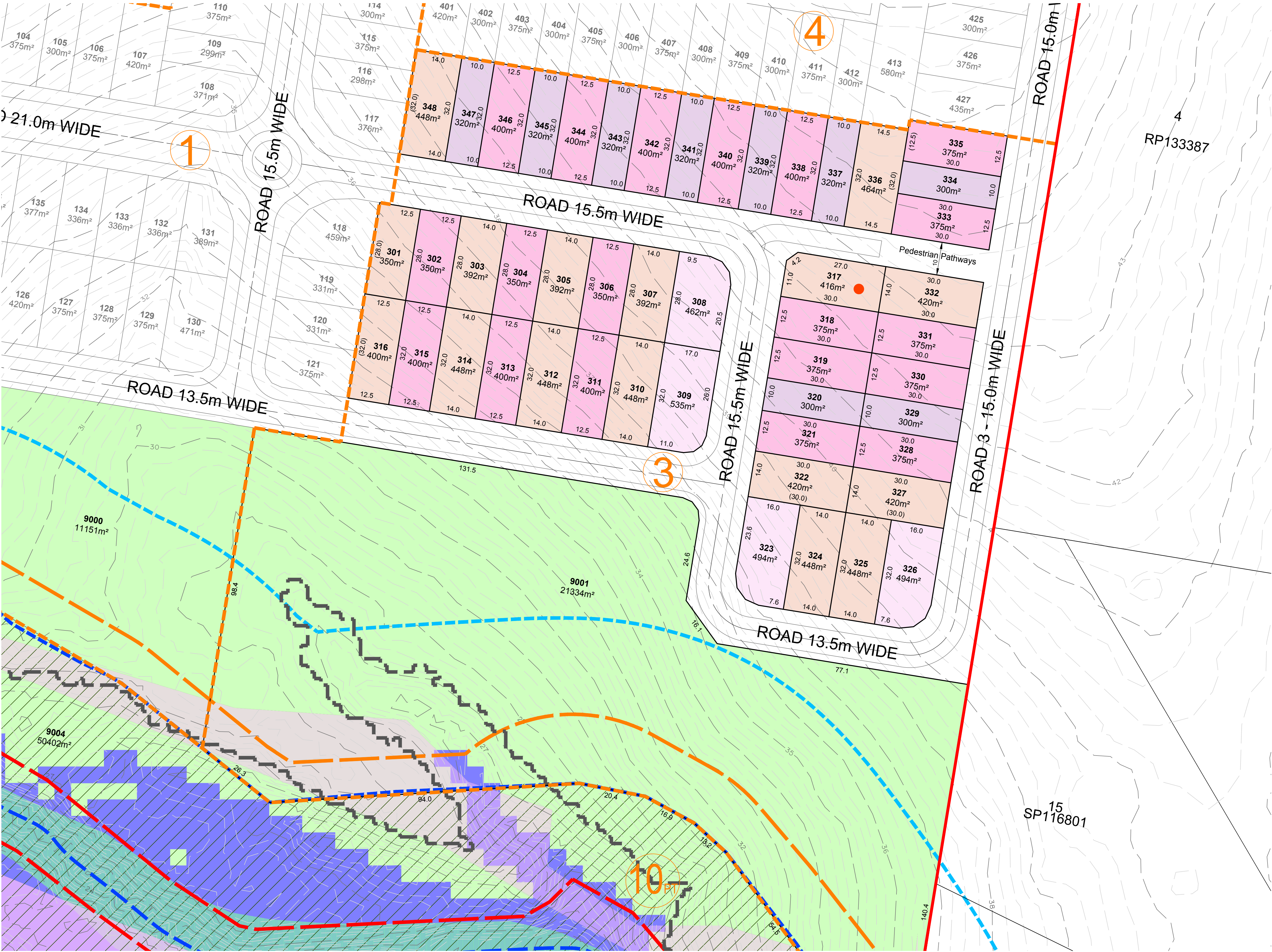
- Site Boundary
- Major Contour (1.0m interval)
- Minor Contour (0.25m interval)
- Flagstone Creek Centreline
- 50m Centreline Waterway Buffer
- 100m Centreline Waterway Buffer
- Approx High Bank - Derived from Slope analysis utilising lidar data
- 50m High Bank Offset
- 1 in 5 ARI
- Riparian Zone
- Linear Park
- Remnant Endangered Mapping
- Staging Boundary
- Stage No.
- Q100
- Potential Multiple Residential Allotment

DEVELOPMENT STATISTICS - Stage 3			
RESIDENTIAL ALLOTMENTS	No. Lots	%	Net Area
Vila Lots	9	18.8%	0.282 ha
Premium Villa Lots	19	39.6%	0.725 ha
Courtyard Lots	16	33.3%	0.675 ha
Total Residential Allotments	48	100.0%	1.881 ha
Land Budget			
Area of Subject Site / Stage	Area (Ha)	%	
Net Residential Area (no roads)	1.881 ha	38.3%	
Linear Park	2.133 ha	43.4%	
Road Areas	0.896 ha	18.2%	
Total	4.910 ha	100.0%	
Average Lot Size (m²)	392 m²		
Length of New Road	561 m		

RP DESCRIPTION: Lot 30 on SP309195



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STAGING PLAN - STAGE 4

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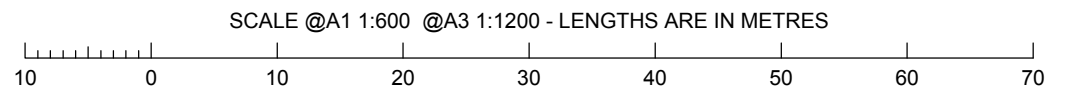
PROJECTION: SURVEY COORDINATES
SUBJECT BOUNDARIES: LOT CALCULATIONS FROM SAUNDERS
HAVILL GROUP DATED 09/05/2023
CONTOURS: ELVIS - LIDAR

LEGEND

- Site Boundary
- Major Contour (1.0m interval)
- Minor Contour (0.25m interval)
- Staging Boundary
- Stage No.
- Potential Multiple Residential Allotment

DEVELOPMENT STATISTICS - Stage 4			
RESIDENTIAL ALLOTMENTS	No. Lots	%	Net Area
Vila Lots	27	39.7%	0.810 ha
Premium Villa Lots	31	45.6%	1.170 ha
Courtyard Lots	9	13.2%	0.397 ha
Premium Courtyard Lots	1	1.5%	0.054 ha
Total Residential Allotments	68	100.0%	2.431 ha
Land Budget	Area (Ha)	%	
Area of Subject Site / Stage	3.265 ha	—	
Net Residential Area (no roads)	2.431 ha	74.5%	
Road Areas	0.834 ha	25.5%	
Total	3.265 ha	100.0%	
Average Lot Size (m²)	358 m²		
Length of New Road	507 m		

RP DESCRIPTION: Lot 30 on SP309195



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STAGING PLAN - STAGE 5

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PROJECTION: SURVEY COORDINATES
SUBJECT BOUNDARIES: LOT CALCULATIONS FROM SAUNDERS
HAVILL GROUP DATED 09/05/2023
CONTOURS: ELVIS - LIDAR

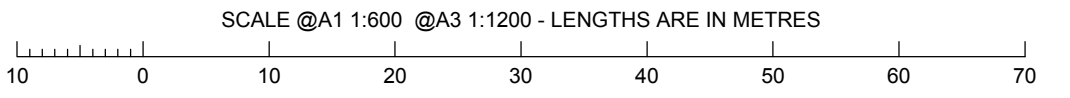
LEGEND

- Site Boundary
- Major Contour (1.0m interval)
- Minor Contour (0.25m interval)
- Flagstone Creek Centreline
- 50m Centreline Waterway Buffer
- 100m Centreline Waterway Buffer
- Approx High Bank - Derived from Slope analysis utilising lidar data
- 50m High Bank Offset
- 1 in 5 ARI
- Riparian Zone
- Linear Park
- Remnant Endangered Mapping
- Staging Boundary
- Stage No.
- Q100



DEVELOPMENT STATISTICS - Stage 5			
RESIDENTIAL ALLOTMENTS	No. Lots	%	Net Area
Vila Lots	17	33.3%	0.517 ha
Premium Villa Lots	19	37.3%	0.717 ha
Courtyard Lots	14	27.5%	0.613 ha
Premium Courtyard Lots	1	2.0%	0.057 ha
Total Residential Allotments	51	100.0%	1.904 ha
Land Budget	Area (Ha)	%	
Area of Subject Site / Stage	3.958 ha		
Net Residential Area (no roads)	1.904 ha	48.1%	
Linear Park	0.870 ha	22.0%	
Road Areas	0.905 ha	22.9%	
Child Care Centre	0.279 ha	7.0%	
Total	3.958 ha	100.0%	
Average Lot Size (m²)	373 m²		
Length of New Road	485 m		

RP DESCRIPTION: Lot 30 on SP309195



STAGING PLAN - STAGE 6

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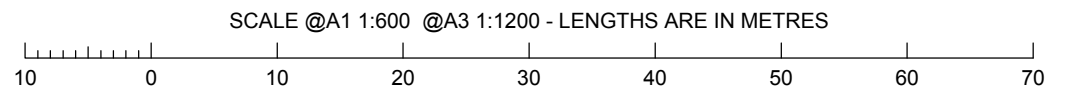
PROJECTION: SURVEY COORDINATES
SUBJECT BOUNDARIES: LOT CALCULATIONS FROM SAUNDERS
HAVILL GROUP DATED 09/05/2023
CONTOURS: ELVIS - LIDAR

LEGEND

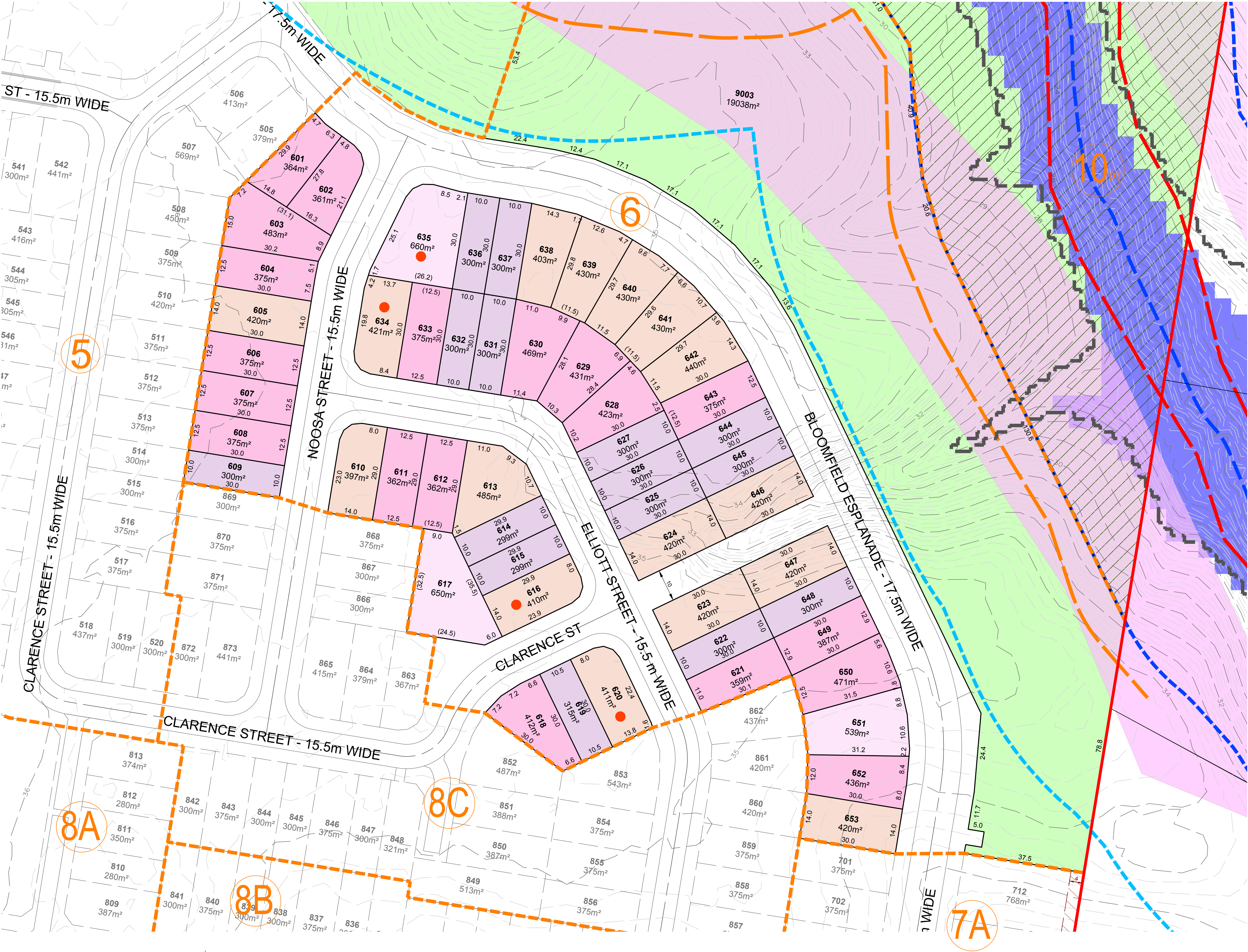
- Site Boundary
- Major Contour (1.0m interval)
- Minor Contour (0.25m interval)
- Flagstone Creek Centreline
- 50m Centreline Waterway Buffer
- 100m Centreline Waterway Buffer
- Approx High Bank - Derived from Slope analysis utilising lidar data
- 50m High Bank Offset
- 1 in 5 ARI
- Riparian Zone
- Linear Park
- Remnant Endangered Mapping
- Access Easement (Drainage Channel Maintenance)
- Staging Boundary
- Stage No.
- Q100
- Potential Multiple Residential Allotment

DEVELOPMENT STATISTICS - Stage 6			
RESIDENTIAL ALLOTMENTS	No. Lots	%	Net Area
Vila Lots	15	28.3%	0.451 ha
Premium Villa Lots	19	35.8%	0.757 ha
Courtyard Lots	16	30.2%	0.678 ha
Premium Courtyard Lots	3	5.7%	0.185 ha
Total Residential Allotments	53	100.0%	2.071 ha
Land Budget	Area (Ha)	%	
Area of Subject Site / Stage	5.161 ha		
Net Residential Area (no roads)	2.071 ha	40.1%	
Linear Park	1.904 ha	36.9%	
Road Areas	1.186 ha	23.0%	
Total	5.161 ha	100.0%	
Average Lot Size (m²)	391 m²		
Length of New Road	653 m		

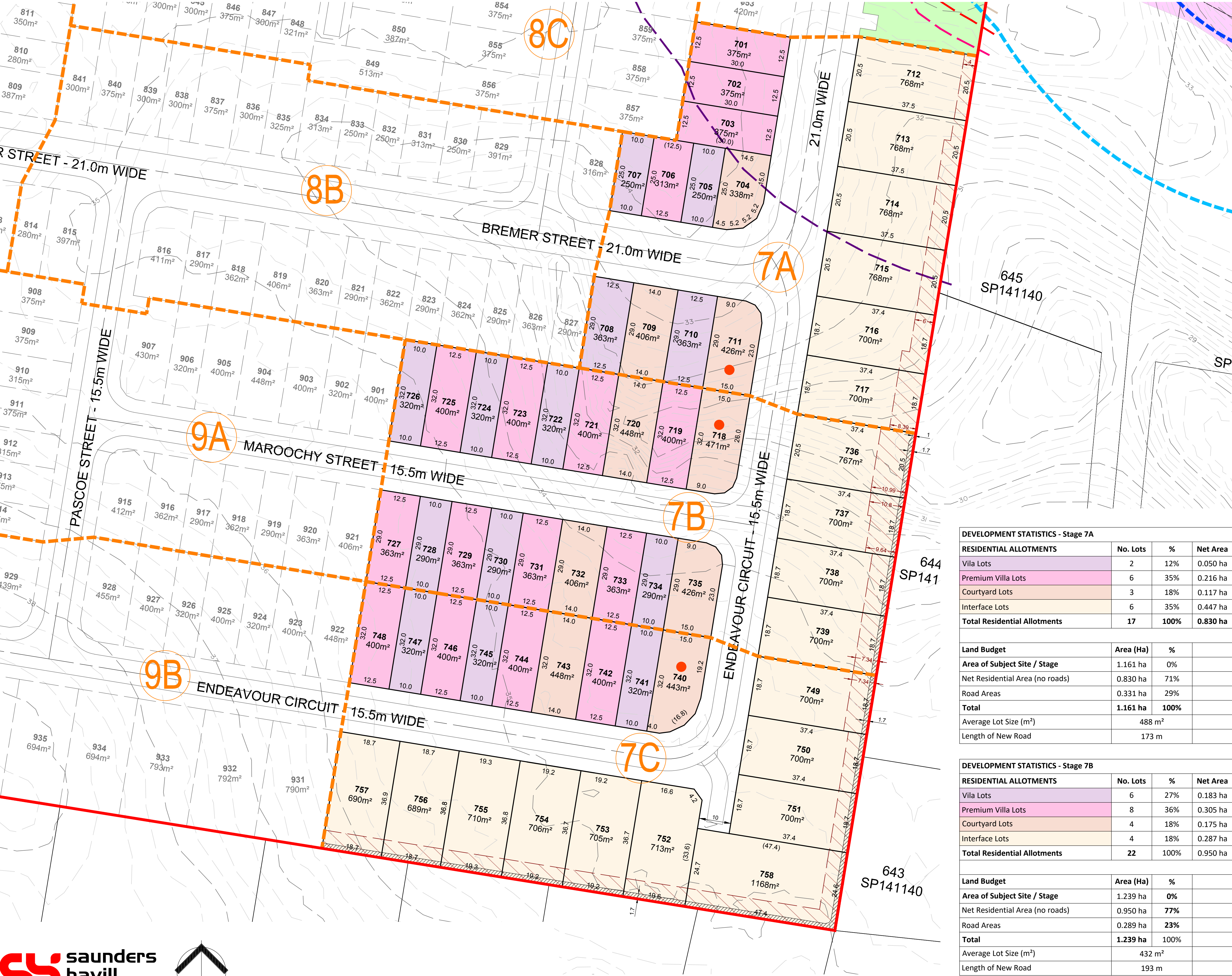
RP DESCRIPTION: Lot 30 on SP309195



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STAGING PLAN - STAGE 7A, 7B & 7C



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PROJECTION: SURVEY COORDINATES
SUBJECT BOUNDARIES: LOT CALCULATIONS FROM SAUNDERS
HAVILL GROUP DATED 09/05/2023
CONTOURS: ELVIS - LIDAR

LEGEND

- Site Boundary
- Major Contour (1.0m interval)
- Minor Contour (0.25m interval)
- Flagstone Creek Centreline
- 50m Centreline Waterway Buffer
- 100m Centreline Waterway Buffer
- Approx High Bank - Derived from Slope analysis utilising lidar data
- 50m High Bank Offset
- 1 in 5 ARI
- Riparian Zone
- Linear Park
- Remnant Endangered Mapping
- Landscape Interface Buffer
- Access Easement (Drainage Channel Maintenance)
- Staging Boundary
- Stage No.
- Q100
- Potential Multiple Residential Allotment

DEVELOPMENT STATISTICS - Stage 7A			
RESIDENTIAL ALLOTMENTS	No. Lots	%	Net Area
Villa Lots	2	12%	0.050 ha
Premium Villa Lots	6	35%	0.216 ha
Courtyard Lots	3	18%	0.117 ha
Interface Lots	6	35%	0.447 ha
Total Residential Allotments	17	100%	0.830 ha

Land Budget	Area (Ha)	%	
Area of Subject Site / Stage	1.161 ha	0%	
Net Residential Area (no roads)	0.830 ha	71%	
Road Areas	0.331 ha	29%	
Total	1.161 ha	100%	
Average Lot Size (m ²)	488 m ²		
Length of New Road	173 m		

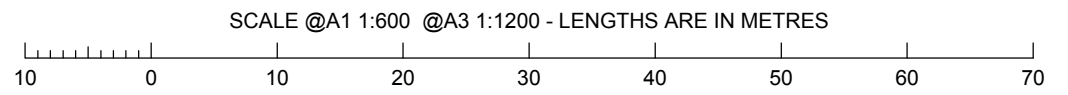
DEVELOPMENT STATISTICS - Stage 7B			
RESIDENTIAL ALLOTMENTS	No. Lots	%	Net Area
Villa Lots	6	27%	0.183 ha
Premium Villa Lots	8	36%	0.305 ha
Courtyard Lots	4	18%	0.175 ha
Interface Lots	4	18%	0.287 ha
Total Residential Allotments	22	100%	0.950 ha

Land Budget	Area (Ha)	%	
Area of Subject Site / Stage	1.239 ha	0%	
Net Residential Area (no roads)	0.950 ha	77%	
Road Areas	0.289 ha	23%	
Total	1.239 ha	100%	
Average Lot Size (m ²)	432 m ²		
Length of New Road	193 m		

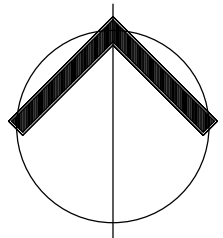
DEVELOPMENT STATISTICS - Stage 7C			
RESIDENTIAL ALLOTMENTS	No. Lots	%	Net Area
Villa Lots	3	16%	0.096 ha
Premium Villa Lots	4	21%	0.160 ha
Courtyard Lots	2	11%	0.089 ha
Interface Lots	10	53%	0.748 ha
Total Residential Allotments	19	100%	1.093 ha

Land Budget	Area (Ha)	%	
Area of Subject Site / Stage	1.349 ha	0%	
Net Residential Area (no roads)	1.093 ha	81%	
Road Areas	0.256 ha	19%	
Total	1.349 ha	100%	
Average Lot Size (m ²)	432 m ²		
Length of New Road	193 m		

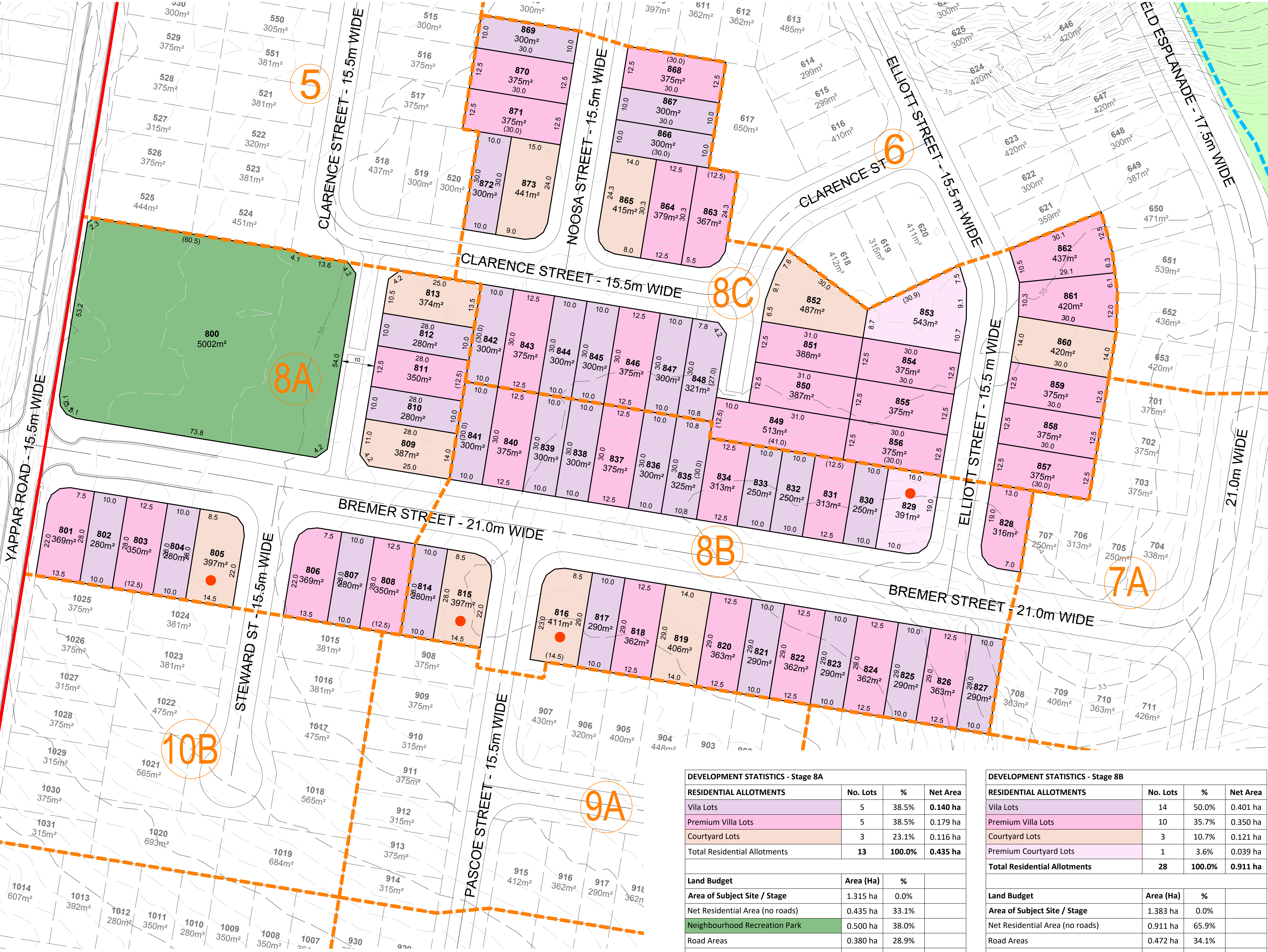
RP DESCRIPTION: Lot 30 on SP309195



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STAGING PLAN - STAGE 8A, 8B & 8C



DEVELOPMENT STATISTICS - Stage 8A			
RESIDENTIAL ALLOTMENTS			
	No. Lots	%	Net Area
Villa Lots	5	38.5%	0.140 ha
Premium Villa Lots	5	38.5%	0.179 ha
Courtyard Lots	3	23.1%	0.116 ha
Total Residential Allotments	13	100.0%	0.435 ha
Land Budget			
Area of Subject Site / Stage	Area (Ha)	%	
Net Residential Area (no roads)	0.435 ha	33.1%	
Neighbourhood Recreation Park	0.500 ha	38.0%	
Road Areas	0.380 ha	28.9%	
Total	1.315 ha	100.0%	
Average Lot Size (m ²)	335 m ²		
Length of New Road	162 m		

DEVELOPMENT STATISTICS - Stage 8B			
RESIDENTIAL ALLOTMENTS			
	No. Lots	%	Net Area
Villa Lots	14	50.0%	0.401 ha
Premium Villa Lots	10	35.7%	0.350 ha
Courtyard Lots	3	10.7%	0.121 ha
Premium Courtyard Lots	1	3.6%	0.039 ha
Total Residential Allotments	28	100.0%	0.911 ha
Land Budget			
Area of Subject Site / Stage	Area (Ha)	%	
Net Residential Area (no roads)	0.911 ha	65.9%	
Road Areas	0.472 ha	34.1%	
Total	1.383 ha	100.0%	
Average Lot Size (m ²)	325 m ²		
Length of New Road	258 m		

NOT TO BE USED FOR ENGINEERING DESIGN
OR CONSTRUCTION

NOTES

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No reliance should be placed on the information on this plan for detailed subdivision design or for any financial dealings involving the land.

Pavements and centrelines shown are indicative only and are subject to Engineering Design.

Saunders Havill Group therefore disclaims any liability for any loss or damage whatsoever or howsoever incurred, arising from any party using or relying upon this plan for any purpose other than as a document prepared for the sole purpose of accompanying a development application and which may be subject to alteration beyond the control of the Saunders Havill Group. Unless a development approval states otherwise, this is not an approved plan.

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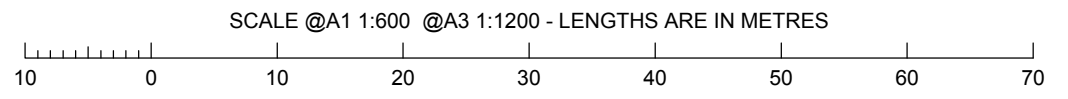
PROJECTION: SURVEY COORDINATES
SUBJECT BOUNDARIES: LOT CALCULATIONS FROM SAUNDERS
HAVILL GROUP DATED 09/05/2023
CONTOURS: ELVIS - LIDAR

LEGEND

- Site Boundary
- Major Contour (1.0m interval)
- Minor Contour (0.25m interval)
- 100m Centreline Waterway Buffer
- Linear Park
- Staging Boundary
- Stage No.
- Potential Multiple Residential Allotment

DEVELOPMENT STATISTICS - Stage 8C			
RESIDENTIAL ALLOTMENTS			
	No. Lots	%	Net Area
Villa Lots	9	28.1%	0.272 ha
Premium Villa Lots	18	56.3%	0.702 ha
Courtyard Lots	4	12.5%	0.176 ha
Premium Courtyard Lots	1	3.1%	0.054 ha
Total Residential Allotments	32	100.0%	1.204 ha
Land Budget			
Area of Subject Site / Stage	Area (Ha)	%	
Net Residential Area (no roads)	1.204 ha	75.3%	
Road Areas	0.394 ha	24.7%	
Total	1.598 ha	100.0%	
Average Lot Size (m ²)	376 m ²		
Length of New Road	171 m		

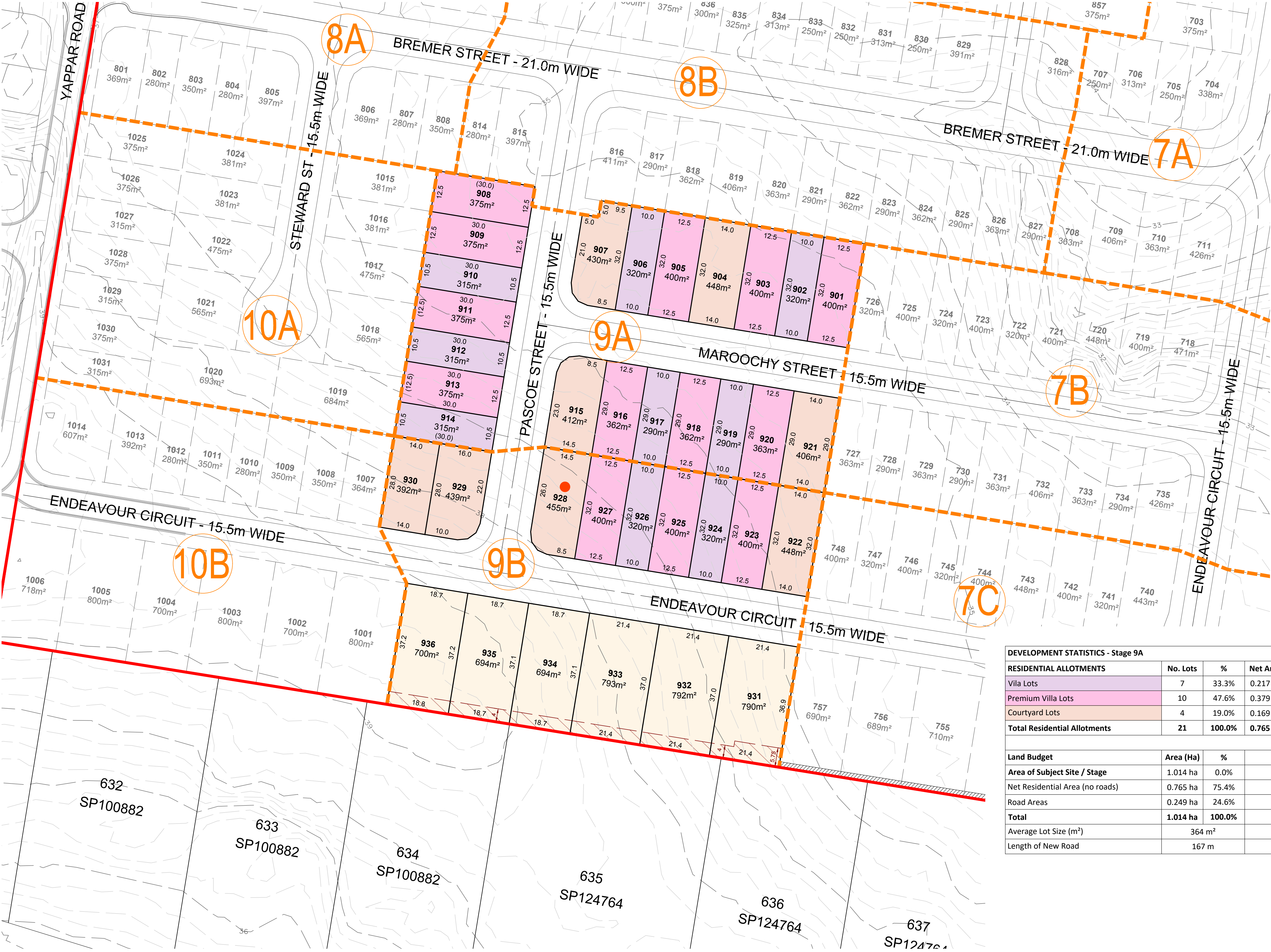
RP DESCRIPTION: Lot 30 on SP309195



DALEFORD PROPERTY PTY LTD



STAGING PLAN - STAGE 9A & 9B



NOT TO BE USED FOR ENGINEERING DESIGN
OR CONSTRUCTION

NOTES

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PROJECTION: SURVEY COORDINATES
SUBJECT BOUNDARIES: LOT CALCULATIONS FROM SAUNDERS
HAVILL GROUP DATED 09/05/2023
CONTOURS: ELVIS - LIDAR

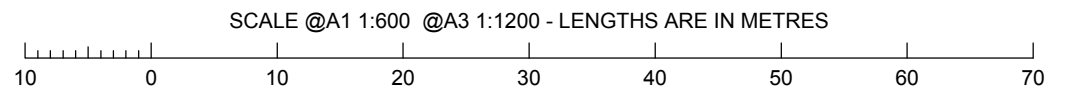
LEGEND

- Site Boundary
- Major Contour (1.0m interval)
- Minor Contour (0.25m interval)
- Staging Boundary
- Stage No.
- Landscape Interface Buffer
- Access Easement (Drainage Channel Maintenance)
- Potential Multiple Residential Allotment

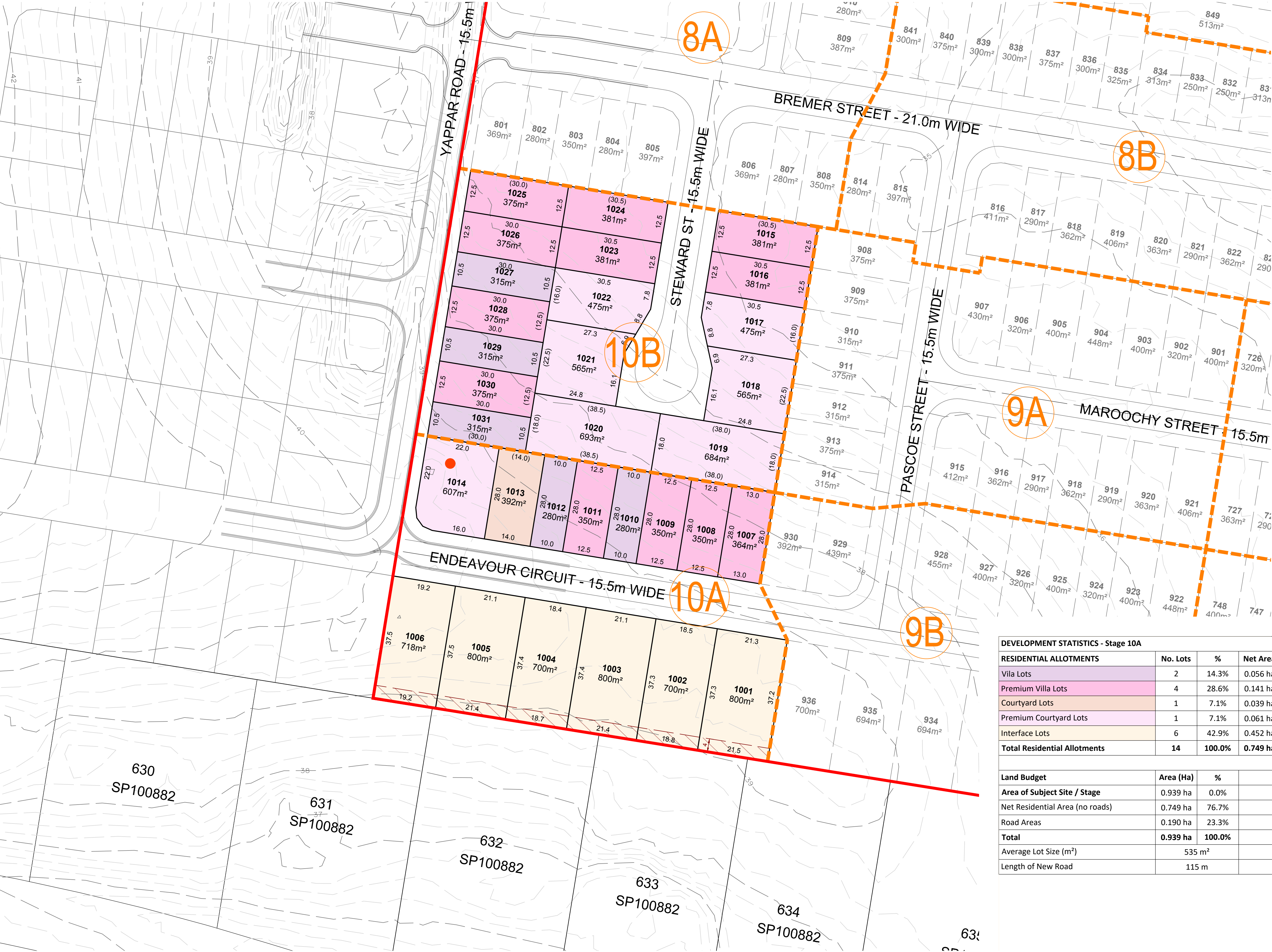
DEVELOPMENT STATISTICS - Stage 9A			
RESIDENTIAL ALLOTMENTS	No. Lots	%	Net Area
Vila Lots	7	33.3%	0.217 ha
Premium Villa Lots	10	47.6%	0.379 ha
Courtyard Lots	4	19.0%	0.169 ha
Total Residential Allotments	21	100.0%	0.765 ha
Land Budget	Area (Ha)	%	
Area of Subject Site / Stage	1.014 ha	0.0%	
Net Residential Area (no roads)	0.765 ha	75.4%	
Road Areas	0.249 ha	24.6%	
Total	1.014 ha	100.0%	
Average Lot Size (m²)	364 m²		
Length of New Road	167 m		

DEVELOPMENT STATISTICS - Stage 9B			
RESIDENTIAL ALLOTMENTS	No. Lots	%	Net Area
Vila Lots	2	13.3%	0.064 ha
Premium Villa Lots	3	20.0%	0.120 ha
Courtyard Lots	4	26.7%	0.173 ha
Interface Lots	6	40.0%	0.446 ha
Total Residential Allotments	15	100.0%	0.803 ha
Land Budget	Area (Ha)	%	
Area of Subject Site / Stage	1.047 ha	0.0%	
Net Residential Area (no roads)	0.803 ha	76.7%	
Road Areas	0.244 ha	23.3%	
Total	1.047 ha	100.0%	
Average Lot Size (m²)	535 m²		
Length of New Road	163 m		

RP DESCRIPTION: Lot 30 on SP309195



STAGING PLAN - STAGE 10A & 10B



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OR CONSTRUCTION

NOTES

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PROJECTION: SURVEY COORDINATES
SUBJECT BOUNDARIES: LOT CALCULATIONS FROM SAUNDERS
HAVILL GROUP DATED 09/05/2023
CONTOURS: ELVIS - LIDAR

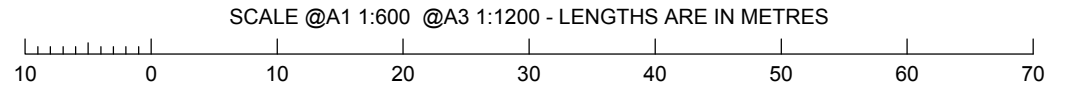
LEGEND

- Site Boundary
- Major Contour (1.0m interval)
- Minor Contour (0.25m interval)
- Staging Boundary
- Stage No.
- Landscape Interface Buffer
- Potential Multiple Residential Allotment

DEVELOPMENT STATISTICS - Stage 10A			
RESIDENTIAL ALLOTMENTS	No. Lots	%	Net Area
Villa Lots	2	14.3%	0.056 ha
Premium Villa Lots	4	28.6%	0.141 ha
Courtyard Lots	1	7.1%	0.039 ha
Premium Courtyard Lots	1	7.1%	0.061 ha
Interface Lots	6	42.9%	0.452 ha
Total Residential Allotments	14	100.0%	0.749 ha
Land Budget			
Area of Subject Site / Stage	0.939 ha	0.0%	
Net Residential Area (no roads)	0.749 ha	76.7%	
Road Areas	0.190 ha	23.3%	
Total	0.939 ha	100.0%	
Average Lot Size (m²)	535 m²		
Length of New Road	115 m		

DEVELOPMENT STATISTICS - Stage 10B			
RESIDENTIAL ALLOTMENTS	No. Lots	%	Net Area
Villa Lots	3	17.6%	0.095 ha
Premium Villa Lots	8	47.1%	0.302 ha
Premium Courtyard Lots	6	35.3%	0.347 ha
Total Residential Allotments	17	100.0%	0.744 ha
Land Budget			
Area of Subject Site / Stage	0.896 ha	0.0%	
Net Residential Area (no roads)	0.744 ha	83.0%	
Road Areas	0.152 ha	17.0%	
Total	0.896 ha	100.0%	
Average Lot Size (m²)	438 m²		
Length of New Road	50 m		

RP DESCRIPTION: Lot 30 on SP309195



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PLAN OF DEVELOPMENT - STAGE 1

Notes:

Setbacks and Site Cover

- 1. Setbacks are as per the Plan of Development Table unless otherwise specified;
- 2. Built-to-Boundary walls are nominated on the Plan of Development (Envelope Plans);
- 3. All setbacks are measured to the wall of the structure;
- 4. Houses must be wholly located within the subject lot unless appropriate encroachment rights are secured;
- 5. A lot can have only one primary frontage. Primary frontages are nominated on the Plan of Development (Envelope Plans), being the nominated driveway frontage;
- 6. For corner lots, a secondary frontage may be applicable, however a pedestrian pathway or road reserve that does not contain a road carriageway is not a secondary frontage;
- 7. For lots with a secondary frontage, no building or structure over 2 metres high is to be built within a 6m x 6m truncation at the corner of two road frontages;
- 8. The length of a Built-to Boundary wall is not to exceed 15m or 50% of lot depth.
- 9. Built-to Boundary walls are optional, however if a Built-to Boundary wall is proposed it must be constructed on the side indicated.
- 10. The length of a Built-to Boundary wall is not to exceed 15m or 50% of the lot depth, whichever is the lesser;
- 11. Notwithstanding the setbacks specified in the Plan of Development Table, a 2.4 metre setback is permitted to unenclosed entry features such as porches, porticos, verandahs and balconies;
- 12. Building envelope and setback requirements may be affected by provision of easements for services, which may alter the setback requirements in the Plan of Development Table; and
- 13. The maximum area covered by all buildings and structures roofed with impervious materials, does not exceed the site cover nominated within the Plan of Development Table.
- 14. A pedestrian pathway is not consider to be a secondary frontage. This frontage should be taken to be a side boundary.

Interface Lots and Landscape Interface Buffer

- 15. Interface lots are identified on the Plan of Development;
- 16. Interface lots are intended to provide a buffer between higher intensity residential uses within the estate to existing residential development along the southern boundary and part of the eastern boundary;
- 17. Fencing must be provided along the rear boundary of Interface Lots and will be 1.8m high wooden 'good neighbour' fencing unless otherwise agreed with the adjoining property owner;
- 18. Interface lots must include a Landscape Interface Buffer as shown on the Plan of Development plans (refer to the Stage 7, 9 & 10 Rear Boundary Interface Sections, where applicable);
- 19. No buildings or structures are permitted within the Landscape Interface Buffer;
- 20. The Landscape Interface Buffer is to be maintained as a vegetated buffer and must be managed in order to control weeds and pests and ensure no increase in bushfire hazard, in accordance with the Bushfire Management Plan; and
- 21. No vegetation clearing can be undertaken within the Landscape Interface Buffer except for declared weed removal.

Bushfire

- 22. For Lots 143, 421 and 468 a separation of a minimum of 12 metres between the unmanaged vegetation hazard and the future dwelling must be provided in order to achieve BAL29. Alternatively, a separation of 18 metres between the unmanaged vegetation hazard to the east of these lots and the future dwelling must be provided in order to achieve BAL19 (Please refer to the Bushfire Management Plan prepared by Bushfire Risk Reducers for further design requirements within the Plan of Development Area);
- 23. The Plan of Development includes BAL rating for affected lots (supplied by Bushfire Risk Reducers), and also the Bushfire Management Plan;

- 24. Lots may be affected by bushfire risk, requiring compliance with the relevant Australian Standard; and
- 25. No part of the dwelling on Lot 468 can encroach past the identified BAL29 line as shown on the Envelope Plans.

Building Height

- 26. Building height must not exceed 9 metres and 2 storeys;
- 27. Building height is measured from natural ground level; and
- 28. To avoid any doubt, the natural ground level is taken to be the level of the land when the survey plan creating the subject lot was registered.

Streetscape Presentation

- 29. Buildings must address each street or park frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:
 - a. Verandahs or porches; and/or
 - b. Awnings or shade structures; and/or
 - c. Variation to roof form; and/or
 - d. Variation in building materials; and/or
 - e. Inclusion of windows to habitable rooms.
- 31. Letterboxes must be clearly visible and identifiable from the street.

Building Design and Articulation

- 32. All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following:
 - a. Windows recessed into the façade; and/or
 - b. Balconies, porches or verandah; and/or
 - c. Window Hoods/Screens; and/or
 - d. Shadow lines are created on the building through minor changes in the facade (100 millimetres minimum).

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Lots Adjoining Neighbourhood Recreation Park

- 33. Lots with a common boundary with public open space (being park, drainage or reserve) provide for passive surveillance/overlooking of the open space by inclusion of the following design elements:
 - a. Habitable room windows facing the open space;
 - b. For double storey dwellings, balconies overlooking the open space;
 - c. For single storey dwellings, 1.2 metre high fencing with a minimum of 50% transparency along the common boundary with the open space OR aluminium pool fencing to the common boundary with the open space.

Car Parking and Driveways

- 38. Off-street car parking must be provided for in accordance with the following:
- 39. Minimum of 2 spaces per dwelling (one of which must be within a garage)
- 40. Car parking may be provided in tandem;
- 41. Garages are to be located on the nominated Built-to-Boundary wall side (if applicable);
- 42. Indicative locations for driveways and garages are nominated on the Plan of Development (Envelope Plans) which should also be interpreted as the primary frontage;
- 43. If a Built-to-Boundary wall is constructed it must be constructed on the side nominated on the Plan of Development (Envelope Plans);
- 44. Garages are to be constructed in the location identified within the Plan of Development (Envelope Plans) unless it can be demonstrated there is no conflict with existing services and does not materially affect the footpath/verge grade at or around the site frontage;
- 45. There is a maximum of one driveway per dwelling unless a corner lot;
- 46. Driveways must be a minimum of 6 metres from the intersection of a street; and
- 47. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3 metres for a lot with a single car width garage.

Private Open Space

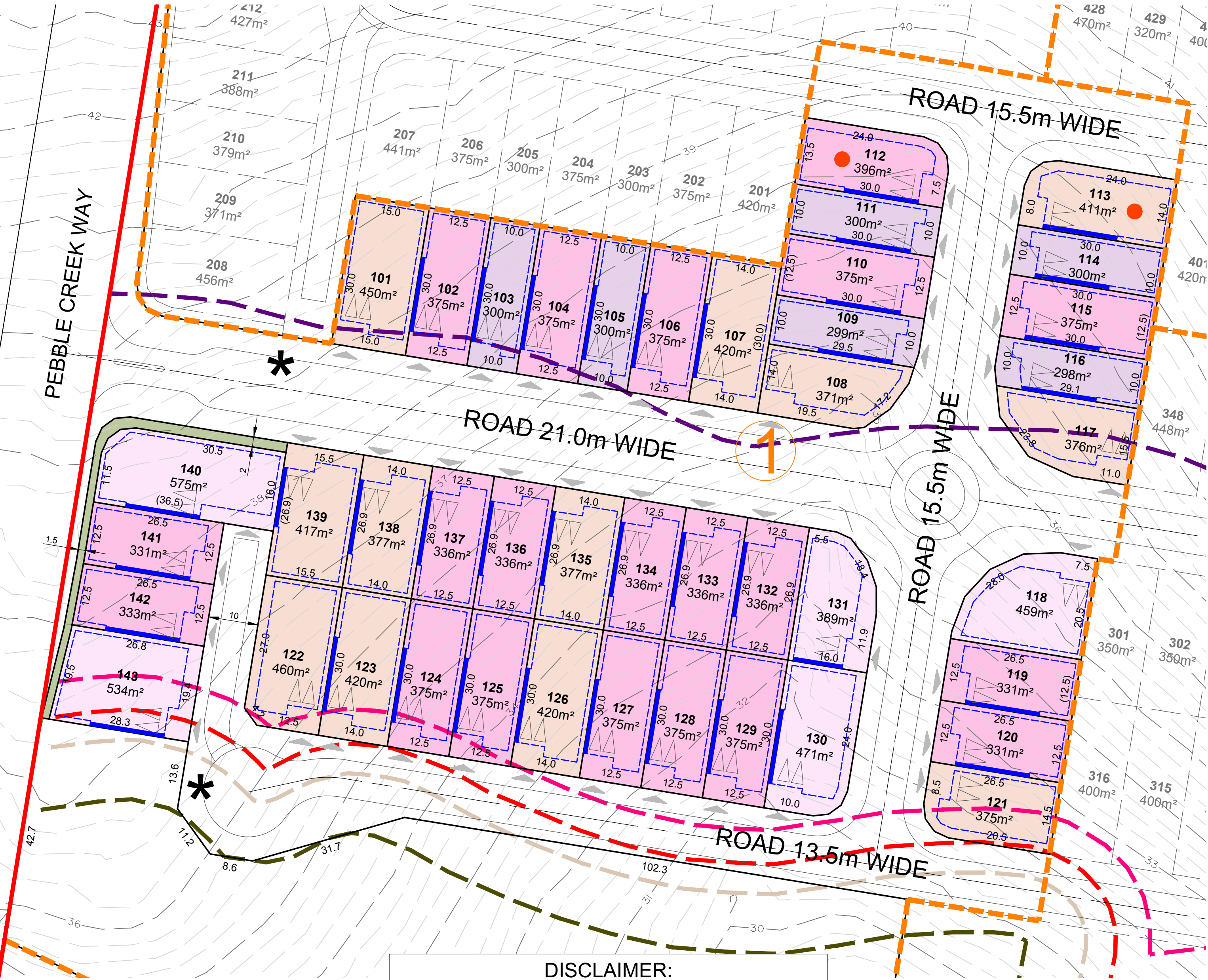
- 48. Each detached dwelling has at least one clearly defined outdoor living space which has a minimum area of 12 square metres and a minimum dimension of 3 metres;
- 49. Private open space must provide visual privacy from another outdoor living space via window or balcony screen; and
- 50. Private open spaces must be directly accessible from a living area

Fencing

- 51. Front fencing allows for overlooking of the street and park to provide casual surveillance opportunity;
- 52. Front fencing has a maximum height of 1.2 metres (where solid) or 1.5 metres (where at least 50% transparent);
- 53. Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum of 1.8m where the upper 0.3m is 50% transparent.
 - a. Fence must be painted in a colour that compliments the dwelling; and
- 53. Fencing must be provided along the rear boundary of Interface Lots and will be 1.8m high wooden 'good neighbour' fencing unless otherwise agreed with the adjoining property owner.

Additional Criteria for Multiple Residential Allotments

- 54. Must comply with Multiple Residential Allotment setbacks.
 - 55. Buildings must address all street frontages with driveways, pedestrian entries or both.
 - 56. All dwellings must have a clearly identifiable front door, which is undercover.
 - 57. Bin storage and clothes drying areas must be located behind a fence and not be visible from any street frontage.
 - 58. All designs must positively address the street through inclusion of at least three of the following design elements:
 - a. Verandah, porch or portico;
 - b. Awning and shade structures;
 - c. Variation to roof and building lines;
 - d. Inclusion of window openings; or
 - e. Use of varying building materials and treatments
 - 59. A minimum of two on-site car parking spaces must be provided for each dwelling, one of which must be within a garage.
 - 60. Each house / dwelling unit has a clearly defined outdoor living space which:
 - a. Has an area of at least:
 - 12m² with a minimum dimension of 2.4m for a 3 or more bedroom house / dwelling unit;
 - 9m² with a minimum dimension of 2.4m for a 2 room or 1 bedroom house / dwelling unit; or
 - 5m² with a minimum dimension of 1.2m for a 1 room or 1 bedroom house / dwelling unit.
 - b. Is accessible from a living area;
 - c. Has a ground slope of not more than 1 in 10; and
 - d. Provides visual privacy from outdoor living spaces on adjacent lots.
- Or communal open space is provided which:
- a. Has an area of at least 25% of the area of the lot; and
 - b. is of a shape which can include a circle with a 4.0m diameter.
- All dwellings are to include a double story element.
- 62. Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum of 1.8m where the upper 0.3m is 50% transparent.
 - a. Fence must be painted in a colour that compliments the dwelling.



LEGEND

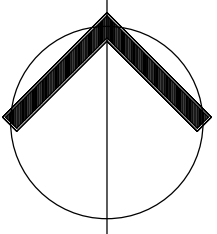
- Site Boundary
- Indicative Building Envelope
- Built to Boundary Wall
- Staging Boundary
- Indicative Driveway Location
- Stage No.
- Edge of Classified Vegetation
- Building Envelope Exclusion Zone (reach of Bal 40)
- Reach of BAL 29
- Reach of BAL 19
- Reach of BAL 12.5
- Indicative Garage Location
- Potential Multiple Residential Allotment
- Approximate Bin Pad Location for Lots 140-143, and Lots 208 & 209.

	Villa Lots	Premium Villa Lots	Courtyard Lots	Premium Courtyard Lots	Interface Lots	Multiple Residential Allotments
Front Setback						
To Wall (Ground Floor)	3.0 m	3.0 m	3.0 m	4.0 m	5.0 m	3.0 m
To Wall (First Floor)	3.0 m	3.0 m	3.0 m	4.0 m	5.0 m	3.0 m
Garage	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m
Secondary Frontage						
To Wall (Ground Floor)	1.5 m	2.0 m	2.0 m	2.0 m	3.0 m	1.5 m
To Wall (First Floor)	2.0 m	2.0 m	2.0 m	2.0 m	3.0 m	1.5 m
Garage	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m
Rear Setback						
Ground Floor	0.9m*	0.9m*	0.9m*	0.9m*	8.0 m#	2.0 m
First Floor	1.0 m	1.0 m	1.0 m	1.0 m	8.0 m	2.0 m
Side Setback (BTB)						
Ground Floor	0 - 0.2m	0 - 0.2m	0 - 0.2m	0 - 0.2m	n/a	0 - 0.2m
First Floor	0.9 m	1.0 m	1.0 m	1.0 m	n/a	n/a
Side Setback (non-BTB)						
Ground Floor	0.9 m	1.0 m	1.0 m	1.0 m	1.5 m	1.0 m
First Floor	0.9 m	1.0 m	1.0 m	1.5 m	2.0 m	1.5 m
Site Coverage (Maximum)	75%	75%	60%	60%	50%	75%
Within the above table BTB means Built-to-Boundary wall. If a Built-to-Boundary wall is constructed then the indicated BTB side shown on the Envelope Plans is mandatory not optional.						
* Rear boundary setback to the low side of a stepped retaining wall is to be increased to 2.5 m						
# Rear setback may be reduced by the Landscape Interface Buffer – refer to the Stage 7, 9 & 10 Rear Boundary Interface Sections, where applicable.				for Lot 716 rear setback is 8.39 m		
				for Lot 717 rear setback is 8.39 m		
				for Lot 736 rear setback is 10.99 m		
				for Lot 737 rear setback is 10.8 m		
Setbacks for Lots 421 & 468 is to ensure that the dwelling does not encroach past the identified BAL29 line.						

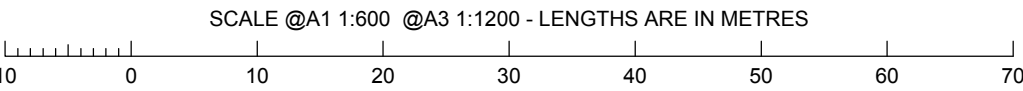
DISCLAIMER:

BAL Ratings are adopted from the Bushfire Management Plan.

Saunders Havill Group takes no responsibility for the bushfire hazard lines (BAL Ratings) shown on this plan. For further information about bushfire risk please contact Bushfire Risk Reducers.



RP DESCRIPTION: Lot 30 on SP309195



DALEFORD PROPERTY PTY LTD

PLAN OF DEVELOPMENT - STAGE 2

Notes:

Setbacks and Site Cover

- 1. Setbacks are as per the Plan of Development Table unless otherwise specified;
- 2. Built-to-Boundary walls are nominated on the Plan of Development (Envelope Plans);
- 3. All setbacks are measured to the wall of the structure;
- 4. Houses must be wholly located within the subject lot unless appropriate encroachment rights are secured;
- 5. A lot can have only one primary frontage. Primary frontages are nominated on the Plan of Development (Envelope Plans), being the nominated driveway frontage;
- 6. For corner lots, a secondary frontage may be applicable, however a pedestrian pathway or road reserve that does not contain a road carriageway is not a secondary frontage;
- 7. For lots with a secondary frontage, no building or structure over 2 metres high is to be built within a 6m x 6m truncation at the corner of two road frontages;
- 8. The length of a Built-to Boundary wall is not to exceed 15m or 50% of lot depth.
- 9. Built-to Boundary walls are optional, however if a Built-to Boundary wall is proposed it must be constructed on the side indicated.
- 10. The length of a Built-to Boundary wall is not to exceed 15m or 50% of the lot depth, whichever is the lesser;
- 11. Notwithstanding the setbacks specified in the Plan of Development Table, a 2.4 metre setback is permitted to unenclosed entry features such as porches, porticos, verandahs and balconies;
- 12. Building envelope and setback requirements may be affected by provision of easements for services, which may alter the setback requirements in the Plan of Development Table; and
- 13. The maximum area covered by all buildings and structures roofed with impervious materials, does not exceed the site cover nominated within the Plan of Development Table.
- 14. A pedestrian pathway is not consider to be a secondary frontage. This frontage should be taken to be a side boundary.

Interface Lots and Landscape Interface Buffer

- 15. Interface lots are identified on the Plan of Development;
- 16. Interface lots are intended to provide a buffer between higher intensity residential uses within the estate to existing residential development along the southern boundary and part of the eastern boundary;
- 17. Fencing must be provided along the rear boundary of Interface Lots and will be 1.8m high wooden 'good neighbour' fencing unless otherwise agreed with the adjoining property owner;
- 18. Interface lots must include a Landscape Interface Buffer as shown on the Plan of Development plans (refer to the Stage 7, 9 & 10 Rear Boundary Interface Sections, where applicable);
- 19. No buildings or structures are permitted within the Landscape Interface Buffer;
- 20. The Landscape Interface Buffer is to be maintained as a vegetated buffer and must be managed in order to control weeds and pests and ensure no increase in bushfire hazard, in accordance with the Bushfire Management Plan; and
- 21. No vegetation clearing can be undertaken within the Landscape Interface Buffer except for declared weed removal.

Bushfire

- 22. For Lots 143, 421 and 468 a separation of a minimum of 12 metres between the unmanaged vegetation hazard and the future dwelling must be provided in order to achieve BAL29. Alternatively, a separation of 18 metres between the unmanaged vegetation hazard to the east of these lots and the future dwelling must be provided in order to achieve BAL19 (Please refer to the Bushfire Management Plan prepared by Bushfire Risk Reducers for further design requirements within the Plan of Development Area);
- 23. The Plan of Development includes BAL rating for affected lots (supplied by Bushfire Risk Reducers), and also the Bushfire Management Plan;

- 24. Lots may be affected by bushfire risk, requiring compliance with the relevant Australian Standard; and
- 25. No part of the dwelling on Lot 468 can encroach past the identified BAL29 line as shown on the Envelope Plans.

Building Height

- 26. Building height must not exceed 9 metres and 2 storeys;
- 27. Building height is measured from natural ground level; and
- 28. To avoid any doubt, the natural ground level is taken to be the level of the land when the survey plan creating the subject lot was registered.

Streetscape Presentation

- 29. Buildings must address each street or park frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:
 - a. Verandahs or porches; and/or
 - b. Awnings or shade structures; and/or
 - c. Variation to roof form; and/or
 - d. Variation in building materials; and/or
 - e. Inclusion of windows to habitable rooms.
- 31. Letterboxes must be clearly visible and identifiable from the street.

Building Design and Articulation

- 32. All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following:
 - a. Windows recessed into the façade; and/or
 - b. Balconies, porches or verandah; and/or
 - c. Window Hoods/Screens; and/or
 - d. Shadow lines are created on the building through minor changes in the facade (100 millimetres minimum).

NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION

Lots Adjoining Neighbourhood Recreation Park

- 33. Lots with a common boundary with public open space (being park, drainage or reserve) provide for passive surveillance/overlooking of the open space by inclusion of the following design elements:
 - a. Habitable room windows facing the open space;
 - b. For double storey dwellings, balconies overlooking the open space;
 - c. For single storey dwellings, 1.2 metre high fencing with a minimum of 50% transparency along the common boundary with the open space OR aluminium pool fencing to the common boundary with the open space.

Car Parking and Driveways

- 38. Off-street car parking must be provided for in accordance with the following:
- 39. Minimum of 2 spaces per dwelling (one of which must be within a garage)
- 40. Car parking may be provided in tandem;
- 41. Garages are to be located on the nominated Built-to-Boundary wall side (if applicable);
- 42. Indicative locations for driveways and garages are nominated on the Plan of Development (Envelope Plans) which should also be interpreted as the primary frontage;
- 43. If a Built-to-Boundary wall is constructed it must be constructed on the side nominated on the Plan of Development (Envelope Plans);
- 44. Garages are to be constructed in the location identified within the Plan of Development (Envelope Plans) unless it can be demonstrated there is no conflict with existing services and does not materially affect the footpath/verge grade at or around the site frontage;
- 45. There is a maximum of one driveway per dwelling unless a corner lot;
- 46. Driveways must be a minimum of 6 metres from the intersection of a street; and
- 47. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3 metres for a lot with a single car width garage.

Private Open Space

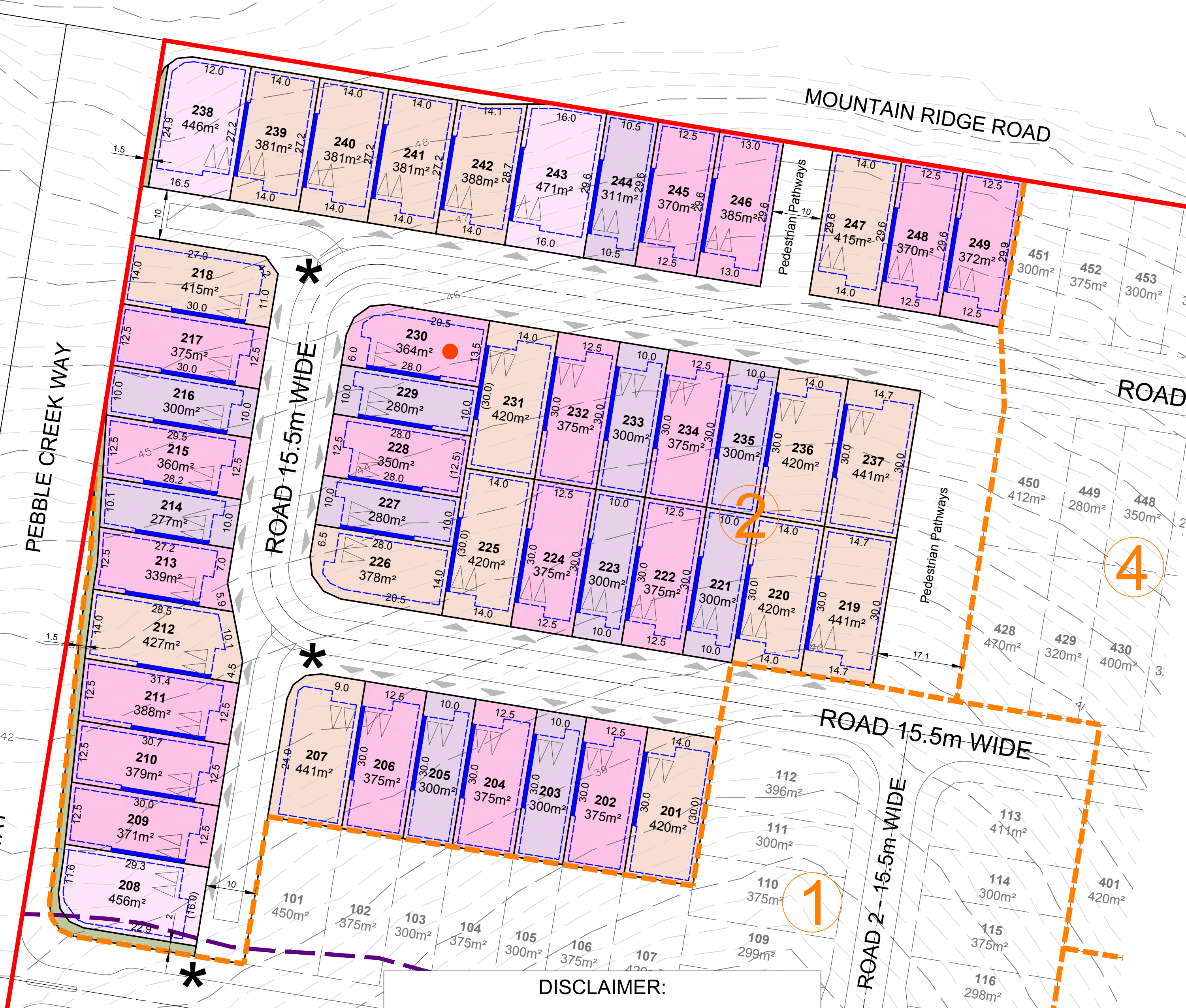
- 48. Each detached dwelling has at least one clearly defined outdoor living space which has a minimum area of 12 square metres and a minimum dimension of 3 metres;
- 49. Private open space must provide visual privacy from another outdoor living space via window or balcony screen; and
- 50. Private open spaces must be directly accessible from a living area

Fencing

- 51. Front fencing allows for overlooking of the street and park to provide casual surveillance opportunity;
- 52. Front fencing has a maximum height of 1.2 metres (where solid) or 1.5 metres (where at least 50% transparent);
- 53. Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum of 1.8m where the upper 0.3m is 50% transparent.
 - a. Fence must be painted in a colour that compliments the dwelling; and
- 53. Fencing must be provided along the rear boundary of Interface Lots and will be 1.8m high wooden 'good neighbour' fencing unless otherwise agreed with the adjoining property owner.

Additional Criteria for Multiple Residential Allotments

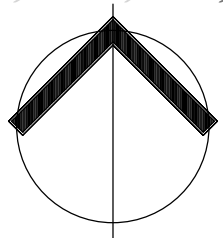
- 54. Must comply with Multiple Residential Allotment setbacks.
 - 55. Buildings must address all street frontages with driveways, pedestrian entries or both.
 - 56. All dwellings must have a clearly identifiable front door, which is undercover.
 - 57. Bin storage and clothes drying areas must be located behind a fence and not be visible from any street frontage.
 - 58. All designs must positively address the street through inclusion of at least three of the following design elements:
 - a. Verandah, porch or portico;
 - b. Awning and shade structures;
 - c. Variation to roof and building lines;
 - d. Inclusion of window openings; or
 - e. Use of varying building materials and treatments
 - 59. A minimum of two on-site car parking spaces must be provided for each dwelling, one of which must be within a garage.
 - 60. Each house / dwelling unit has a clearly defined outdoor living space which:
 - a. Has an area of at least:
 - 12m² with a minimum dimension of 2.4m for a 3 or more bedroom house / dwelling unit;
 - 9m² with a minimum dimension of 2.4m for a 2 room or 1 bedroom house / dwelling unit; or
 - 5m² with a minimum dimension of 1.2m for a 1 room or 1 bedroom house / dwelling unit.
 - b. Is accessible from a living area;
 - c. Has a ground slope of not more than 1 in 10; and
 - d. Provides visual privacy from outdoor living spaces on adjacent lots.
- Or communal open space is provided which:
- a. Has an area of at least 25% of the area of the lot; and
 - b. is of a shape which can include a circle with a 4.0m diameter.
- 61. All dwellings are to include a double story element.
 - 62. Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum of 1.8m where the upper 0.3m is 50% transparent.
 - a. Fence must be painted in a colour that compliments the dwelling.



LEGEND

- Site Boundary
- Indicative Building Envelope
- Built to Boundary Wall
- Staging Boundary
- Indicative Driveway Location
- Stage No.
- Edge of Classified Vegetation
- Building Envelope Exclusion Zone (reach of Bal 40)
- Reach of BAL 29
- Reach of BAL 19
- Reach of BAL 12.5
- Indicative Garage Location
- Potential Multiple Residential Allotment
- Approximate Bin Pad Location for Lots 207 & 210-212, and Lots 218 & 238-241, and Lots 208 & 209.

	Villa Lots	Premium Villa Lots	Courtyard Lots	Premium Courtyard Lots	Interface Lots	Multiple Residential Allotments
Front Setback						
To Wall (Ground Floor)	3.0 m	3.0 m	3.0 m	4.0 m	5.0 m	3.0 m
To Wall (First Floor)	3.0 m	3.0 m	3.0 m	4.0 m	5.0 m	3.0 m
Garage	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m
Secondary Frontage						
To Wall (Ground Floor)	1.5 m	2.0 m	2.0 m	2.0 m	3.0 m	1.5 m
To Wall (First Floor)	2.0 m	2.0 m	2.0 m	2.0 m	3.0 m	1.5 m
Garage	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m
Rear Setback						
Ground Floor	0.9m*	0.9m*	0.9m*	0.9m*	8.0 m#	2.0 m
First Floor	1.0 m	1.0 m	1.0 m	1.0 m	8.0 m	2.0 m
Side Setback (BTB)						
Ground Floor	0 - 0.2m	0 - 0.2m	0 - 0.2m	0 - 0.2m	n/a	0 - 0.2m
First Floor	0.9 m	1.0 m	1.0 m	1.0 m	n/a	n/a
Side Setback (non-BTB)						
Ground Floor	0.9 m	1.0 m	1.0 m	1.0 m	1.5 m	1.0 m
First Floor	0.9 m	1.0 m	1.0 m	1.5 m	2.0 m	1.5 m
Site Coverage (Maximum)	75%	75%	60%	60%	50%	75%
Within the above table BTB means Built-to-Boundary wall. If a Built-to-Boundary wall is constructed then the indicated BTB side shown on the Envelope Plans is mandatory not optional.						
* Rear boundary setback to the low side of a stepped retaining wall is to be increased to 2.5 m						
# Rear setback may be reduced by the Landscape Interface Buffer – refer to the Stage 7, 9 & 10 Rear Boundary Interface Sections, where applicable.				for Lot 716 rear setback is 8.39 m		
				for Lot 717 rear setback is 8.39 m		
				for Lot 736 rear setback is 10.99 m		
				for Lot 737 rear setback is 10.8 m		
Setbacks for Lots 421 & 468 is to ensure that the dwelling does not encroach past the identified BAL29 line.						

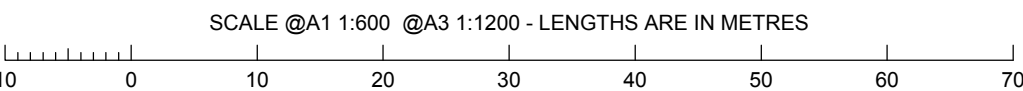


DISCLAIMER:

BAL Ratings are adopted from the Bushfire Management Plan.

Saunders Havill Group takes no responsibility for the bushfire hazard lines (BAL Ratings) shown on this plan. For further information about bushfire risk please contact Bushfire Risk Reducers.

RP DESCRIPTION: Lot 30 on SP309195



DALEFORD PROPERTY PTY LTD

PLAN OF DEVELOPMENT - STAGE 3

Notes:

Setbacks and Site Cover

- 1. Setbacks are as per the Plan of Development Table unless otherwise specified;
- 2. Built-to-Boundary walls are nominated on the Plan of Development (Envelope Plans);
- 3. All setbacks are measured to the wall of the structure;
- 4. Houses must be wholly located within the subject lot unless appropriate encroachment rights are secured;
- 5. A lot can have only one primary frontage. Primary frontages are nominated on the Plan of Development (Envelope Plans), being the nominated driveway frontage;
- 6. For corner lots, a secondary frontage may be applicable, however a pedestrian pathway or road reserve that does not contain a road carriageway is not a secondary frontage;
- 7. For lots with a secondary frontage, no building or structure over 2 metres high is to be built within a 6m x 6m truncation at the corner of two road frontages;
- 8. The length of a Built-to Boundary wall is not to exceed 15m or 50% of lot depth.
- 9. Built-to Boundary walls are optional, however if a Built-to Boundary wall is proposed it must be constructed on the side indicated.
- 10. The length of a Built-to Boundary wall is not to exceed 15m or 50% of the lot depth, whichever is the lesser;
- 11. Notwithstanding the setbacks specified in the Plan of Development Table, a 2.4 metre setback is permitted to unenclosed entry features such as porches, porticos, verandahs and balconies;
- 12. Building envelope and setback requirements may be affected by provision of easements for services, which may alter the setback requirements in the Plan of Development Table; and
- 13. The maximum area covered by all buildings and structures roofed with impervious materials, does not exceed the site cover nominated within the Plan of Development Table.
- 14. A pedestrian pathway is not consider to be a secondary frontage. This frontage should be taken to be a side boundary.

Interface Lots and Landscape Interface Buffer

- 15. Interface lots are identified on the Plan of Development;
- 16. Interface lots are intended to provide a buffer between higher intensity residential uses within the estate to existing residential development along the southern boundary and part of the eastern boundary;
- 17. Fencing must be provided along the rear boundary of Interface Lots and will be 1.8m high wooden 'good neighbour' fencing unless otherwise agreed with the adjoining property owner;
- 18. Interface lots must include a Landscape Interface Buffer as shown on the Plan of Development plans (refer to the Stage 7, 9 & 10 Rear Boundary Interface Sections, where applicable);
- 19. No buildings or structures are permitted within the Landscape Interface Buffer;
- 20. The Landscape Interface Buffer is to be maintained as a vegetated buffer and must be managed in order to control weeds and pests and ensure no increase in bushfire hazard, in accordance with the Bushfire Management Plan; and
- 21. No vegetation clearing can be undertaken within the Landscape Interface Buffer except for declared weed removal.

Bushfire

- 22. For Lots 143, 421 and 468 a separation of a minimum of 12 metres between the unmanaged vegetation hazard and the future dwelling must be provided in order to achieve BAL29. Alternatively, a separation of 18 metres between the unmanaged vegetation hazard to the east of these lots and the future dwelling must be provided in order to achieve BAL19 (Please refer to the Bushfire Management Plan prepared by Bushfire Risk Reducers for further design requirements within the Plan of Development Area);
- 23. The Plan of Development includes BAL rating for affected lots (supplied by Bushfire Risk Reducers), and also the Bushfire Management Plan;

- 24. Lots may be affected by bushfire risk, requiring compliance with the relevant Australian Standard; and
- 25. No part of the dwelling on Lot 468 can encroach past the identified BAL29 line as shown on the Envelope Plans.

Building Height

- 26. Building height must not exceed 9 metres and 2 storeys;
- 27. Building height is measured from natural ground level; and
- 28. To avoid any doubt, the natural ground level is taken to be the level of the land when the survey plan creating the subject lot was registered.

Streetscape Presentation

- 29. Buildings must address each street or park frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:
 - a. Verandahs or porches; and/or
 - b. Awnings or shade structures; and/or
 - c. Variation to roof form; and/or
 - d. Variation in building materials; and/or
 - e. Inclusion of windows to habitable rooms.
- 31. Letterboxes must be clearly visible and identifiable from the street.

Building Design and Articulation

- 32. All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following:
 - a. Windows recessed into the facade; and/or
 - b. Balconies, porches or verandah; and/or
 - c. Window Hoods/Screens; and/or
 - d. Shadow lines are created on the building through minor changes in the facade (100 millimetres minimum).

NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION

Lots Adjoining Neighbourhood Recreation Park

- 33. Lots with a common boundary with public open space (being park, drainage or reserve) provide for passive surveillance/overlooking of the open space by inclusion of the following design elements:
 - a. Habitable room windows facing the open space;
 - b. For double storey dwellings, balconies overlooking the open space;
 - c. For single storey dwellings, 1.2 metre high fencing with a minimum of 50% transparency along the common boundary with the open space OR aluminium pool fencing to the common boundary with the open space.

Car Parking and Driveways

- 38. Off-street car parking must be provided for in accordance with the following:
- 39. Minimum of 2 spaces per dwelling (one of which must be within a garage)
- 40. Car parking may be provided in tandem;
- 41. Garages are to be located on the nominated Built-to-Boundary wall side (if applicable);
- 42. Indicative locations for driveways and garages are nominated on the Plan of Development (Envelope Plans) which should also be interpreted as the primary frontage;
- 43. If a Built-to-Boundary wall is constructed it must be constructed on the side nominated on the Plan of Development (Envelope Plans);
- 44. Garages are to be constructed in the location identified within the Plan of Development (Envelope Plans) unless it can be demonstrated there is no conflict with existing services and does not materially affect the footpath/verge grade at or around the site frontage;
- 45. There is a maximum of one driveway per dwelling unless a corner lot;
- 46. Driveways must be a minimum of 6 metres from the intersection of a street; and
- 47. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3 metres for a lot with a single car width garage.

Private Open Space

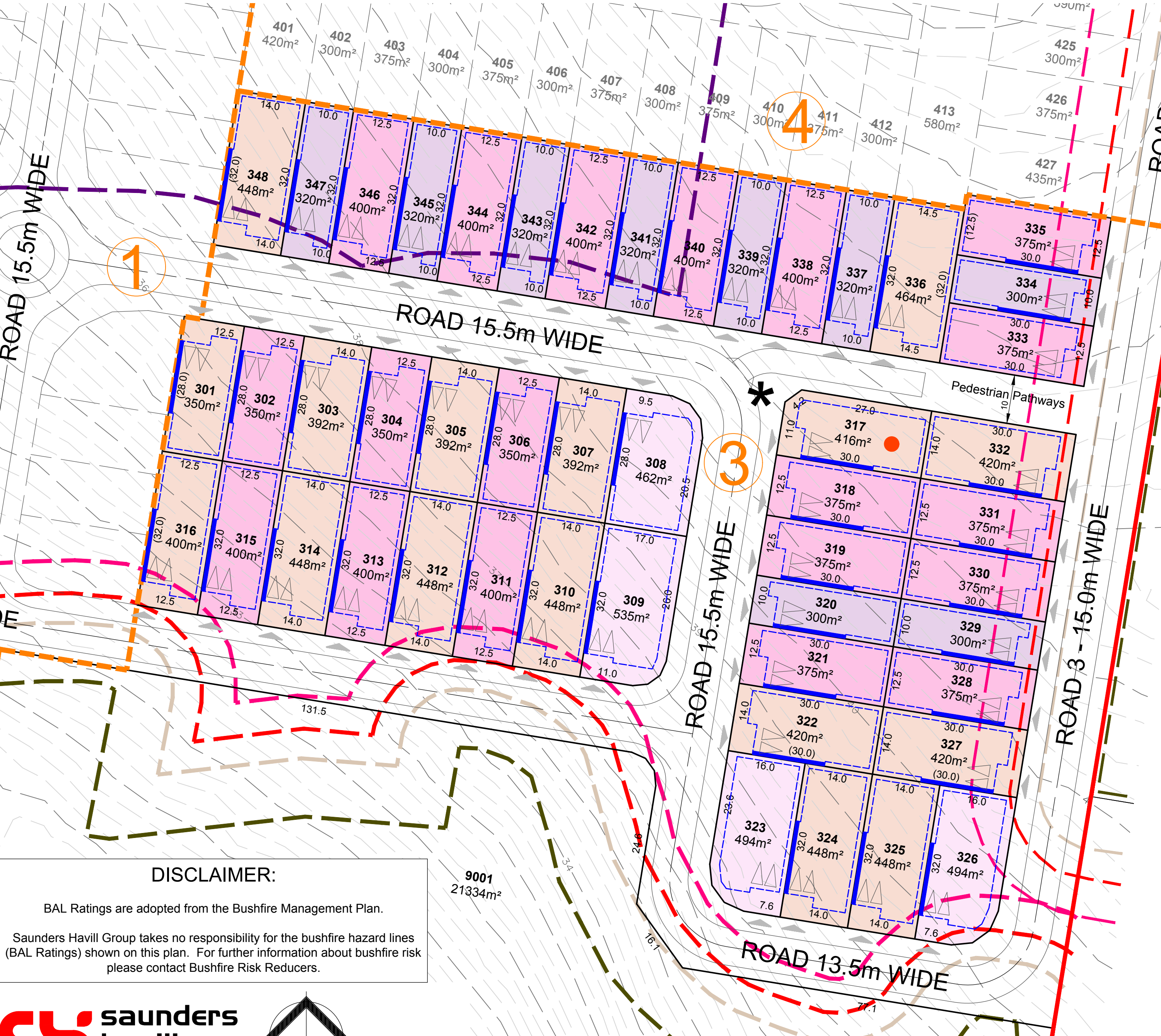
- 48. Each detached dwelling has at least one clearly defined outdoor living space which has a minimum area of 12 square metres and a minimum dimension of 3 metres;
- 49. Private open space must provide visual privacy from another outdoor living space via window or balcony screen; and
- 50. Private open spaces must be directly accessible from a living area

Fencing

- 51. Front fencing allows for overlooking of the street and park to provide casual surveillance opportunity;
- 52. Front fencing has a maximum height of 1.2 metres (where solid) or 1.5 metres (where at least 50% transparent);
- 53. Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum of 1.8m where the upper 0.3m is 50% transparent.
 - a. Fence must be painted in a colour that compliments the dwelling; and
- 53. Fencing must be provided along the rear boundary of Interface Lots and will be 1.8m high wooden 'good neighbour' fencing unless otherwise agreed with the adjoining property owner.

Additional Criteria for Multiple Residential Allotments

- 54. Must comply with Multiple Residential Allotment setbacks.
 - 55. Buildings must address all street frontages with driveways, pedestrian entries or both.
 - 56. All dwellings must have a clearly identifiable front door, which is undercover.
 - 57. Bin storage and clothes drying areas must be located behind a fence and not be visible from any street frontage.
 - 58. All designs must positively address the street through inclusion of at least three of the following design elements:
 - a. Verandah, porch or portico;
 - b. Awning and shade structures;
 - c. Variation to roof and building lines;
 - d. Inclusion of window openings; or
 - e. Use of varying building materials and treatments
 - 59. A minimum of two on-site car parking spaces must be provided for each dwelling, one of which must be within a garage.
 - 60. Each house / dwelling unit has a clearly defined outdoor living space which:
 - a. Has an area of at least:
 - 12m² with a minimum dimension of 2.4m for a 3 or more bedroom house / dwelling unit;
 - 9m² with a minimum dimension of 2.4m for a 2 room or 1 bedroom house / dwelling unit; or
 - 5m² with a minimum dimension of 1.2m for a 1 room or 1 bedroom house / dwelling unit.
 - b. Is accessible from a living area;
 - c. Has a ground slope of not more than 1 in 10; and
 - d. Provides visual privacy from outdoor living spaces on adjacent lots.
- Or communal open space is provided which:
- a. Has an area of at least 25% of the area of the lot; and
 - b. is of a shape which can include a circle with a 4.0m diameter.
- 61. All dwellings are to include a double story element.
 - 62. Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum of 1.8m where the upper 0.3m is 50% transparent.
 - a. Fence must be painted in a colour that compliments the dwelling.

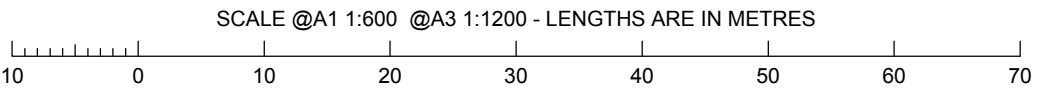


LEGEND

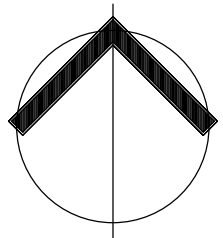
- Site Boundary
- Indicative Building Envelope
- Built to Boundary Wall
- Staging Boundary
- Indicative Driveway Location
- Stage No.
- Edge of Classified Vegetation
- Building Envelope Exclusion Zone (reach of Bal 40)
- Reach of BAL 29
- Reach of BAL 19
- Reach of BAL 12.5
- Indicative Garage Location
- Potential Multiple Residential Allotment
- Approximate Bin Pad Location for Lots 317 & 336-339

	Villa Lots	Premium Villa Lots	Courtyard Lots	Premium Courtyard Lots	Interface Lots	Multiple Residential Allotments
Front Setback						
To Wall (Ground Floor)	3.0 m	3.0 m	3.0 m	4.0 m	5.0 m	3.0 m
To Wall (First Floor)	3.0 m	3.0 m	3.0 m	4.0 m	5.0 m	3.0 m
Garage	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m
Secondary Frontage						
To Wall (Ground Floor)	1.5 m	2.0 m	2.0 m	2.0 m	3.0 m	1.5 m
To Wall (First Floor)	2.0 m	2.0 m	2.0 m	2.0 m	3.0 m	1.5 m
Garage	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m
Rear Setback						
Ground Floor	0.9m*	0.9m*	0.9m*	0.9m*	8.0 m#	2.0 m
First Floor	1.0 m	1.0 m	1.0 m	1.0 m	8.0 m	2.0 m
Side Setback (BTB)						
Ground Floor	0 - 0.2m	0 - 0.2m	0 - 0.2m	0 - 0.2m	n/a	0 - 0.2m
First Floor	0.9 m	1.0 m	1.0 m	1.0 m	n/a	n/a
Side Setback (non-BTB)						
Ground Floor	0.9 m	1.0 m	1.0 m	1.0 m	1.5 m	1.0 m
First Floor	0.9 m	1.0 m	1.0 m	1.5 m	2.0 m	1.5 m
Site Coverage (Maximum)	75%	75%	60%	60%	50%	75%
Within the above table BTB means Built-to-Boundary wall. If a Built-to-Boundary wall is constructed then the indicated BTB side shown on the Envelope Plans is mandatory not optional.						
* Rear boundary setback to the low side of a stepped retaining wall is to be increased to 2.5 m						
# Rear setback may be reduced by the Landscape Interface Buffer – refer to the Stage 7, 9 & 10 Rear Boundary Interface Sections, where applicable.				for Lot 716 rear setback is 8.39 m		
				for Lot 717 rear setback is 8.39 m		
				for Lot 736 rear setback is 10.99 m		
				for Lot 737 rear setback is 10.8 m		
Setbacks for Lots 421 & 468 is to ensure that the dwelling does not encroach past the identified BAL29 line.						

RP DESCRIPTION: Lot 30 on SP309195



DALEFORD PROPERTY PTY LTD



PLAN OF DEVELOPMENT - STAGE 4

Notes:

Setbacks and Site Cover

- 1. Setbacks are as per the Plan of Development Table unless otherwise specified;
- 2. Built-to-Boundary walls are nominated on the Plan of Development (Envelope Plans);
- 3. All setbacks are measured to the wall of the structure;
- 4. Houses must be wholly located within the subject lot unless appropriate encroachment rights are secured;
- 5. A lot can have only one primary frontage. Primary frontages are nominated on the Plan of Development (Envelope Plans), being the nominated driveway frontage;
- 6. For corner lots, a secondary frontage may be applicable, however a pedestrian pathway or road reserve that does not contain a road carriageway is not a secondary frontage;
- 7. For lots with a secondary frontage, no building or structure over 2 metres high is to be built within a 6m x 6m truncation at the corner of two road frontages;
- 8. The length of a Built-to Boundary wall is not to exceed 15m or 50% of lot depth.
- 9. Built-to Boundary walls are optional, however if a Built-to Boundary wall is proposed it must be constructed on the side indicated.
- 10. The length of a Built-to Boundary wall is not to exceed 15m or 50% of the lot depth, whichever is the lesser;
- 11. Notwithstanding the setbacks specified in the Plan of Development Table, a 2.4 metre setback is permitted to unenclosed entry features such as porches, porticos, verandahs and balconies;
- 12. Building envelope and setback requirements may be affected by provision of easements for services, which may alter the setback requirements in the Plan of Development Table; and
- 13. The maximum area covered by all buildings and structures roofed with impervious materials, does not exceed the site cover nominated within the Plan of Development Table.
- 14. A pedestrian pathway is not consider to be a secondary frontage. This frontage should be taken to be a side boundary.

Interface Lots and Landscape Interface Buffer

- 15. Interface lots are identified on the Plan of Development;
- 16. Interface lots are intended to provide a buffer between higher intensity residential uses within the estate to existing residential development along the southern boundary and part of the eastern boundary;
- 17. Fencing must be provided along the rear boundary of Interface Lots and will be 1.8m high wooden 'good neighbour' fencing unless otherwise agreed with the adjoining property owner;
- 18. Interface lots must include a Landscape Interface Buffer as shown on the Plan of Development plans (refer to the Stage 7, 9 & 10 Rear Boundary Interface Sections, where applicable);
- 19. No buildings or structures are permitted within the Landscape Interface Buffer;
- 20. The Landscape Interface Buffer is to be maintained as a vegetated buffer and must be managed in order to control weeds and pests and ensure no increase in bushfire hazard, in accordance with the Bushfire Management Plan; and
- 21. No vegetation clearing can be undertaken within the Landscape Interface Buffer except for declared weed removal.

Bushfire

- 22. For Lots 143, 421 and 468 a separation of a minimum of 12 metres between the unmanaged vegetation hazard and the future dwelling must be provided in order to achieve BAL29. Alternatively, a separation of 18 metres between the unmanaged vegetation hazard to the east of these lots and the future dwelling must be provided in order to achieve BAL19 (Please refer to the Bushfire Management Plan prepared by Bushfire Risk Reducers for further design requirements within the Plan of Development Area);
- 23. The Plan of Development includes BAL rating for affected lots (supplied by Bushfire Risk Reducers), and also the Bushfire Management Plan;

- 24. Lots may be affected by bushfire risk, requiring compliance with the relevant Australian Standard; and
- 25. No part of the dwelling on Lot 468 can encroach past the identified BAL29 line as shown on the Envelope Plans.

Building Height

- 26. Building height must not exceed 9 metres and 2 storeys;
- 27. Building height is measured from natural ground level; and
- 28. To avoid any doubt, the natural ground level is taken to be the level of the land when the survey plan creating the subject lot was registered.

Streetscape Presentation

- 29. Buildings must address each street or park frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:
 - a. Verandahs or porches; and/or
 - b. Awnings or shade structures; and/or
 - c. Variation to roof form; and/or
 - d. Variation in building materials; and/or
 - e. Inclusion of windows to habitable rooms.
- 31. Letterboxes must be clearly visible and identifiable from the street.

Building Design and Articulation

- 32. All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following:
 - a. Windows recessed into the facade; and/or
 - b. Balconies, porches or verandah; and/or
 - c. Window Hoods/Screens; and/or
 - d. Shadow lines are created on the building through minor changes in the facade (100 millimetres minimum).

NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION

Lots Adjoining Neighbourhood Recreation Park

- 33. Lots with a common boundary with public open space (being park, drainage or reserve) provide for passive surveillance/overlooking of the open space by inclusion of the following design elements:
 - a. Habitable room windows facing the open space;
 - b. For double storey dwellings, balconies overlooking the open space;
 - c. For single storey dwellings, 1.2 metre high fencing with a minimum of 50% transparency along the common boundary with the open space OR aluminium pool fencing to the common boundary with the open space.

Car Parking and Driveways

- 38. Off-street car parking must be provided for in accordance with the following:
- 39. Minimum of 2 spaces per dwelling (one of which must be within a garage)
- 40. Car parking may be provided in tandem;
- 41. Garages are to be located on the nominated Built-to-Boundary wall side (if applicable);
- 42. Indicative locations for driveways and garages are nominated on the Plan of Development (Envelope Plans) which should also be interpreted as the primary frontage;
- 43. If a Built-to-Boundary wall is constructed it must be constructed on the side nominated on the Plan of Development (Envelope Plans);
- 44. Garages are to be constructed in the location identified within the Plan of Development (Envelope Plans) unless it can be demonstrated there is no conflict with existing services and does not materially affect the footpath/verge grade at or around the site frontage;
- 45. There is a maximum of one driveway per dwelling unless a corner lot;
- 46. Driveways must be a minimum of 6 metres from the intersection of a street; and
- 47. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3 metres for a lot with a single car width garage.

Private Open Space

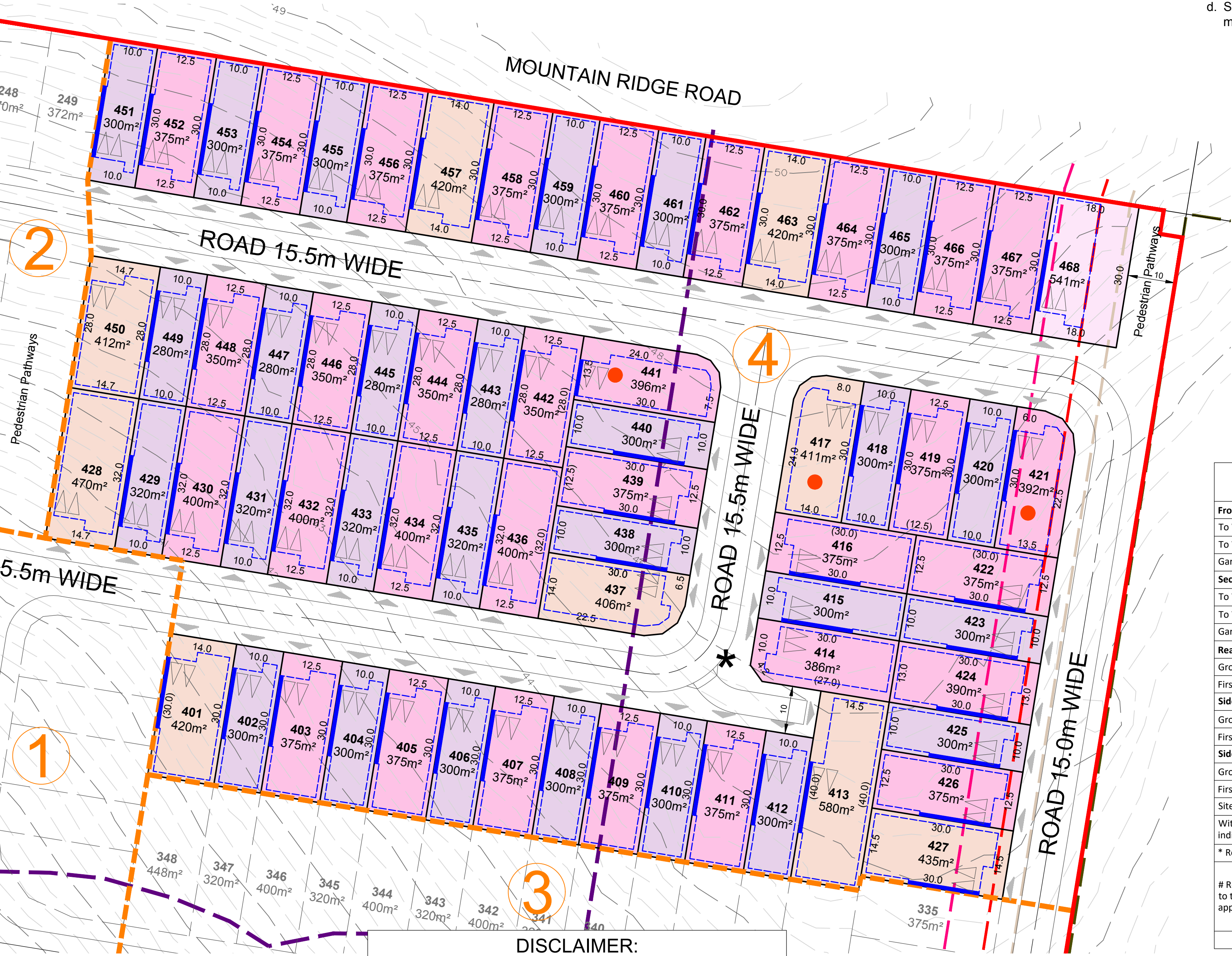
- 48. Each detached dwelling has at least one clearly defined outdoor living space which has a minimum area of 12 square metres and a minimum dimension of 3 metres;
- 49. Private open space must provide visual privacy from another outdoor living space via window or balcony screen; and
- 50. Private open spaces must be directly accessible from a living area

Fencing

- 51. Front fencing allows for overlooking of the street and park to provide casual surveillance opportunity;
- 52. Front fencing has a maximum height of 1.2 metres (where solid) or 1.5 metres (where at least 50% transparent);
- 53. Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum of 1.8m where the upper 0.3m is 50% transparent.
 - a. Fence must be painted in a colour that compliments the dwelling; and
- 53. Fencing must be provided along the rear boundary of Interface Lots and will be 1.8m high wooden 'good neighbour' fencing unless otherwise agreed with the adjoining property owner.

Additional Criteria for Multiple Residential Allotments

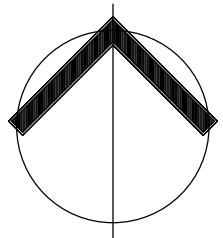
- 54. Must comply with Multiple Residential Allotment setbacks.
 - 55. Buildings must address all street frontages with driveways, pedestrian entries or both.
 - 56. All dwellings must have a clearly identifiable front door, which is undercover.
 - 57. Bin storage and clothes drying areas must be located behind a fence and not be visible from any street frontage.
 - 58. All designs must positively address the street through inclusion of at least three of the following design elements:
 - a. Verandah, porch or portico;
 - b. Awning and shade structures;
 - c. Variation to roof and building lines;
 - d. Inclusion of window openings; or
 - e. Use of varying building materials and treatments
 - 59. A minimum of two on-site car parking spaces must be provided for each dwelling, one of which must be within a garage.
 - 60. Each house / dwelling unit has a clearly defined outdoor living space which:
 - a. Has an area of at least:
 - 12m² with a minimum dimension of 2.4m for a 3 or more bedroom house / dwelling unit;
 - 9m² with a minimum dimension of 2.4m for a 2 room or 1 bedroom house / dwelling unit; or
 - 5m² with a minimum dimension of 1.2m for a 1 room or 1 bedroom house / dwelling unit.
 - b. Is accessible from a living area;
 - c. Has a ground slope of not more than 1 in 10; and
 - d. Provides visual privacy from outdoor living spaces on adjacent lots.
- Or communal open space is provided which:
- a. Has an area of at least 25% of the area of the lot; and
 - b. is of a shape which can include a circle with a 4.0m diameter.
- All dwellings are to include a double story element.
- 62. Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum of 1.8m where the upper 0.3m is 50% transparent.
 - a. Fence must be painted in a colour that compliments the dwelling.



LEGEND

- Site Boundary
- Indicative Building Envelope
- Built to Boundary Wall
- Staging Boundary
- Indicative Driveway Location
- Stage No.
- Edge of Classified Vegetation
- Building Envelope Exclusion Zone (reach of Bal 40)
- Reach of BAL 29
- Reach of BAL 19
- Reach of BAL 12.5
- Indicative Garage Location
- Potential Multiple Residential Allotment
- Approximate Bin Pad Location for Lots 410-414

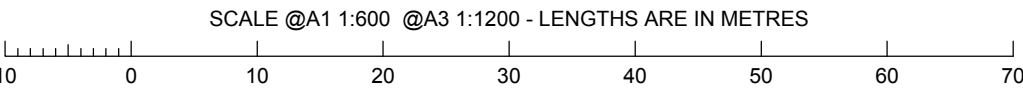
	Villa Lots	Premium Villa Lots	Courtyard Lots	Premium Courtyard Lots	Interface Lots	Multiple Residential Allotments
Front Setback						
To Wall (Ground Floor)	3.0 m	3.0 m	3.0 m	4.0 m	5.0 m	3.0 m
To Wall (First Floor)	3.0 m	3.0 m	3.0 m	4.0 m	5.0 m	3.0 m
Garage	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m
Secondary Frontage						
To Wall (Ground Floor)	1.5 m	2.0 m	2.0 m	2.0 m	3.0 m	1.5 m
To Wall (First Floor)	2.0 m	2.0 m	2.0 m	2.0 m	3.0 m	1.5 m
Garage	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m
Rear Setback						
Ground Floor	0.9m*	0.9m*	0.9m*	0.9m*	8.0 m#	2.0 m
First Floor	1.0 m	1.0 m	1.0 m	1.0 m	8.0 m	2.0 m
Side Setback (BTB)						
Ground Floor	0 - 0.2m	0 - 0.2m	0 - 0.2m	0 - 0.2m	n/a	0 - 0.2m
First Floor	0.9 m	1.0 m	1.0 m	1.0 m	n/a	n/a
Side Setback (non-BTB)						
Ground Floor	0.9 m	1.0 m	1.0 m	1.0 m	1.5 m	1.0 m
First Floor	0.9 m	1.0 m	1.0 m	1.5 m	2.0 m	1.5 m
Site Coverage (Maximum)	75%	75%	60%	60%	50%	75%
Within the above table BTB means Built-to-Boundary wall. If a Built-to-Boundary wall is constructed then the indicated BTB side shown on the Envelope Plans is mandatory not optional.						
* Rear boundary setback to the low side of a stepped retaining wall is to be increased to 2.5 m						
# Rear setback may be reduced by the Landscape Interface Buffer – refer to the Stage 7, 9 & 10 Rear Boundary Interface Sections, where applicable.				for Lot 716 rear setback is 8.39 m		
				for Lot 717 rear setback is 8.39 m		
				for Lot 736 rear setback is 10.99 m		
				for Lot 737 rear setback is 10.8 m		
Setbacks for Lots 421 & 468 is to ensure that the dwelling does not encroach past the identified BAL29 line.						



BAL Ratings are adopted from the Bushfire Management Plan.

Saunders Havill Group takes no responsibility for the bushfire hazard lines (BAL Ratings) shown on this plan. For further information about bushfire risk please contact Bushfire Risk Reducers.

RP DESCRIPTION: Lot 30 on SP309195



DALEFORD PROPERTY PTY LTD

PLAN OF DEVELOPMENT - STAGE 5

Notes:

Setbacks and Site Cover

- Setbacks are as per the Plan of Development Table unless otherwise specified;
- Built-to-Boundary walls are nominated on the Plan of Development (Envelope Plans);
- All setbacks are measured to the wall of the structure;
- Houses must be wholly located within the subject lot unless appropriate encroachment rights are secured;
- A lot can have only one primary frontage. Primary frontages are nominated on the Plan of Development (Envelope Plans), being the nominated driveway frontage;
- For corner lots, a secondary frontage may be applicable, however a pedestrian pathway or road reserve that does not contain a road carriageway is not a secondary frontage;
- For lots with a secondary frontage, no building or structure over 2 metres high is to be built within a 6m x 6m truncation at the corner of two road frontages;
- The length of a Built-to Boundary wall is not to exceed 15m or 50% of lot depth.
- Built-to Boundary walls are optional, however if a Built-to Boundary wall is proposed it must be constructed on the side indicated.
- The length of a Built-to Boundary wall is not to exceed 15m or 50% of the lot depth, whichever is the lesser;
- Notwithstanding the setbacks specified in the Plan of Development Table, a 2.4 metre setback is permitted to unenclosed entry features such as porches, porticos, verandahs and balconies;
- Building envelope and setback requirements may be affected by provision of easements for services, which may alter the setback requirements in the Plan of Development Table; and
- The maximum area covered by all buildings and structures roofed with impervious materials, does not exceed the site cover nominated within the Plan of Development Table.
- A pedestrian pathway is not consider to be a secondary frontage. This frontage should be taken to be a side boundary.

Interface Lots and Landscape Interface Buffer

- Interface lots are identified on the Plan of Development;
- Interface lots are intended to provide a buffer between higher intensity residential uses within the estate to existing residential development along the southern boundary and part of the eastern boundary;
- Fencing must be provided along the rear boundary of Interface Lots and will be 1.8m high wooden 'good neighbour' fencing unless otherwise agreed with the adjoining property owner;
- Interface lots must include a Landscape Interface Buffer as shown on the Plan of Development plans (refer to the Stage 7, 9 & 10 Rear Boundary Interface Sections, where applicable);
- No buildings or structures are permitted within the Landscape Interface Buffer;
- The Landscape Interface Buffer is to be maintained as a vegetated buffer and must be managed in order to control weeds and pests and ensure no increase in bushfire hazard, in accordance with the Bushfire Management Plan; and
- No vegetation clearing can be undertaken within the Landscape Interface Buffer except for declared weed removal.

Bushfire

- For Lots 143, 421 and 468 a separation of a minimum of 12 metres between the unmanaged vegetation hazard and the future dwelling must be provided in order to achieve BAL29. Alternatively, a separation of 18 metres between the unmanaged vegetation hazard to the east of these lots and the future dwelling must be provided in order to achieve BAL19 (Please refer to the Bushfire Management Plan prepared by Bushfire Risk Reducers for further design requirements within the Plan of Development Area);
- The Plan of Development includes BAL rating for affected lots (supplied by Bushfire Risk Reducers), and also the Bushfire Management Plan; Lots may be affected by bushfire risk, requiring compliance with the relevant Australian Standard; and
- No part of the dwelling on Lot 468 can encroach past the identified BAL29 line as shown on the Envelope Plans.

Building Height

- Building height must not exceed 9 metres and 2 storeys;
- Building height is measured from natural ground level; and
- To avoid any doubt, the natural ground level is taken to be the level of the land when the survey plan creating the subject lot was registered.

Streetscape Presentation

- Buildings must address each street or park frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:
 - Verandahs or porches; and/or
 - Awnings or shade structures; and/or
 - Variation to roof form; and/or
 - Variation in building materials; and/or
 - Inclusion of windows to habitable rooms.
- Letterboxes must be clearly visible and identifiable from the street.

Building Design and Articulation

- All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade; and/or
 - Balconies, porches or verandah; and/or
 - Window Hoods/Screens; and/or
 - Shadow lines are created on the building through minor changes in the facade (100 millimetres minimum).

NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION

Lots Adjoining Neighbourhood Recreation Park

- Lots with a common boundary with public open space (being park, drainage or reserve) provide for passive surveillance/overlooking of the open space by inclusion of the following design elements:
 - Habitable room windows facing the open space;
 - For double storey dwellings, balconies overlooking the open space;
 - For single storey dwellings, 1.2 metre high fencing with a minimum of 50% transparency along the common boundary with the open space OR aluminium pool fencing to the common boundary with the open space.

Car Parking and Driveways

- Off-street car parking must be provided for in accordance with the following:
- Minimum of 2 spaces per dwelling (one of which must be within a garage)
- Car parking may be provided in tandem;
- Garages are to be located on the nominated Built-to-Boundary wall side (if applicable);
- Indicative locations for driveways and garages are nominated on the Plan of Development (Envelope Plans) which should also be interpreted as the primary frontage;
- If a Built-to-Boundary wall is constructed it must be constructed on the side nominated on the Plan of Development (Envelope Plans);
- Garages are to be constructed in the location identified within the Plan of Development (Envelope Plans) unless it can be demonstrated there is no conflict with existing services and does not materially affect the footpath/verge grade at or around the site frontage;
- There is a maximum of one driveway per dwelling unless a corner lot;
- Driveways must be a minimum of 6 metres from the intersection of a street; and
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3 metres for a lot with a single car width garage.

Private Open Space

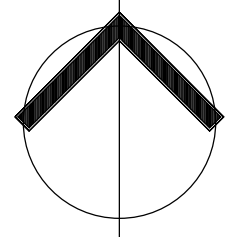
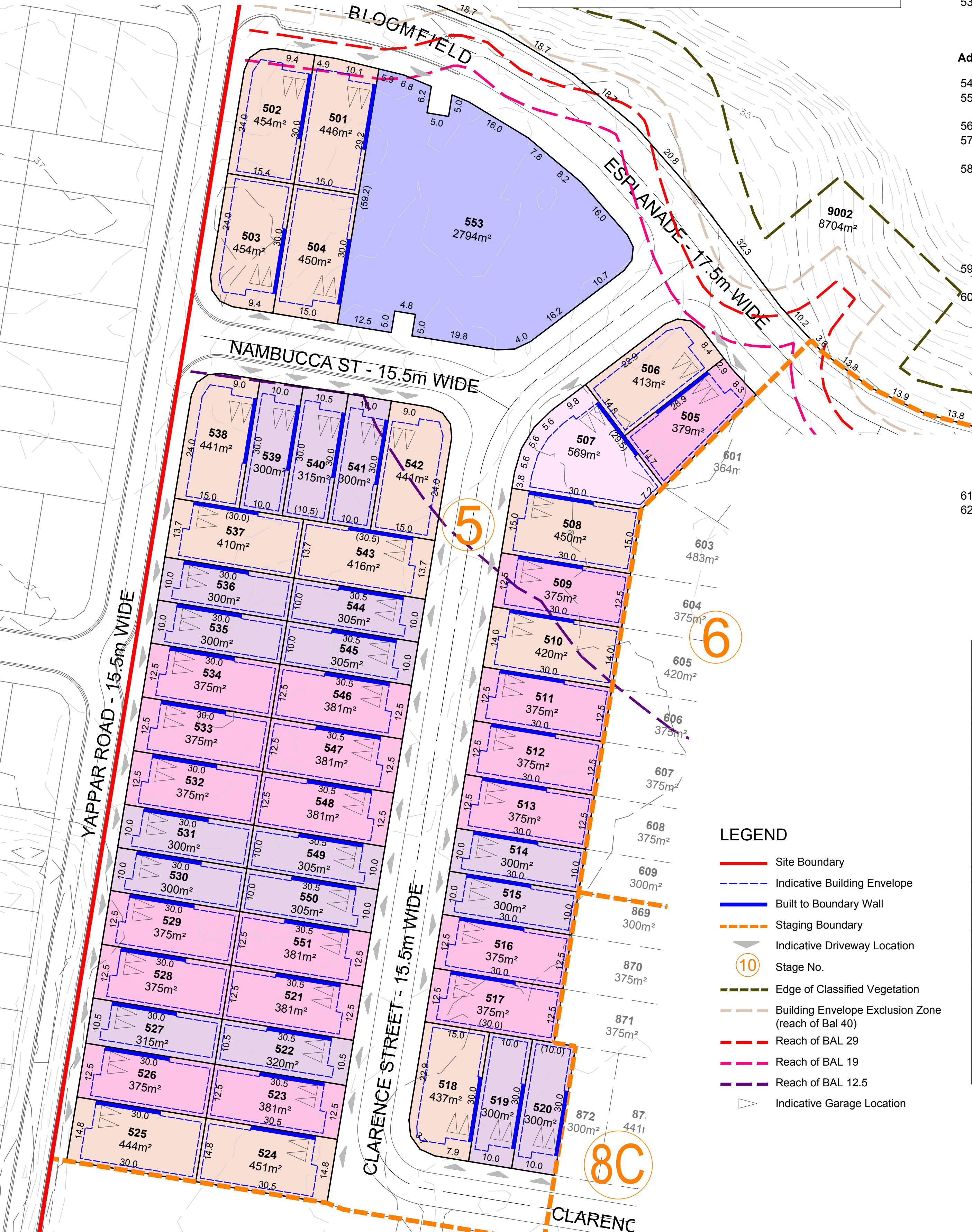
- Each detached dwelling has at least one clearly defined outdoor living space which has a minimum area of 12 square metres and a minimum dimension of 3 metres;
- Private open space must provide visual privacy from another outdoor living space via window or balcony screen; and
- Private open spaces must be directly accessible from a living area

Fencing

- Front fencing allows for overlooking of the street and park to provide casual surveillance opportunity;
- Front fencing has a maximum height of 1.2 metres (where solid) or 1.5 metres (where at least 50% transparent);
- Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum of 1.8m where the upper 0.3m is 50% transparent.
 - Fence must be painted in a colour that compliments the dwelling; and
- Fencing must be provided along the rear boundary of Interface Lots and will be 1.8m high wooden 'good neighbour' fencing unless otherwise agreed with the adjoining property owner.

Additional Criteria for Multiple Residential Allotments

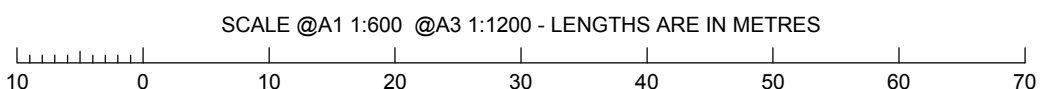
- Must comply with Multiple Residential Allotment setbacks.
- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Bin storage and clothes drying areas must be located behind a fence and not be visible from any street frontage.
- All designs must positively address the street through inclusion of at least three of the following design elements:
 - Verandah, porch or portico;
 - Awning and shade structures;
 - Variation to roof and building lines;
 - Inclusion of window openings; or
 - Use of varying building materials and treatments
- A minimum of two on-site car parking spaces must be provided for each dwelling, one of which must be within a garage.
- Each house / dwelling unit has a clearly defined outdoor living space which:
 - Has an area of at least:
 - 12m² with a minimum dimension of 2.4m for a 3 or more bedroom house / dwelling unit;
 - 9m² with a minimum dimension of 2.4m for a 2 room or 1 bedroom house / dwelling unit; or
 - 5m² with a minimum dimension of 1.2m for a 1 room or 1 bedroom house / dwelling unit.
 - Is accessible from a living area;
 - Has a ground slope of not more than 1 in 10; and
 - Provides visual privacy from outdoor living spaces on adjacent lots.
- Or communal open space is provided which:
 - Has an area of at least 25% of the area of the lot; and
 - is of a shape which can include a circle with a 4.0m diameter.
- All dwellings are to include a double story element.
- Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum of 1.8m where the upper 0.3m is 50% transparent.
 - Fence must be painted in a colour that compliments the dwelling.



8A

8C

RP DESCRIPTION: Lot 30 on SP309195



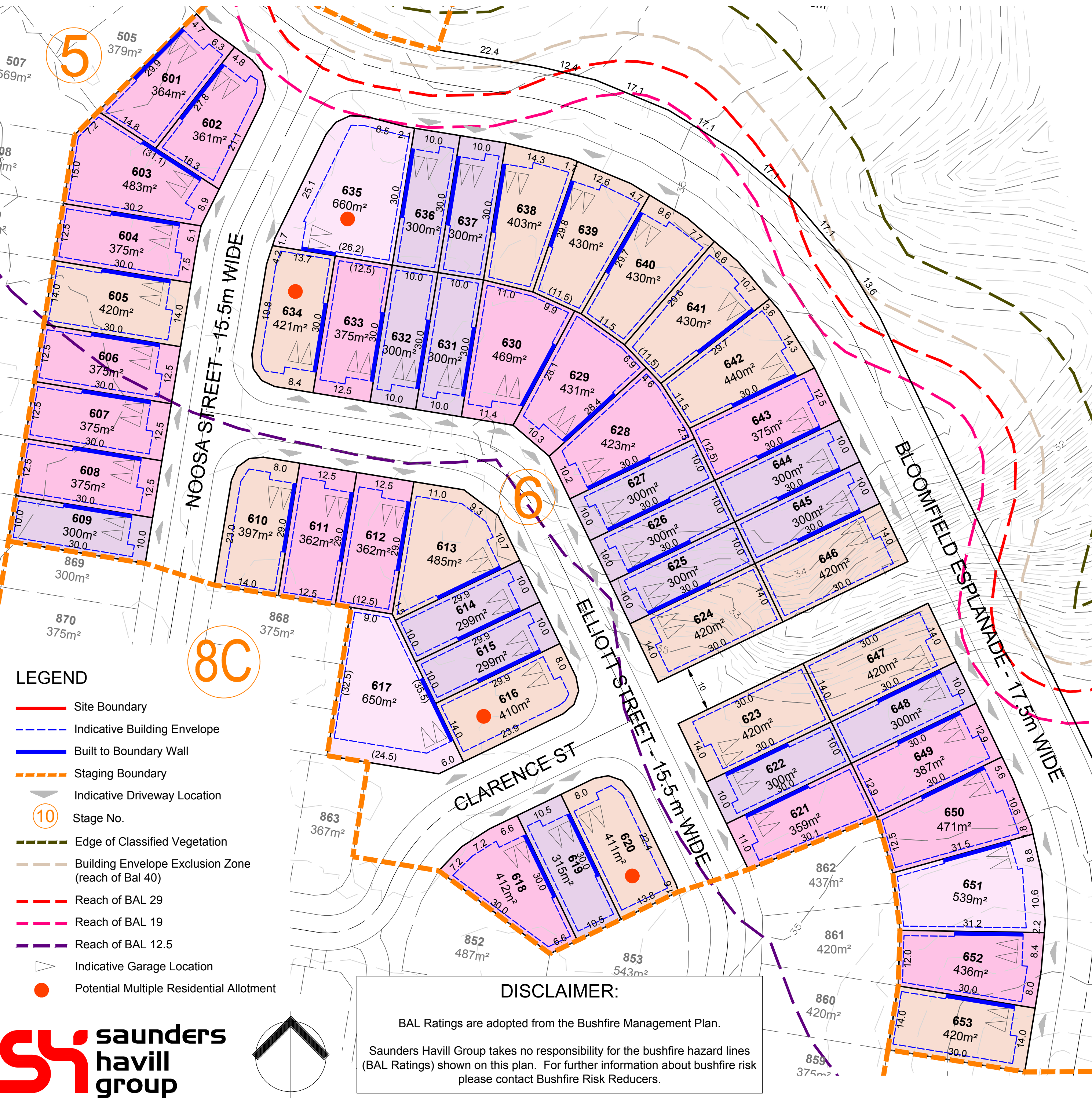
DALEFORD PROPERTY PTY LTD

PLAN OF DEVELOPMENT - STAGE 6

Notes:

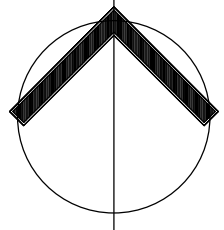
Setbacks and Site Cover

- 1. Setbacks are as per the Plan of Development Table unless otherwise specified;
- 2. Built-to-Boundary walls are nominated on the Plan of Development (Envelope Plans);
- 3. All setbacks are measured to the wall of the structure;
- 4. Houses must be wholly located within the subject lot unless appropriate encroachment rights are secured;
- 5. A lot can have only one primary frontage. Primary frontages are nominated on the Plan of Development (Envelope Plans), being the nominated driveway frontage;
- 6. For corner lots, a secondary frontage may be applicable, however a pedestrian pathway or road reserve that does not contain a road carriageway is not a secondary frontage;
- 7. For lots with a secondary frontage, no building or structure over 2 metres high is to be built within a 6m x 6m truncation at the corner of two road frontages;
- 8. The length of a Built-to Boundary wall is not to exceed 15m or 50% of lot depth.
- 9. Built-to Boundary walls are optional, however if a Built-to Boundary wall is proposed it must be constructed on the side indicated.
- 10. The length of a Built-to Boundary wall is not to exceed 15m or 50% of the lot depth, whichever is the lesser;
- 11. Notwithstanding the setbacks specified in the Plan of Development Table, a 2.4 metre setback is permitted to unenclosed entry features such as porches, porticos, verandahs and balconies;
- 12. Building envelope and setback requirements may be affected by provision of easements for services, which may alter the setback requirements in the Plan of Development Table; and



LEGEND

- Site Boundary
- Indicative Building Envelope
- Built to Boundary Wall
- Staging Boundary
- Indicative Driveway Location
- Stage No.
- Edge of Classified Vegetation
- Building Envelope Exclusion Zone (reach of Bal 40)
- Reach of BAL 29
- Reach of BAL 19
- Reach of BAL 12.5
- Indicative Garage Location
- Potential Multiple Residential Allotment



DISCLAIMER:

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Saunders Havill Group takes no responsibility for the bushfire hazard lines (BAL Ratings) shown on this plan. For further information about bushfire risk please contact Bushfire Risk Reducers.

- 13. The maximum area covered by all buildings and structures roofed with impervious materials, does not exceed the site cover nominated within the Plan of Development Table.
- 14. A pedestrian pathway is not consider to be a secondary frontage. This frontage should be taken to be a side boundary.

Interface Lots and Landscape Interface Buffer

- 15. Interface lots are identified on the Plan of Development;
- 16. Interface lots are intended to provide a buffer between higher intensity residential uses within the estate to existing residential development along the southern boundary and part of the eastern boundary;
- 17. Fencing must be provided along the rear boundary of Interface Lots and will be 1.8m high wooden 'good neighbour' fencing unless otherwise agreed with the adjoining property owner;
- 18. Interface lots must include a Landscape Interface Buffer as shown on the Plan of Development plans (refer to the Stage 7, 9 & 10 Rear Boundary Interface Sections, where applicable);
- 19. No buildings or structures are permitted within the Landscape Interface Buffer;
- 20. The Landscape Interface Buffer is to be maintained as a vegetated buffer and must be managed in order to control weeds and pests and ensure no increase in bushfire hazard, in accordance with the Bushfire Management Plan; and
- 21. No vegetation clearing can be undertaken within the Landscape Interface Buffer except for declared weed removal.

Bushfire

- 22. For Lots 143, 421 and 468 a separation of a minimum of 12 metres between the unmanaged vegetation hazard and the future dwelling must be provided in order to achieve BAL29. Alternatively, a separation of 18 metres between the unmanaged vegetation hazard to the east of these lots and the future dwelling must be provided in order to achieve BAL19 (Please refer to the Bushfire Management Plan prepared by Bushfire Risk Reducers for further design requirements within the Plan of Development Area);
- 23. The Plan of Development includes BAL rating for affected lots (supplied by Bushfire Risk Reducers), and also the Bushfire Management Plan; Lots may be affected by bushfire risk, requiring compliance with the relevant Australian Standard; and
- 24. No part of the dwelling on Lot 468 can encroach past the identified BAL29 line as shown on the Envelope Plans.

Building Height

- 25. Building height must not exceed 9 metres and 2 storeys;
- 26. Building height is measured from natural ground level; and
- 27. To avoid any doubt, the natural ground level is taken to be the level of the land when the survey plan creating the subject lot was registered.

Streetscape Presentation

- 28. Buildings must address each street or park frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:
 - a. Verandahs or porches; and/or
 - b. Awnings or shade structures; and/or
 - c. Variation to roof form; and/or
 - d. Variation in building materials; and/or
 - e. Inclusion of windows to habitable rooms.
- 31. Letterboxes must be clearly visible and identifiable from the street.

Building Design and Articulation

- 32. All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following:
 - a. Windows recessed into the façade; and/or
 - b. Balconies, porches or verandah; and/or
 - c. Window Hoods/Screens; and/or
 - d. Shadow lines are created on the building through minor changes in the facade (100 millimetres minimum).

	Villa Lots	Premium Villa Lots	Courtyard Lots	Premium Courtyard Lots	Interface Lots	Multiple Residential Allotments
Front Setback						
To Wall (Ground Floor)	3.0 m	3.0 m	3.0 m	4.0 m	5.0 m	3.0 m
To Wall (First Floor)	3.0 m	3.0 m	3.0 m	4.0 m	5.0 m	3.0 m
Garage	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m
Secondary Frontage						
To Wall (Ground Floor)	1.5 m	2.0 m	2.0 m	2.0 m	3.0 m	1.5 m
To Wall (First Floor)	2.0 m	2.0 m	2.0 m	2.0 m	3.0 m	1.5 m
Garage	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m
Rear Setback						
Ground Floor	0.9m*	0.9m*	0.9m*	0.9m*	8.0 m#	2.0 m
First Floor	1.0 m	1.0 m	1.0 m	1.0 m	8.0 m	2.0 m
Side Setback (BTB)						
Ground Floor	0 - 0.2m	0 - 0.2m	0 - 0.2m	0 - 0.2m	n/a	0 - 0.2m
First Floor	0.9 m	1.0 m	1.0 m	1.0 m	n/a	n/a
Side Setback (non-BTB)						
Ground Floor	0.9 m	1.0 m	1.0 m	1.0 m	1.5 m	1.0 m
First Floor	0.9 m	1.0 m	1.0 m	1.5 m	2.0 m	1.5 m
Site Coverage (Maximum)	75%	75%	60%	60%	50%	75%
Within the above table BTB means Built-to-Boundary wall. If a Built-to-Boundary wall is constructed then the indicated BTB side shown on the Envelope Plans is mandatory not optional.						
* Rear boundary setback to the low side of a stepped retaining wall is to be increased to 2.5 m						
# Rear setback may be reduced by the Landscape Interface Buffer – refer to the Stage 7, 9 & 10 Rear Boundary Interface Sections, where applicable.				for Lot 716 rear setback is 8.39 m		
				for Lot 717 rear setback is 8.39 m		
				for Lot 736 rear setback is 10.99 m		
				for Lot 737 rear setback is 10.8 m		
Setbacks for Lots 421 & 468 is to ensure that the dwelling does not encroach past the identified BAL29 line.						

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NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION

Lots Adjoining Neighbourhood Recreation Park

- 33. Lots with a common boundary with public open space (being park, drainage or reserve) provide for passive surveillance/overlooking of the open space by inclusion of the following design elements:
 - a. Habitable room windows facing the open space;
 - b. For double storey dwellings, balconies overlooking the open space;
 - c. For single storey dwellings, 1.2 metre high fencing with a minimum of 50% transparency along the common boundary with the open space OR aluminium pool fencing to the common boundary with the open space.

Car Parking and Driveways

- 38. Off-street car parking must be provided for in accordance with the following:
- 39. Minimum of 2 spaces per dwelling (one of which must be within a garage)
- 40. Car parking may be provided in tandem;
- 41. Garages are to be located on the nominated Built-to-Boundary wall side (if applicable);
- 42. Indicative locations for driveways and garages are nominated on the Plan of Development (Envelope Plans) which should also be interpreted as the primary frontage;
- 43. If a Built-to-Boundary wall is constructed it must be constructed on the side nominated on the Plan of Development (Envelope Plans);
- 44. Garages are to be constructed in the location identified within the Plan of Development (Envelope Plans) unless it can be demonstrated there is no conflict with existing services and does not materially affect the footpath/verge grade at or around the site frontage;
- 45. There is a maximum of one driveway per dwelling unless a corner lot;
- 46. Driveways must be a minimum of 6 metres from the intersection of a street; and
- 47. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3 metres for a lot with a single car width garage.

Private Open Space

- 48. Each detached dwelling has at least one clearly defined outdoor living space which has a minimum area of 12 square metres and a minimum dimension of 3 metres;
- 49. Private open space must provide visual privacy from another outdoor living space via window or balcony screen; and
- 50. Private open spaces must be directly accessible from a living area

Fencing

- 51. Front fencing allows for overlooking of the street and park to provide casual surveillance opportunity;
- 52. Front fencing has a maximum height of 1.2 metres (where solid) or 1.5 metres (where at least 50% transparent);
- 53. Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum of 1.8m where the upper 0.3m is 50% transparent.
 - a. Fence must be painted in a colour that compliments the dwelling; and
- 53. Fencing must be provided along the rear boundary of Interface Lots and will be 1.8m high wooden 'good neighbour' fencing unless otherwise agreed with the adjoining property owner.

Additional Criteria for Multiple Residential Allotments

- 54. Must comply with Multiple Residential Allotment setbacks.
- 55. Buildings must address all street frontages with driveways, pedestrian entries or both.
- 56. All dwellings must have a clearly identifiable front door, which is undercover.
- 57. Bin storage and clothes drying areas must be located behind a fence and not be visible from any street frontage.
- 58. All designs must positively address the street through inclusion of at least three of the following design elements:
 - a. Verandah, porch or portico;
 - b. Awning and shade structures;
 - c. Variation to roof and building lines;
 - d. Inclusion of window openings; or
 - e. Use of varying building materials and treatments
- 59. A minimum of two on-site car parking spaces must be provided for each dwelling, one of which must be within a garage.
- 60. Each house / dwelling unit has a clearly defined outdoor living space which:
 - a. Has an area of at least:
 - 12m² with a minimum dimension of 2.4m for a 3 or more bedroom house / dwelling unit;
 - 9m² with a minimum dimension of 2.4m for a 2 room or 1 bedroom house / dwelling unit; or
 - 5m² with a minimum dimension of 1.2m for a 1 room or 1 bedroom house / dwelling unit.
 - b. Is accessible from a living area;
 - c. Has a ground slope of not more than 1 in 10; and
 - d. Provides visual privacy from outdoor living spaces on adjacent lots.

Or communal open space is provided which:

- a. Has an area of at least 25% of the area of the lot; and
- b. is of a shape which can include a circle with a 4.0m diameter.
- 61. All dwellings are to include a double story element.
- 62. Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum of 1.8m where the upper 0.3m is 50% transparent.
 - a. Fence must be painted in a colour that compliments the dwelling.

RP DESCRIPTION: Lot 30 on SP309195

SCALE @A1 1:600 @A3 1:1200 - LENGTHS ARE IN METRES

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PLAN OF DEVELOPMENT - STAGE 7A

Notes:

Setbacks and Site Cover

1. Setbacks are as per the Plan of Development Table unless otherwise specified;
2. Built-to-Boundary walls are nominated on the Plan of Development (Envelope Plans);
3. All setbacks are measured to the wall of the structure;
4. Houses must be wholly located within the subject lot unless appropriate encroachment rights are secured;
5. A lot can have only one primary frontage. Primary frontages are nominated on the Plan of Development (Envelope Plans), being the nominated driveway frontage;
6. For corner lots, a secondary frontage may be applicable, however a pedestrian pathway or road reserve that does not contain a road carriageway is not a secondary frontage;
7. For lots with a secondary frontage, no building or structure over 2 metres high is to be built within a 6m x 6m truncation at the corner of two road frontages;
8. The length of a Built-to Boundary wall is not to exceed 15m or 50% of lot depth.
9. Built-to Boundary walls are optional, however if a Built-to Boundary wall is proposed it must be constructed on the side indicated.
10. The length of a Built-to Boundary wall is not to exceed 15m or 50% of the lot depth, whichever is the lesser;
11. Notwithstanding the setbacks specified in the Plan of Development Table, a 2.4 metre setback is permitted to unenclosed entry features such as porches, porticos, verandahs and balconies;
12. Building envelope and setback requirements may be affected by provision of easements for services, which may alter the setback requirements in the Plan of Development Table; and
13. The maximum area covered by all buildings and structures roofed with impervious materials, does not exceed the site cover nominated within the Plan of Development Table.
14. A pedestrian pathway is not consider to be a secondary frontage. This frontage should be taken to be a side boundary.

Interface Lots and Landscape Interface Buffer

15. Interface lots are identified on the Plan of Development;
16. Interface lots are intended to provide a buffer between higher intensity residential uses within the estate to existing residential development along the southern boundary and part of the eastern boundary;
17. Fencing must be provided along the rear boundary of Interface Lots and will be 1.8m high wooden 'good neighbour' fencing unless otherwise agreed with the adjoining property owner;
18. Interface lots must include a Landscape Interface Buffer as shown on the Plan of Development plans (refer to the Stage 7, 9 & 10 Rear Boundary Interface Sections, where applicable);
19. No buildings or structures are permitted within the Landscape Interface Buffer;
20. The Landscape Interface Buffer is to be maintained as a vegetated buffer and must be managed in order to control weeds and pests and ensure no increase in bushfire hazard, in accordance with the Bushfire Management Plan; and
21. No vegetation clearing can be undertaken within the Landscape Interface Buffer except for declared weed removal.

Bushfire

22. For Lots 143, 421 and 468 a separation of a minimum of 12 metres between the unmanaged vegetation hazard and the future dwelling must be provided in order to achieve BAL29. Alternatively, a separation of 18 metres between the unmanaged vegetation hazard to the east of these lots and the future dwelling must be provided in order to achieve BAL19 (Please refer to the Bushfire Management Plan prepared by Bushfire Risk Reducers for further design requirements within the Plan of Development Area);
23. The Plan of Development includes BAL rating for affected lots (supplied by Bushfire Risk Reducers), and also the Bushfire Management Plan;

24. Lots may be affected by bushfire risk, requiring compliance with the relevant Australian Standard; and
25. No part of the dwelling on Lot 468 can encroach past the identified BAL29 line as shown on the Envelope Plans.

Building Height

26. Building height must not exceed 9 metres and 2 storeys;
27. Building height is measured from natural ground level; and
28. To avoid any doubt, the natural ground level is taken to be the level of the land when the survey plan creating the subject lot was registered.

Streetscape Presentation

29. Buildings must address each street or park frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:

a. Verandahs or porches; and/or

b. Awnings or shade structures; and/or

c. Variation to roof form; and/or

d. Variation in building materials; and/or

e. Inclusion of windows to habitable rooms.
31. Letterboxes must be clearly visible and identifiable from the street.

Building Design and Articulation

32. All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following:

a. Windows recessed into the façade; and/or

b. Balconies, porches or verandah; and/or

c. Window Hoods/Screens; and/or

d. Shadow lines are created on the building through minor changes in the facade (100 millimetres minimum).

NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION

Lots Adjoining Neighbourhood Recreation Park

33. Lots with a common boundary with public open space (being park, drainage or reserve) provide for passive surveillance/overlooking of the open space by inclusion of the following design elements:

a. Habitable room windows facing the open space;

b. For double storey dwellings, balconies overlooking the open space;

c. For single storey dwellings, 1.2 metre high fencing with a minimum of 50% transparency along the common boundary with the open space OR aluminium pool fencing to the common boundary with the open space.

Car Parking and Driveways

38. Off-street car parking must be provided for in accordance with the following:
39. Minimum of 2 spaces per dwelling (one of which must be within a garage)
40. Car parking may be provided in tandem;
41. Garages are to be located on the nominated Built-to-Boundary wall side (if applicable);
42. Indicative locations for driveways and garages are nominated on the Plan of Development (Envelope Plans) which should also be interpreted as the primary frontage;
43. If a Built-to-Boundary wall is constructed it must be constructed on the side nominated on the Plan of Development (Envelope Plans);
44. Garages are to be constructed in the location identified within the Plan of Development (Envelope Plans) unless it can be demonstrated there is no conflict with existing services and does not materially affect the footpath/verge grade at or around the site frontage;
45. There is a maximum of one driveway per dwelling unless a corner lot;
46. Driveways must be a minimum of 6 metres from the intersection of a street; and
47. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3 metres for a lot with a single car width garage.

Private Open Space

48. Each detached dwelling has at least one clearly defined outdoor living space which has a minimum area of 12 square metres and a minimum dimension of 3 metres;
49. Private open space must provide visual privacy from another outdoor living space via window or balcony screen; and
50. Private open spaces must be directly accessible from a living area

Fencing

51. Front fencing allows for overlooking of the street and park to provide casual surveillance opportunity;
52. Front fencing has a maximum height of 1.2 metres (where solid) or 1.5 metres (where at least 50% transparent);
53. Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum of 1.8m where the upper 0.3m is 50% transparent.

a. Fence must be painted in a colour that compliments the dwelling; and
53. Fencing must be provided along the rear boundary of Interface Lots and will be 1.8m high wooden 'good neighbour' fencing unless otherwise agreed with the adjoining property owner.

Additional Criteria for Multiple Residential Allotments

54. Must comply with Multiple Residential Allotment setbacks.
55. Buildings must address all street frontages with driveways, pedestrian entries or both.
56. All dwellings must have a clearly identifiable front door, which is undercover.
57. Bin storage and clothes drying areas must be located behind a fence and not be visible from any street frontage.
58. All designs must positively address the street through inclusion of at least three of the following design elements:

a. Verandah, porch or portico;

b. Awning and shade structures;

c. Variation to roof and building lines;

d. Inclusion of window openings; or

e. Use of varying building materials and treatments
59. A minimum of two on-site car parking spaces must be provided for each dwelling, one of which must be within a garage.
60. Each house / dwelling unit has a clearly defined outdoor living space which:

a. Has an area of at least:

- 12m² with a minimum dimension of 2.4m for a 3 or more bedroom house / dwelling unit;

- 9m² with a minimum dimension of 2.4m for a 2 room or 1 bedroom house / dwelling unit; or

- 5m² with a minimum dimension of 1.2m for a 1 room or 1 bedroom house / dwelling unit.

b. Is accessible from a living area;

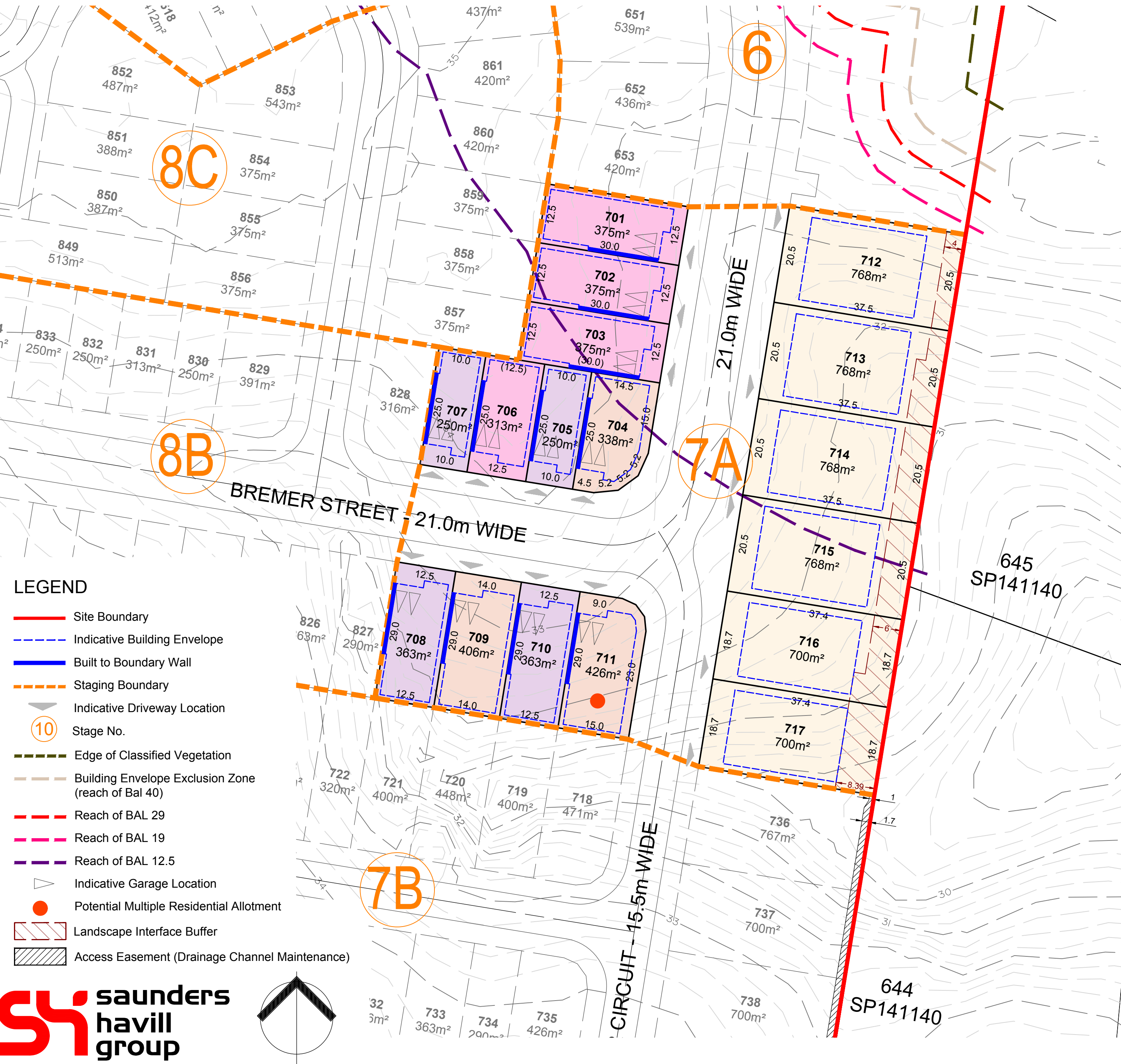
c. Has a ground slope of not more than 1 in 10; and

d. Provides visual privacy from outdoor living spaces on adjacent lots.
- Or communal open space is provided which:

a. Has an area of at least 25% of the area of the lot; and

b. is of a shape which can include a circle with a 4.0m diameter.
61. All dwellings are to include a double story element.
62. Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum of 1.8m where the upper 0.3m is 50% transparent.

a. Fence must be painted in a colour that compliments the dwelling.



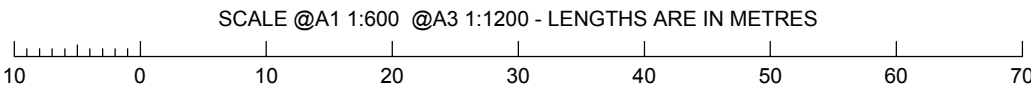
	Villa Lots	Premium Villa Lots	Courtyard Lots	Premium Courtyard Lots	Interface Lots	Multiple Residential Allotments
Setback						
Front (Ground Floor)	3.0 m	3.0 m	3.0 m	4.0 m	5.0 m	3.0 m
Front (First Floor)	3.0 m	3.0 m	3.0 m	4.0 m	5.0 m	3.0 m
Garage	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m
Secondary Frontage						
Front (Ground Floor)	1.5 m	2.0 m	2.0 m	2.0 m	3.0 m	1.5 m
Front (First Floor)	2.0 m	2.0 m	2.0 m	2.0 m	3.0 m	1.5 m
Garage	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m
Rear Setback						
Ground Floor	0.9m*	0.9m*	0.9m*	0.9m*	8.0 m#	2.0 m
First Floor	1.0 m	1.0 m	1.0 m	1.0 m	8.0 m	2.0 m
Side Setback (BTB)						
Ground Floor	0 - 0.2m	0 - 0.2m	0 - 0.2m	0 - 0.2m	n/a	0 - 0.2m
First Floor	0.9 m	1.0 m	1.0 m	1.0 m	n/a	n/a
Side Setback (non-BTB)						
Ground Floor	0.9 m	1.0 m	1.0 m	1.0 m	1.5 m	1.0 m
First Floor	0.9 m	1.0 m	1.0 m	1.5 m	2.0 m	1.5 m
Coverage (Maximum)	75%	75%	60%	60%	50%	75%
Within the above table BTB means Built-to-Boundary wall. If a Built-to-Boundary wall is constructed then the indicated BTB side shown on the Envelope Plans is mandatory not optional.						
* Rear boundary setback to the low side of a stepped retaining wall is to be increased to 2.5 m						
# Rear setback may be reduced by the Landscape Interface Buffer – refer to the Stage 7, 9 & 10 Rear Boundary Interface Sections, where applicable.				for Lot 716 rear setback is 8.39 m		
				for Lot 717 rear setback is 8.39 m		
				for Lot 736 rear setback is 10.99 m		
				for Lot 737 rear setback is 10.8 m		
Setbacks for Lots 421 & 468 is to ensure that the dwelling does not encroach past the identified BAL29 line.						

DISCLAIMER:

BAL Ratings are adopted from the Bushfire Management Plan.

Saunders Havill Group takes no responsibility for the bushfire hazard lines (BAL Ratings) shown on this plan. For further information about bushfire risk please contact Bushfire Risk Reducers.

RP DESCRIPTION: Lot 30 on SP309195



DALEFORD PROPERTY PTY LTD

PLAN OF DEVELOPMENT - STAGE 7B

Notes:

Setbacks and Site Cover

- 1. Setbacks are as per the Plan of Development Table unless otherwise specified;
- 2. Built-to-Boundary walls are nominated on the Plan of Development (Envelope Plans);
- 3. All setbacks are measured to the wall of the structure;
- 4. Houses must be wholly located within the subject lot unless appropriate encroachment rights are secured;
- 5. A lot can have only one primary frontage. Primary frontages are nominated on the Plan of Development (Envelope Plans), being the nominated driveway frontage;
- 6. For corner lots, a secondary frontage may be applicable, however a pedestrian pathway or road reserve that does not contain a road carriageway is not a secondary frontage;
- 7. For lots with a secondary frontage, no building or structure over 2 metres high is to be built within a 6m x 6m truncation at the corner of two road frontages;
- 8. The length of a Built-to Boundary wall is not to exceed 15m or 50% of lot depth.
- 9. Built-to Boundary walls are optional, however if a Built-to Boundary wall is proposed it must be constructed on the side indicated.
- 10. The length of a Built-to Boundary wall is not to exceed 15m or 50% of the lot depth, whichever is the lesser;
- 11. Notwithstanding the setbacks specified in the Plan of Development Table, a 2.4 metre setback is permitted to unenclosed entry features such as porches, porticos, verandahs and balconies;
- 12. Building envelope and setback requirements may be affected by provision of easements for services, which may alter the setback requirements in the Plan of Development Table; and

- 13. The maximum area covered by all buildings and structures roofed with impervious materials, does not exceed the site cover nominated within the Plan of Development Table.
- 14. A pedestrian pathway is not consider to be a secondary frontage. This frontage should be taken to be a side boundary.

Interface Lots and Landscape Interface Buffer

- 15. Interface lots are identified on the Plan of Development;
- 16. Interface lots are intended to provide a buffer between higher intensity residential uses within the estate to existing residential development along the southern boundary and part of the eastern boundary;
- 17. Fencing must be provided along the rear boundary of Interface Lots and will be 1.8m high wooden 'good neighbour' fencing unless otherwise agreed with the adjoining property owner;
- 18. Interface lots must include a Landscape Interface Buffer as shown on the Plan of Development plans (refer to the Stage 7, 9 & 10 Rear Boundary Interface Sections, where applicable);
- 19. No buildings or structures are permitted within the Landscape Interface Buffer;
- 20. The Landscape Interface Buffer is to be maintained as a vegetated buffer and must be managed in order to control weeds and pests and ensure no increase in bushfire hazard, in accordance with the Bushfire Management Plan; and
- 21. No vegetation clearing can be undertaken within the Landscape Interface Buffer except for declared weed removal.

Bushfire

- 22. For Lots 143, 421 and 468 a separation of a minimum of 12 metres between the unmanaged vegetation hazard and the future dwelling must be provided in order to achieve BAL29. Alternatively, a separation of 18 metres between the unmanaged vegetation hazard to the east of these lots and the future dwelling must be provided in order to achieve BAL19 (Please refer to the Bushfire Management Plan prepared by Bushfire Risk Reducers for further design requirements within the Plan of Development Area);
- 23. The Plan of Development includes BAL rating for affected lots (supplied by Bushfire Risk Reducers), and also the Bushfire Management Plan; Lots may be affected by bushfire risk, requiring compliance with the relevant Australian Standard; and
- 24. No part of the dwelling on Lot 468 can encroach past the identified BAL29 line as shown on the Envelope Plans.

Building Height

- 25. Building height must not exceed 9 metres and 2 storeys;
- 26. Building height is measured from natural ground level; and
- 27. To avoid any doubt, the natural ground level is taken to be the level of the land when the survey plan creating the subject lot was registered.

Streetscape Presentation

- 28. Buildings must address each street or park frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:
 - a. Verandahs or porches; and/or
 - b. Awnings or shade structures; and/or
 - c. Variation to roof form; and/or
 - d. Variation in building materials; and/or
 - e. Inclusion of windows to habitable rooms.
- 31. Letterboxes must be clearly visible and identifiable from the street.

Building Design and Articulation

- 32. All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following:
 - a. Windows recessed into the façade; and/or
 - b. Balconies, porches or verandah; and/or
 - c. Window Hoods/Screens; and/or
 - d. Shadow lines are created on the building through minor changes in the facade (100 millimetres minimum).

NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION

Lots Adjoining Neighbourhood Recreation Park

- 33. Lots with a common boundary with public open space (being park, drainage or reserve) provide for passive surveillance/overlooking of the open space by inclusion of the following design elements:
 - a. Habitable room windows facing the open space;
 - b. For double storey dwellings, balconies overlooking the open space;
 - c. For single storey dwellings, 1.2 metre high fencing with a minimum of 50% transparency along the common boundary with the open space OR aluminium pool fencing to the common boundary with the open space.

Car Parking and Driveways

- 38. Off-street car parking must be provided for in accordance with the following:
- 39. Minimum of 2 spaces per dwelling (one of which must be within a garage)
- 40. Car parking may be provided in tandem;
- 41. Garages are to be located on the nominated Built-to-Boundary wall side (if applicable);
- 42. Indicative locations for driveways and garages are nominated on the Plan of Development (Envelope Plans) which should also be interpreted as the primary frontage;
- 43. If a Built-to-Boundary wall is constructed it must be constructed on the side nominated on the Plan of Development (Envelope Plans);
- 44. Garages are to be constructed in the location identified within the Plan of Development (Envelope Plans) unless it can be demonstrated there is no conflict with existing services and does not materially affect the footpath/verge grade at or around the site frontage;
- 45. There is a maximum of one driveway per dwelling unless a corner lot;
- 46. Driveways must be a minimum of 6 metres from the intersection of a street; and
- 47. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3 metres for a lot with a single car width garage.

Private Open Space

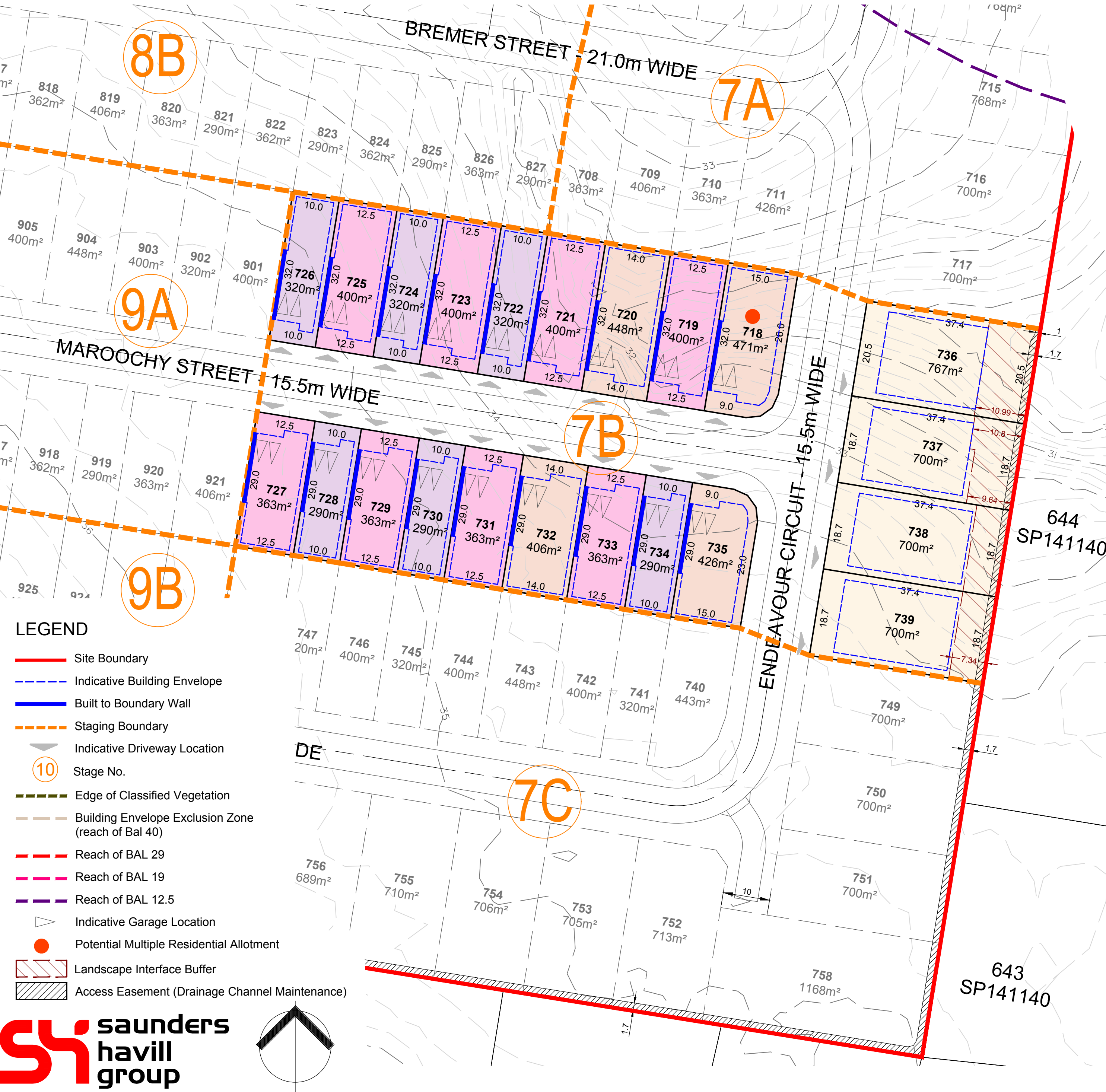
- 48. Each detached dwelling has at least one clearly defined outdoor living space which has a minimum area of 12 square metres and a minimum dimension of 3 metres;
- 49. Private open space must provide visual privacy from another outdoor living space via window or balcony screen; and
- 50. Private open spaces must be directly accessible from a living area

Fencing

- 51. Front fencing allows for overlooking of the street and park to provide casual surveillance opportunity;
- 52. Front fencing has a maximum height of 1.2 metres (where solid) or 1.5 metres (where at least 50% transparent);
- 53. Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum of 1.8m where the upper 0.3m is 50% transparent.
 - a. Fence must be painted in a colour that compliments the dwelling; and
- 53. Fencing must be provided along the rear boundary of Interface Lots and will be 1.8m high wooden 'good neighbour' fencing unless otherwise agreed with the adjoining property owner.

Additional Criteria for Multiple Residential Allotments

- 54. Must comply with Multiple Residential Allotment setbacks.
- 55. Buildings must address all street frontages with driveways, pedestrian entries or both.
- 56. All dwellings must have a clearly identifiable front door, which is undercover.
- 57. Bin storage and clothes drying areas must be located behind a fence and not be visible from any street frontage.
- 58. All designs must positively address the street through inclusion of at least three of the following design elements:
 - a. Verandah, porch or portico;
 - b. Awning and shade structures;
 - c. Variation to roof and building lines;
 - d. Inclusion of window openings; or
 - e. Use of varying building materials and treatments
- 59. A minimum of two on-site car parking spaces must be provided for each dwelling, one of which must be within a garage.
- 60. Each house / dwelling unit has a clearly defined outdoor living space which:
 - a. Has an area of at least:
 - 12m² with a minimum dimension of 2.4m for a 3 or more bedroom house / dwelling unit;
 - 9m² with a minimum dimension of 2.4m for a 2 room or 1 bedroom house / dwelling unit; or
 - 5m² with a minimum dimension of 1.2m for a 1 room or 1 bedroom house / dwelling unit.
 - b. Is accessible from a living area;
 - c. Has a ground slope of not more than 1 in 10; and
 - d. Provides visual privacy from outdoor living spaces on adjacent lots.
- Or communal open space is provided which:
 - a. Has an area of at least 25% of the area of the lot; and
 - b. is of a shape which can include a circle with a 4.0m diameter.
- 61. All dwellings are to include a double story element.
- 62. Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum of 1.8m where the upper 0.3m is 50% transparent.
 - a. Fence must be painted in a colour that compliments the dwelling.



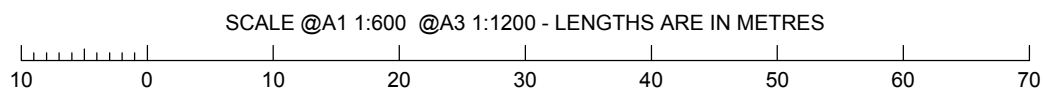
	Villa Lots	Premium Villa Lots	Courtyard Lots	Premium Courtyard Lots	Interface Lots	Multiple Residential Allotments
Front Setback						
To Wall (Ground Floor)	3.0 m	3.0 m	3.0 m	4.0 m	5.0 m	3.0 m
To Wall (First Floor)	3.0 m	3.0 m	3.0 m	4.0 m	5.0 m	3.0 m
Garage	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m
Secondary Frontage						
To Wall (Ground Floor)	1.5 m	2.0 m	2.0 m	2.0 m	3.0 m	1.5 m
To Wall (First Floor)	2.0 m	2.0 m	2.0 m	2.0 m	3.0 m	1.5 m
Garage	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m
Rear Setback						
Ground Floor	0.9m*	0.9m*	0.9m*	0.9m*	8.0 m#	2.0 m
First Floor	1.0 m	1.0 m	1.0 m	1.0 m	8.0 m	2.0 m
Side Setback (BTB)						
Ground Floor	0 - 0.2m	0 - 0.2m	0 - 0.2m	0 - 0.2m	n/a	0 - 0.2m
First Floor	0.9 m	1.0 m	1.0 m	1.0 m	n/a	n/a
Side Setback (non-BTB)						
Ground Floor	0.9 m	1.0 m	1.0 m	1.0 m	1.5 m	1.0 m
First Floor	0.9 m	1.0 m	1.0 m	1.5 m	2.0 m	1.5 m
Site Coverage (Maximum)	75%	75%	60%	60%	50%	75%
Within the above table BTB means Built-to-Boundary wall. If a Built-to-Boundary wall is constructed then the indicated BTB side shown on the Envelope Plans is mandatory not optional.						
* Rear boundary setback to the low side of a stepped retaining wall is to be increased to 2.5 m						
# Rear setback may be reduced by the Landscape Interface Buffer – refer to the Stage 7, 9 & 10 Rear Boundary Interface Sections, where applicable.				for Lot 716 rear setback is 8.39 m		
				for Lot 717 rear setback is 8.39 m		
				for Lot 736 rear setback is 10.99 m		
				for Lot 737 rear setback is 10.8 m		
Setbacks for Lots 421 & 468 is to ensure that the dwelling does not encroach past the identified BAL29 line.						

DISCLAIMER:

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RP DESCRIPTION: Lot 30 on SP309195



DALEFORD PROPERTY PTY LTD

PLAN OF DEVELOPMENT - STAGE 7C

Notes:

Setbacks and Site Cover

- 1. Setbacks are as per the Plan of Development Table unless otherwise specified;
- 2. Built-to-Boundary walls are nominated on the Plan of Development (Envelope Plans);
- 3. All setbacks are measured to the wall of the structure;
- 4. Houses must be wholly located within the subject lot unless appropriate encroachment rights are secured;
- 5. A lot can have only one primary frontage. Primary frontages are nominated on the Plan of Development (Envelope Plans), being the nominated driveway frontage;
- 6. For corner lots, a secondary frontage may be applicable, however a pedestrian pathway or road reserve that does not contain a road carriageway is not a secondary frontage;
- 7. For lots with a secondary frontage, no building or structure over 2 metres high is to be built within a 6m x 6m truncation at the corner of two road frontages;
- 8. The length of a Built-to Boundary wall is not to exceed 15m or 50% of lot depth.
- 9. Built-to Boundary walls are optional, however if a Built-to Boundary wall is proposed it must be constructed on the side indicated.
- 10. The length of a Built-to Boundary wall is not to exceed 15m or 50% of the lot depth, whichever is the lesser;
- 11. Notwithstanding the setbacks specified in the Plan of Development Table, a 2.4 metre setback is permitted to unenclosed entry features such as porches, porticos, verandahs and balconies;
- 12. Building envelope and setback requirements may be affected by provision of easements for services, which may alter the setback requirements in the Plan of Development Table; and

- 13. The maximum area covered by all buildings and structures roofed with impervious materials, does not exceed the site cover nominated within the Plan of Development Table.
- 14. A pedestrian pathway is not consider to be a secondary frontage. This frontage should be taken to be a side boundary.

Interface Lots and Landscape Interface Buffer

- 15. Interface lots are identified on the Plan of Development;
- 16. Interface lots are intended to provide a buffer between higher intensity residential uses within the estate to existing residential development along the southern boundary and part of the eastern boundary;
- 17. Fencing must be provided along the rear boundary of Interface Lots and will be 1.8m high wooden 'good neighbour' fencing unless otherwise agreed with the adjoining property owner;
- 18. Interface lots must include a Landscape Interface Buffer as shown on the Plan of Development plans (refer to the Stage 7, 9 & 10 Rear Boundary Interface Sections, where applicable);
- 19. No buildings or structures are permitted within the Landscape Interface Buffer;
- 20. The Landscape Interface Buffer is to be maintained as a vegetated buffer and must be managed in order to control weeds and pests and ensure no increase in bushfire hazard, in accordance with the Bushfire Management Plan; and
- 21. No vegetation clearing can be undertaken within the Landscape Interface Buffer except for declared weed removal.

Bushfire

- 22. For Lots 143, 421 and 468 a separation of a minimum of 12 metres between the unmanaged vegetation hazard and the future dwelling must be provided in order to achieve BAL29. Alternatively, a separation of 18 metres between the unmanaged vegetation hazard to the east of these lots and the future dwelling must be provided in order to achieve BAL19 (Please refer to the Bushfire Management Plan prepared by Bushfire Risk Reducers for further design requirements within the Plan of Development Area);
- 23. The Plan of Development includes BAL rating for affected lots (supplied by Bushfire Risk Reducers), and also the Bushfire Management Plan; Lots may be affected by bushfire risk, requiring compliance with the relevant Australian Standard; and
- 24. No part of the dwelling on Lot 468 can encroach past the identified BAL29 line as shown on the Envelope Plans.

Building Height

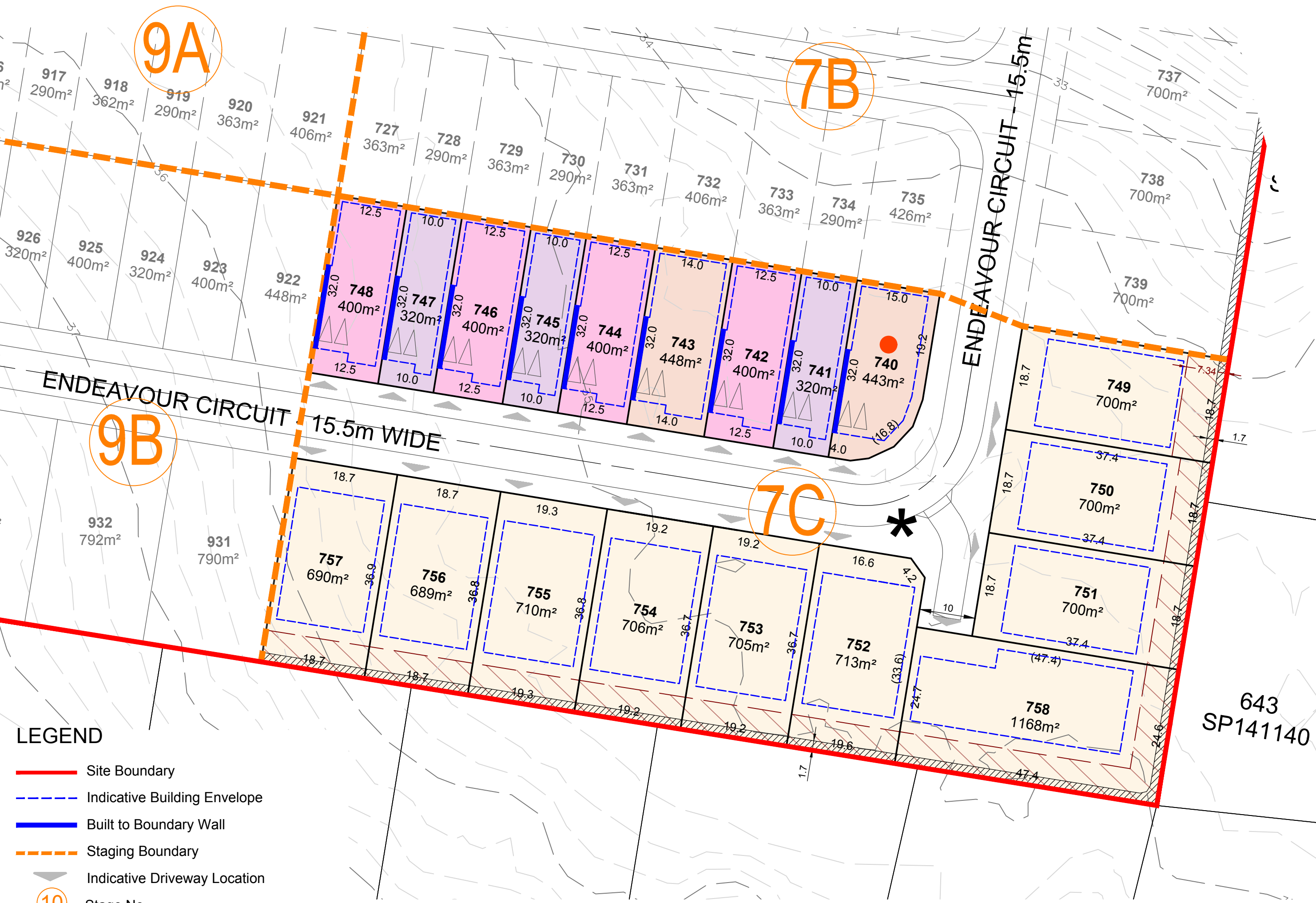
- 25. Building height must not exceed 9 metres and 2 storeys;
- 26. Building height is measured from natural ground level; and
- 27. To avoid any doubt, the natural ground level is taken to be the level of the land when the survey plan creating the subject lot was registered.

Streetscape Presentation

- 28. Buildings must address each street or park frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:
 - a. Verandahs or porches; and/or
 - b. Awnings or shade structures; and/or
 - c. Variation to roof form; and/or
 - d. Variation in building materials; and/or
 - e. Inclusion of windows to habitable rooms.
- 31. Letterboxes must be clearly visible and identifiable from the street.

Building Design and Articulation

- 32. All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following:
 - a. Windows recessed into the façade; and/or
 - b. Balconies, porches or verandah; and/or
 - c. Window Hoods/Screens; and/or
 - d. Shadow lines are created on the building through minor changes in the facade (100 millimetres minimum).



LEGEND

- Site Boundary
- Indicative Building Envelope
- Built to Boundary Wall
- Staging Boundary
- Indicative Driveway Location
- Stage No.
- Edge of Classified Vegetation
- Building Envelope Exclusion Zone (reach of Bal 40)
- Reach of BAL 29
- Reach of BAL 19
- Reach of BAL 12.5
- Indicative Garage Location
- Potential Multiple Residential Allotment
- Landscape Interface Buffer
- Access Easement (Drainage Channel Maintenance)
- Approximate Bin Pad Location for Lots 751, 752 & 758



	Villa Lots	Premium Villa Lots	Courtyard Lots	Premium Courtyard Lots	Interface Lots	Multiple Residential Allotments
Front Setback						
To Wall (Ground Floor)	3.0 m	3.0 m	3.0 m	4.0 m	5.0 m	3.0 m
To Wall (First Floor)	3.0 m	3.0 m	3.0 m	4.0 m	5.0 m	3.0 m
Garage	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m
Secondary Frontage						
To Wall (Ground Floor)	1.5 m	2.0 m	2.0 m	2.0 m	3.0 m	1.5 m
To Wall (First Floor)	2.0 m	2.0 m	2.0 m	2.0 m	3.0 m	1.5 m
Garage	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m
Rear Setback						
Ground Floor	0.9m*	0.9m*	0.9m*	0.9m*	8.0 m#	2.0 m
First Floor	1.0 m	1.0 m	1.0 m	1.0 m	8.0 m	2.0 m
Side Setback (BTB)						
Ground Floor	0 - 0.2m	0 - 0.2m	0 - 0.2m	0 - 0.2m	n/a	0 - 0.2m
First Floor	0.9 m	1.0 m	1.0 m	1.0 m	n/a	n/a
Side Setback (non-BTB)						
Ground Floor	0.9 m	1.0 m	1.0 m	1.0 m	1.5 m	1.0 m
First Floor	0.9 m	1.0 m	1.0 m	1.5 m	2.0 m	1.5 m
Site Coverage (Maximum)	75%	75%	60%	60%	50%	75%
Within the above table BTB means Built-to-Boundary wall. If a Built-to-Boundary wall is constructed then the indicated BTB side shown on the Envelope Plans is mandatory not optional.						
* Rear boundary setback to the low side of a stepped retaining wall is to be increased to 2.5 m						
# Rear setback may be reduced by the Landscape Interface Buffer – refer to the Stage 7, 9 & 10 Rear Boundary Interface Sections, where applicable.				for Lot 716 rear setback is 8.39 m		
				for Lot 717 rear setback is 8.39 m		
				for Lot 736 rear setback is 10.99 m		
				for Lot 737 rear setback is 10.8 m		
Setbacks for Lots 421 & 468 is to ensure that the dwelling does not encroach past the identified BAL29 line.						

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NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION

Lots Adjoining Neighbourhood Recreation Park

- 33. Lots with a common boundary with public open space (being park, drainage or reserve) provide for passive surveillance/overlooking of the open space by inclusion of the following design elements:
 - a. Habitable room windows facing the open space;
 - b. For double storey dwellings, balconies overlooking the open space;
 - c. For single storey dwellings, 1.2 metre high fencing with a minimum of 50% transparency along the common boundary with the open space OR aluminium pool fencing to the common boundary with the open space.

Car Parking and Driveways

- 38. Off-street car parking must be provided for in accordance with the following:
- 39. Minimum of 2 spaces per dwelling (one of which must be within a garage)
- 40. Car parking may be provided in tandem;
- 41. Garages are to be located on the nominated Built-to-Boundary wall side (if applicable);
- 42. Indicative locations for driveways and garages are nominated on the Plan of Development (Envelope Plans) which should also be interpreted as the primary frontage;
- 43. If a Built-to-Boundary wall is constructed it must be constructed on the side nominated on the Plan of Development (Envelope Plans);
- 44. Garages are to be constructed in the location identified within the Plan of Development (Envelope Plans) unless it can be demonstrated there is no conflict with existing services and does not materially affect the footpath/verge grade at or around the site frontage;
- 45. There is a maximum of one driveway per dwelling unless a corner lot;
- 46. Driveways must be a minimum of 6 metres from the intersection of a street; and
- 47. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3 metres for a lot with a single car width garage.

Private Open Space

- 48. Each detached dwelling has at least one clearly defined outdoor living space which has a minimum area of 12 square metres and a minimum dimension of 3 metres;
- 49. Private open space must provide visual privacy from another outdoor living space via window or balcony screen; and
- 50. Private open spaces must be directly accessible from a living area

Fencing

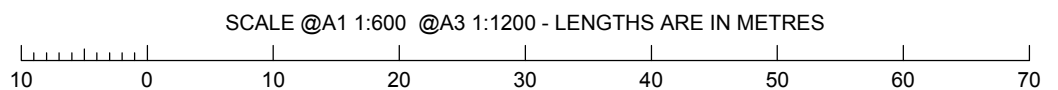
- 51. Front fencing allows for overlooking of the street and park to provide casual surveillance opportunity;
- 52. Front fencing has a maximum height of 1.2 metres (where solid) or 1.5 metres (where at least 50% transparent);
- 53. Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum of 1.8m where the upper 0.3m is 50% transparent.
 - a. Fence must be painted in a colour that compliments the dwelling; and
- 53. Fencing must be provided along the rear boundary of Interface Lots and will be 1.8m high wooden 'good neighbour' fencing unless otherwise agreed with the adjoining property owner.

Additional Criteria for Multiple Residential Allotments

- 54. Must comply with Multiple Residential Allotment setbacks.
- 55. Buildings must address all street frontages with driveways, pedestrian entries or both.
- 56. All dwellings must have a clearly identifiable front door, which is undercover.
- 57. Bin storage and clothes drying areas must be located behind a fence and not be visible from any street frontage.
- 58. All designs must positively address the street through inclusion of at least three of the following design elements:
 - a. Verandah, porch or portico;
 - b. Awning and shade structures;
 - c. Variation to roof and building lines;
 - d. Inclusion of window openings; or
 - e. Use of varying building materials and treatments
- 59. A minimum of two on-site car parking spaces must be provided for each dwelling, one of which must be within a garage.
- 60. Each house / dwelling unit has a clearly defined outdoor living space which:
 - a. Has an area of at least:
 - 12m² with a minimum dimension of 2.4m for a 3 or more bedroom house / dwelling unit;
 - 9m² with a minimum dimension of 2.4m for a 2 room or 1 bedroom house / dwelling unit; or
 - 5m² with a minimum dimension of 1.2m for a 1 room or 1 bedroom house / dwelling unit.
 - b. Is accessible from a living area;
 - c. Has a ground slope of not more than 1 in 10; and
 - d. Provides visual privacy from outdoor living spaces on adjacent lots.

- Or communal open space is provided which:
 - a. Has an area of at least 25% of the area of the lot; and
 - b. is of a shape which can include a circle with a 4.0m diameter.
- 61. All dwellings are to include a double story element.
- 62. Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum of 1.8m where the upper 0.3m is 50% transparent.
 - a. Fence must be painted in a colour that compliments the dwelling.

RP DESCRIPTION: Lot 30 on SP309195



DALEFORD PROPERTY PTY LTD

PLAN OF DEVELOPMENT - STAGE 8A

Notes:

Setbacks and Site Cover

- 1. Setbacks are as per the Plan of Development Table unless otherwise specified;
- 2. Built-to-Boundary walls are nominated on the Plan of Development (Envelope Plans);
- 3. All setbacks are measured to the wall of the structure;
- 4. Houses must be wholly located within the subject lot unless appropriate encroachment rights are secured;
- 5. A lot can have only one primary frontage. Primary frontages are nominated on the Plan of Development (Envelope Plans), being the nominated driveway frontage;
- 6. For corner lots, a secondary frontage may be applicable, however a pedestrian pathway or road reserve that does not contain a road carriageway is not a secondary frontage;
- 7. For lots with a secondary frontage, no building or structure over 2 metres high is to be built within a 6m x 6m truncation at the corner of two road frontages;
- 8. The length of a Built-to Boundary wall is not to exceed 15m or 50% of lot depth.
- 9. Built-to Boundary walls are optional, however if a Built-to Boundary wall is proposed it must be constructed on the side indicated.
- 10. The length of a Built-to Boundary wall is not to exceed 15m or 50% of the lot depth, whichever is the lesser;
- 11. Notwithstanding the setbacks specified in the Plan of Development Table, a 2.4 metre setback is permitted to unenclosed entry features such as porches, porticos, verandahs and balconies;
- 12. Building envelope and setback requirements may be affected by provision of easements for services, which may alter the setback requirements in the Plan of Development Table; and

- 13. The maximum area covered by all buildings and structures roofed with impervious materials, does not exceed the site cover nominated within the Plan of Development Table.
- 14. A pedestrian pathway is not consider to be a secondary frontage. This frontage should be taken to be a side boundary.

Interface Lots and Landscape Interface Buffer

- 15. Interface lots are identified on the Plan of Development;
- 16. Interface lots are intended to provide a buffer between higher intensity residential uses within the estate to existing residential development along the southern boundary and part of the eastern boundary;
- 17. Fencing must be provided along the rear boundary of Interface Lots and will be 1.8m high wooden 'good neighbour' fencing unless otherwise agreed with the adjoining property owner;
- 18. Interface lots must include a Landscape Interface Buffer as shown on the Plan of Development plans (refer to the Stage 7, 9 & 10 Rear Boundary Interface Sections, where applicable);
- 19. No buildings or structures are permitted within the Landscape Interface Buffer;
- 20. The Landscape Interface Buffer is to be maintained as a vegetated buffer and must be managed in order to control weeds and pests and ensure no increase in bushfire hazard, in accordance with the Bushfire Management Plan; and
- 21. No vegetation clearing can be undertaken within the Landscape Interface Buffer except for declared weed removal.

Bushfire

- 22. For Lots 143, 421 and 468 a separation of a minimum of 12 metres between the unmanaged vegetation hazard and the future dwelling must be provided in order to achieve BAL29. Alternatively, a separation of 18 metres between the unmanaged vegetation hazard to the east of these lots and the future dwelling must be provided in order to achieve BAL19 (Please refer to the Bushfire Management Plan prepared by Bushfire Risk Reducers for further design requirements within the Plan of Development Area);
- 23. The Plan of Development includes BAL rating for affected lots (supplied by Bushfire Risk Reducers), and also the Bushfire Management Plan; Lots may be affected by bushfire risk, requiring compliance with the relevant Australian Standard; and
- 24. No part of the dwelling on Lot 468 can encroach past the identified BAL29 line as shown on the Envelope Plans.

Building Height

- 25. Building height must not exceed 9 metres and 2 storeys;
- 26. Building height is measured from natural ground level; and
- 27. To avoid any doubt, the natural ground level is taken to be the level of the land when the survey plan creating the subject lot was registered.

Streetscape Presentation

- 28. Buildings must address each street or park frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:
 - a. Verandahs or porches; and/or
 - b. Awnings or shade structures; and/or
 - c. Variation to roof form; and/or
 - d. Variation in building materials; and/or
 - e. Inclusion of windows to habitable rooms.
- 31. Letterboxes must be clearly visible and identifiable from the street.

Building Design and Articulation

- 32. All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following:
 - a. Windows recessed into the façade; and/or
 - b. Balconies, porches or verandah; and/or
 - c. Window Hoods/Screens; and/or
 - d. Shadow lines are created on the building through minor changes in the facade (100 millimetres minimum).

NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION

Lots Adjoining Neighbourhood Recreation Park

- 33. Lots with a common boundary with public open space (being park, drainage or reserve) provide for passive surveillance/overlooking of the open space by inclusion of the following design elements:
 - a. Habitable room windows facing the open space;
 - b. For double storey dwellings, balconies overlooking the open space;
 - c. For single storey dwellings, 1.2 metre high fencing with a minimum of 50% transparency along the common boundary with the open space OR aluminium pool fencing to the common boundary with the open space.

Car Parking and Driveways

- 38. Off-street car parking must be provided for in accordance with the following:
- 39. Minimum of 2 spaces per dwelling (one of which must be within a garage)
- 40. Car parking may be provided in tandem;
- 41. Garages are to be located on the nominated Built-to-Boundary wall side (if applicable);
- 42. Indicative locations for driveways and garages are nominated on the Plan of Development (Envelope Plans) which should also be interpreted as the primary frontage;
- 43. If a Built-to-Boundary wall is constructed it must be constructed on the side nominated on the Plan of Development (Envelope Plans);
- 44. Garages are to be constructed in the location identified within the Plan of Development (Envelope Plans) unless it can be demonstrated there is no conflict with existing services and does not materially affect the footpath/verge grade at or around the site frontage;
- 45. There is a maximum of one driveway per dwelling unless a corner lot;
- 46. Driveways must be a minimum of 6 metres from the intersection of a street; and
- 47. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3 metres for a lot with a single car width garage.

Private Open Space

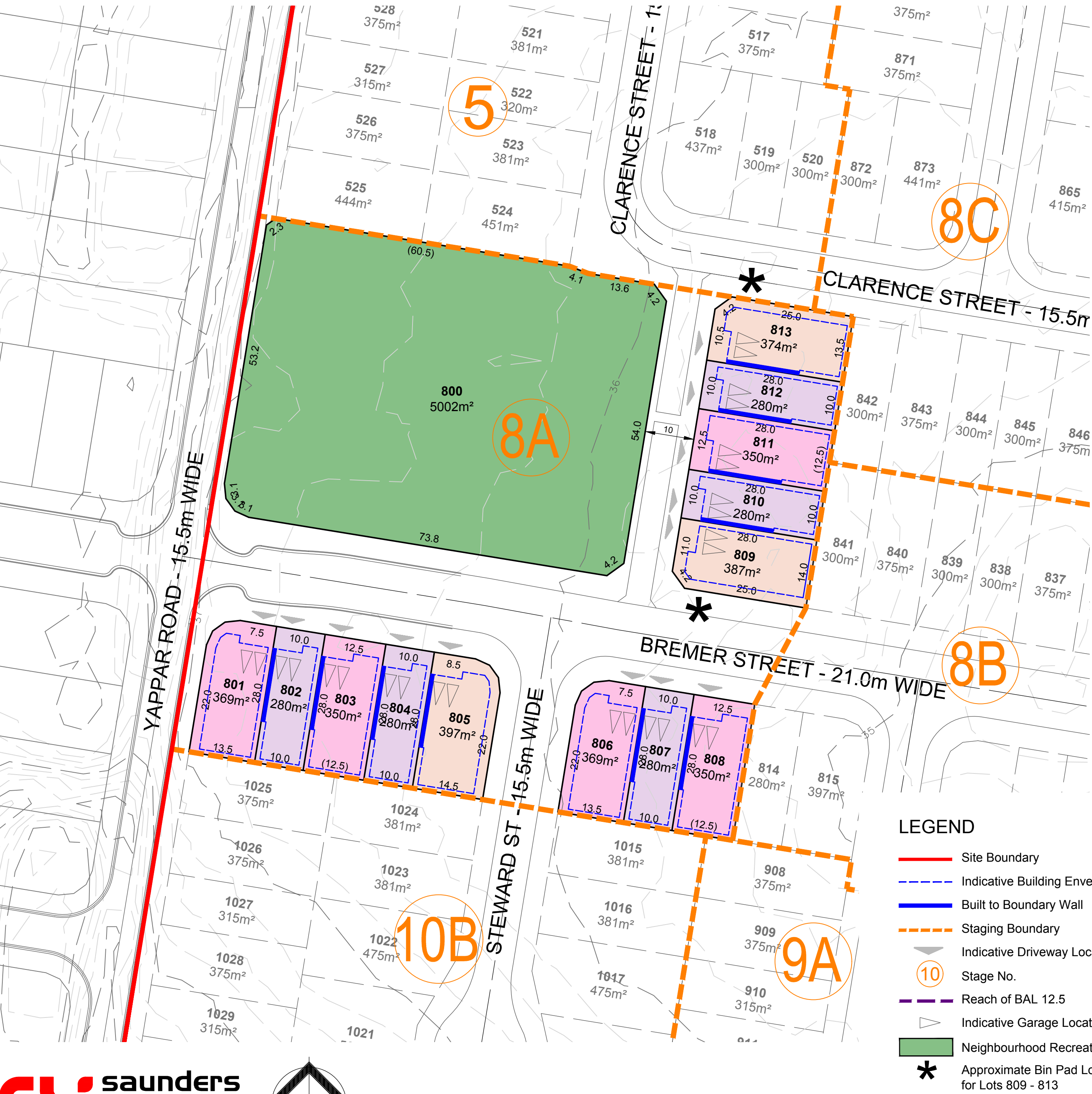
- 48. Each detached dwelling has at least one clearly defined outdoor living space which has a minimum area of 12 square metres and a minimum dimension of 3 metres;
- 49. Private open space must provide visual privacy from another outdoor living space via window or balcony screen; and
- 50. Private open spaces must be directly accessible from a living area

Fencing

- 51. Front fencing allows for overlooking of the street and park to provide casual surveillance opportunity;
- 52. Front fencing has a maximum height of 1.2 metres (where solid) or 1.5 metres (where at least 50% transparent);
- 53. Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum of 1.8m where the upper 0.3m is 50% transparent.
 - a. Fence must be painted in a colour that compliments the dwelling; and
- 53. Fencing must be provided along the rear boundary of Interface Lots and will be 1.8m high wooden 'good neighbour' fencing unless otherwise agreed with the adjoining property owner.

Additional Criteria for Multiple Residential Allotments

- 54. Must comply with Multiple Residential Allotment setbacks.
 - 55. Buildings must address all street frontages with driveways, pedestrian entries or both.
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 - c. Variation to roof and building lines;
 - d. Inclusion of window openings; or
 - e. Use of varying building materials and treatments
 - 59. A minimum of two on-site car parking spaces must be provided for each dwelling, one of which must be within a garage.
 - 60. Each house / dwelling unit has a clearly defined outdoor living space which:
 - a. Has an area of at least:
 - 12m² with a minimum dimension of 2.4m for a 3 or more bedroom house / dwelling unit;
 - 9m² with a minimum dimension of 2.4m for a 2 room or 1 bedroom house / dwelling unit; or
 - 5m² with a minimum dimension of 1.2m for a 1 room or 1 bedroom house / dwelling unit.
 - b. Is accessible from a living area;
 - c. Has a ground slope of not more than 1 in 10; and
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- Or communal open space is provided which:
- a. Has an area of at least 25% of the area of the lot; and
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- 61. All dwellings are to include a double story element.
 - 62. Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum of 1.8m where the upper 0.3m is 50% transparent.
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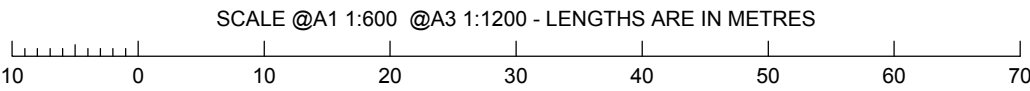


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RP DESCRIPTION: Lot 30 on SP309195



DALEFORD PROPERTY PTY LTD

PLAN OF DEVELOPMENT - STAGE 8B

Notes:

Setbacks and Site Cover

- 1. Setbacks are as per the Plan of Development Table unless otherwise specified;
- 2. Built-to-Boundary walls are nominated on the Plan of Development (Envelope Plans);
- 3. All setbacks are measured to the wall of the structure;
- 4. Houses must be wholly located within the subject lot unless appropriate encroachment rights are secured;
- 5. A lot can have only one primary frontage. Primary frontages are nominated on the Plan of Development (Envelope Plans), being the nominated driveway frontage;
- 6. For corner lots, a secondary frontage may be applicable, however a pedestrian pathway or road reserve that does not contain a road carriageway is not a secondary frontage;
- 7. For lots with a secondary frontage, no building or structure over 2 metres high is to be built within a 6m x 6m truncation at the corner of two road frontages;
- 8. The length of a Built-to Boundary wall is not to exceed 15m or 50% of lot depth.
- 9. Built-to Boundary walls are optional, however if a Built-to Boundary wall is proposed it must be constructed on the side indicated.
- 10. The length of a Built-to Boundary wall is not to exceed 15m or 50% of the lot depth, whichever is the lesser;
- 11. Notwithstanding the setbacks specified in the Plan of Development Table, a 2.4 metre setback is permitted to unenclosed entry features such as porches, porticos, verandahs and balconies;
- 12. Building envelope and setback requirements may be affected by provision of easements for services, which may alter the setback requirements in the Plan of Development Table; and

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Interface Lots and Landscape Interface Buffer

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- 18. Interface lots must include a Landscape Interface Buffer as shown on the Plan of Development plans (refer to the Stage 7, 9 & 10 Rear Boundary Interface Sections, where applicable);
- 19. No buildings or structures are permitted within the Landscape Interface Buffer;
- 20. The Landscape Interface Buffer is to be maintained as a vegetated buffer and must be managed in order to control weeds and pests and ensure no increase in bushfire hazard, in accordance with the Bushfire Management Plan; and
- 21. No vegetation clearing can be undertaken within the Landscape Interface Buffer except for declared weed removal.

Bushfire

- 22. For Lots 143, 421 and 468 a separation of a minimum of 12 metres between the unmanaged vegetation hazard and the future dwelling must be provided in order to achieve BAL29. Alternatively, a separation of 18 metres between the unmanaged vegetation hazard to the east of these lots and the future dwelling must be provided in order to achieve BAL19 (Please refer to the Bushfire Management Plan prepared by Bushfire Risk Reducers for further design requirements within the Plan of Development Area);
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- 24. No part of the dwelling on Lot 468 can encroach past the identified BAL29 line as shown on the Envelope Plans.

Building Height

- 25. Building height must not exceed 9 metres and 2 storeys;
- 26. Building height is measured from natural ground level; and
- 27. To avoid any doubt, the natural ground level is taken to be the level of the land when the survey plan creating the subject lot was registered.

Streetscape Presentation

- 28. Buildings must address each street or park frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:
 - a. Verandahs or porches; and/or
 - b. Awnings or shade structures; and/or
 - c. Variation to roof form; and/or
 - d. Variation in building materials; and/or
 - e. Inclusion of windows to habitable rooms.
- 31. Letterboxes must be clearly visible and identifiable from the street.

Building Design and Articulation

- 32. All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following:
 - a. Windows recessed into the façade; and/or
 - b. Balconies, porches or verandah; and/or
 - c. Window Hoods/Screens; and/or
 - d. Shadow lines are created on the building through minor changes in the facade (100 millimetres minimum).

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Lots Adjoining Neighbourhood Recreation Park

- 33. Lots with a common boundary with public open space (being park, drainage or reserve) provide for passive surveillance/overlooking of the open space by inclusion of the following design elements:
 - a. Habitable room windows facing the open space;
 - b. For double storey dwellings, balconies overlooking the open space;
 - c. For single storey dwellings, 1.2 metre high fencing with a minimum of 50% transparency along the common boundary with the open space OR aluminium pool fencing to the common boundary with the open space.

Car Parking and Driveways

- 38. Off-street car parking must be provided for in accordance with the following:
- 39. Minimum of 2 spaces per dwelling (one of which must be within a garage)
- 40. Car parking may be provided in tandem;
- 41. Garages are to be located on the nominated Built-to-Boundary wall side (if applicable);
- 42. Indicative locations for driveways and garages are nominated on the Plan of Development (Envelope Plans) which should also be interpreted as the primary frontage;
- 43. If a Built-to-Boundary wall is constructed it must be constructed on the side nominated on the Plan of Development (Envelope Plans);
- 44. Garages are to be constructed in the location identified within the Plan of Development (Envelope Plans) unless it can be demonstrated there is no conflict with existing services and does not materially affect the footpath/verge grade at or around the site frontage;
- 45. There is a maximum of one driveway per dwelling unless a corner lot;
- 46. Driveways must be a minimum of 6 metres from the intersection of a street; and
- 47. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3 metres for a lot with a single car width garage.

Private Open Space

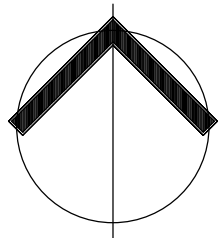
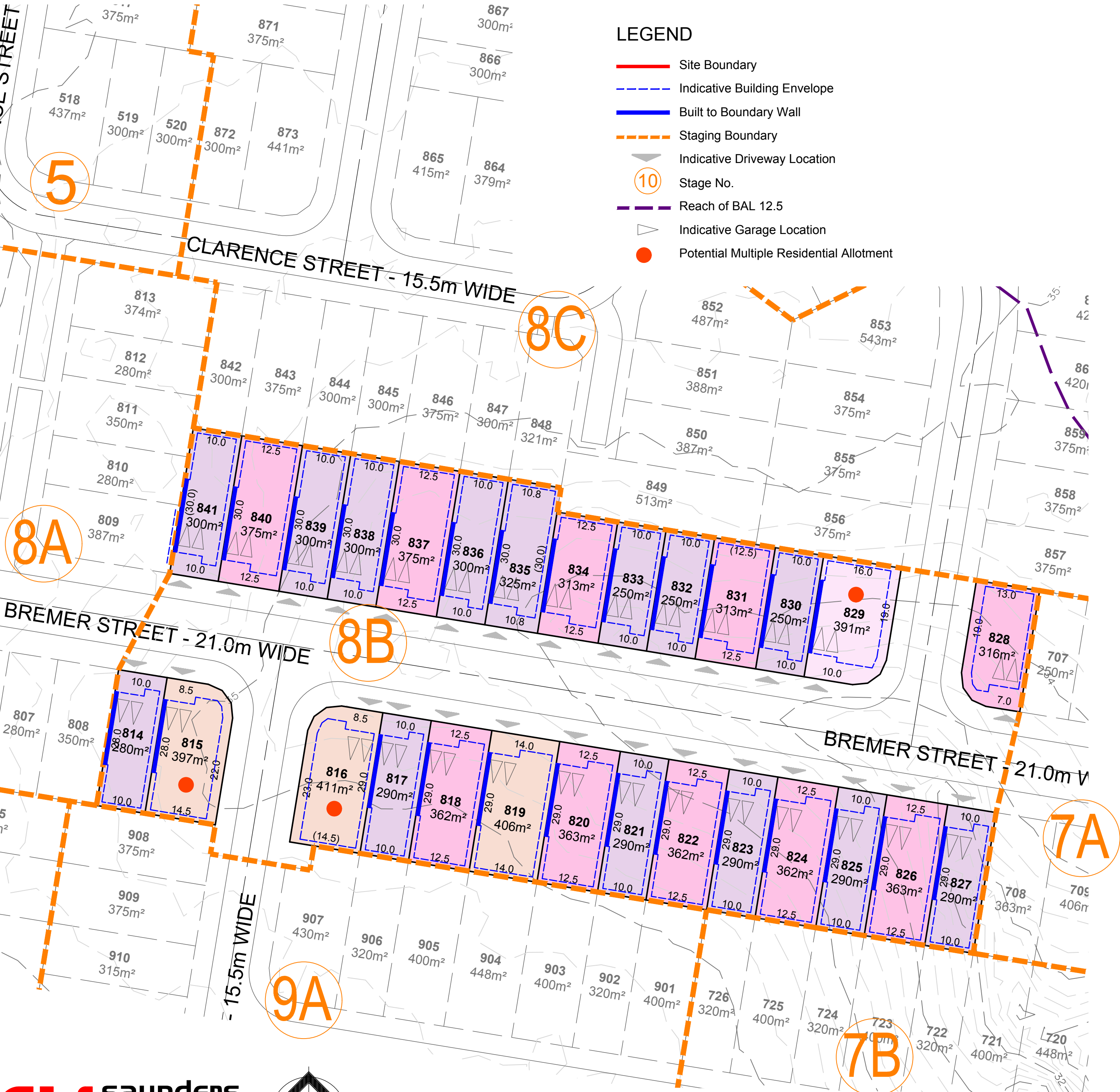
- 48. Each detached dwelling has at least one clearly defined outdoor living space which has a minimum area of 12 square metres and a minimum dimension of 3 metres;
- 49. Private open space must provide visual privacy from another outdoor living space via window or balcony screen; and
- 50. Private open spaces must be directly accessible from a living area

Fencing

- 51. Front fencing allows for overlooking of the street and park to provide casual surveillance opportunity;
- 52. Front fencing has a maximum height of 1.2 metres (where solid) or 1.5 metres (where at least 50% transparent);
- 53. Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum of 1.8m where the upper 0.3m is 50% transparent.
 - a. Fence must be painted in a colour that compliments the dwelling; and
- 53. Fencing must be provided along the rear boundary of Interface Lots and will be 1.8m high wooden 'good neighbour' fencing unless otherwise agreed with the adjoining property owner.

Additional Criteria for Multiple Residential Allotments

- 54. Must comply with Multiple Residential Allotment setbacks.
 - 55. Buildings must address all street frontages with driveways, pedestrian entries or both.
 - 56. All dwellings must have a clearly identifiable front door, which is undercover.
 - 57. Bin storage and clothes drying areas must be located behind a fence and not be visible from any street frontage.
 - 58. All designs must positively address the street through inclusion of at least three of the following design elements:
 - a. Verandah, porch or portico;
 - b. Awning and shade structures;
 - c. Variation to roof and building lines;
 - d. Inclusion of window openings; or
 - e. Use of varying building materials and treatments
 - 59. A minimum of two on-site car parking spaces must be provided for each dwelling, one of which must be within a garage.
 - 60. Each house / dwelling unit has a clearly defined outdoor living space which:
 - a. Has an area of at least:
 - 12m² with a minimum dimension of 2.4m for a 3 or more bedroom house / dwelling unit;
 - 9m² with a minimum dimension of 2.4m for a 2 room or 1 bedroom house / dwelling unit; or
 - 5m² with a minimum dimension of 1.2m for a 1 room or 1 bedroom house / dwelling unit.
 - b. Is accessible from a living area;
 - c. Has a ground slope of not more than 1 in 10; and
 - d. Provides visual privacy from outdoor living spaces on adjacent lots.
- Or communal open space is provided which:
- a. Has an area of at least 25% of the area of the lot; and
 - b. is of a shape which can include a circle with a 4.0m diameter.
- 61. All dwellings are to include a double story element.
 - 62. Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum of 1.8m where the upper 0.3m is 50% transparent.
 - a. Fence must be painted in a colour that compliments the dwelling.

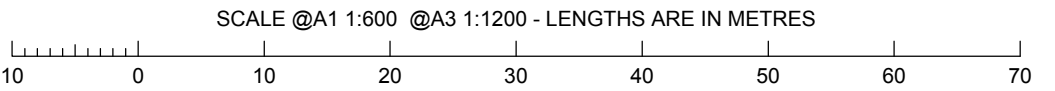


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RP DESCRIPTION: Lot 30 on SP309195



DALEFORD PROPERTY PTY LTD

PLAN OF DEVELOPMENT - STAGE 8C

Notes:

Setbacks and Site Cover

- 1. Setbacks are as per the Plan of Development Table unless otherwise specified;
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- 3. All setbacks are measured to the wall of the structure;
- 4. Houses must be wholly located within the subject lot unless appropriate encroachment rights are secured;
- 5. A lot can have only one primary frontage. Primary frontages are nominated on the Plan of Development (Envelope Plans), being the nominated driveway frontage;
- 6. For corner lots, a secondary frontage may be applicable, however a pedestrian pathway or road reserve that does not contain a road carriageway is not a secondary frontage;
- 7. For lots with a secondary frontage, no building or structure over 2 metres high is to be built within a 6m x 6m truncation at the corner of two road frontages;
- 8. The length of a Built-to Boundary wall is not to exceed 15m or 50% of lot depth.
- 9. Built-to Boundary walls are optional, however if a Built-to Boundary wall is proposed it must be constructed on the side indicated.
- 10. The length of a Built-to Boundary wall is not to exceed 15m or 50% of the lot depth, whichever is the lesser;
- 11. Notwithstanding the setbacks specified in the Plan of Development Table, a 2.4 metre setback is permitted to unenclosed entry features such as porches, porticos, verandahs and balconies;
- 12. Building envelope and setback requirements may be affected by provision of easements for services, which may alter the setback requirements in the Plan of Development Table; and

- 13. The maximum area covered by all buildings and structures roofed with impervious materials, does not exceed the site cover nominated within the Plan of Development Table.
- 14. A pedestrian pathway is not consider to be a secondary frontage. This frontage should be taken to be a side boundary.

Interface Lots and Landscape Interface Buffer

- 15. Interface lots are identified on the Plan of Development;
- 16. Interface lots are intended to provide a buffer between higher intensity residential uses within the estate to existing residential development along the southern boundary and part of the eastern boundary;
- 17. Fencing must be provided along the rear boundary of Interface Lots and will be 1.8m high wooden 'good neighbour' fencing unless otherwise agreed with the adjoining property owner;
- 18. Interface lots must include a Landscape Interface Buffer as shown on the Plan of Development plans (refer to the Stage 7, 9 & 10 Rear Boundary Interface Sections, where applicable);
- 19. No buildings or structures are permitted within the Landscape Interface Buffer;
- 20. The Landscape Interface Buffer is to be maintained as a vegetated buffer and must be managed in order to control weeds and pests and ensure no increase in bushfire hazard, in accordance with the Bushfire Management Plan; and
- 21. No vegetation clearing can be undertaken within the Landscape Interface Buffer except for declared weed removal.

Bushfire

- 22. For Lots 143, 421 and 468 a separation of a minimum of 12 metres between the unmanaged vegetation hazard and the future dwelling must be provided in order to achieve BAL29. Alternatively, a separation of 18 metres between the unmanaged vegetation hazard to the east of these lots and the future dwelling must be provided in order to achieve BAL19 (Please refer to the Bushfire Management Plan prepared by Bushfire Risk Reducers for further design requirements within the Plan of Development Area);
- 23. The Plan of Development includes BAL rating for affected lots (supplied by Bushfire Risk Reducers), and also the Bushfire Management Plan; Lots may be affected by bushfire risk, requiring compliance with the relevant Australian Standard; and
- 24. No part of the dwelling on Lot 468 can encroach past the identified BAL29 line as shown on the Envelope Plans.

Building Height

- 25. Building height must not exceed 9 metres and 2 storeys;
- 26. Building height is measured from natural ground level; and
- 27. To avoid any doubt, the natural ground level is taken to be the level of the land when the survey plan creating the subject lot was registered.

Streetscape Presentation

- 28. Buildings must address each street or park frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:
 - a. Verandahs or porches; and/or
 - b. Awnings or shade structures; and/or
 - c. Variation to roof form; and/or
 - d. Variation in building materials; and/or
 - e. Inclusion of windows to habitable rooms.
- 31. Letterboxes must be clearly visible and identifiable from the street.

Building Design and Articulation

- 32. All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following:
 - a. Windows recessed into the façade; and/or
 - b. Balconies, porches or verandah; and/or
 - c. Window Hoods/Screens; and/or
 - d. Shadow lines are created on the building through minor changes in the facade (100 millimetres minimum).

NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION

Lots Adjoining Neighbourhood Recreation Park

- 33. Lots with a common boundary with public open space (being park, drainage or reserve) provide for passive surveillance/overlooking of the open space by inclusion of the following design elements:
 - a. Habitable room windows facing the open space;
 - b. For double storey dwellings, balconies overlooking the open space;
 - c. For single storey dwellings, 1.2 metre high fencing with a minimum of 50% transparency along the common boundary with the open space OR aluminium pool fencing to the common boundary with the open space.

Car Parking and Driveways

- 38. Off-street car parking must be provided for in accordance with the following:
- 39. Minimum of 2 spaces per dwelling (one of which must be within a garage)
- 40. Car parking may be provided in tandem;
- 41. Garages are to be located on the nominated Built-to-Boundary wall side (if applicable);
- 42. Indicative locations for driveways and garages are nominated on the Plan of Development (Envelope Plans) which should also be interpreted as the primary frontage;
- 43. If a Built-to-Boundary wall is constructed it must be constructed on the side nominated on the Plan of Development (Envelope Plans);
- 44. Garages are to be constructed in the location identified within the Plan of Development (Envelope Plans) unless it can be demonstrated there is no conflict with existing services and does not materially affect the footpath/verge grade at or around the site frontage;
- 45. There is a maximum of one driveway per dwelling unless a corner lot;
- 46. Driveways must be a minimum of 6 metres from the intersection of a street; and
- 47. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3 metres for a lot with a single car width garage.

Private Open Space

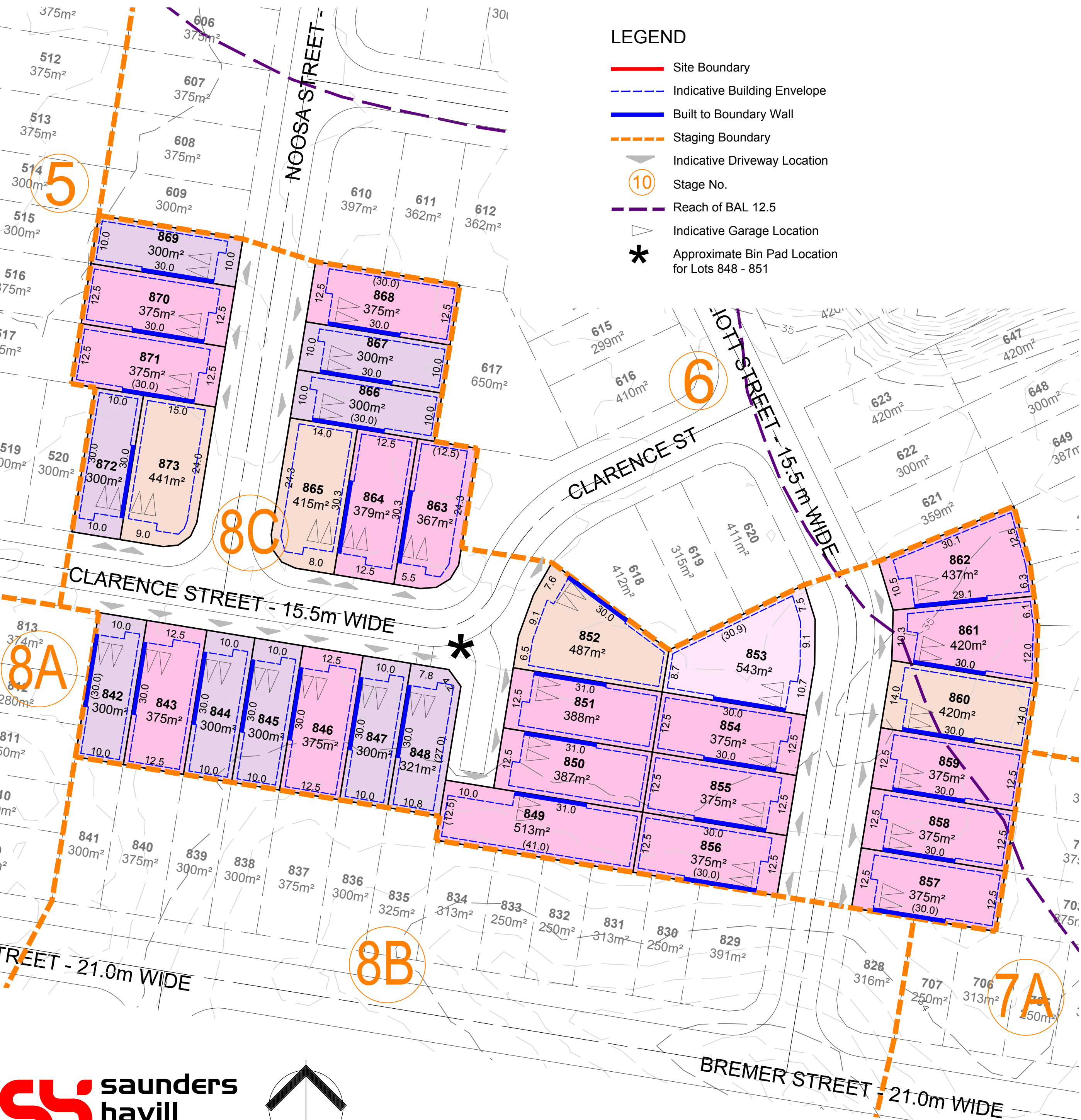
- 48. Each detached dwelling has at least one clearly defined outdoor living space which has a minimum area of 12 square metres and a minimum dimension of 3 metres;
- 49. Private open space must provide visual privacy from another outdoor living space via window or balcony screen; and
- 50. Private open spaces must be directly accessible from a living area

Fencing

- 51. Front fencing allows for overlooking of the street and park to provide casual surveillance opportunity;
- 52. Front fencing has a maximum height of 1.2 metres (where solid) or 1.5 metres (where at least 50% transparent);
- 53. Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum of 1.8m where the upper 0.3m is 50% transparent.
 - a. Fence must be painted in a colour that compliments the dwelling; and
- 53. Fencing must be provided along the rear boundary of Interface Lots and will be 1.8m high wooden 'good neighbour' fencing unless otherwise agreed with the adjoining property owner.

Additional Criteria for Multiple Residential Allotments

- 54. Must comply with Multiple Residential Allotment setbacks.
 - 55. Buildings must address all street frontages with driveways, pedestrian entries or both.
 - 56. All dwellings must have a clearly identifiable front door, which is undercover.
 - 57. Bin storage and clothes drying areas must be located behind a fence and not be visible from any street frontage.
 - 58. All designs must positively address the street through inclusion of at least three of the following design elements:
 - a. Verandah, porch or portico;
 - b. Awning and shade structures;
 - c. Variation to roof and building lines;
 - d. Inclusion of window openings; or
 - e. Use of varying building materials and treatments
 - 59. A minimum of two on-site car parking spaces must be provided for each dwelling, one of which must be within a garage.
 - 60. Each house / dwelling unit has a clearly defined outdoor living space which:
 - a. Has an area of at least:
 - 12m² with a minimum dimension of 2.4m for a 3 or more bedroom house / dwelling unit;
 - 9m² with a minimum dimension of 2.4m for a 2 room or 1 bedroom house / dwelling unit; or
 - 5m² with a minimum dimension of 1.2m for a 1 room or 1 bedroom house / dwelling unit.
 - b. Is accessible from a living area;
 - c. Has a ground slope of not more than 1 in 10; and
 - d. Provides visual privacy from outdoor living spaces on adjacent lots.
- Or communal open space is provided which:
- a. Has an area of at least 25% of the area of the lot; and
 - b. is of a shape which can include a circle with a 4.0m diameter.
- 61. All dwellings are to include a double story element.
 - 62. Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum of 1.8m where the upper 0.3m is 50% transparent.
 - a. Fence must be painted in a colour that compliments the dwelling.



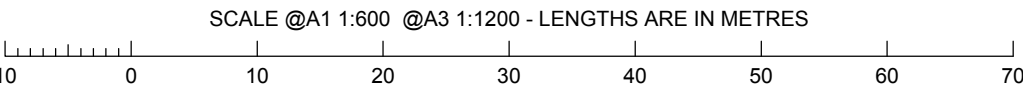
	Villa Lots	Premium Villa Lots	Courtyard Lots	Premium Courtyard Lots	Interface Lots	Multiple Residential Allotments
Front Setback						
To Wall (Ground Floor)	3.0 m	3.0 m	3.0 m	4.0 m	5.0 m	3.0 m
To Wall (First Floor)	3.0 m	3.0 m	3.0 m	4.0 m	5.0 m	3.0 m
Garage	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m
Secondary Frontage						
To Wall (Ground Floor)	1.5 m	2.0 m	2.0 m	2.0 m	3.0 m	1.5 m
To Wall (First Floor)	2.0 m	2.0 m	2.0 m	2.0 m	3.0 m	1.5 m
Garage	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m
Rear Setback						
Ground Floor	0.9m*	0.9m*	0.9m*	0.9m*	8.0 m#	2.0 m
First Floor	1.0 m	1.0 m	1.0 m	1.0 m	8.0 m	2.0 m
Side Setback (BTB)						
Ground Floor	0 - 0.2m	0 - 0.2m	0 - 0.2m	0 - 0.2m	n/a	0 - 0.2m
First Floor	0.9 m	1.0 m	1.0 m	1.0 m	n/a	n/a
Side Setback (non-BTB)						
Ground Floor	0.9 m	1.0 m	1.0 m	1.0 m	1.5 m	1.0 m
First Floor	0.9 m	1.0 m	1.0 m	1.5 m	2.0 m	1.5 m
Site Coverage (Maximum)	75%	75%	60%	60%	50%	75%
Within the above table BTB means Built-to-Boundary wall. If a Built-to-Boundary wall is constructed then the indicated BTB side shown on the Envelope Plans is mandatory not optional.						
* Rear boundary setback to the low side of a stepped retaining wall is to be increased to 2.5 m						
# Rear setback may be reduced by the Landscape Interface Buffer – refer to the Stage 7, 9 & 10 Rear Boundary Interface Sections, where applicable.				for Lot 716 rear setback is 8.39 m		
				for Lot 717 rear setback is 8.39 m		
				for Lot 736 rear setback is 10.99 m		
				for Lot 737 rear setback is 10.8 m		
Setbacks for Lots 421 & 468 is to ensure that the dwelling does not encroach past the identified BAL29 line.						

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RP DESCRIPTION: Lot 30 on SP309195



DALEFORD PROPERTY PTY LTD

Notes:

Setbacks and Site Cover

1. Setbacks are as per the Plan of Development Table unless otherwise specified;
2. Built-to-Boundary walls are nominated on the Plan of Development (Envelope Plans);
3. All setbacks are measured to the wall of the structure;
4. Houses must be wholly located within the subject lot unless appropriate encroachment rights are secured;
5. A lot can have only one primary frontage. Primary frontages are nominated on the Plan of Development (Envelope Plans), being the nominated driveway frontage;
6. For corner lots, a secondary frontage may be applicable, however a pedestrian pathway or road reserve that does not contain a road carriageway is not a secondary frontage;
7. For lots with a secondary frontage, no building or structure over 2 metres high is to be built within a 6m x 6m truncation at the corner of two road frontages;
8. The length of a Built-to Boundary wall is not to exceed 15m or 50% of lot depth.
9. Built-to Boundary walls are optional, however if a Built-to Boundary wall is proposed it must be constructed on the side indicated.
10. The length of a Built-to Boundary wall is not to exceed 15m or 50% of the lot depth, whichever is the lesser;
11. Notwithstanding the setbacks specified in the Plan of Development Table, a 2.4 metre setback is permitted to unenclosed entry features such as porches, porticos, verandahs and balconies;
12. Building envelope and setback requirements may be affected by provision of easements for services, which may alter the setback requirements in the Plan of Development Table; and

13. The maximum area covered by all buildings and structures roofed with impervious materials, does not exceed the site cover nominated within the Plan of Development Table.
14. A pedestrian pathway is not consider to be a secondary frontage. This frontage should be taken to be a side boundary.

Interface Lots and Landscape Interface Buffer

15. Interface lots are identified on the Plan of Development;
16. Interface lots are intended to provide a buffer between higher intensity residential uses within the estate to existing residential development along the southern boundary and part of the eastern boundary;
17. Fencing must be provided along the rear boundary of Interface Lots and will be 1.8m high wooden 'good neighbour' fencing unless otherwise agreed with the adjoining property owner;
18. Interface lots must include a Landscape Interface Buffer as shown on the Plan of Development plans (refer to the Stage 7, 9 & 10 Rear Boundary Interface Sections, where applicable);
19. No buildings or structures are permitted within the Landscape Interface Buffer;
20. The Landscape Interface Buffer is to be maintained as a vegetated buffer and must be managed in order to control weeds and pests and ensure no increase in bushfire hazard, in accordance with the Bushfire Management Plan; and
21. No vegetation clearing can be undertaken within the Landscape Interface Buffer except for declared weed removal.

Bushfire

22. For Lots 143, 421 and 468 a separation of a minimum of 12 metres between the unmanaged vegetation hazard and the future dwelling must be provided in order to achieve BAL29. Alternatively, a separation of 18 metres between the unmanaged vegetation hazard to the east of these lots and the future dwelling must be provided in order to achieve BAL19 (Please refer to the Bushfire Management Plan prepared by Bushfire Risk Reducers for further design requirements within the Plan of Development Area);
23. The Plan of Development includes BAL rating for affected lots (supplied by Bushfire Risk Reducers), and also the Bushfire Management Plan; Lots may be affected by bushfire risk, requiring compliance with the relevant Australian Standard; and
24. No part of the dwelling on Lot 468 can encroach past the identified BAL29 line as shown on the Envelope Plans.

Building Height

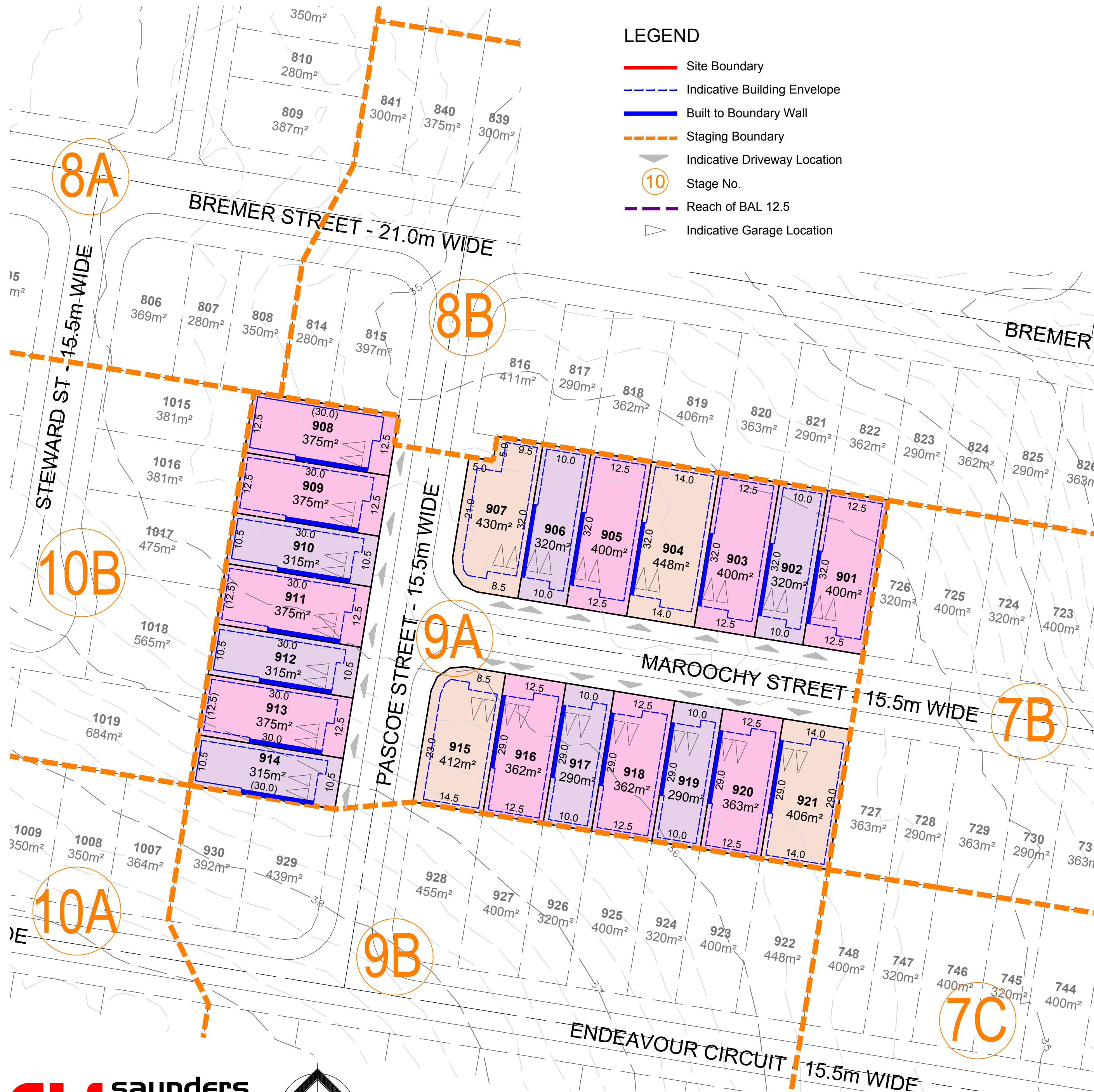
25. Building height must not exceed 9 metres and 2 storeys;
26. Building height is measured from natural ground level; and
27. To avoid any doubt, the natural ground level is taken to be the level of the land when the survey plan creating the subject lot was registered.

Streetscape Presentation

28. Buildings must address each street or park frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:
 - a. Verandahs or porches; and/or
 - b. Awnings or shade structures; and/or
 - c. Variation to roof form; and/or
 - d. Variation in building materials; and/or
 - e. Inclusion of windows to habitable rooms.
31. Letterboxes must be clearly visible and identifiable from the street.

Building Design and Articulation

32. All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following:
- Windows recessed into the façade; and/or
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 - Window Hoods/Screens; and/or
 - Shadow lines are created on the building through minor changes in the facade (100 millimetres minimum).

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NOT TO BE USED FOR ENGINEERING DESIGN
OR CONSTRUCTION

Lots Adjoining Neighbourhood Recreation Park

33. Lots with a common boundary with public open space (being park, drainage or reserve) provide for passive surveillance/overlooking of the open space by inclusion of the following design elements:
- a. Habitable room windows facing the open space;
 - b. For double storey dwellings, balconies overlooking the open space;
 - c. For single storey dwellings, 1.2 metre high fencing with a minimum of 50% transparency along the common boundary with the open space OR aluminium pool fencing to the common boundary with the open space.

Car Parking and Driveways

38. Off-street car parking must be provided for in accordance with the following:
39. Minimum of 2 spaces per dwelling (one of which must be within a garage)
40. Car parking may be provided in tandem;
41. Garages are to be located on the nominated Built-to-Boundary wall side (if applicable);
42. Indicative locations for driveways and garages are nominated on the Plan of Development (Envelope Plans) which should also be interpreted as the primary frontage;
43. If a Built-to-Boundary wall is constructed it must be constructed on the side nominated on the Plan of Development (Envelope Plans);
44. Garages are to be constructed in the location identified within the Plan of Development (Envelope Plans) unless it can be demonstrated there is no conflict with existing services and does not materially affect the footpath/verge grade at or around the site frontage;
45. There is a maximum of one driveway per dwelling unless a corner lot;
46. Driveways must be a minimum of 6 metres from the intersection of a street; and
47. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3 metres for a lot with a single car width garage.

Private Open Space

48. Each detached dwelling has at least one clearly defined outdoor living space which has a minimum area of 12 square metres and a minimum dimension of 3 metres;
49. Private open space must provide visual privacy from another outdoor living space via window or balcony screen; and
50. Private open spaces must be directly accessible from a living area

Fencing

51. Front fencing allows for overlooking of the street and park to provide casual surveillance opportunity;
52. Front fencing has a maximum height of 1.2 metres (where solid) or 1.5 metres (where at least 50% transparent);
53. Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum of 1.8m where the upper 0.3m is 50% transparent.
 - a. Fence must be painted in a colour that compliments the dwelling; and
53. Fencing must be provided along the rear boundary of Interface Lots and will be 1.8m high wooden 'good neighbour' fencing unless otherwise agreed with the adjoining property owner.

Additional Criteria for Multiple Residential Allotments

54. Must comply with Multiple Residential Allotment setbacks.
 55. Buildings must address all street frontages with driveways, pedestrian entries or both.
 56. All dwellings must have a clearly identifiable front door, which is undercover.
 57. Bin storage and clothes drying areas must be located behind a fence and not be visible from any street frontage.
 58. All designs must positively address the street through inclusion of at least three of the following design elements:
 - a. Verandah, porch or portico;
 - b. Awning and shade structures;
 - c. Variation to roof and building lines;
 - d. Inclusion of window openings; or
 - e. Use of varying building materials and treatments
 59. A minimum of two on-site car parking spaces must be provided for each dwelling, one of which must be within a garage.
 60. Each house / dwelling unit has a clearly defined outdoor living space which:
 - a. Has an area of at least:
 - 12m² with a minimum dimension of 2.4m for a 3 or more bedroom house / dwelling unit;
 - 9m² with a minimum dimension of 2.4m for a 2 room or 1 bedroom house / dwelling unit; or
 - 5m² with a minimum dimension of 1.2m for a 1 room or 1 bedroom house / dwelling unit.
 - b. Is accessible from a living area;
 - c. Has a ground slope of not more than 1 in 10; and
 - d. Provides visual privacy from outdoor living spaces on adjacent lots.
- Or communal open space is provided which:
- a. Has an area of at least 25% of the area of the lot; and
 - b. is of a shape which can include a circle with a 4.0m diameter.
61. All dwellings are to include a double street element.
62. Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum of 1.8m where the upper 0.3m is 50% transparent.
- a. Fence must be painted in a colour that compliments the dwelling.

RP DESCRIPTION: Lot 30 on SP309195

SCALE @A1 1:600 @A3 1:1200 - LENGTHS ARE IN METRES

SCALE @A1 1:600 @A3 1:1200 - LENGTHS ARE IN METRES

DALEFORD PROPERTY PTY LTD

MOUNTAIN RIDGE ROAD, SOUTH MACLEAN 05/02/2025 9534 P 03 Rev AM-POD 9A



PLAN OF DEVELOPMENT - STAGE 9B

Notes:

Setbacks and Site Cover

- Setbacks are as per the Plan of Development Table unless otherwise specified;
- Built-to-Boundary walls are nominated on the Plan of Development (Envelope Plans);
- All setbacks are measured to the wall of the structure;
- Houses must be wholly located within the subject lot unless appropriate encroachment rights are secured;
- A lot can have only one primary frontage. Primary frontages are nominated on the Plan of Development (Envelope Plans), being the nominated driveway frontage;
- For corner lots, a secondary frontage may be applicable, however a pedestrian pathway or road reserve that does not contain a road carriageway is not a secondary frontage;
- For lots with a secondary frontage, no building or structure over 2 metres high is to be built within a 6m x 6m truncation at the corner of two road frontages;
- The length of a Built-to Boundary wall is not to exceed 15m or 50% of lot depth.
- Built-to Boundary walls are optional, however if a Built-to Boundary wall is proposed it must be constructed on the side indicated.
- The length of a Built-to Boundary wall is not to exceed 15m or 50% of the lot depth, whichever is the lesser;
- Notwithstanding the setbacks specified in the Plan of Development Table, a 2.4 metre setback is permitted to unenclosed entry features such as porches, porticos, verandahs and balconies;
- Building envelope and setback requirements may be affected by provision of easements for services, which may alter the setback requirements in the Plan of Development Table; and

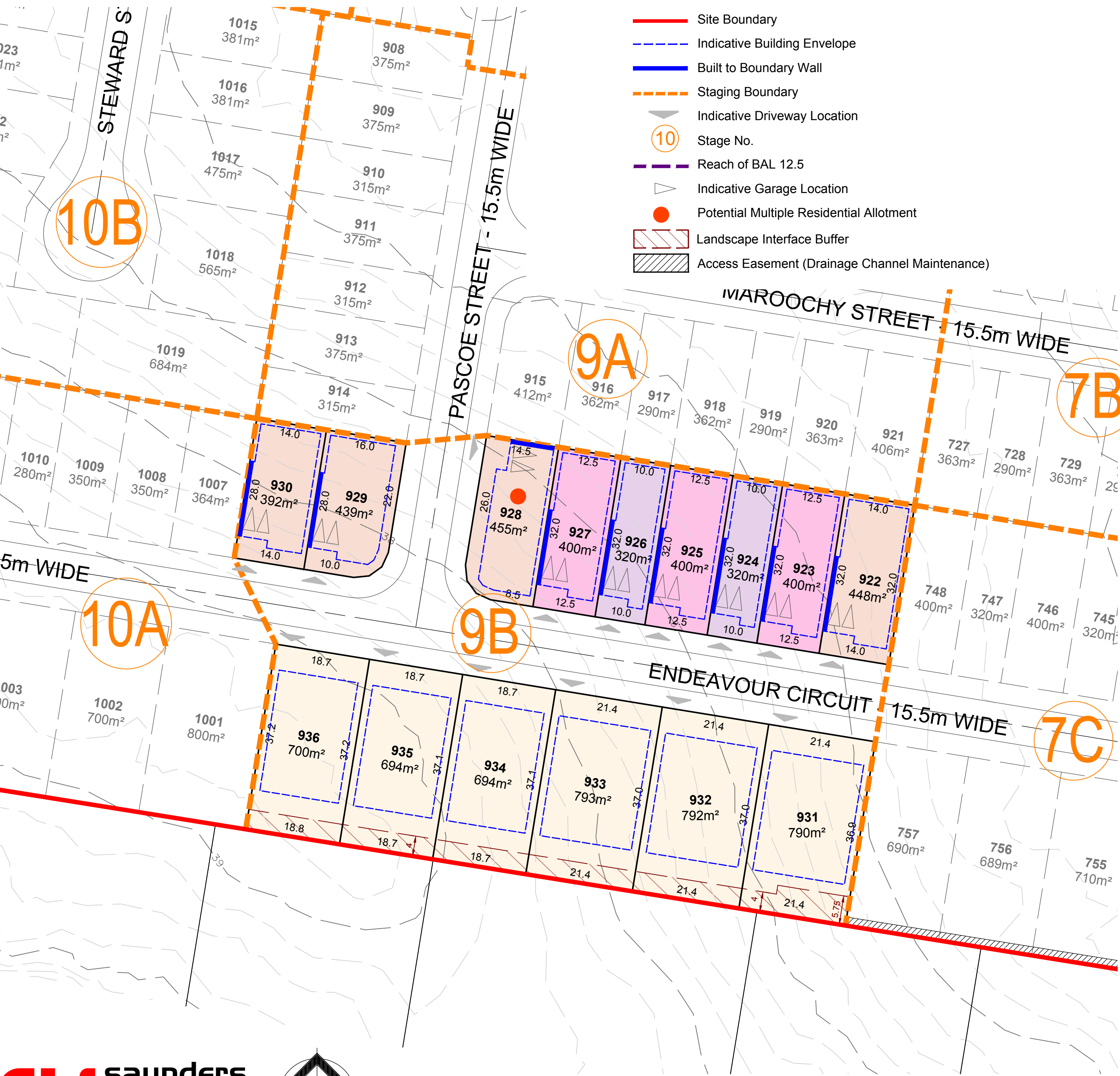
- The maximum area covered by all buildings and structures roofed with impervious materials, does not exceed the site cover nominated within the Plan of Development Table.
- A pedestrian pathway is not consider to be a secondary frontage. This frontage should be taken to be a side boundary.

Interface Lots and Landscape Interface Buffer

- Interface lots are identified on the Plan of Development;
- Interface lots are intended to provide a buffer between higher intensity residential uses within the estate to existing residential development along the southern boundary and part of the eastern boundary;
- Fencing must be provided along the rear boundary of Interface Lots and will be 1.8m high wooden 'good neighbour' fencing unless otherwise agreed with the adjoining property owner;
- Interface lots must include a Landscape Interface Buffer as shown on the Plan of Development plans (refer to the Stage 7, 9 & 10 Rear Boundary Interface Sections, where applicable);
- No buildings or structures are permitted within the Landscape Interface Buffer;
- The Landscape Interface Buffer is to be maintained as a vegetated buffer and must be managed in order to control weeds and pests and ensure no increase in bushfire hazard, in accordance with the Bushfire Management Plan; and
- No vegetation clearing can be undertaken within the Landscape Interface Buffer except for declared weed removal.

LEGEND

- Site Boundary
- Indicative Building Envelope
- Built to Boundary Wall
- Staging Boundary
- Indicative Driveway Location
- Stage No.
- Reach of BAL 12.5
- Indicative Garage Location
- Potential Multiple Residential Allotment
- Landscape Interface Buffer
- Access Easement (Drainage Channel Maintenance)



Bushfire

- For Lots 143, 421 and 468 a separation of a minimum of 12 metres between the unmanaged vegetation hazard and the future dwelling must be provided in order to achieve BAL29. Alternatively, a separation of 18 metres between the unmanaged vegetation hazard to the east of these lots and the future dwelling must be provided in order to achieve BAL19 (Please refer to the Bushfire Management Plan prepared by Bushfire Risk Reducers for further design requirements within the Plan of Development Area);
- The Plan of Development includes BAL rating for affected lots (supplied by Bushfire Risk Reducers), and also the Bushfire Management Plan; Lots may be affected by bushfire risk, requiring compliance with the relevant Australian Standard; and
- No part of the dwelling on Lot 468 can encroach past the identified BAL29 line as shown on the Envelope Plans.

Building Height

- Building height must not exceed 9 metres and 2 storeys;
- Building height is measured from natural ground level; and
- To avoid any doubt, the natural ground level is taken to be the level of the land when the survey plan creating the subject lot was registered.

Streetscape Presentation

- Buildings must address each street or park frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:
 - Verandahs or porches; and/or
 - Awnings or shade structures; and/or
 - Variation to roof form; and/or
 - Variation in building materials; and/or
 - Inclusion of windows to habitable rooms.
- Letterboxes must be clearly visible and identifiable from the street.

Building Design and Articulation

- All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade; and/or
 - Balconies, porches or verandah; and/or
 - Window Hoods/Screens; and/or
 - Shadow lines are created on the building through minor changes in the facade (100 millimetres minimum).

	Villa Lots	Premium Villa Lots	Courtyard Lots	Premium Courtyard Lots	Interface Lots	Multiple Residential Allotments
Front Setback						
To Wall (Ground Floor)	3.0 m	3.0 m	3.0 m	4.0 m	5.0 m	3.0 m
To Wall (First Floor)	3.0 m	3.0 m	3.0 m	4.0 m	5.0 m	3.0 m
Garage	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m
Secondary Frontage						
To Wall (Ground Floor)	1.5 m	2.0 m	2.0 m	2.0 m	3.0 m	1.5 m
To Wall (First Floor)	2.0 m	2.0 m	2.0 m	2.0 m	3.0 m	1.5 m
Garage	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m
Rear Setback						
Ground Floor	0.9m*	0.9m*	0.9m*	0.9m*	8.0 m#	2.0 m
First Floor	1.0 m	1.0 m	1.0 m	1.0 m	8.0 m	2.0 m
Side Setback (BTB)						
Ground Floor	0 - 0.2m	0 - 0.2m	0 - 0.2m	0 - 0.2m	n/a	0 - 0.2m
First Floor	0.9 m	1.0 m	1.0 m	1.0 m	n/a	n/a
Side Setback (non-BTB)						
Ground Floor	0.9 m	1.0 m	1.0 m	1.0 m	1.5 m	1.0 m
First Floor	0.9 m	1.0 m	1.0 m	1.5 m	2.0 m	1.5 m
Site Coverage (Maximum)	75%	75%	60%	60%	50%	75%
Within the above table BTB means Built-to-Boundary wall. If a Built-to-Boundary wall is constructed then the indicated BTB side shown on the Envelope Plans is mandatory not optional.						
* Rear boundary setback to the low side of a stepped retaining wall is to be increased to 2.5 m						
# Rear setback may be reduced by the Landscape Interface Buffer – refer to the Stage 7, 9 & 10 Rear Boundary Interface Sections, where applicable.				for Lot 716 rear setback is 8.39 m		
				for Lot 717 rear setback is 8.39 m		
				for Lot 736 rear setback is 10.99 m		
				for Lot 737 rear setback is 10.8 m		
Setbacks for Lots 421 & 468 is to ensure that the dwelling does not encroach past the identified BAL29 line.						

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NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION

Lots Adjoining Neighbourhood Recreation Park

- Lots with a common boundary with public open space (being park, drainage or reserve) provide for passive surveillance/overlooking of the open space by inclusion of the following design elements:
 - Habitable room windows facing the open space;
 - For double storey dwellings, balconies overlooking the open space;
 - For single storey dwellings, 1.2 metre high fencing with a minimum of 50% transparency along the common boundary with the open space OR aluminium pool fencing to the common boundary with the open space.

Car Parking and Driveways

- Off-street car parking must be provided for in accordance with the following:
- Minimum of 2 spaces per dwelling (one of which must be within a garage)
- Car parking may be provided in tandem;
- Garages are to be located on the nominated Built-to-Boundary wall side (if applicable);
- Indicative locations for driveways and garages are nominated on the Plan of Development (Envelope Plans) which should also be interpreted as the primary frontage;
- If a Built-to-Boundary wall is constructed it must be constructed on the side nominated on the Plan of Development (Envelope Plans);
- Garages are to be constructed in the location identified within the Plan of Development (Envelope Plans) unless it can be demonstrated there is no conflict with existing services and does not materially affect the footpath/verge grade at or around the site frontage;
- There is a maximum of one driveway per dwelling unless a corner lot;
- Driveways must be a minimum of 6 metres from the intersection of a street; and
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3 metres for a lot with a single car width garage.

Private Open Space

- Each detached dwelling has at least one clearly defined outdoor living space which has a minimum area of 12 square metres and a minimum dimension of 3 metres;
- Private open space must provide visual privacy from another outdoor living space via window or balcony screen; and
- Private open spaces must be directly accessible from a living area

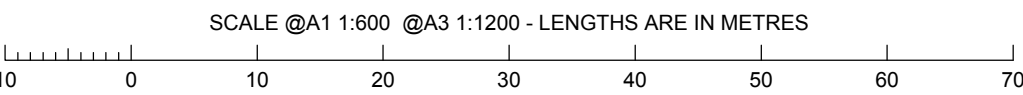
Fencing

- Front fencing allows for overlooking of the street and park to provide casual surveillance opportunity;
- Front fencing has a maximum height of 1.2 metres (where solid) or 1.5 metres (where at least 50% transparent);
- Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum of 1.8m where the upper 0.3m is 50% transparent.
 - Fence must be painted in a colour that compliments the dwelling; and
- Fencing must be provided along the rear boundary of Interface Lots and will be 1.8m high wooden 'good neighbour' fencing unless otherwise agreed with the adjoining property owner.

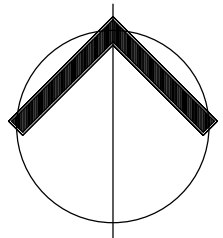
Additional Criteria for Multiple Residential Allotments

- Must comply with Multiple Residential Allotment setbacks.
- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Bin storage and clothes drying areas must be located behind a fence and not be visible from any street frontage.
- All designs must positively address the street through inclusion of at least three of the following design elements:
 - Verandah, porch or portico;
 - Awning and shade structures;
 - Variation to roof and building lines;
 - Inclusion of window openings; or
 - Use of varying building materials and treatments
- A minimum of two on-site car parking spaces must be provided for each dwelling, one of which must be within a garage.
- Each house / dwelling unit has a clearly defined outdoor living space which:
 - Has an area of at least:
 - 12m² with a minimum dimension of 2.4m for a 3 or more bedroom house / dwelling unit;
 - 9m² with a minimum dimension of 2.4m for a 2 room or 1 bedroom house / dwelling unit; or
 - 5m² with a minimum dimension of 1.2m for a 1 room or 1 bedroom house / dwelling unit.
 - Is accessible from a living area;
 - Has a ground slope of not more than 1 in 10; and
 - Provides visual privacy from outdoor living spaces on adjacent lots.
- Or communal open space is provided which:
 - Has an area of at least 25% of the area of the lot; and
 - Is of a shape which can include a circle with a 4.0m diameter.
- All dwellings are to include a double story element.
- Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum of 1.8m where the upper 0.3m is 50% transparent.
 - Fence must be painted in a colour that compliments the dwelling.

RP DESCRIPTION: Lot 30 on SP309195



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PLAN OF DEVELOPMENT - STAGE 10A

Notes:

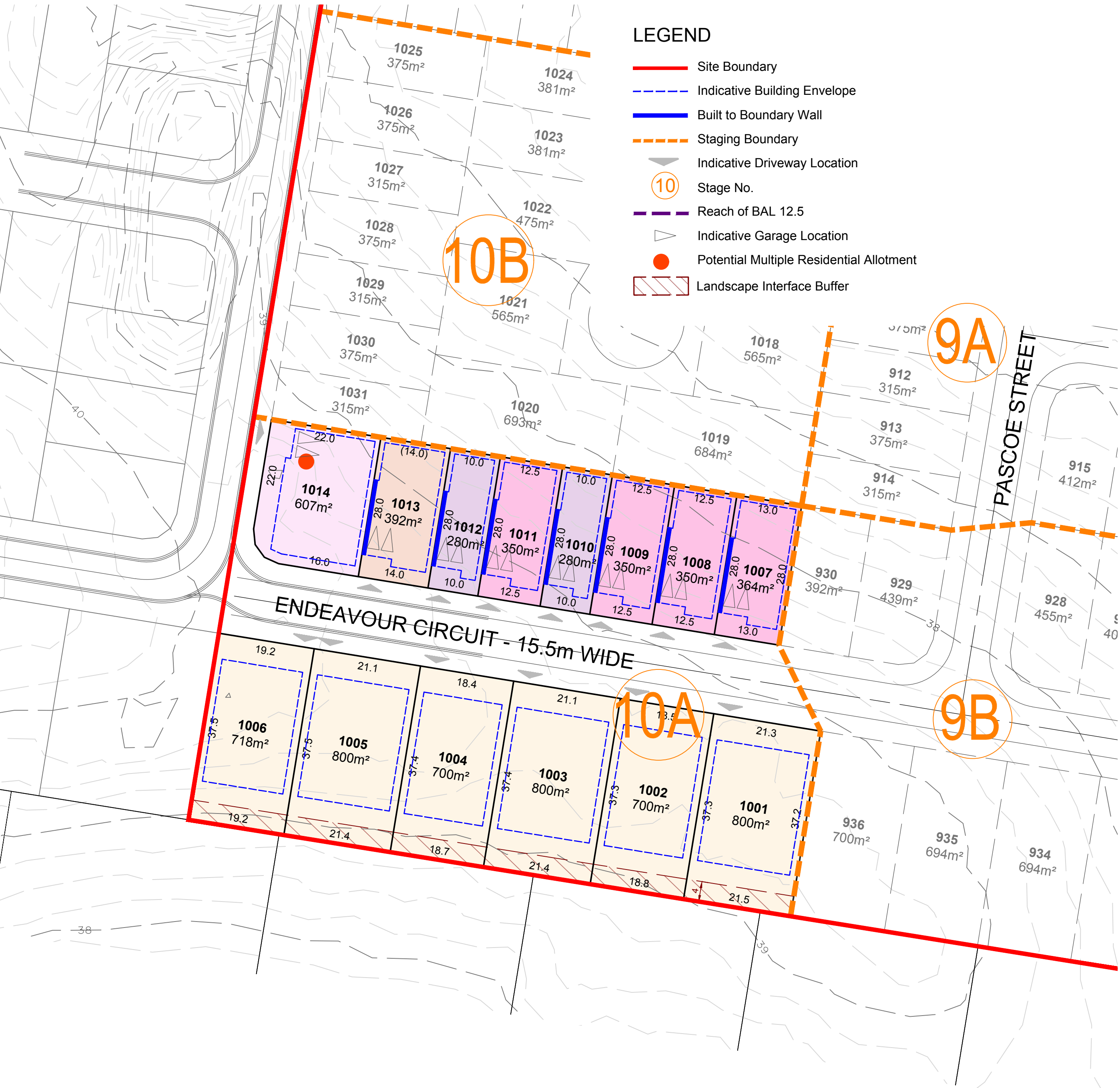
Setbacks and Site Cover

- 1. Setbacks are as per the Plan of Development Table unless otherwise specified;
- 2. Built-to-Boundary walls are nominated on the Plan of Development (Envelope Plans);
- 3. All setbacks are measured to the wall of the structure;
- 4. Houses must be wholly located within the subject lot unless appropriate encroachment rights are secured;
- 5. A lot can have only one primary frontage. Primary frontages are nominated on the Plan of Development (Envelope Plans), being the nominated driveway frontage;
- 6. For corner lots, a secondary frontage may be applicable, however a pedestrian pathway or road reserve that does not contain a road carriageway is not a secondary frontage;
- 7. For lots with a secondary frontage, no building or structure over 2 metres high is to be built within a 6m x 6m truncation at the corner of two road frontages;
- 8. The length of a Built-to Boundary wall is not to exceed 15m or 50% of lot depth.
- 9. Built-to Boundary walls are optional, however if a Built-to Boundary wall is proposed it must be constructed on the side indicated.
- 10. The length of a Built to Boundary wall is not to exceed 15m or 50% of the lot depth, whichever is the lesser;
- 11. Notwithstanding the setbacks specified in the Plan of Development Table, a 2.4 metre setback is permitted to unenclosed entry features such as porches, porticos, verandahs and balconies;
- 12. Building envelope and setback requirements may be affected by provision of easements for services, which may alter the setback requirements in the Plan of Development Table; and

- 13. The maximum area covered by all buildings and structures roofed with impervious materials, does not exceed the site cover nominated within the Plan of Development Table.
- 14. A pedestrian pathway is not consider to be a secondary frontage. This frontage should be taken to be a side boundary.

Interface Lots and Landscape Interface Buffer

- 15. Interface lots are identified on the Plan of Development;
- 16. Interface lots are intended to provide a buffer between higher intensity residential uses within the estate to existing residential development along the southern boundary and part of the eastern boundary;
- 17. Fencing must be provided along the rear boundary of Interface Lots and will be 1.8m high wooden 'good neighbour' fencing unless otherwise agreed with the adjoining property owner;
- 18. Interface lots must include a Landscape Interface Buffer as shown on the Plan of Development plans (refer to the Stage 7, 9 & 10 Rear Boundary Interface Sections, where applicable);
- 19. No buildings or structures are permitted within the Landscape Interface Buffer;
- 20. The Landscape Interface Buffer is to be maintained as a vegetated buffer and must be managed in order to control weeds and pests and ensure no increase in bushfire hazard, in accordance with the Bushfire Management Plan; and
- 21. No vegetation clearing can be undertaken within the Landscape Interface Buffer except for declared weed removal.



Bushfire

- 22. For Lots 143, 421 and 468 a separation of a minimum of 12 metres between the unmanaged vegetation hazard and the future dwelling must be provided in order to achieve BAL29. Alternatively, a separation of 18 metres between the unmanaged vegetation hazard to the east of these lots and the future dwelling must be provided in order to achieve BAL19 (Please refer to the Bushfire Management Plan prepared by Bushfire Risk Reducers for further design requirements within the Plan of Development Area);
- 23. The Plan of Development includes BAL rating for affected lots (supplied by Bushfire Risk Reducers), and also the Bushfire Management Plan; Lots may be affected by bushfire risk, requiring compliance with the relevant Australian Standard; and
- 24. No part of the dwelling on Lot 468 can encroach past the identified BAL29 line as shown on the Envelope Plans.

Building Height

- 25. Building height must not exceed 9 metres and 2 storeys;
- 26. Building height is measured from natural ground level; and
- 27. To avoid any doubt, the natural ground level is taken to be the level of the land when the survey plan creating the subject lot was registered.

Streetscape Presentation

- 28. Buildings must address each street or park frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:
 - a. Verandahs or porches; and/or
 - b. Awnings or shade structures; and/or
 - c. Variation to roof form; and/or
 - d. Variation in building materials; and/or
 - e. Inclusion of windows to habitable rooms.
- 31. Letterboxes must be clearly visible and identifiable from the street.

Building Design and Articulation

- 32. All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following:
 - a. Windows recessed into the façade; and/or
 - b. Balconies, porches or verandah; and/or
 - c. Window Hoods/Screens; and/or
 - d. Shadow lines are created on the building through minor changes in the facade (100 millimetres minimum).

	Villa Lots	Premium Villa Lots	Courtyard Lots	Premium Courtyard Lots	Interface Lots	Multiple Residential Allotments
Front Setback						
To Wall (Ground Floor)	3.0 m	3.0 m	3.0 m	4.0 m	5.0 m	3.0 m
To Wall (First Floor)	3.0 m	3.0 m	3.0 m	4.0 m	5.0 m	3.0 m
Garage	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m
Secondary Frontage						
To Wall (Ground Floor)	1.5 m	2.0 m	2.0 m	2.0 m	3.0 m	1.5 m
To Wall (First Floor)	2.0 m	2.0 m	2.0 m	2.0 m	3.0 m	1.5 m
Garage	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m
Rear Setback						
Ground Floor	0.9m*	0.9m*	0.9m*	0.9m*	8.0 m#	2.0 m
First Floor	1.0 m	1.0 m	1.0 m	1.0 m	8.0 m	2.0 m
Side Setback (BTB)						
Ground Floor	0 - 0.2m	0 - 0.2m	0 - 0.2m	0 - 0.2m	n/a	0 - 0.2m
First Floor	0.9 m	1.0 m	1.0 m	1.0 m	n/a	n/a
Side Setback (non-BTB)						
Ground Floor	0.9 m	1.0 m	1.0 m	1.0 m	1.5 m	1.0 m
First Floor	0.9 m	1.0 m	1.0 m	1.5 m	2.0 m	1.5 m
Site Coverage (Maximum)	75%	75%	60%	60%	50%	75%
Within the above table BTB means Built-to-Boundary wall. If a Built-to-Boundary wall is constructed then the indicated BTB side shown on the Envelope Plans is mandatory not optional.						
* Rear boundary setback to the low side of a stepped retaining wall is to be increased to 2.5 m						
# Rear boundary setback may be reduced by the Landscape Interface Buffer – refer to the Stage 7, 9 & 10 Rear Boundary Interface Sections, where applicable.				for Lot 716 rear setback is 8.39 m		
				for Lot 717 rear setback is 8.39 m		
				for Lot 736 rear setback is 10.99 m		
				for Lot 737 rear setback is 10.8 m		
Setbacks for Lots 421 & 468 is to ensure that the dwelling does not encroach past the identified BAL29 line.						

DISCLAIMER:

BAL Ratings are adopted from the Bushfire Management Plan.

Saunders Havill Group takes no responsibility for the bushfire hazard lines (BAL Ratings) shown on this plan. For further information about bushfire risk please contact Bushfire Risk Reducers.

NOT TO BE USED FOR ENGINEERING DESIGN OR CONSTRUCTION

Lots Adjoining Neighbourhood Recreation Park

- 33. Lots with a common boundary with public open space (being park, drainage or reserve) provide for passive surveillance/overlooking of the open space by inclusion of the following design elements:
 - a. Habitable room windows facing the open space;
 - b. For double storey dwellings, balconies overlooking the open space;
 - c. For single storey dwellings, 1.2 metre high fencing with a minimum of 50% transparency along the common boundary with the open space OR aluminium pool fencing to the common boundary with the open space.

Car Parking and Driveways

- 38. Off-street car parking must be provided for in accordance with the following:
- 39. Minimum of 2 spaces per dwelling (one of which must be within a garage)
- 40. Car parking may be provided in tandem;
- 41. Garages are to be located on the nominated Built-to-Boundary wall side (if applicable);
- 42. Indicative locations for driveways and garages are nominated on the Plan of Development (Envelope Plans) which should also be interpreted as the primary frontage;
- 43. If a Built-to-Boundary wall is constructed it must be constructed on the side nominated on the Plan of Development (Envelope Plans);
- 44. Garages are to be constructed in the location identified within the Plan of Development (Envelope Plans) unless it can be demonstrated there is no conflict with existing services and does not materially affect the footpath/verge grade at or around the site frontage;
- 45. There is a maximum of one driveway per dwelling unless a corner lot;
- 46. Driveways must be a minimum of 6 metres from the intersection of a street; and
- 47. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3 metres for a lot with a single car width garage.

Private Open Space

- 48. Each detached dwelling has at least one clearly defined outdoor living space which has a minimum area of 12 square metres and a minimum dimension of 3 metres;
- 49. Private open space must provide visual privacy from another outdoor living space via window or balcony screen; and
- 50. Private open spaces must be directly accessible from a living area

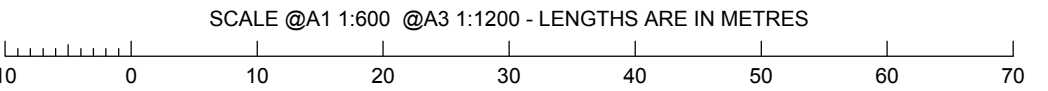
Fencing

- 51. Front fencing allows for overlooking of the street and park to provide casual surveillance opportunity;
- 52. Front fencing has a maximum height of 1.2 metres (where solid) or 1.5 metres (where at least 50% transparent);
- 53. Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum of 1.8m where the upper 0.3m is 50% transparent.
 - a. Fence must be painted in a colour that compliments the dwelling; and
- 53. Fencing must be provided along the rear boundary of Interface Lots and will be 1.8m high wooden 'good neighbour' fencing unless otherwise agreed with the adjoining property owner.

Additional Criteria for Multiple Residential Allotments

- 54. Must comply with Multiple Residential Allotment setbacks.
 - 55. Buildings must address all street frontages with driveways, pedestrian entries or both.
 - 56. All dwellings must have a clearly identifiable front door, which is undercover.
 - 57. Bin storage and clothes drying areas must be located behind a fence and not be visible from any street frontage.
 - 58. All designs must positively address the street through inclusion of at least three of the following design elements:
 - a. Verandah, porch or portico;
 - b. Awning and shade structures;
 - c. Variation to roof and building lines;
 - d. Inclusion of window openings; or
 - e. Use of varying building materials and treatments
 - 59. A minimum of two on-site car parking spaces must be provided for each dwelling, one of which must be within a garage.
 - 60. Each house / dwelling unit has a clearly defined outdoor living space which:
 - a. Has an area of at least:
 - 12m² with a minimum dimension of 2.4m for a 3 or more bedroom house / dwelling unit;
 - 9m² with a minimum dimension of 2.4m for a 2 room or 1 bedroom house / dwelling unit; or
 - 5m² with a minimum dimension of 1.2m for a 1 room or 1 bedroom house / dwelling unit.
 - b. Is accessible from a living area;
 - c. Has a ground slope of not more than 1 in 10; and
 - d. Provides visual privacy from outdoor living spaces on adjacent lots.
- Or communal open space is provided which:
- a. Has an area of at least 25% of the area of the lot; and
 - b. is of a shape which can include a circle with a 4.0m diameter.
- 61. All dwellings are to include a double story element.
 - 62. Fencing along primary and secondary street frontages (where it adjoins private open space) must be a minimum 1.5m high solid screen fencing and may extend up to a maximum of 1.8m where the upper 0.3m is 50% transparent.
 - a. Fence must be painted in a colour that compliments the dwelling.

RP DESCRIPTION: Lot 30 on SP309195



DALEFORD PROPERTY PTY LTD



PLAN OF DEVELOPMENT - STAGE 10B

Notes:

Setbacks and Site Cover

- 1. Setbacks are as per the Plan of Development Table unless otherwise specified;
- 2. Built-to-Boundary walls are nominated on the Plan of Development (Envelope Plans);
- 3. All setbacks are measured to the wall of the structure;
- 4. Houses must be wholly located within the subject lot unless appropriate encroachment rights are secured;
- 5. A lot can have only one primary frontage. Primary frontages are nominated on the Plan of Development (Envelope Plans), being the nominated driveway frontage;
- 6. For corner lots, a secondary frontage may be applicable, however a pedestrian pathway or road reserve that does not contain a road carriageway is not a secondary frontage;
- 7. For lots with a secondary frontage, no building or structure over 2 metres high is to be built within a 6m x 6m truncation at the corner of two road frontages;
- 8. The length of a Built-to Boundary wall is not to exceed 15m or 50% of lot depth.
- 9. Built-to Boundary walls are optional, however if a Built-to Boundary wall is proposed it must be constructed on the side indicated.
- 10. The length of a Built-to Boundary wall is not to exceed 15m or 50% of the lot depth, whichever is the lesser;
- 11. Notwithstanding the setbacks specified in the Plan of Development Table, a 2.4 metre setback is permitted to unenclosed entry features such as porches, porticos, verandahs and balconies;
- 12. Building envelope and setback requirements may be affected by provision of easements for services, which may alter the setback requirements in the Plan of Development Table; and

- 13. The maximum area covered by all buildings and structures roofed with impervious materials, does not exceed the site cover nominated within the Plan of Development Table.
- 14. A pedestrian pathway is not consider to be a secondary frontage. This frontage should be taken to be a side boundary.

Interface Lots and Landscape Interface Buffer

- 15. Interface lots are identified on the Plan of Development;
- 16. Interface lots are intended to provide a buffer between higher intensity residential uses within the estate to existing residential development along the southern boundary and part of the eastern boundary;
- 17. Fencing must be provided along the rear boundary of Interface Lots and will be 1.8m high wooden 'good neighbour' fencing unless otherwise agreed with the adjoining property owner;
- 18. Interface lots must include a Landscape Interface Buffer as shown on the Plan of Development plans (refer to the Stage 7, 9 & 10 Rear Boundary Interface Sections, where applicable);
- 19. No buildings or structures are permitted within the Landscape Interface Buffer;
- 20. The Landscape Interface Buffer is to be maintained as a vegetated buffer and must be managed in order to control weeds and pests and ensure no increase in bushfire hazard, in accordance with the Bushfire Management Plan; and
- 21. No vegetation clearing can be undertaken within the Landscape Interface Buffer except for declared weed removal.

Bushfire

- 22. For Lots 143, 421 and 468 a separation of a minimum of 12 metres between the unmanaged vegetation hazard and the future dwelling must be provided in order to achieve BAL29. Alternatively, a separation of 18 metres between the unmanaged vegetation hazard to the east of these lots and the future dwelling must be provided in order to achieve BAL19 (Please refer to the Bushfire Management Plan prepared by Bushfire Risk Reducers for further design requirements within the Plan of Development Area);
- 23. The Plan of Development includes BAL rating for affected lots (supplied by Bushfire Risk Reducers), and also the Bushfire Management Plan; Lots may be affected by bushfire risk, requiring compliance with the relevant Australian Standard; and
- 24. No part of the dwelling on Lot 468 can encroach past the identified BAL29 line as shown on the Envelope Plans.

Building Height

- 25. Building height must not exceed 9 metres and 2 storeys;
- 26. Building height is measured from natural ground level; and
- 27. To avoid any doubt, the natural ground level is taken to be the level of the land when the survey plan creating the subject lot was registered.

Streetscape Presentation

- 28. Buildings must address each street or park frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:
 - a. Verandahs or porches; and/or
 - b. Awnings or shade structures; and/or
 - c. Variation to roof form; and/or
 - d. Variation in building materials; and/or
 - e. Inclusion of windows to habitable rooms.
- 31. Letterboxes must be clearly visible and identifiable from the street.

Building Design and Articulation

- 32. All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following:
 - a. Windows recessed into the façade; and/or
 - b. Balconies, porches or verandah; and/or
 - c. Window Hoods/Screens; and/or
 - d. Shadow lines are created on the building through minor changes in the facade (100 millimetres minimum).

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Private Open Space

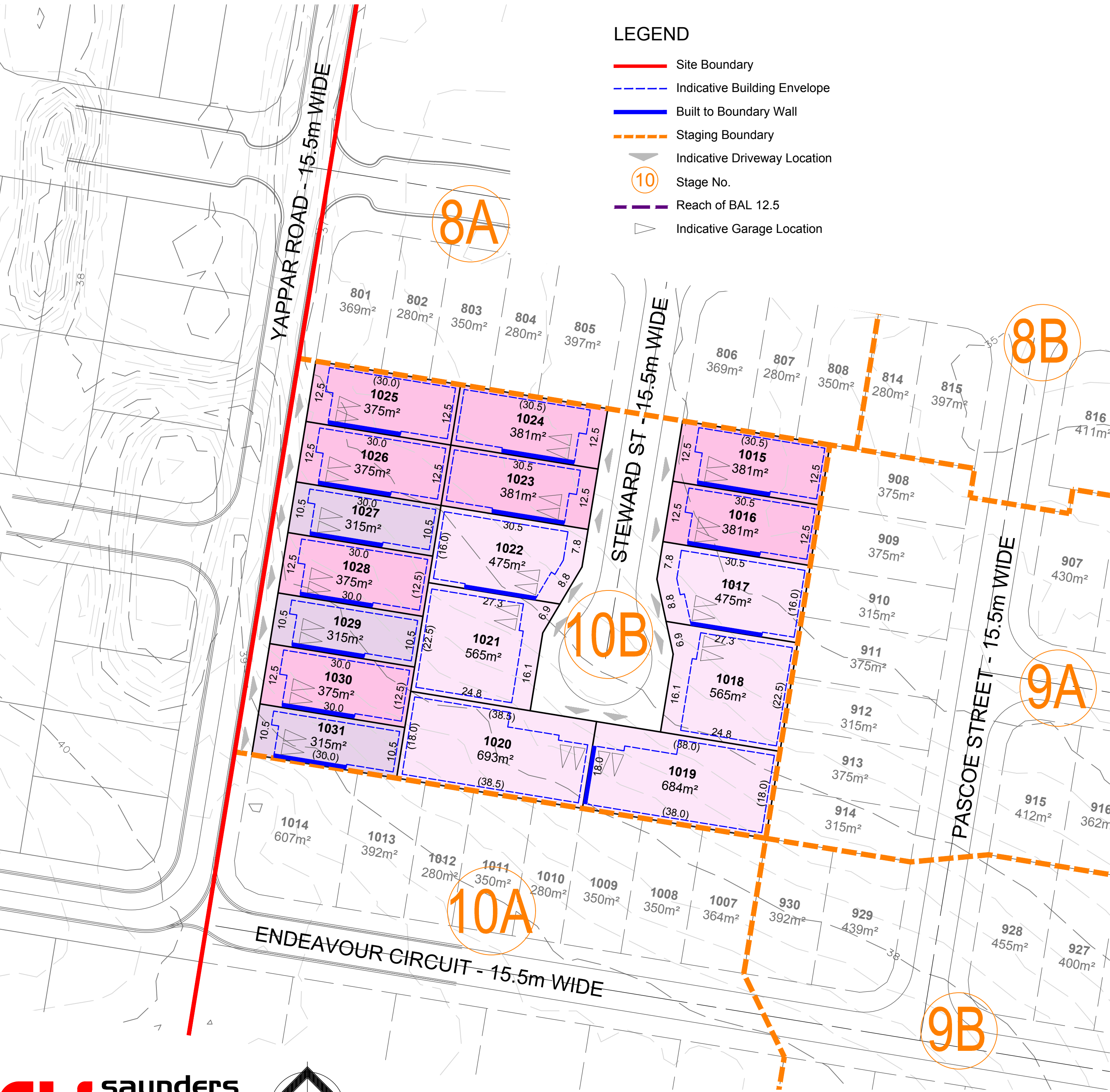
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 - 12m² with a minimum dimension of 2.4m for a 3 or more bedroom house / dwelling unit;
 - 9m² with a minimum dimension of 2.4m for a 2 room or 1 bedroom house / dwelling unit; or
 - 5m² with a minimum dimension of 1.2m for a 1 room or 1 bedroom house / dwelling unit.
 - b. Is accessible from a living area;
 - c. Has a ground slope of not more than 1 in 10; and
 - d. Provides visual privacy from outdoor living spaces on adjacent lots.
- Or communal open space is provided which:
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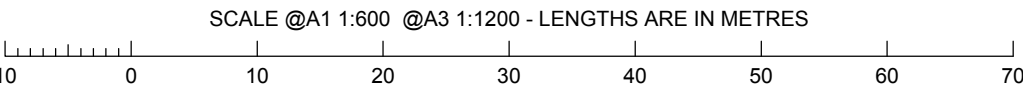
	Villa Lots	Premium Villa Lots	Courtyard Lots	Premium Courtyard Lots	Interface Lots	Multiple Residential Allotments
Front Setback						
To Wall (Ground Floor)	3.0 m	3.0 m	3.0 m	4.0 m	5.0 m	3.0 m
To Wall (First Floor)	3.0 m	3.0 m	3.0 m	4.0 m	5.0 m	3.0 m
Garage	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m
Secondary Frontage						
To Wall (Ground Floor)	1.5 m	2.0 m	2.0 m	2.0 m	3.0 m	1.5 m
To Wall (First Floor)	2.0 m	2.0 m	2.0 m	2.0 m	3.0 m	1.5 m
Garage	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m	5.0 m
Rear Setback						
Ground Floor	0.9m*	0.9m*	0.9m*	0.9m*	8.0 m#	2.0 m
First Floor	1.0 m	1.0 m	1.0 m	1.0 m	8.0 m	2.0 m
Side Setback (BTB)						
Ground Floor	0 - 0.2m	0 - 0.2m	0 - 0.2m	0 - 0.2m	n/a	0 - 0.2m
First Floor	0.9 m	1.0 m	1.0 m	1.0 m	n/a	n/a
Side Setback (non-BTB)						
Ground Floor	0.9 m	1.0 m	1.0 m	1.0 m	1.5 m	1.0 m
First Floor	0.9 m	1.0 m	1.0 m	1.5 m	2.0 m	1.5 m
Site Coverage (Maximum)	75%	75%	60%	60%	50%	75%
Within the above table BTB means Built-to-Boundary wall. If a Built-to-Boundary wall is constructed then the indicated BTB side shown on the Envelope Plans is mandatory not optional.						
* Rear boundary setback to the low side of a stepped retaining wall is to be increased to 2.5 m						
# Rear setback may be reduced by the Landscape Interface Buffer – refer to the Stage 7, 9 & 10 Rear Boundary Interface Sections, where applicable.				for Lot 716 rear setback is 8.39 m		
				for Lot 717 rear setback is 8.39 m		
				for Lot 736 rear setback is 10.99 m		
				for Lot 737 rear setback is 10.8 m		
Setbacks for Lots 421 & 468 is to ensure that the dwelling does not encroach past the identified BAL29 line.						

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RP DESCRIPTION: Lot 30 on SP309195



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