Flourish

CHANGE OF LEVEL OF LAND
STAGES 1-4
No. 37502-CLLN

SCHEDULE OF DRAWINGS

NUMBER	REV. NO.	TITLE
GENERAL		
37502-CLLN-000	A	COVER SHEET
EARTHWORKS: EXISTING FEATURES & DEMOLITION		
37502-CLLN-020	A	PLAN SHEET 01
EARTHWORKS: BULK EARTHWORKS CUT FILL		
37502-CLLN-040	B	PLAN SHEET 01
37502-CLLN-041	B	PLAN SHEET 02
37502-CLLN-042	B	PLAN SHEET 03
37502-CLLN-043	B	PLAN SHEET 04
EARTHWORKS: BULK EARTHWORK SECTIONS		
37502-CLLN-050	B	EARTHWORKS SECTION KEY PLAN
37502-CLLN-051	B	SECTIONS SHEET 01
37502-CLLN-052	B	SECTIONS SHEET 02
37502-CLLN-053	B	SECTIONS SHEET 03
37502-CLLN-054	C	SECTIONS SHEET 04
EARTHWORKS: RETAINING WALL & DETAIL GRADING		
37502-CLLN-060	B	PLAN SHEET 01
37502-CLLN-061	C	PLAN SHEET 02
37502-CLLN-062	C	PLAN SHEET 03
37502-CLLN-063	B	PLAN SHEET 04
37502-CLLN-064	B	PLAN SHEET 05
37502-CLLN-065	B	PLAN SHEET 06
37502-CLLN-066	B	PLAN SHEET 07
37502-CLLN-067	B	PLAN SHEET 08
37502-CLLN-068	C	PLAN SHEET 09
37502-CLLN-070	C	DETAILS SHEET 01
37502-CLLN-071	A	DETAILS SHEET 02
EARTHWORKS: FINAL SURFACE & SEDIMENT AND EROSION CONTROL		
37502-CLLN-080	A	PLAN SHEET 01
37502-CLLN-081	A	PLAN SHEET 02
37502-CLLN-082	A	PLAN SHEET 03
37502-CLLN-083	A	PLAN SHEET 04
STORMWATER		
37502-CLLN-670	C	37502-CLLN-670 - PLAN SHEET 01

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Civil Engineering
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COMPASS ASSURANCE ISO 9001 QUALITY

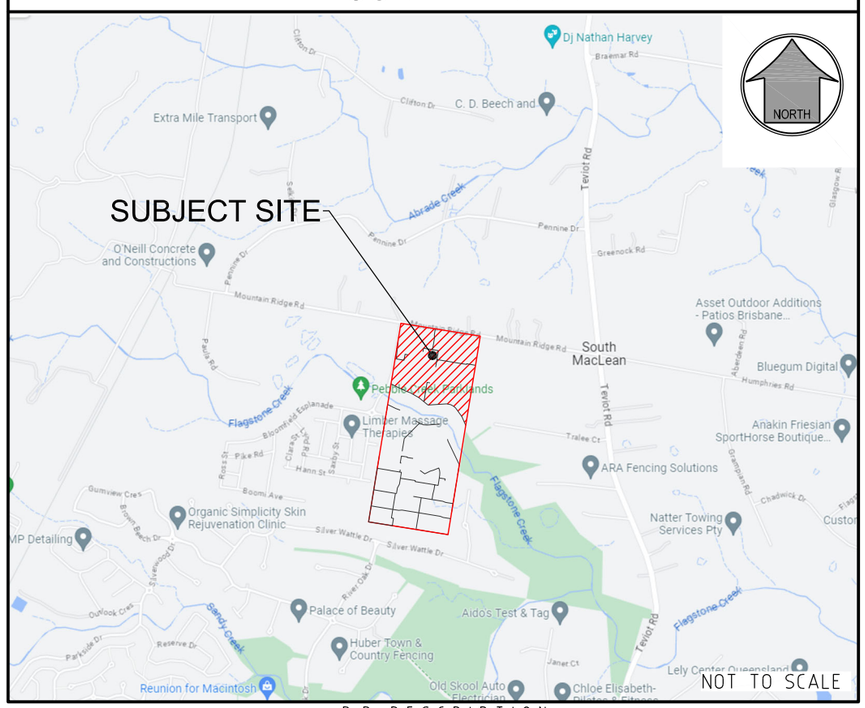
CLIENT

CEDAR WOODS
DEVELOPING TOMORROW TODAY

SUB-CONSULTANTS

SAUNDERS HAVILL
SLR
PETER EUSTACE & ASSOCIATES

LOCALITY PLAN



R. P. DESCRIPTION
PART OF LOT 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

DRAWING NUMBER	AMEND.
37502-CLLN-000	A

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GENERAL

1. EXISTING SERVICES - EXTERNAL WORKS
   THE LOCATIONS OF ALL EXISTING SERVICES WITHIN THE WORK AREA SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION COMMENCING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE RELEVANT AUTHORITIES & TO ENSURE THAT THE EXISTING SERVICES ARE NOT DAMAGED OR DISTURBED IN ANY WAY BY THE CONTRACT WORKS.
2. EXISTING STRUCTURES
   ALL EXISTING STRUCTURES & ASSOCIATED INFRASTRUCTURE TO BE REMOVED & DISPOSED OF OFF SITE.
3. EXISTING DAMS
   EXISTING DAMS TO BE DEWATERED. ALL SILT & DEBRIS ARE TO BE REMOVED & LAWFULLY DISPOSED OF TO A TIP OFF SITE, OR INCORPORATED INTO THE SITE EARTHWORKS AT THE DIRECTION OF THE GEOTECHNICAL ENGINEER. REPLACEMENT FILL IS TO BE LOCATED & COMPACTED IN ACCORDANCE WITH LOCAL COUNCIL'S SPECIFICATIONS.

NOTE:
CONTRACTOR TO MAKE ALL NECESSARY ALLOWANCES FOR LOCATION AND PROTECTION OF EXISTING SERVICES DURING WORKS.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING FENCE
- EXISTING KERB
- EXISTING EDGE OF BITUMEN
- CONTROL LINE / CENTER OF ROAD
- EXISTING FOOTPATH
- EXISTING EDGE OF VEGETATION
- RM — EXISTING RISING MAIN
- S — EXISTING SEWER
- SW — EXISTING STORMWATER
- W — EXISTING WATER
- G — EXISTING GAS
- E — EXISTING UNDERGROUND ELECTRICITY
- E — EXISTING OVERHEAD ELECTRICITY
- T — EXISTING TELSTRA
- C — EXISTING COMMUNICATIONS
- 1.0 — EXISTING CONTOURS
- RM — DEMOLISH RISING MAIN
- S — DEMOLISH SEWER
- SW — DEMOLISH STORMWATER
- W — DEMOLISH WATER
- G — DEMOLISH GAS
- E — DEMOLISH UNDERGROUND ELECTRICITY
- E — DEMOLISH OVERHEAD ELECTRICITY
- T — DEMOLISH TELSTRA
- C — DEMOLISH COMMUNICATIONS
- SITE BOUNDARY
- STAGE BOUNDARY
- LIMIT OF WORKS BOUNDARY
- TREE PROTECTION FENCE
- EXISTING TREES

NOTE:
TREE CLEARING IS INDICATIVE ONLY AND SUBJECT TO ITS OWN SPECIFIC DOCUMENTATION (BY OTHERS) AND APPROVAL..

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PROJECT NAME

Flourish

CHANGE OF LEVEL OF LAND
STAGES 1-4

RP DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

CEDAR WOODS
DEVELOPING TOMORROW TODAY

NORTH

0 10 20 30 40 50m
Scale 1:1000 - A1 (1:2000 - A3)

REV	DATE	DESCRIPTION	INIT
A	2-02-24	COUNCIL ISSUE	RK

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DRAWING TITLE

EXISTING FEATURES
AND DEMOLITION
PLAN
SHEET 01

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DESIGNED	GW	DRAWN	RK
APPROVED	RPEQ 4706	DATE	2-02-24

DRAWING NUMBER: 37502-CLLN-020
REV: A

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EARTHWORKS

1. TOPSOIL STRIPPING
   TOPSOIL SHALL BE STRIPPED ACROSS THE ENTIRE LIMIT OF THE EARTHWORKS CUT & FILL AREAS & SHALL BE STOCKPILED IN A LOCATION APPROVED BY THE SUPERINTENDENT. THE EXISTING STRATA IS TO BE TREATED IN ACCORDANCE WITH THE SPECIFICATION PRIOR TO PLACING ANY FILL.
2. EARTHWORKS LEVELS
   EARTHWORKS LEVELS SHOWN ON DRAWINGS ARE TO FINISHED SURFACE LEVELS & INCLUDE 100mm OF TOPSOIL.
3. COMPACTION STANDARD
   SITE FILLING & TRENCH BACKFILL SHALL BE COMPACTED TO THE STANDARDS OUTLINED IN THE LOCAL AUTHORITY'S SPECIFICATIONS. FILL BATTER FACES ARE TO BE OVERFILLED, COMPACTED & CUT BACK TO DESIGN LEVELS. ALL CUT BATTERS ARE TO BE CUT BACK & TRIMMED TO DESIGN LEVELS.
4. PAVEMENT DEPTHS
   THE DESIGN PAVEMENT DEPTHS ALLOWED IN EARTHWORKS CALCULATIONS ARE BASED ON THE DEPTHS SHOWN IN THE SCHEDULE OF PAVEMENT DEPTHS. THE PAVEMENT DEPTHS GIVEN ARE DESIGN DEPTHS ONLY & MAY BE VARIED AFTER SUB GRADE TESTS ARE TAKEN & AUTHORITY APPROVAL.
5. TESTING & CERTIFICATION
   ALL COMPACTION TESTING SHALL BE CARRIED OUT BY AN APPROVED N.A.T.A. TESTING AUTHORITY. ALL SITE FILLING SHALL BE TESTED AT LEVEL 1 REQUIREMENTS. THE CONTRACTOR IS TO PROVIDE ALL REQUIRED EARTHWORKS CERTIFICATIONS IN ACCORDANCE WITH THE APPROVAL CONDITIONS. THE CONTRACTOR IS TO PROVIDE A CONSTRUCTED EARTHWORKS SLOPE STABILITY CERTIFICATION CONFIRMING REQUIRED F.O.S. CERTIFIED BY A RPEQ.
6. TOPSOIL REPLACEMENT
   ALL FOOTPATHS, BATTERS & ALLOTMENT CUT & FILL AREAS SHALL BE TOPSOILED WITH TOPSOIL FROM ONSITE STOCKPILES, & AMELIORATE SOIL AS NECESSARY TO ENSURE GRASS STRIKE.
7. GRASSING
   ALL CUT/FILL AREAS, DISTURBED AREAS & TRENCHED AREAS SHALL BE GRASSED TO THE SATISFACTION OF THE SUPERINTENDENT & LOCAL AUTHORITY.
8. ROCK
   THE CONTRACTOR IS TO INCLUDE ROCK EXCAVATION AS PART OF THEIR EARTHWORKS RATE.
9. EARTHWORKS ZONE
   THE FOLLOWING ACTIVITIES ARE PROHIBITED OUTSIDE THE EARTHWORKS ZONE - STORAGE & MIXING OF MATERIALS, VEHICLE PARKING, LIQUID DISPOSAL, MACHINERY REPAIRS/REFUELING, PLACEMENT OF SITE OFFICES OR SHEDS, COMBUSTION OF ANY MATERIAL, STOCKPILING OF SOIL, RUBBLE OR DEBRIS, ANY FILLING OR EXCAVATION INCLUDING TRENCHES, TOPSOIL, SKIMMING AND/OR SURFACE EXCAVATION UNLESS OTHERWISE APPROVED BY THE RELEVANT AUTHORITY.
10. CONSTRUCTION - STOCKPILING
    TEMPORARY SILT FENCE TO BE ERECTED 5m FROM TOE OF BATTER ON LOW SIDE OF STOCKPILING. STOCKPILE SITE TO BE CLEAR OF ADJACENT PROPERTY BOUNDARIES SO AS NOT TO CAUSE A NUISANCE TO ADJOINING PROPERTIES. NO STOCKPILES ARE TO BE LOCATED WITHIN THE TREE PROTECTION ZONE, REFER VEGETATION MANAGEMENT PLAN FOR MORE DETAILS. THE CONTRACTOR SHALL NOT CREATE STOCKPILES OF SURPLUS MATERIALS UNLESS DIRECTED BY THE SUPERINTENDENT. ALL MATERIALS ARISING FROM THE WORKS SHALL BE COMPACTED TO FUTURE FILL AREAS AS NOMINATED OR REMOVED FROM THE SITE.
11. TOPSOIL SCREENING
    TOPSOIL SHALL BE SCREENED BY THE CONTRACTOR WHEN DIRECTED BY THE SUPERINTENDENT. ALL UNSUITABLE MATERIAL SCREENED FROM THE TOPSOIL WILL BE TAKEN TO AN OFFSITE TIP BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE.
12. EARTHWORKS MATERIAL SIZE
    ALL EARTHWORKS MATERIAL IS TO BE BROKEN DOWN TO AN ACCEPTABLE SIZE TO BE COMPACTED UNDER LEVEL 1 FILL. WHERE THE RELEVANT GUIDELINES DON'T SPECIFY AN ACCEPTABLE SIZE, EARTHWORKS MATERIAL IS TO BE BROKEN DOWN TO A SIZE NO LARGER THAN 75mm.
13. MOISTURE CONTENT
    EARTHWORKS MOISTURE VARIATION TO NOT EXCEED ±2% OF THE OPTIMUM MOISTURE CONTENT.
14. SURFACE FINISH
    THE FINISHED SURFACE LEVEL IS TO BE CAPPED WITH FINER MATERIAL & SMOOTH DRUM ROLLED & GRADED TO PROMOTE SURFACE WATER RUNOFF IN A CONTROLLED MANNER.
15. EARTHWORKS LIMITS
    THE CONTRACTOR IS TO TIE IN TO THE NATURAL SURFACE AT THE LIMIT OF THE EARTHWORKS. THE TIE IN IS TO BE COMPLETED IN A MANNER TO ENSURE THERE IS NO PONDING OF SURFACE WATER.
16. IMPORTED MATERIAL
    LOTS - ALL IMPORTED MATERIAL FOR PLACEMENT ON LOTS TO BE A MINIMUM CBR 10 MATERIAL & HAVE A SWELL % <1.5.
    ROADS - ALL IMPORTED MATERIAL FOR PLACEMENT ON ROADS TO BE A MINIMUM CBR10 MATERIAL WITH A SWELL % <1.5, LIQUID LIMIT <70 & PLASTICITY IDEX <45.
    SOIL PARAMETERS TO BE REVIEWED BY THE SITE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT ON SITE.
17. REACTIVE SOILS
    a) ALL REACTIVE TOPSOIL TO BE IDENTIFIED BY THE GEOTECHNICAL ENGINEER & BE SEPARATED FROM THE NON REACTIVE TOPSOIL.
    b) ALL REACTIVE TOPSOIL TO BE RESPREAD IN THE OPEN SPACE AREA. WHERE REACTIVE TOPSOIL IS REQUIRED TO BE RESPREAD ON DEVELOPABLE AREAS THE CONTRACTOR SHALL LIME TREAT THE TOPSOIL TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
    c) WHEN UNDERTAKING THE EARTHWORKS CUT, ALL MATERIALS SHOULD BE SELECTIVELY SORTED SO THAT THE REACTIVE SOILS ARE SEPARATED FROM THE LOW REACTIVE RESIDUAL SOILS & XW BEDROCK.
    d) ALL REACTIVE SOILS ARE TO BE PLACED IN THE LOWER SECTIONS OF FILL WITH THE LESS REACTIVE RESIDUAL SOILS & XW BEDROCK TO BE PLACE IN THE UPPER FILLS. ALTERNATIVELY, THE REACTIVE SOILS CAN BE BLENDED WITH THE LESS REACTIVE SOILS & XW ROCK TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
    e) NO REACTIVE CLAY SOILS SHOULD BE PLACED WITHIN THE UPPER 0.75M APPROX. FILL PROFILE WHERE POSSIBLE.
    f) WHEN PLACING FILL OVER HIGHLY REACTIVE SOILS, TREATMENT MAY BE REQUIRED IF THE FILLS ARE ONLY MINOR, 0.3m APPROX. & THE REACTIVE SOIL PROFILE IS GREATER THAN 0.7m APPROX. IN THESE AREAS SUBGRADE REPLACEMENT OF AT LEAST 0.75m OF NON REACTIVE / LOW REACTIVE MATERIAL OVERLYING THE REACTIVE SOILS SHALL BE UNDERTAKEN.
    g) ALL WORKS ASSOCIATED WITH THE IDENTIFICATION, PLACEMENT & TREATMENT OF REACTIVE SOILS SHALL BE UNDERTAKEN TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
18. VERTICAL FACES
    WHERE VERTICAL EARTHWORKS FACES ARE PROPOSED AS PART OF THE EARTHWORKS DESIGN & RETAINING WALLS ARE NOT PROPOSED AS PART OF THE WORKS, THE CIVIL CONTRACTOR IS TO CONSTRUCT A TEMPORARY 1 in 2 BATTER.
19. EARTHWORKS VOLUMES
    a. EARTHWORKS VOLUMES CONTAINED WITHIN THE CONTRACT DOCUMENTS ARE APPROXIMATE ONLY, CONTRACTOR TO VERIFY & ALLOW FOR ANY DISCREPANCY IN THE CONTRACT VALUE.
    b. VOLUMES INDICATE THE STRUCTURAL QUANTITY OF EARTHWORKS, IE BETWEEN THE EXISTING SURFACE & THE UNDERSIDE OF THE MINIMUM BOX & OF THE FSL, AS PRESCRIBED IN THE CONTRACT DOCUMENTATION.
    c. NO ALLOWANCE FOR COMPACTION OR BULKING FACTOR IS INCLUDED IN THE EARTHWORKS VOLUMES. THE CONTRACTOR IS TO MAKE ALLOWANCES FOR BULKING/COMPACTION AS PART OF THEIR CONTRACT WORKS.
    d. THE CONTRACTOR IS TO VERIFY EXISTING SURFACE & TOPSOIL DISTRIBUTION PRIOR TO SIGNING THE CONTRACT. THE CONTRACTORS PRICE FOR THESE WORKS IS DEEMED TO BE ACCEPTING OF THE NATURAL SURFACE & TOPSOIL DISTRIBUTION.
    e. THE CONTRACTOR IS REQUIRED TO EXPORT / IMPORT AS NEEDED TO ACHIEVE THE FINAL SURFACE LEVELS. THE EXPORT/IMPORT AS REQUIRED TO COMPLETE EARTHWORKS FORMS PART OF THE CONTRACT WORKS.
    f. WHERE NO SPOIL AREA IS AVAILABLE WITHIN THE PROJECT FOOTPRINT, THE CIVIL CONTRACTOR SHALL EXPORT EXCESS MATERIALS TO A LICENCED TIP OFF SITE. THESE WORKS FORM PART OF THE CONTRACT WORKS.

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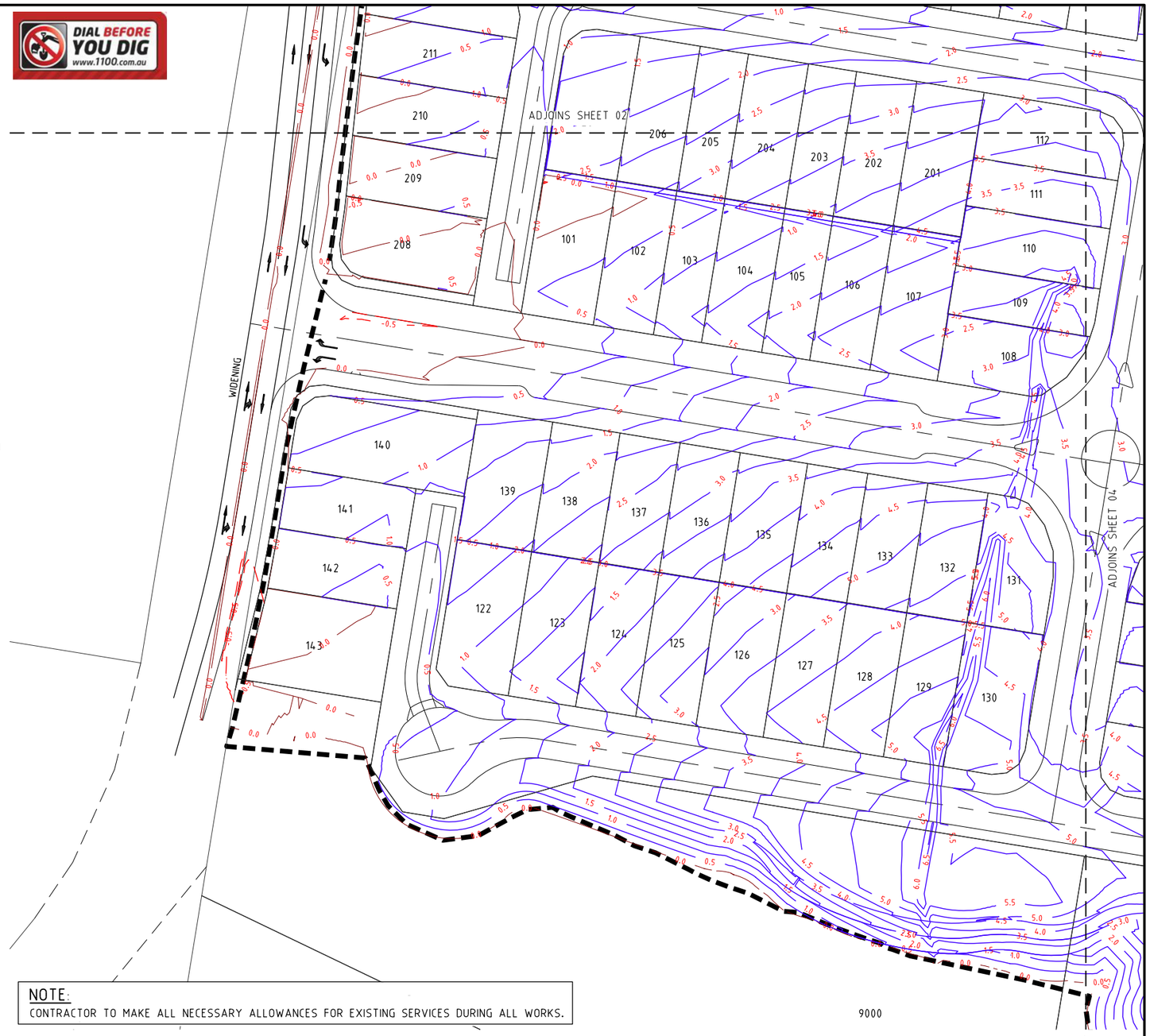
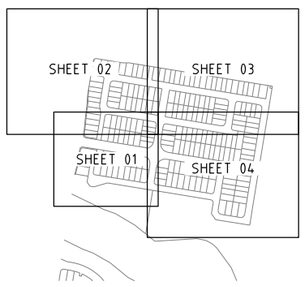


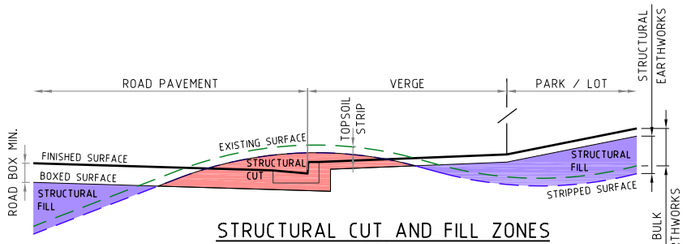
NOTE:
CONTRACTOR TO MAKE ALL NECESSARY ALLOWANCES FOR EXISTING SERVICES DURING ALL WORKS.

SHEET LAYOUT

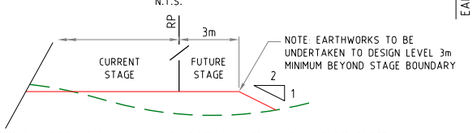


LEGEND

- EXISTING PROPERTY LINE
- EXISTING KERB (INVERT)
- FUTURE KERB (INVERT)
- FUTURE PROPERTY LINE
- SITE BOUNDARY
- STAGE BOUNDARY
- LIMIT OF EARTHWORKS BOUNDARY
- PROPOSED PROPERTY LINE
- PROPOSED KERB (INVERT)
- -0.5 CUT CONTOUR
- 0.0 INTERFACE CONTOUR
- 0.5 FILL CONTOUR



STRUCTURAL CUT AND FILL ZONES
N.T.S.



TEMPORARY BATTER BEYOND STAGE WORKS
N.T.S.

PROJECT NAME
Flourish
CHANGE OF LEVEL OF LAND
STAGES 1-4

RP DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT
CEDAR WOODS
DEVELOPING TOMORROW TODAY

NORTH

0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

REV	DATE	DESCRIPTION	INT
B	11-02-25	LAYOUT & CUT FILL AMENDED	GB
A	2-02-24	COUNCIL ISSUE	RK

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PETER EUSTACE & ASSOCIATES

DRAWING TITLE
EARTHWORKS
CUT TO FILL
PLAN
SHEET 01

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DESIGNED GW | DRAWN RK
APPROVED RPEQ 4706 | DATE 2-02-24
DRAWING NUMBER 37502-CLLN-040 | REV B

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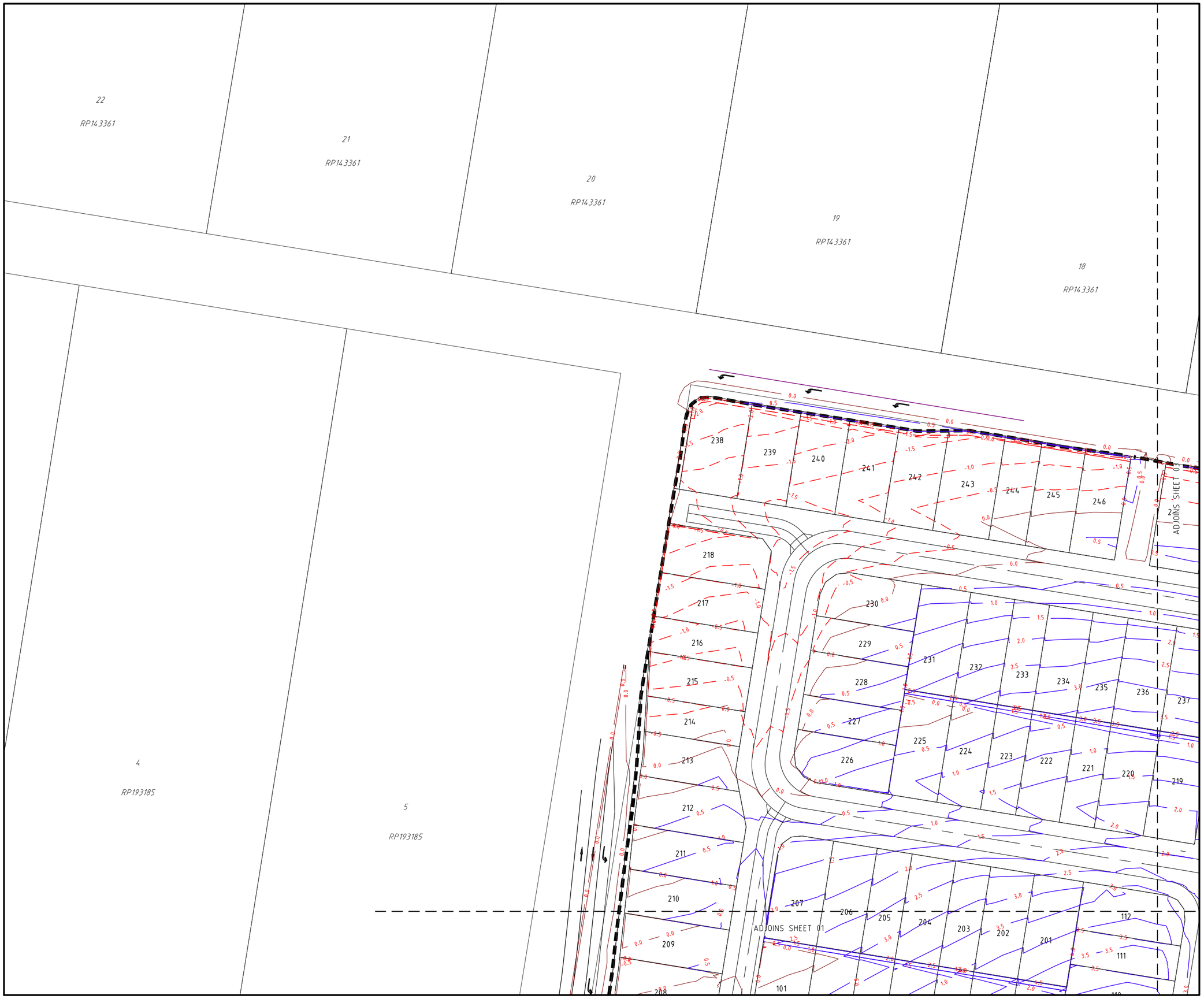

PROJECT NAME

Flourish

CHANGE OF LEVEL OF LAND
STAGES 1-4

RP DESCRIPTION

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MOUNTAIN RIDGE ROAD
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DRAWING TITLE

EARTHWORKS
CUT TO FILL
PLAN
SHEET 02

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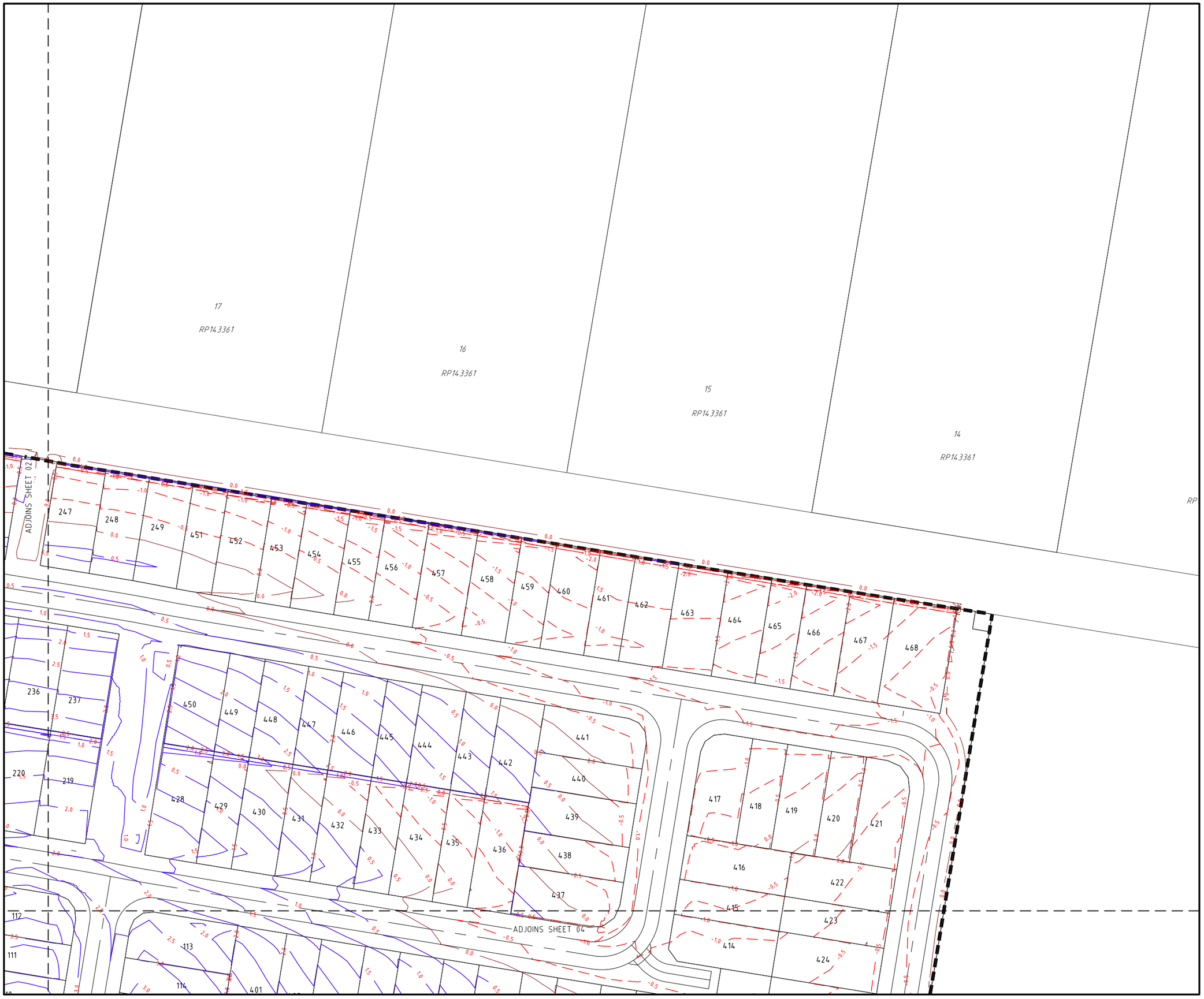

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DRAWING TITLE

EARTHWORKS
CUT TO FILL
PLAN
SHEET 03

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APPROVED	RPEQ 4706	DATE 2-02-24

DRAWING NUMBER	REV
37502-CLLN-042	B

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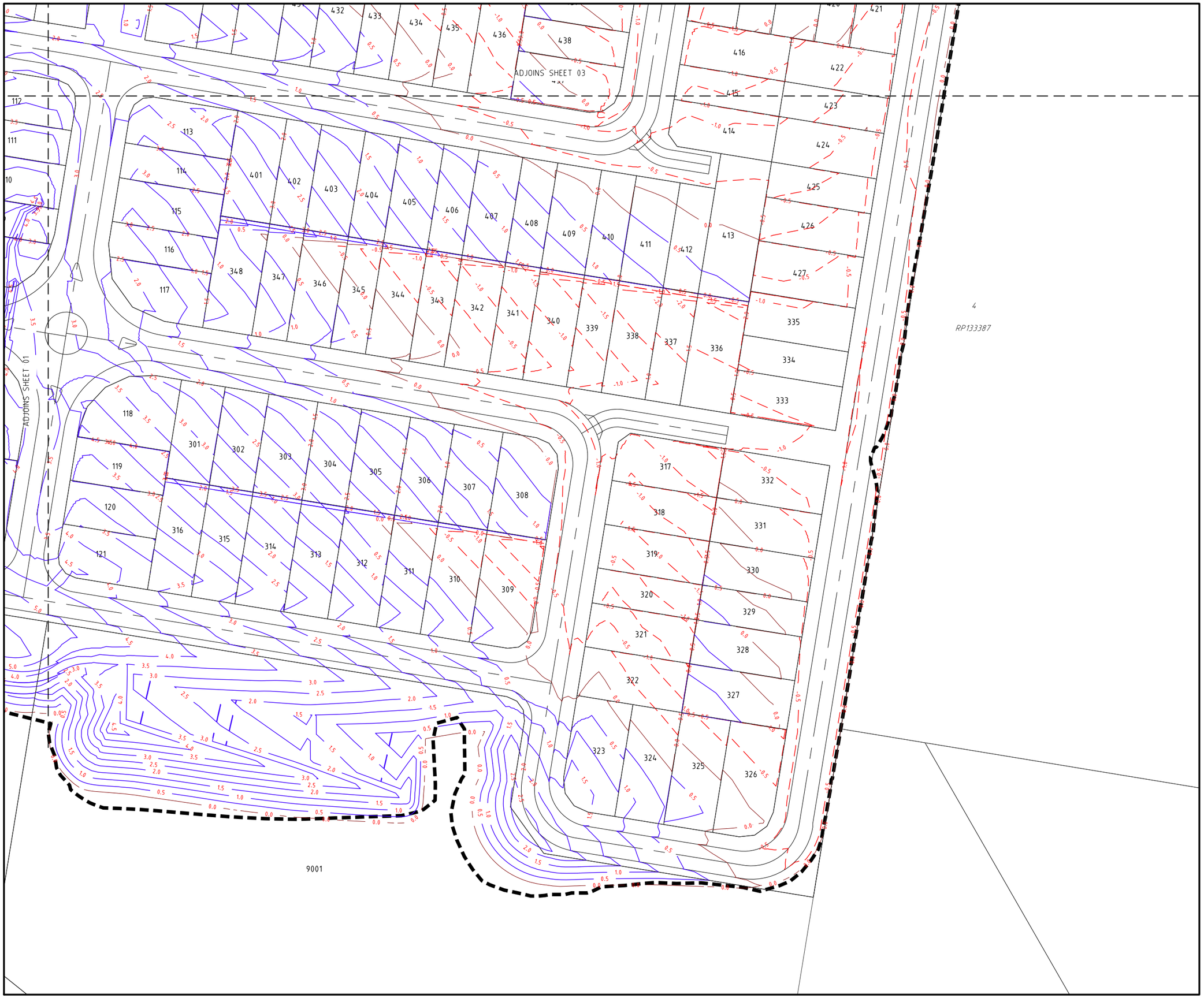

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DRAWING TITLE

EARTHWORKS
CUT TO FILL
PLAN
SHEET 04

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LEGEND

- EXISTING KERB (INVERT)
- EXISTING PROPERTY LINE
- 1.0 EXISTING CONTOURS
- FUTURE KERB (INVERT)
- FUTURE PROPERTY LINE
- 1.0 FUTURE CONTOURS
- PROPOSED KERB (INVERT)
- PROPOSED PROPERTY LINE
- PROPOSED RETAINING WALL
- PROPOSED TWO TIER RETAINING WALL
- PROPOSED BOULDER WALL
- 1.0 DESIGN CONTOURS
- SITE BOUNDARY
- STAGE BOUNDARY

PROJECT NAME

Flourish

CHANGE OF LEVEL OF LAND
STAGES 1-4

RP DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

CEDAR WOODS
DEVELOPING TOMORROW TODAY

NORTH

0 10 20 30 40 50m
Scale 1:1000 - A1 (1:2000 - A3)

REV	DATE	DESCRIPTION	INT
B	11-02-25	LAYOUT AMENDED	GB
A	2-02-24	COUNCIL ISSUE	RK

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ASSOCIATED CONSULTANTS

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SLR
PETER EUSTACE & ASSOCIATES

DRAWING TITLE

BULK EARTHWORKS
SECTION
KEY PLAN

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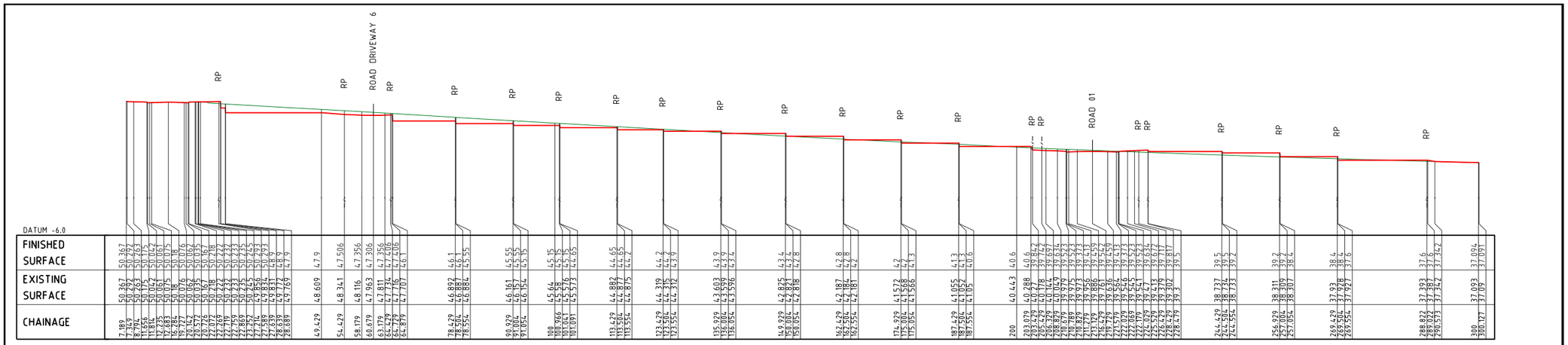
APPROVED	RPEQ 4706	DATE 2-02-24

DRAWING NUMBER	REV
37502-CLLN-050	B

f:\autocad client\375- cedar woods properties\02 - mountain ridge road\Overall\engineering drawings\all north\Current\37502-CLLN-050.dwg, EARTHWORKS SECTION KEY PLAN, 20/02/2025 4:27:38 PM, 1:2



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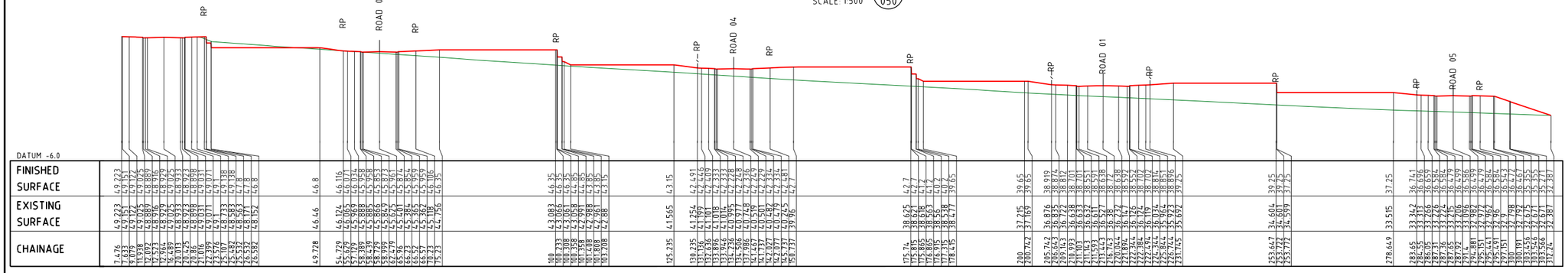

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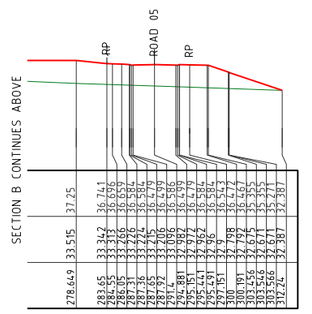

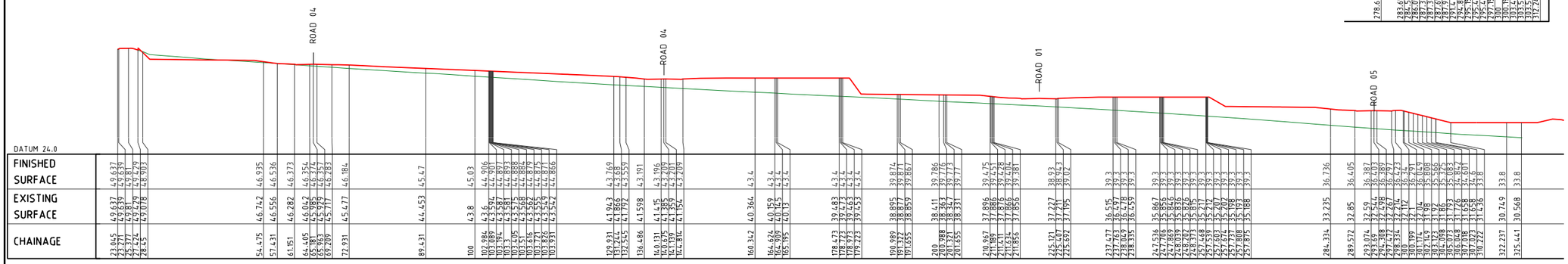

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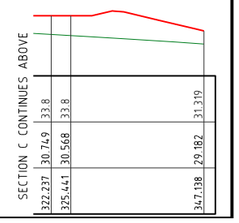

PROJECT NAME

Flourish

CHANGE OF LEVEL OF LAND
STAGES 1-4

RP DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

CEDAR WOODS
DEVELOPING TOMORROW TODAY

0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

REV	DATE	DESCRIPTION	INT
B	11-02-25	SECTIONS UPDATED	GB
A	2-02-24	COUNCIL ISSUE	RK

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DRAWING TITLE

BULK EARTHWORKS
SECTIONS
SHEET 01

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APPROVED | RPEQ 4706 | DATE 2-02-24

DRAWING NUMBER 37502-CLLN-051 | REV B

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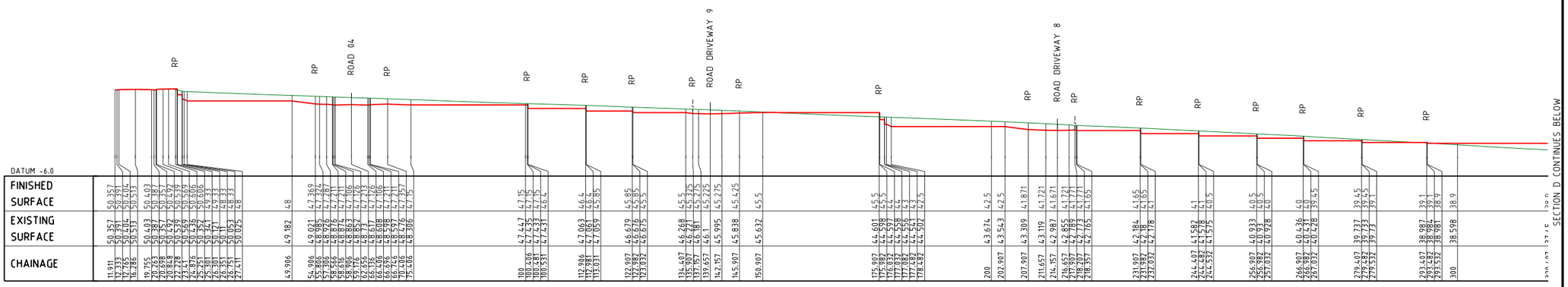

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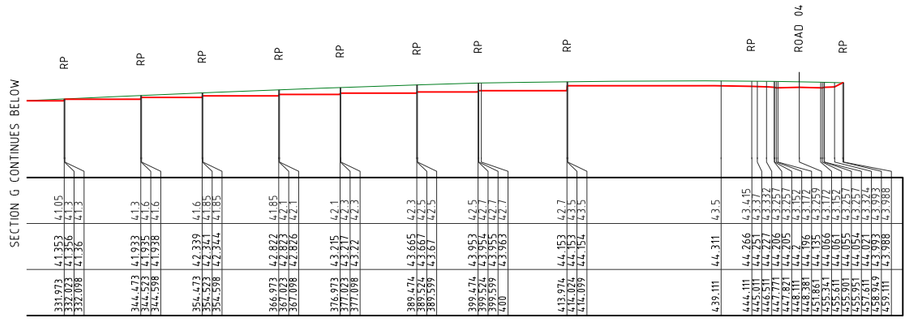

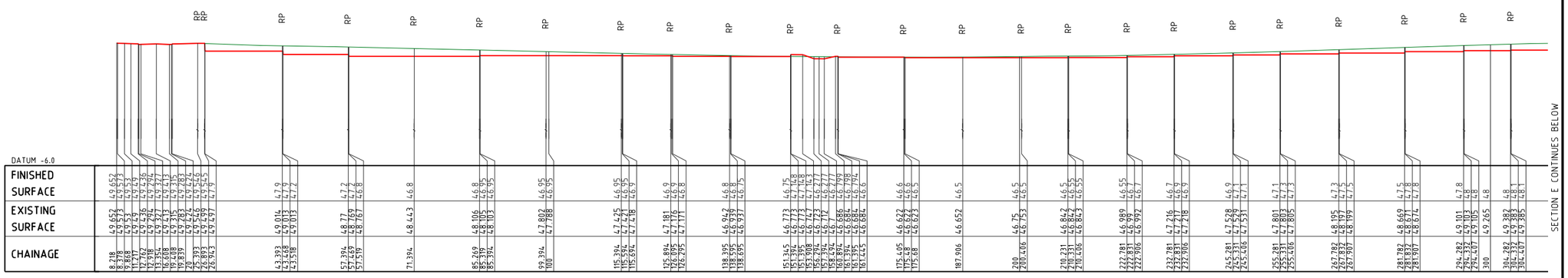

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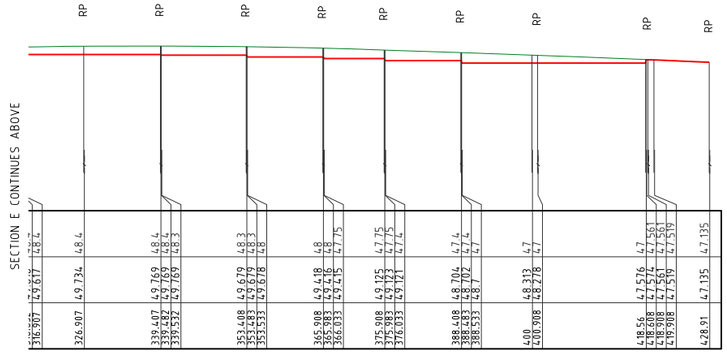

PROJECT NAME

Flourish

CHANGE OF LEVEL OF LAND
STAGES 1-4

RP DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

CEDAR WOODS
DEVELOPING TOMORROW TODAY

0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

REV	DATE	DESCRIPTION	INT
B	11-02-25	SECTIONS UPDATED	GB
A	2-02-24	COUNCIL ISSUE	RK

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DRAWING TITLE

BULK EARTHWORKS
SECTIONS
SHEET 02

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APPROVED | RPEQ 4706 | DATE 2-02-24

DRAWING NUMBER 37502-CLLN-052 | REV B

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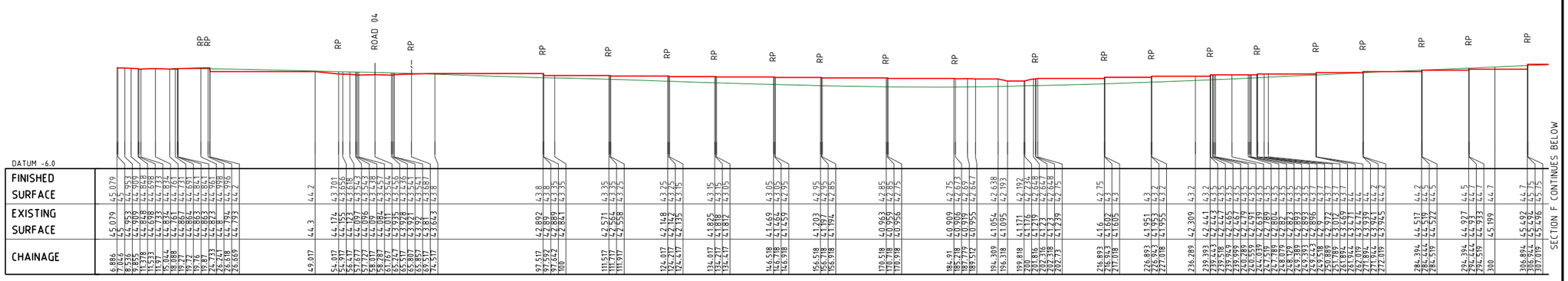
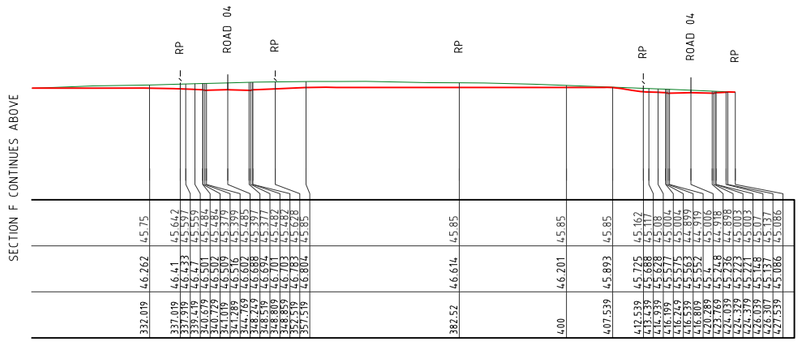
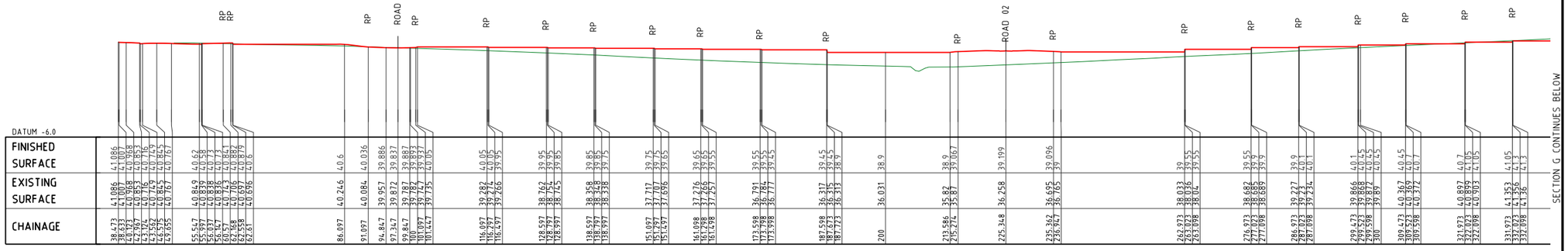


SECTION F
SCALE: 1:500
050





SECTION G
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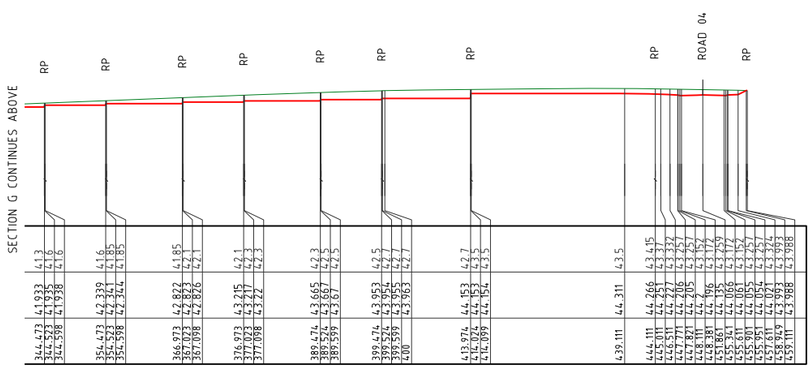

PROJECT NAME

Flourish

CHANGE OF LEVEL OF LAND
STAGES 1-4

RP DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

CEDAR WOODS
DEVELOPING TOMORROW TODAY

0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

REV	DATE	DESCRIPTION	INT
B	11-02-25	SECTIONS UPDATED	GB
A	2-02-24	COUNCIL ISSUE	RK

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DRAWING TITLE

BULK EARTHWORKS
SECTIONS
SHEET 03

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DESIGNED GW	DRAWN RK
APPROVED	RPEQ 4706	DATE 2-02-24

DRAWING NUMBER	REV
37502-CLLN-053	B

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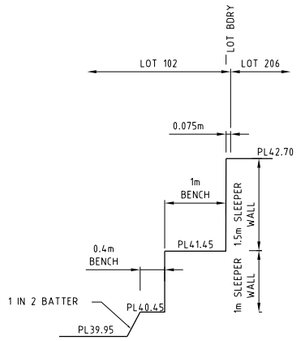
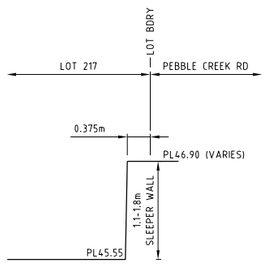


SECTION P1 061
SCALE: 1:50



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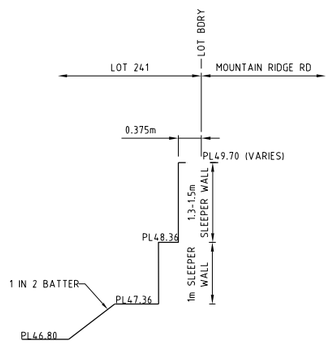

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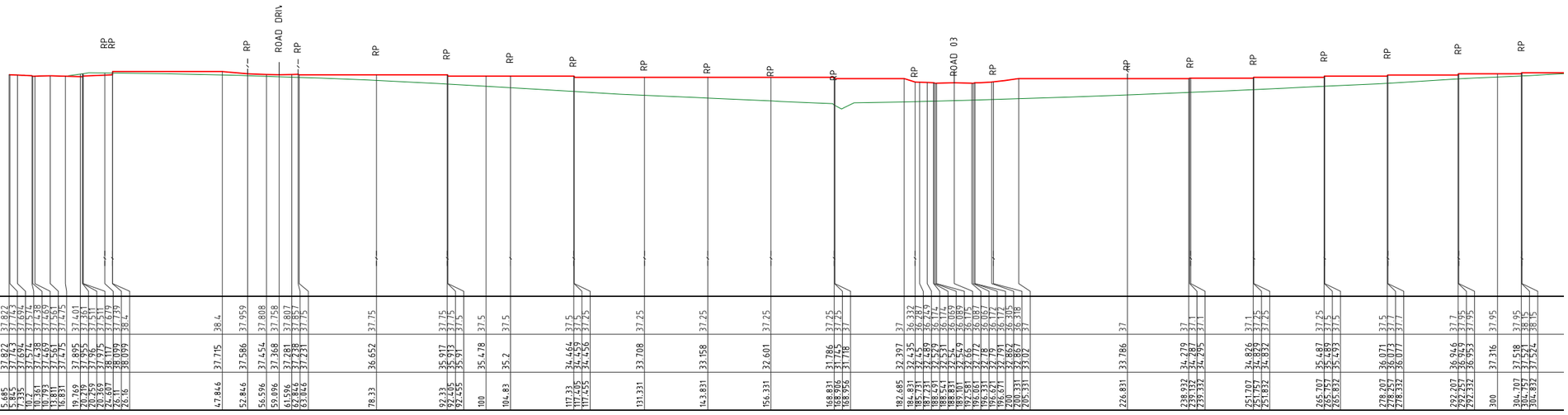

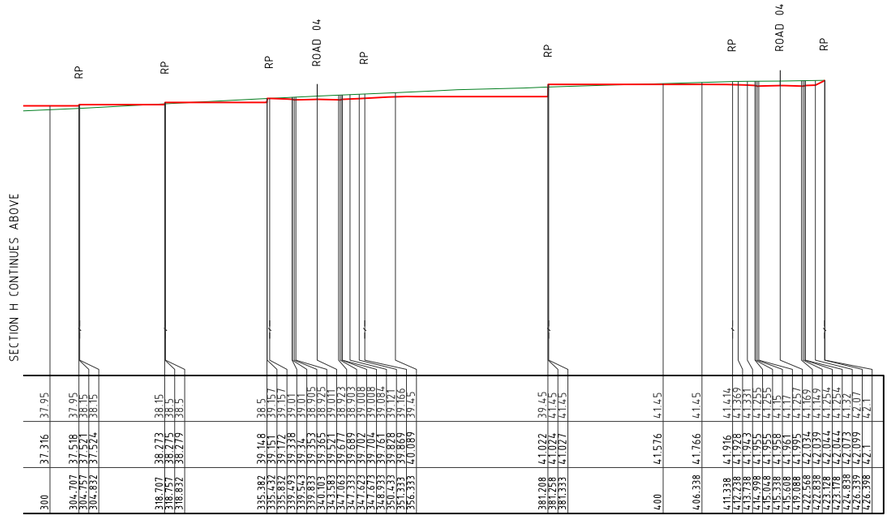

SECTION H 050
SCALE: 1:500

PROJECT NAME

Flourish

CHANGE OF LEVEL OF LAND STAGES 1-4

RP DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

CEDAR WOODS
DEVELOPING TOMORROW TODAY

0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

REV	DATE	DESCRIPTION	INT
C	11-02-25	SECTION H UPDATED	GB
B	13-05-24	SECTIONS P1 TO P4 ADDED	GW
A	2-02-24	COUNCIL ISSUE	RK

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DRAWING TITLE

BULK EARTHWORKS
SECTIONS
SHEET 04

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APPROVED | RPEQ 4706 | DATE 2-02-24

DRAWING NUMBER 37502-CLLN-054 | REV C

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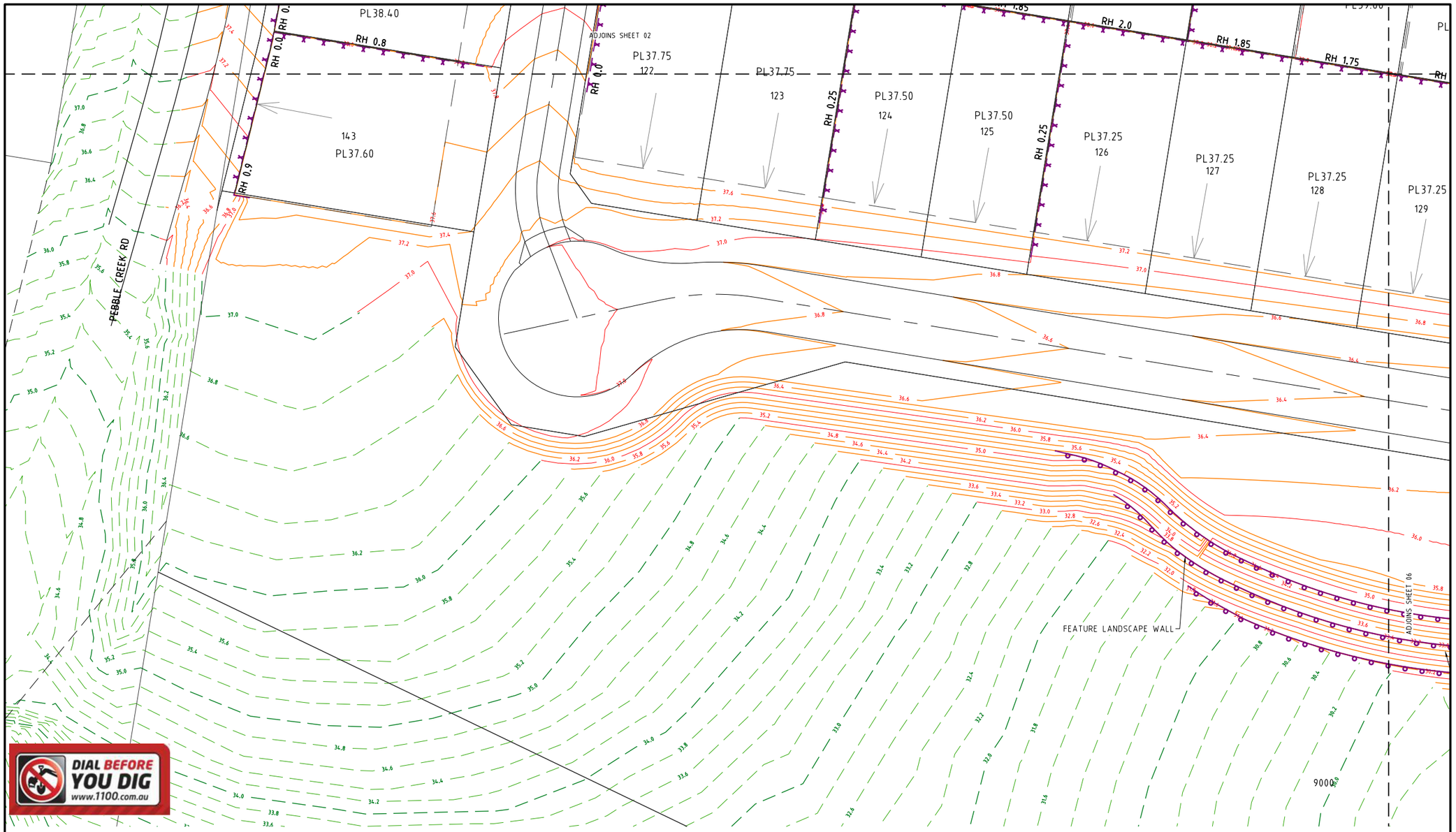
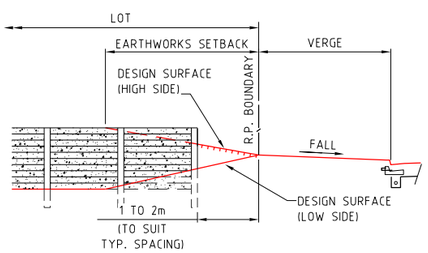


GENERAL

1. CONTRACT SPECIFICATIONS
   ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE CONTRACT SPECIFICATION.
2. SETOUT
   SURVEY SETOUT INFORMATION HAS BEEN ESTABLISHED ON SITE BY THE PRINCIPAL'S SURVEYOR TO ENABLE THE CONTRACTOR TO ACCURATELY SETOUT THE WORKS TO THE CO-ORDINATES SHOWN. SETOUT INFORMATION SHALL NOT BE OBTAINED BY SCALING FROM THESE DRAWINGS.
3. DATUM
   LEVELS SHOWN ARE TO A.H.D.
4. EXISTING SERVICES - EXTERNAL WORKS
   THE LOCATIONS OF ALL EXISTING SERVICES WITHIN THE WORK AREA SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION COMMENCING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE RELEVANT AUTHORITIES & TO ENSURE THAT THE EXISTING SERVICES ARE NOT DAMAGED OR DISTURBED IN ANY WAY BY THE CONTRACT WORKS.
5. ALL MATERIALS ARISING FROM RETAINING WALL CONSTRUCTION ARE TO BE COMPACTED TO FUTURE STAGES, TO LEVEL 1 OR IF DIRECTED BY THE SUPERINTENDENT SHALL BE TRUCKED TO A LICENSED TIP.

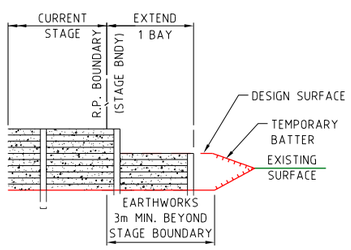
LEGEND

- EXISTING KERB (INVERT)
- EXISTING PROPERTY LINE
- 1.0 EXISTING CONTOURS
- EXISTING RETAINING WALL
- FUTURE KERB (INVERT)
- FUTURE PROPERTY LINE
- 1.0 FUTURE CONTOURS
- FUTURE RETAINING WALL
- PROPOSED KERB (INVERT)
- PROPOSED PROPERTY LINE
- 1.0 DESIGN CONTOURS
- PROPOSED SINGLE TIER RETAINING WALL
- FEATURE LANDSCAPE WALL
- RH1.0 INDICATIVE WALL HEIGHT
- DETAIL PAD FALL DIRECTION (CONTRACTOR TO ENSURE LOTS FALL TO ROAD AT 1:150 MIN. REFER DRG. 071)



TYPICAL SIDE BOUNDARY CONSTRUCTION

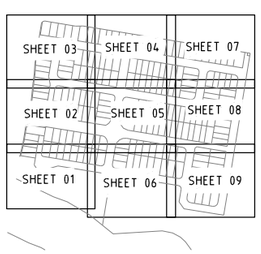
SCALE 1:100 - A1 (1:200 - A3)



TYPICAL STAGE BOUNDARY CONSTRUCTION

SCALE 1:100 - A1 (1:200 - A3)

SHEET LAYOUT



PROJECT NAME

Flourish

CHANGE OF LEVEL OF LAND
STAGES 1-4

RP DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

CEDAR WOODS
DEVELOPING TOMORROW TODAY

NORTH

0 2.5 5 7.5 10 12.5m
Scale 1:250 - A1 (1:500 - A3)

REV	DATE	DESCRIPTION	INT
B	11-02-25	LAYOUT AMENDED & NOTES ADDED	GB
A	2-02-24	COUNCIL ISSUE	RK

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DRAWING TITLE

RETAINING WALL
AND DETAIL GRADING PLAN
SHEET 01

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DESIGNED GW | DRAWN RK
APPROVED | RPEQ 4706 | DATE 2-02-24
DRAWING NUMBER 37502-CLLN-060 | REV B

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PROJECT NAME

Flourish

CHANGE OF LEVEL OF LAND
STAGES 1-4

RP DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

CEDAR WOODS
DEVELOPING TOMORROW TODAY

NORTH

0 2.5 5 7.5 10 12.5m
Scale 1:250 - A1 (1:500 - A3)

REV	DATE	DESCRIPTION	INT
C	11-02-25	LAYOUT AMENDED	GB
B	13-05-24	SECTION MARKER ADDED	GW
A	2-02-24	COUNCIL ISSUE	RK

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DRAWING TITLE

RETAINING WALL
AND DETAIL GRADING PLAN
SHEET 02

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DESIGNED GW | DRAWN RK
APPROVED RPEQ 4706 | DATE 2-02-24

DRAWING NUMBER 37502-CLLN-061 | REV C

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PROJECT NAME

Flourish

CHANGE OF LEVEL OF LAND
STAGES 1-4

RP DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

CEDAR WOODS
DEVELOPING TOMORROW TODAY

NORTH

0 2.5 5 7.5 10 12.5m
Scale 1:250 - A1 (1:500 - A3)

REV	DATE	DESCRIPTION	INT
C	11-02-25	LAYOUT AMENDED	GB
B	13-05-24	SECTION MARKERS ADDED	GW
A	2-02-24	COUNCIL ISSUE	RK

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RETAINING WALL
AND DETAIL GRADING PLAN
SHEET 03

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DRAWING NUMBER 37502-CLLN-062 | REV C

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PROJECT NAME

Flourish

CHANGE OF LEVEL OF LAND
STAGES 1-4

RP DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

CEDAR WOODS
DEVELOPING TOMORROW TODAY

NORTH

0 2.5 5 7.5 10 12.5m
Scale 1:250 - A1 (1:500 - A3)

REV	DATE	DESCRIPTION	INT
B	11-02-25	LAYOUT AMENDED	GB
A	2-02-24	COUNCIL ISSUE	RK

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SAUNDERS HAVILL
SLR
PETER EUSTACE & ASSOCIATES

DRAWING TITLE

RETAINING WALL
AND DETAIL GRADING PLAN
SHEET 04

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APPROVED		RPEQ 4706	DATE 2-02-24

DRAWING NUMBER	REV
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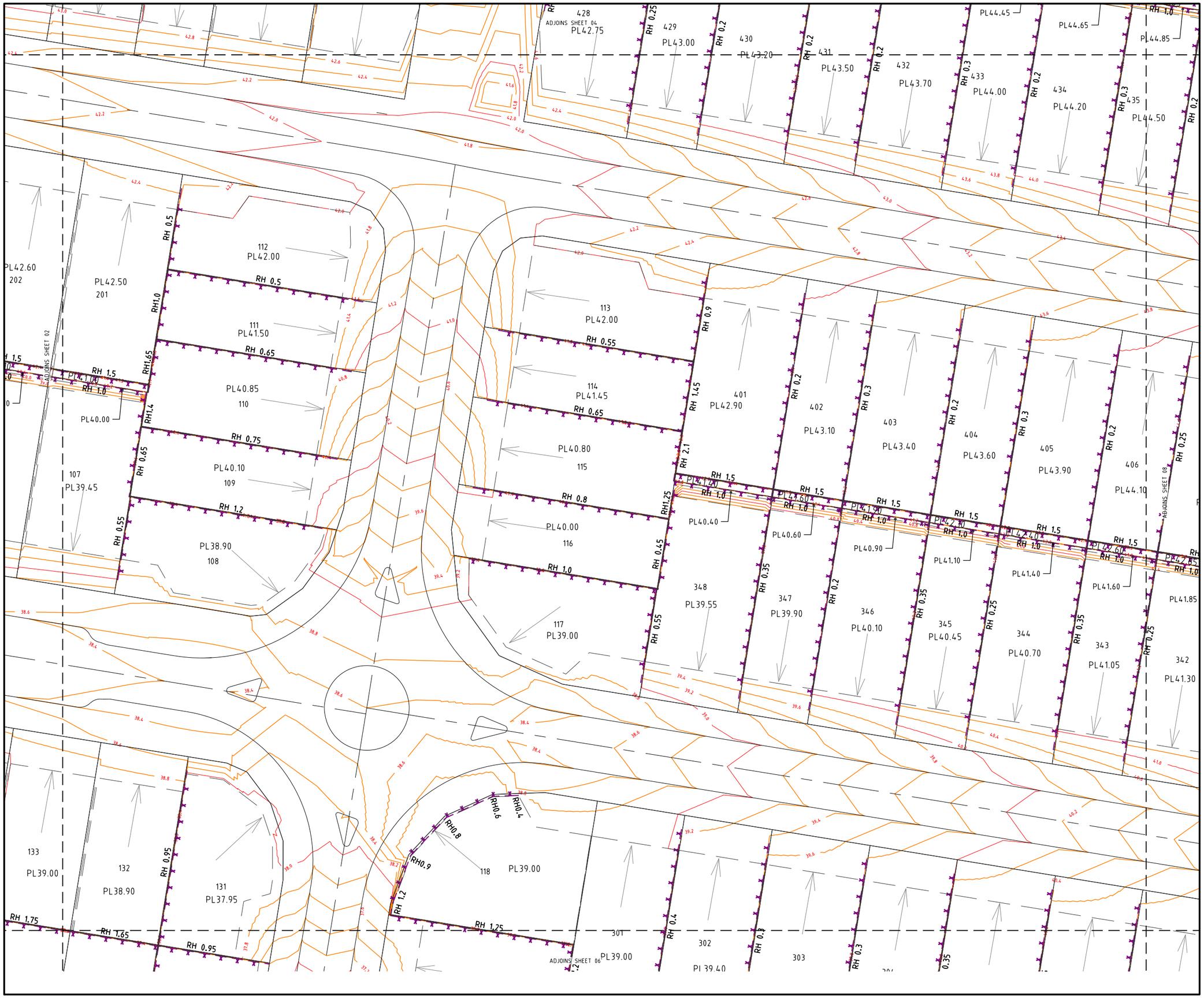

PROJECT NAME

Flourish

CHANGE OF LEVEL OF LAND STAGES 1-4

RP DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

CEDAR WOODS
DEVELOPING TOMORROW TODAY

NORTH

0 2.5 5 7.5 10 12.5m
Scale 1:250 - A1 (1:500 - A3)

REV	DATE	DESCRIPTION	INT
B	11-02-25	LAYOUT AMENDED	GB
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RETAINING WALL
AND DETAIL GRADING PLAN
SHEET 05

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DRAWING NUMBER	REV
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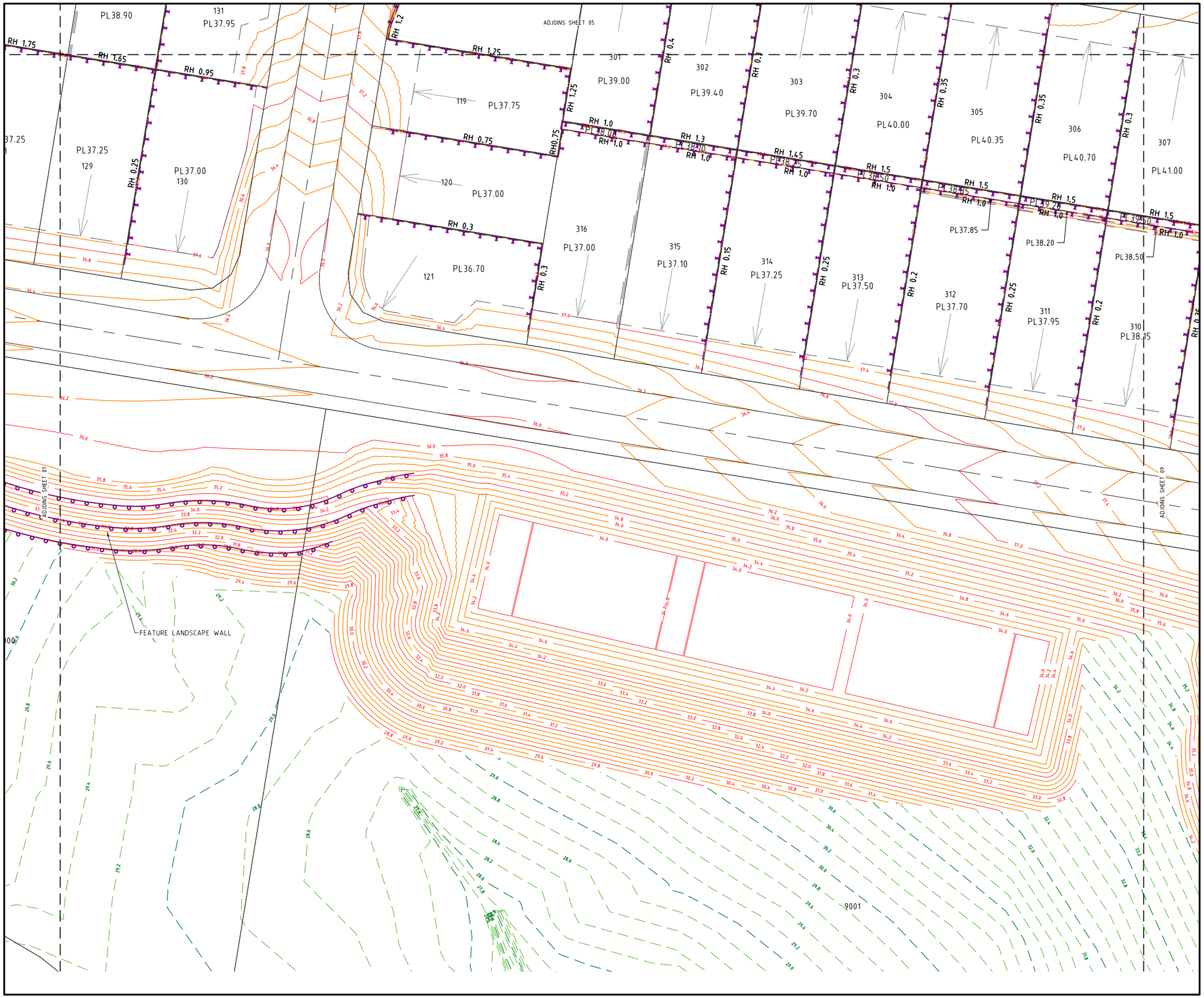

PROJECT NAME

Flourish

CHANGE OF LEVEL OF LAND
STAGES 1-4

RP DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

CEDAR WOODS
DEVELOPING TOMORROW TODAY

NORTH

0 2.5 5 7.5 10 12.5m
Scale 1:250 - A1 (1:500 - A3)

REV	DATE	DESCRIPTION	INT
B	11-02-25	LAYOUT AMENDED	GB
A	2-02-24	COUNCIL ISSUE	RK

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RETAINING WALL
AND DETAIL GRADING PLAN
SHEET 06

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APPROVED | RPEQ 4706 | DATE 2-02-24

DRAWING NUMBER 37502-CLLN-065 | REV B

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PROJECT NAME

Flourish

CHANGE OF LEVEL OF LAND
STAGES 1-4

RP DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

CEDAR WOODS
DEVELOPING TOMORROW TODAY

NORTH

0 2.5 5 7.5 10 12.5m
Scale 1:250 - A1 (1:500 - A3)

REV	DATE	DESCRIPTION	INT
B	11-05-25	LAYOUT UPDATED	GB
A	2-02-24	COUNCIL ISSUE	RK

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RETAINING WALL
AND DETAIL GRADING PLAN
SHEET 07

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DRAWING NUMBER 37502-CLLN-066 | REV B

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PROJECT NAME

Flourish

CHANGE OF LEVEL OF LAND
STAGES 1-4

RP DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

CEDAR WOODS
DEVELOPING TOMORROW TODAY

NORTH

0 2.5 5 7.5 10 12.5m
Scale 1:250 - A1 (1:500 - A3)

REV	DATE	DESCRIPTION	INT
B	11-02-25	LAYOUT UPDATED	GB
A	2-02-24	COUNCIL ISSUE	RK

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RETAINING WALL
AND DETAIL GRADING PLAN
SHEET 08

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DRAWING NUMBER	REV
37502-CLLN-067	B

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PROJECT NAME

Flourish

CHANGE OF LEVEL OF LAND
STAGES 1-4

RP DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

CEDAR WOODS
DEVELOPING TOMORROW TODAY

NORTH

0 2.5 5 7.5 10 12.5m
Scale 1:250 - A1 (1:500 - A3)

REV	DATE	DESCRIPTION	INT
C	11-02-25	LAYOUT UPDATED	GB
B	13-05-24	LOT 326 RETAINING WALL REMOVED	GW
A	2-02-24	COUNCIL ISSUE	RK

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DRAWING TITLE

RETAINING WALL
AND DETAIL GRADING PLAN
SHEET 09

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DRAWING NUMBER 37502-CLLN-068 | REV C

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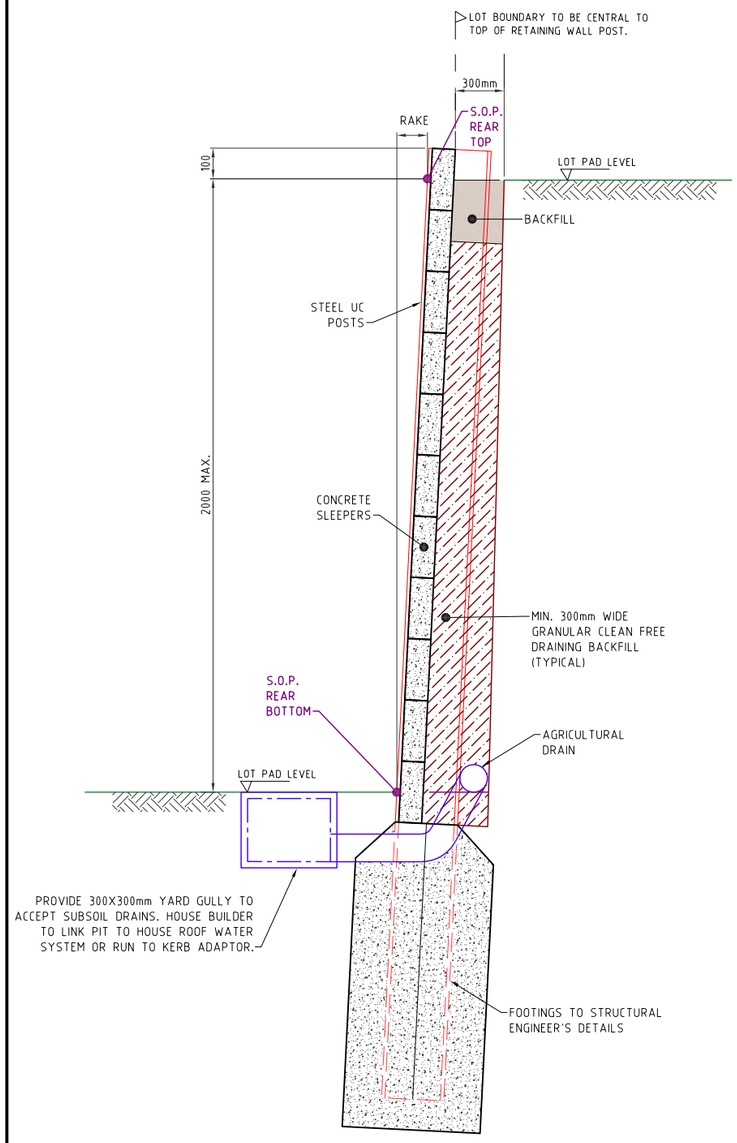
NOTES:

1. RETAINING WALL DETAILS ARE INDICATIVE ONLY.
2. CONTRACTOR TO ARRANGE FOR DESIGN & CONSTRUCTION OF WALLS BY RPEQ STRUCTURAL ENGINEER. CONTRACTOR TO PROVIDE STRUCTURAL CERTIFICATION OF DESIGN & FINAL CONSTRUCTION.
3. ALLOW FOR 5KPa LOADING TO WALLS EXCEPT ADJACENT TO ROADS WHICH REQUIRE A 10kPa LOADING.
4. CONTRACTOR TO CONFIRM LOCATION OF LOT BOUNDARY PRIOR TO COMMENCING WALL CONSTRUCTION.
5. THE BUILDING ON THE HIGHER SIDE OF THE RETAINING WALL MUST MAINTAIN AN OFFSET OR APPROPRIATE FOUNDATION STRUCTURES (EG; PIERS) IN ORDER TO ENSURE THE ENTIRE DEPTH OF THE RETAINING WALL IS FREE FROM THE ZONE OF INFLUENCE OF THE BUILDING/OVERBURDEN LOAD UNLESS OTHERWISE SPECIFIED BY STRUCTURAL ENGINEER.
6. STRUCTURAL ENGINEER TO DESIGN SLAB & PIER.
7. AGRICULTURAL DRAIN TO DISCHARGE TO 300x300mm STORMWATER PIT. HOUSE BUILDER TO CONNECT 300x300mm STORMWATER PIT TO ROOFWATER SYSTEM.
8. RETAINING WALL DESIGN TO ALLOW FOR ALL SERVICES (ADJACENT OR BELOW) & HAVE NO IMPACT.
9. SANDSTONE & PROPRIETARY RETAINING WALLS TO BE DESIGNED & CONSTRUCTED TO HAVE VERTICAL FACE UNLESS OTHERWISE AGREED BY THE SUPERINTENDENT.
10. ANY WALL GREATER THAN 0.9M HIGH TO INSTALL A FALL BARRIER AT THE TOP OF WALL. THE FALL BARRIER IS TO BE MAINTAINED UNTIL THE END OF THE MAINTENANCE PERIOD OR THE ASSOCIATED LOT IS SOLD BY THE DEVELOPER.
11. REFER TO LANDSCAPE ARCHITECT FOR RETAINING WALL COLOUR & FINISH.
12. SETBACKS- REFER TABLE
13. WHERE RETAINING WALLS ARE LOCATED WITHIN 2m OF A PMT SITE THE RETAINING WALL IS TO BE DESIGNED & CONSTRUCTED TO ALLOW EXCAVATION OF THE FULL PMT SITE TO A DEPTH OF 1.3m.

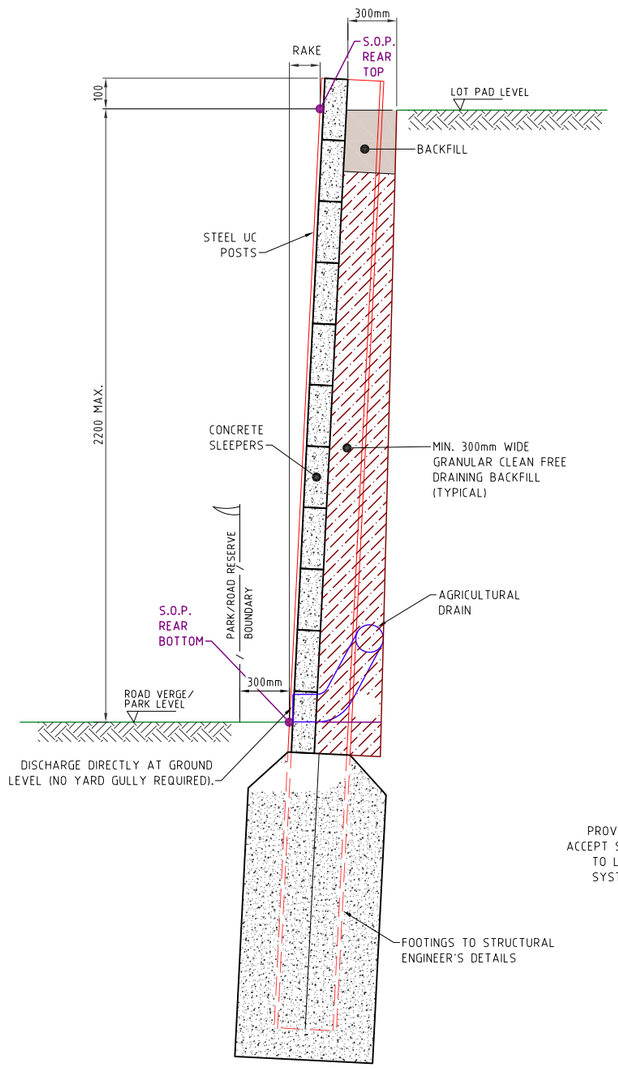
SETBACKS:

ROAD RESERVE OR OPEN SPACE BOUNDARY	=300mm
SIDE BOUNDARY	=LOCATED CENTRAL ON BOUNDARY
REAR BOUNDARY	=LOCATED CENTRAL ON BOUNDARY



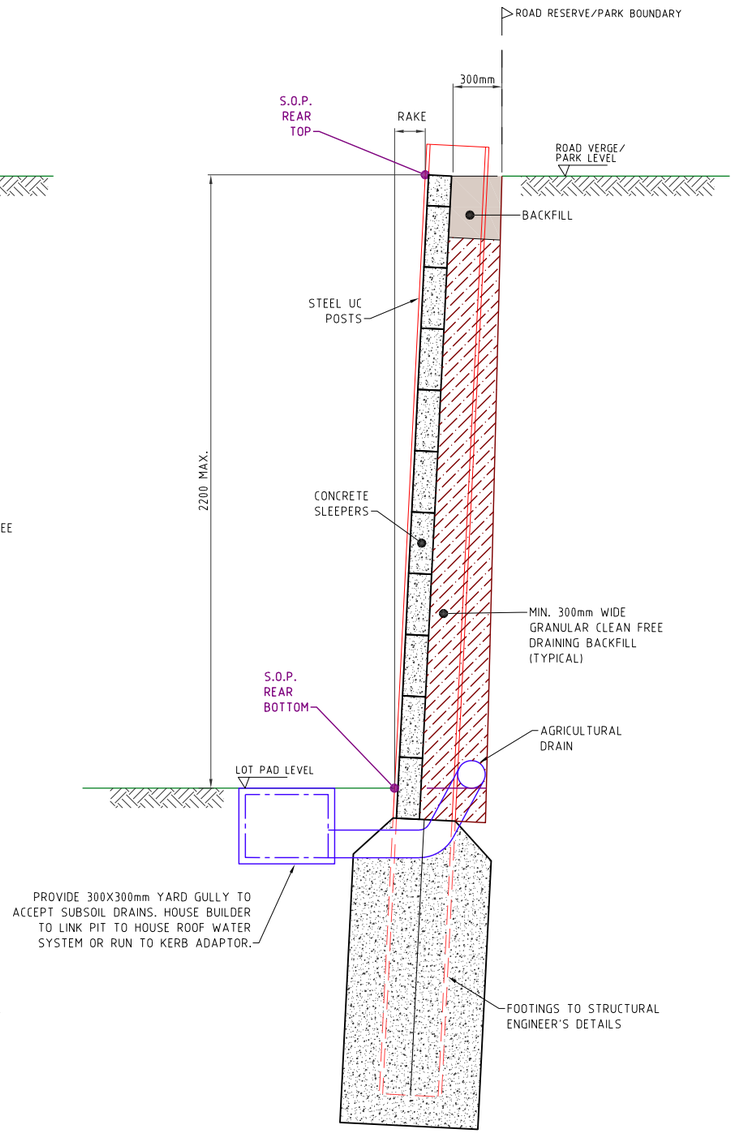
CROSS SECTION OF CONCRETE SLEEPER RETAINING WALL (LOT TO LOT)

NOT TO SCALE



CROSS SECTION OF CONCRETE SLEEPER RETAINING WALL (RETAIN LOT TO ROAD RESERVE/PARK)

NOT TO SCALE



CROSS SECTION OF CONCRETE SLEEPER RETAINING WALL (RETAIN ROAD RESERVE/PARK TO LOT)

NOT TO SCALE

PROJECT NAME

Flourish

CHANGE OF LEVEL OF LAND
STAGES 1-4

RP DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

CEDAR WOODS
DEVELOPING TOMORROW TODAY

REV	DATE	DESCRIPTION	INT
C	11-02-25	LAYOUT UPDATED	GB
B	13-05-24	DETAILS AMENDED	GW
A	2-02-24	COUNCIL APPROVAL	RK

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DRAWING TITLE

RETAINING WALL
DETAILS
SHEET 01

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APPROVED	RPEQ 4706	DATE	2-02-24

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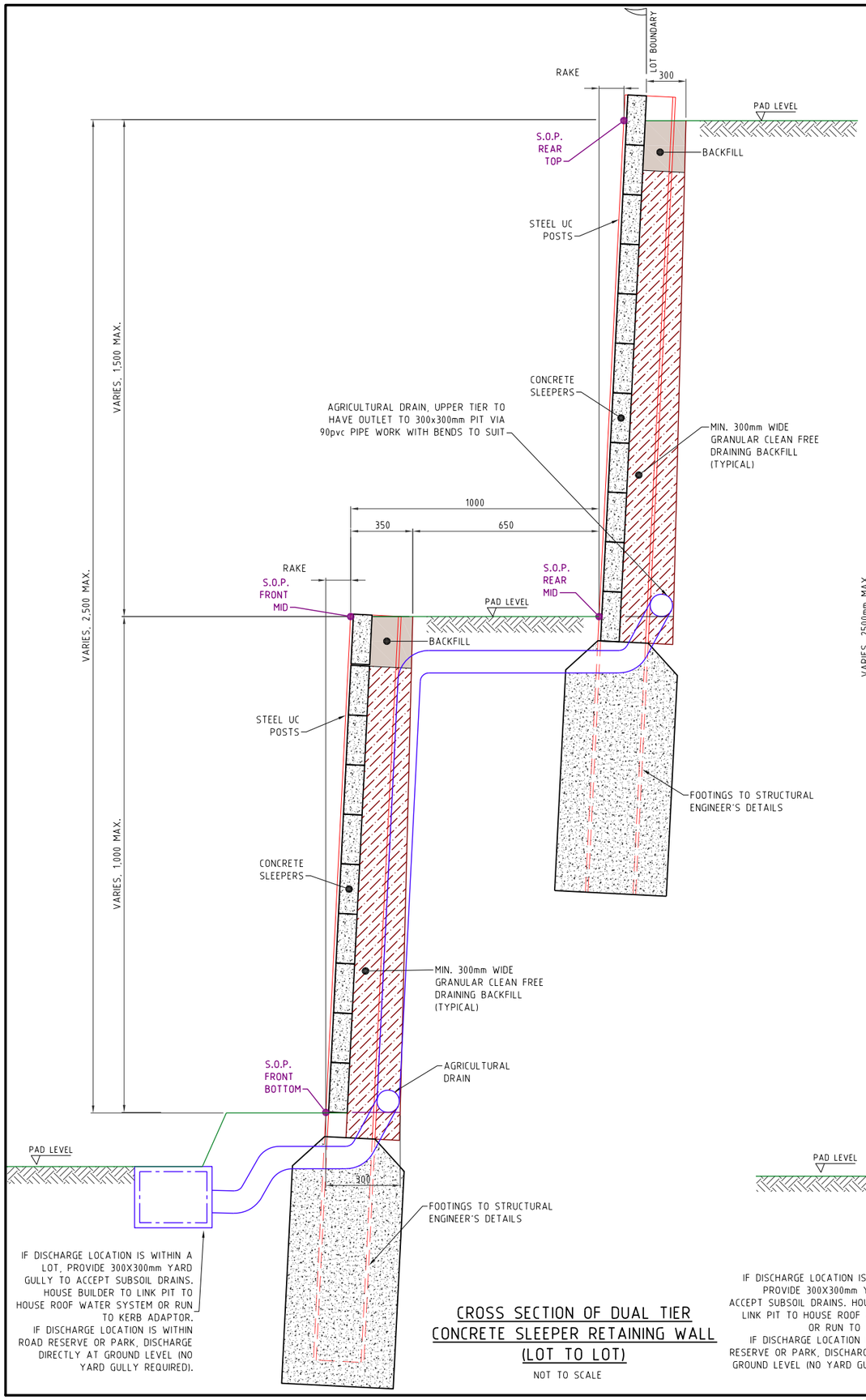
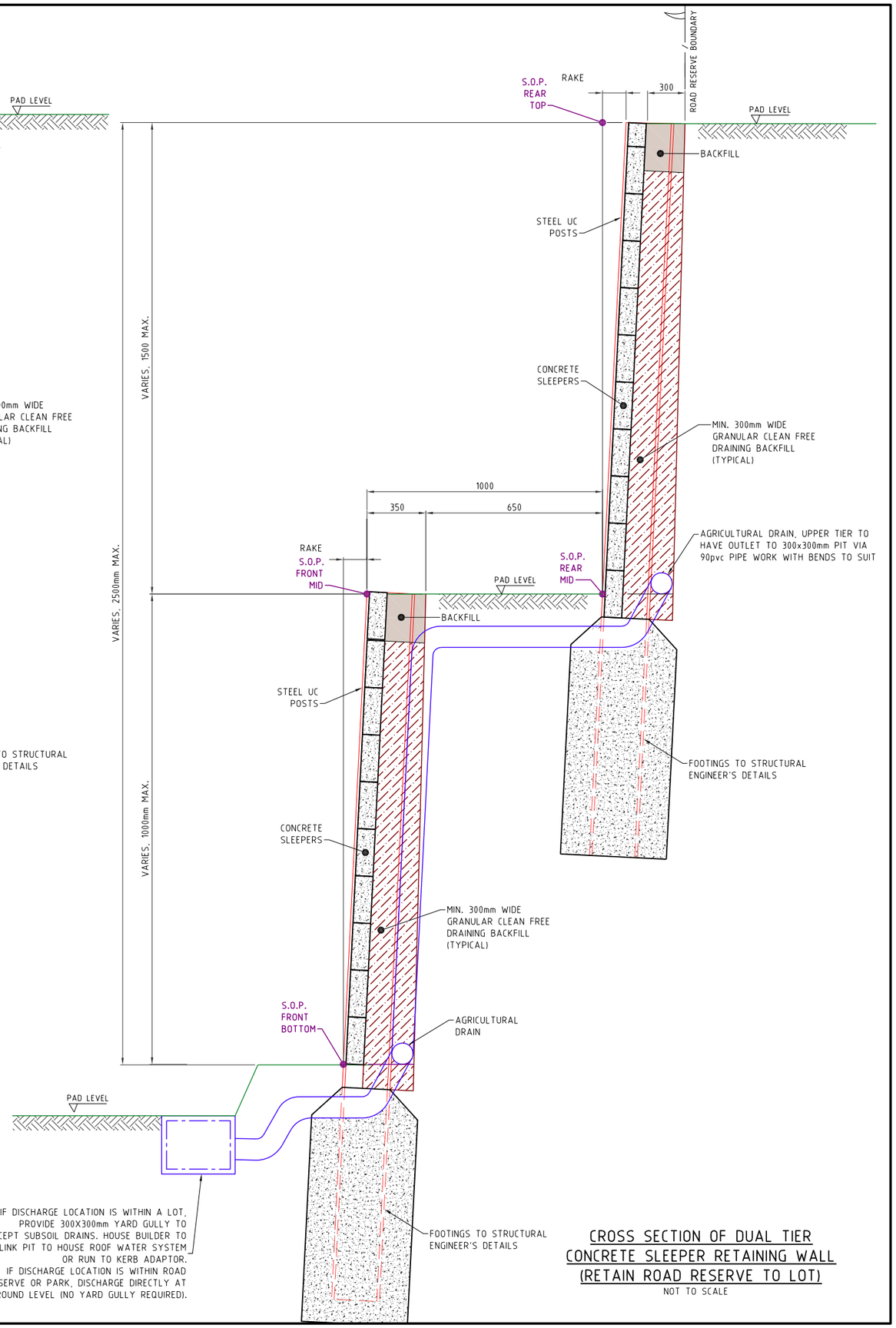


CROSS SECTION OF DUAL TIER
CONCRETE SLEEPER RETAINING WALL
(LOT TO LOT)

NOT TO SCALE



CROSS SECTION OF DUAL TIER
CONCRETE SLEEPER RETAINING WALL
(RETAIN ROAD RESERVE TO LOT)

NOT TO SCALE

PROJECT NAME

Flourish

CHANGE OF LEVEL OF LAND
STAGES 1-4

RP DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

CEDAR WOODS
DEVELOPING TOMORROW TODAY

REV	DATE	DESCRIPTION	INT
A	20-02-25	COUNCIL APPROVAL	GB

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RETAINING WALL
DETAILS
SHEET 02

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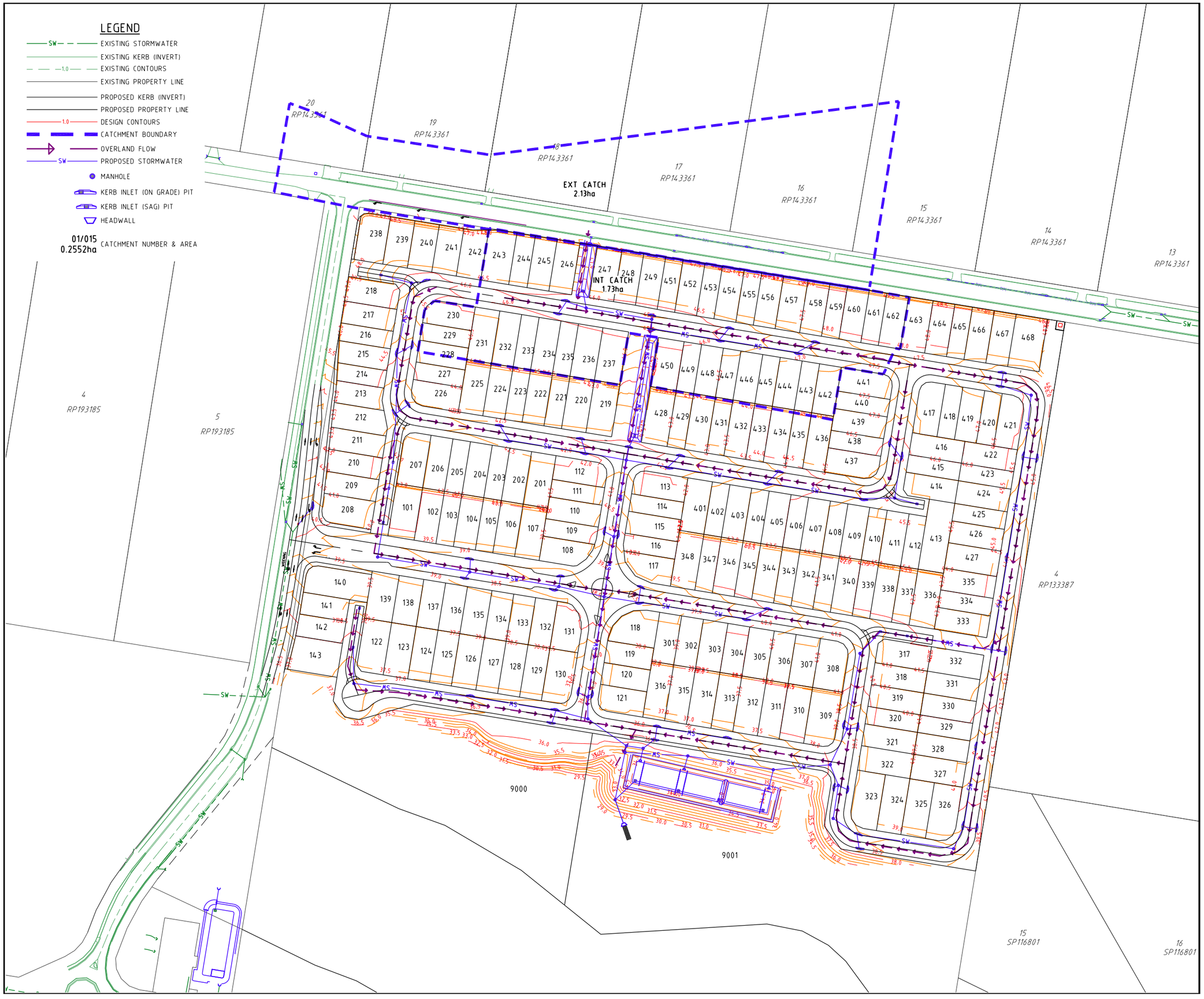

PROJECT NAME

Flourish

CHANGE OF LEVEL OF LAND
STAGES 1-4

RP DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

CEDAR WOODS
DEVELOPING TOMORROW TODAY

NORTH

0 10 20 30 40 50m
Scale 1:1000 - A1 (1:2000 - A3)

REV	DATE	DESCRIPTION	INT
C	20-02-25	CATCHMENTS UPDATED	ML
B	11-02-25	LAYOUT UPDATED	GB
A	13-05-24	COUNCIL ISSUE	GW

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PETER EUSTACE & ASSOCIATES

DRAWING TITLE

STORMWATER
CATCHMENT PLAN
SHEET 01

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