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23 September 2024

GCHKP Pty Ltd
4-6 Charles Avenue
Broadbeach QLD 4218

Attention: **William Nikiforides**

Sent via email: wcn@niecon.com

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2022/1305/5

Date: 4 March 2025



Dear William,

**RE: MINOR CHANGE APPLICATION: GOLD COAST HEALTH AND KNOWLEDGE
PRECINCT – REDUCED FLOORS**

1.0 INTRODUCTION

1.1. Overview

Bitzios Consulting (Bitzios) has been engaged by GCHKP Pty Ltd to assess the parking components of a Minor Change Application for an approved medical centre development located on the corner of Hill Street and Frazer Street, Southport (subject site).

The subject site is formally described as Lot 62 on SP338437 and is shown in Figure 1.1.



Source: Nearmap

Figure 1.1: Subject Site Location

1.2. Approval History

The subject sites' currently benefits from an existing approval for the development of a medical centre (ref: DEV2022/1305) that was subject to an Other Change with corresponding traffic statement in 2023 (*P6318.001L GCHKP Other Change TIA – dated 14/13/2023*). Existing approval details are provided as follows:

- 10,114m² GFA
- Eight floors
- 165 car parking spaces provided across three basement parking levels.
- Access to development via a single crossover to Frazer Street.

1.3. Proposed Minor Change

The minor change application reduces the proposed development GFA and number of development floors. Key changes related to traffic / transport are provided as follows:

- 7,387m² GFA
- Seven floors (including a rooftop terrace/lobby area)
- 103 car parking spaces (including 6 'small car' bays) across two basement parking levels
- Minor changes to parking layout and geometry to accommodate detailed design elements including ramp grades and Ground floor aisle adjustment.

The minor change development plans have been provided in **Attachment A**. The scope of this assessment is restricted to the proposed changes only and excludes previously approved aspects of the plans as well as the proposed driveway crossover (addressed as part of an EDQ response letter by Bitzios Consulting dated 22/8/2024)

2.0 PARKING ASSESSMENT

2.1. Car Parking Requirements and Provision

Car parking rates (and their source) for the minor change are consistent with the existing approval over the site. The car parking rates have been sourced from minimum and maximum rates identified in the Parklands PDA Development Scheme. Table 3.1 summarises the proposed changes in car parking provision.

Table 3.1: Car Parking Requirements and Provisions

Land Use	Quantity (GFA)	Parking Rates		Requirement		Proposed Parking
		Minimum	Maximum	Minimum	Maximum	
Existing Approval						
Non-residential	10,114m²	1 per 100m²	1 per 50m²	102 spaces	203 spaces	165 spaces
Proposed Other Change						
Non-residential	7,387m²	1 per 100m²	1 per 50m²	74 spaces	148 spaces	104 spaces*

*Including 6 'Small Car' Bays

As shown in Table 3.1 the proposed minor change provides car parking in accordance with the Parklands PDA Development Scheme requirements.

2.2. Bicycle Parking Requirements and Provision

Bicycle parking rates (and their source) for the minor change are consistent with the existing approval over the site.

As per the existing approval, the number of consultation rooms has not been specified for the development at this time, reference is made to the bicycle parking rates outlined in the *Austroads Guide to Traffic Management, Part 11: Parking (2020)* as shown in Table 3.2.

Table 3.2: Bicycle Parking Requirements and Provision

Land Use	Type	Quantity (GFA)	Parking Rate	Required	Proposed Parking
Existing Approval					
Health Centre	Staff parking (Class B)	10,114m ²	1 per 400m ² of GFA	26 (staff)	46 (staff)
Proposed Other Change					
Health Centre	Staff parking (Class B)	7,387m ²	1 per 400m ² of GFA	20 (staff)	34 (staff)

As shown in Table 3.1 the proposed minor change provides staff bicycle parking in accordance with the Austroads requirements. Six (6) visitor spaces are also provided.

3.0 GEOMETRIC LAYOUT

3.1. Parking Geometric Layout

The proposed minor change geometric layout has been provided generally in accordance with the existing approval for the subject site, noting:

- Changes to the Ground level do not impact vehicle access to or within parking areas beyond existing approved plans. Refer to swept path of critical movement provided in **Attachment B**
- Changes to Basement levels are minor and remain consistent with previously approved plans. Including the addition of 3 small car bays (making a total of 6 bays), ramp grading, and a single column adjustment. All changes are in accordance with AS2890 requirements and consistent with previously approved plans.

No further detailed layout review is warranted as part of this application.

4.0 CONCLUDING STATEMENT

Based on the above assessment, we conclude that there are no significant traffic or transport impacts associated with the proposed development to preclude its approval and relevant conditioning on transport planning grounds

Yours faithfully,



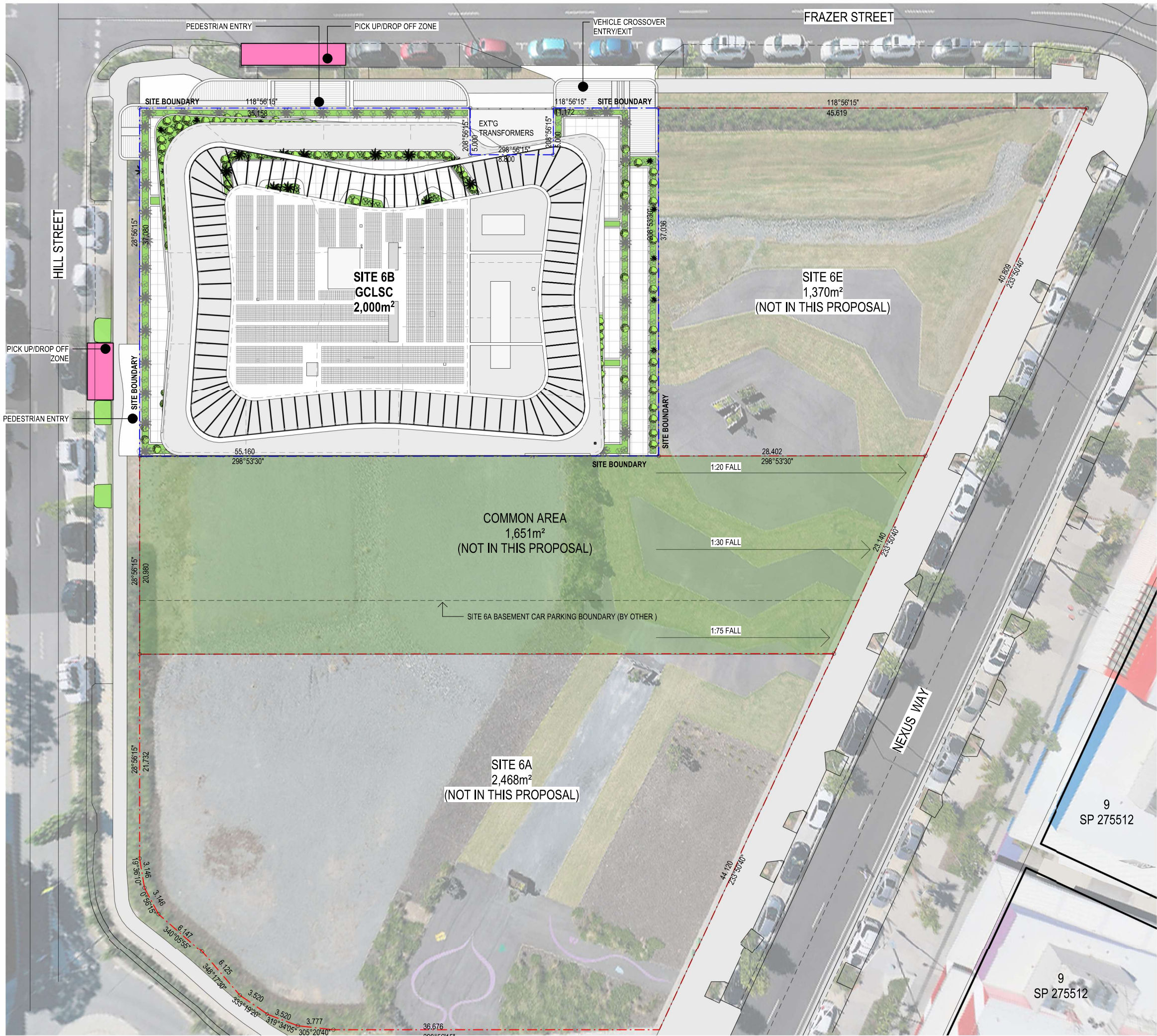
Ben James
Senior Traffic Engineer & Transport Planner
BITZIOS CONSULTING

Attachments:

- A. Minor Change Development Plans
- B. Swept Path Assessment

Attachment A

Minor Change Development Plans



PROJECT STATISTICS

AREAS

SITE AREA: 2000m²
GFA: 7387m²
LEARNING HUB: 344m²

BICYCLE PARK SCHEDULE

END OF TRIP: 34
EXTERNAL: 6
TOTAL: 40

CAR PARKING SCHEDULE

BASEMENT 1: 44
(INC. 28 VISITOR CAR PARKS)

BASEMENT 2: 60

TOTAL: 104
(INC. 28 VISITOR CAR PARKS)

CLIENT:

NIECON
CREATING LIFESPACES

REV	DATE	BY	AMENDMENT
A	22.08.24	KL	INITIAL ISSUE
B	23.08.24	KL	GENERAL AMENDMENTS
C	09.09.24	LL	DA CHANGE

PROJECT:

CENTRE OF EXCELLENCE
FOR CLINICAL CARE,
RESEARCH, INNOVATION AND
INDUSTRY

AT:

LUMINA SITE 6B
CORNER OF HILL STREET &
FRAZER STREET
SOUTHPORT

DRAWING TITLE:

SITE PLAN

SCALE: 1:400 @A3

NORTH

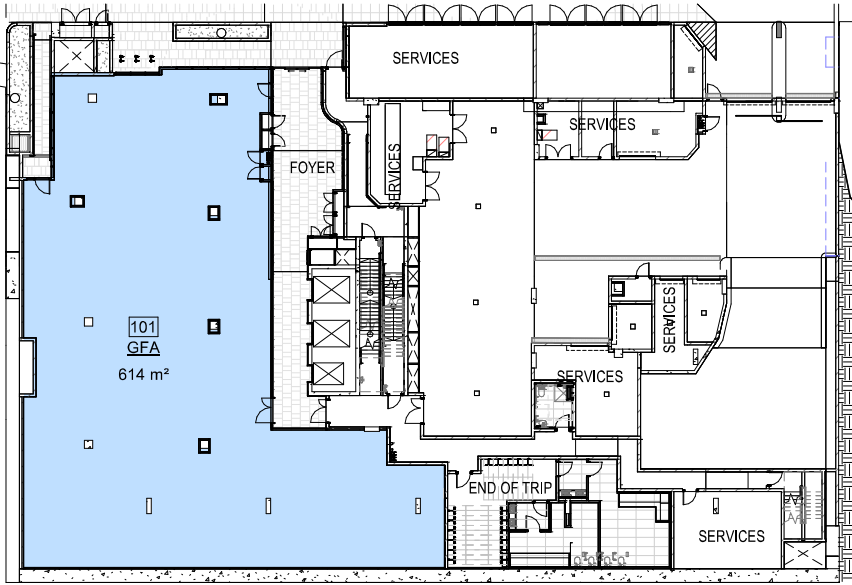


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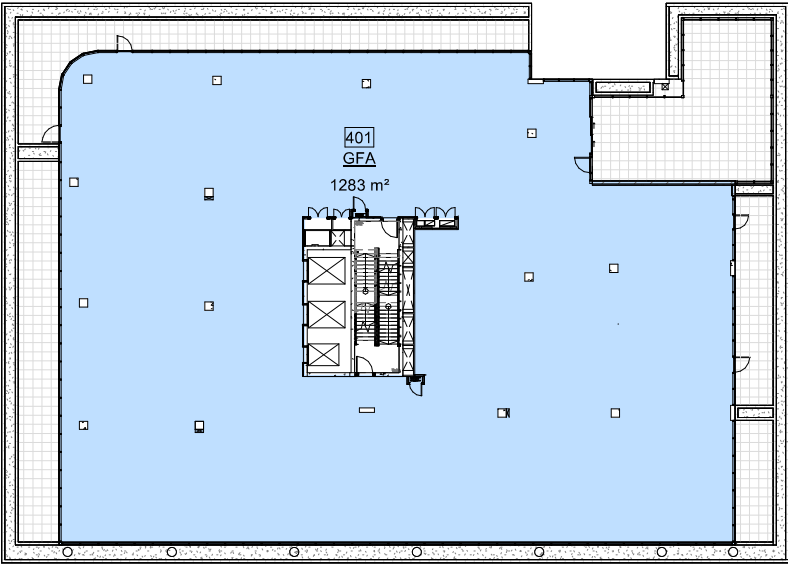
1793 DA0101

REV

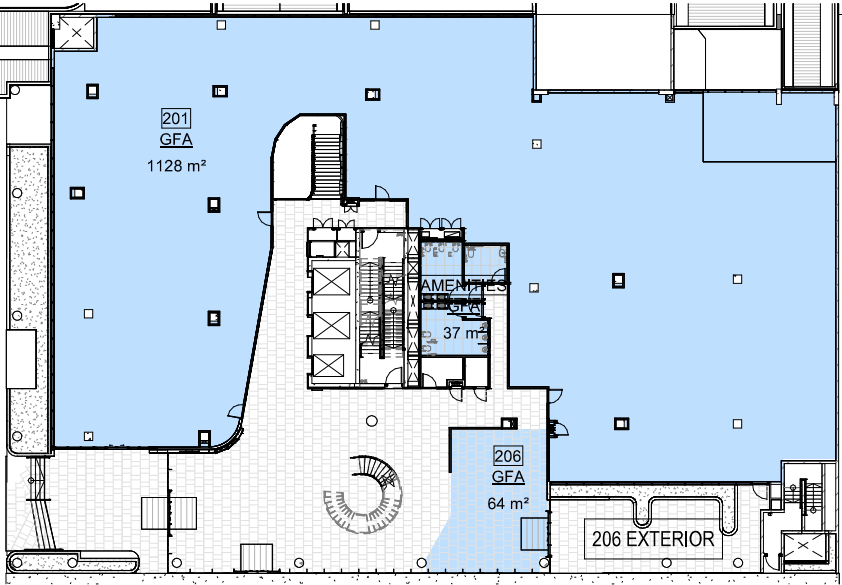
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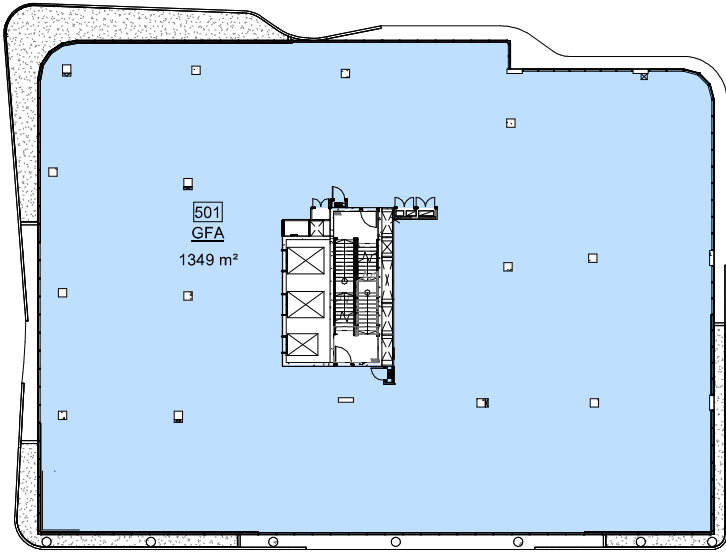
LEVEL 1 - 614m²



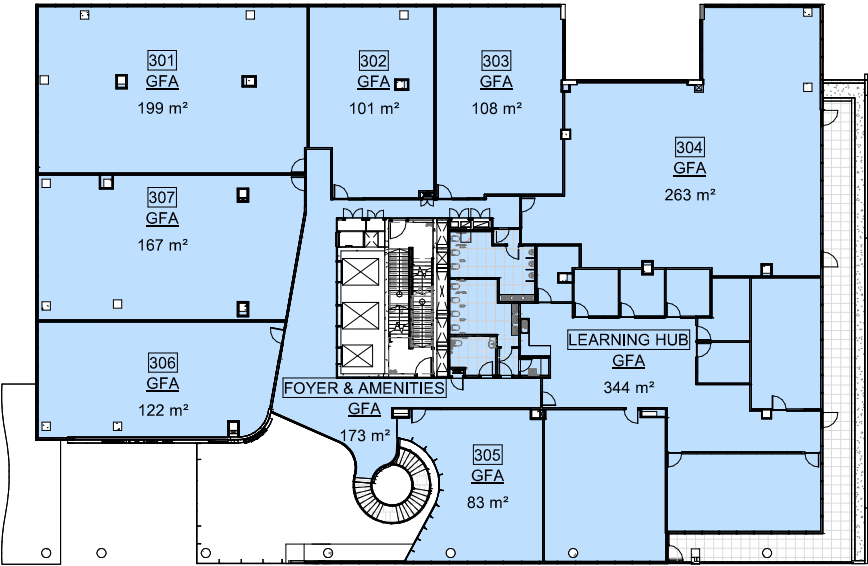
LEVEL 4 - 1,283m²



LEVEL 2 - 1,230m²



LEVEL 5 TO 6 - 2,698m²



LEVEL 3 - 1,560m²

GROSS FLOOR AREAS

LEVEL 1		
101	614 m²	614 m²
LEVEL 2		
201	1128 m²	
206	64 m²	
AMENITIES	37 m²	1,229 m²
LEVEL 3		
301	199 m²	
302	101 m²	
303	108 m²	
304	263 m²	
305	83 m²	
306	122 m²	
307	167 m²	
FOYER & AMENITIES	173 m²	
LEARNING HUB	344 m²	1,560 m²
LEVEL 4		
401	1283 m²	1,283 m²
LEVEL 5		
501	1349 m²	1,349 m²
LEVEL 6		
601	1349 m²	1,349 m²
GRAND TOTAL		7,384 m²



Level 3b
181 Elizabeth Street Brisbane
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Brisbane Qld 4002
Telephone: (07) 3003 1160
Facsimile: (07) 3003 1170
E-mail: mail@krislowe.com.au
ABN 34053355801

CLIENT:

NIECON
CREATING LIFESPACES

REV	DATE	BY	AMENDMENT
A	22.08.24	KL	INITIAL ISSUE
B	23.08.24	KL	GENERAL AMENDMENTS
C	09.09.24	LL	DA CHANGE
D	17.09.24	LL	DA CHANGE

PROJECT:

CENTRE OF EXCELLENCE
FOR CLINICAL CARE,
RESEARCH, INNOVATION AND
INDUSTRY

AT:

LUMINA SITE 6B
CORNER OF HILL STREET &
FRAZER STREET
SOUTHPORT

DRAWING TITLE:

GFA SUMMARY

SCALE: 1:200 @A3

NORTH

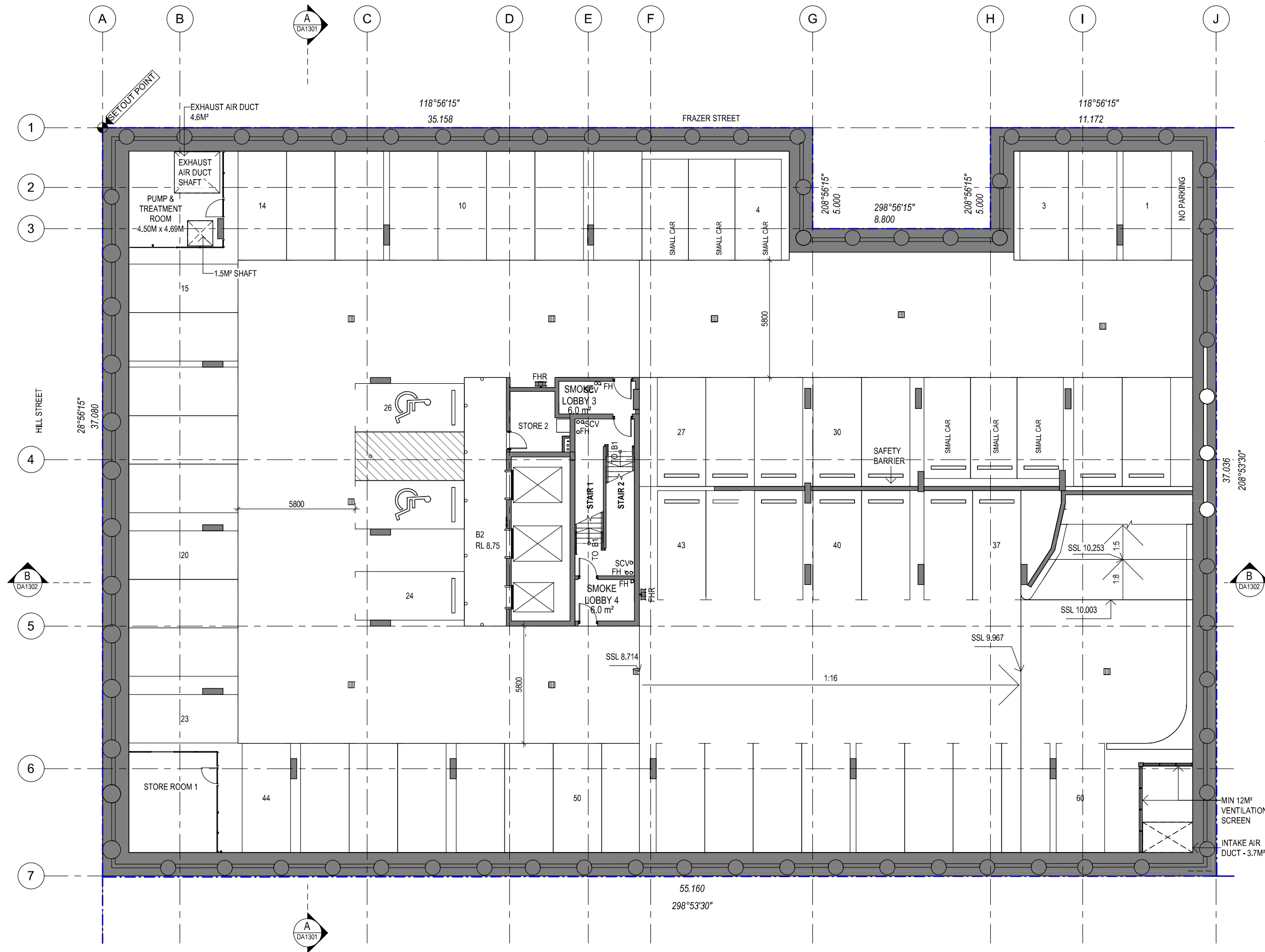


JOB No. Dwg. No.

1793 DA0141

REV

D



CAR PARKING SCHEDULE

BASEMENT 1: 44
(INC. 28 VISITOR CAR PARKS)

BASEMENT 2: 60

TOTAL: 104
(INC. 28 VISITOR CAR PARKS)

CLIENT:

NIECON
CREATING LIFESPACES

REV	DATE	BY	AMENDMENT
A	22.08.24	KL	INITIAL ISSUE
B	23.08.24	KL	GENERAL AMENDMENTS
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AT:

LUMINA SITE 6B
CORNER OF HILL STREET &
FRAZER STREET
SOUTHPORT

DRAWING TITLE:

BASEMENT 2

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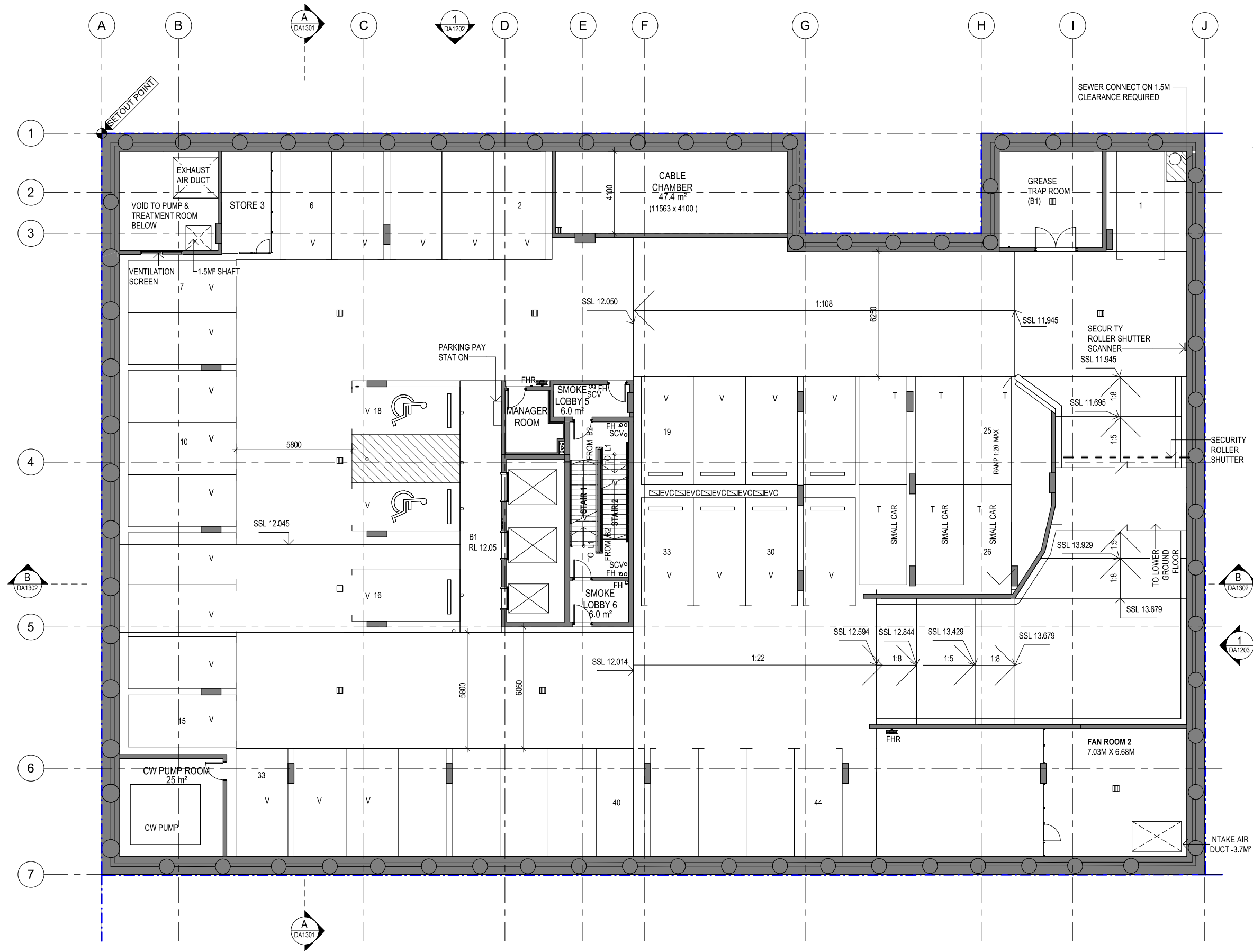


JOB No. Dwg. No.

1793 DA1098

REV

D



CAR PARKING SCHEDULE

BASEMENT 1: 44
(INC. 28 VISITOR CAR PARKS)

BASEMENT 2: 60

TOTAL: 104
(INC. 28 VISITOR CAR PARKS)

CLIENT:

NIECON
CREATING LIFESPACES

REV	DATE	BY	AMENDMENT
A	22.08.24	KL	INITIAL ISSUE
B	23.08.24	KL	GENERAL AMENDMENTS
C	09.09.24	LL	DA CHANGE
D	17.09.24	LL	DA CHANGE
E	18.09.24	LL	DA CHANGE

PROJECT:

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AT:

LUMINA SITE 6B
CORNER OF HILL STREET &
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SOUTHPORT

DRAWING TITLE:

BASEMENT 1

SCALE: 1:200 @A3

NORTH



JOB No. Dwg. No.

1793 DA1099

REV

E

CLIENT:

NIECON
CREATING LIFESPACES

REV	DATE	BY	AMENDMENT
A	22.08.24	KL	INITIAL ISSUE
B	23.08.24	KL	GENERAL AMENDMENTS
C	09.09.24	LL	DA CHANGE

PROJECT:

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AT:

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SOUTHPORT

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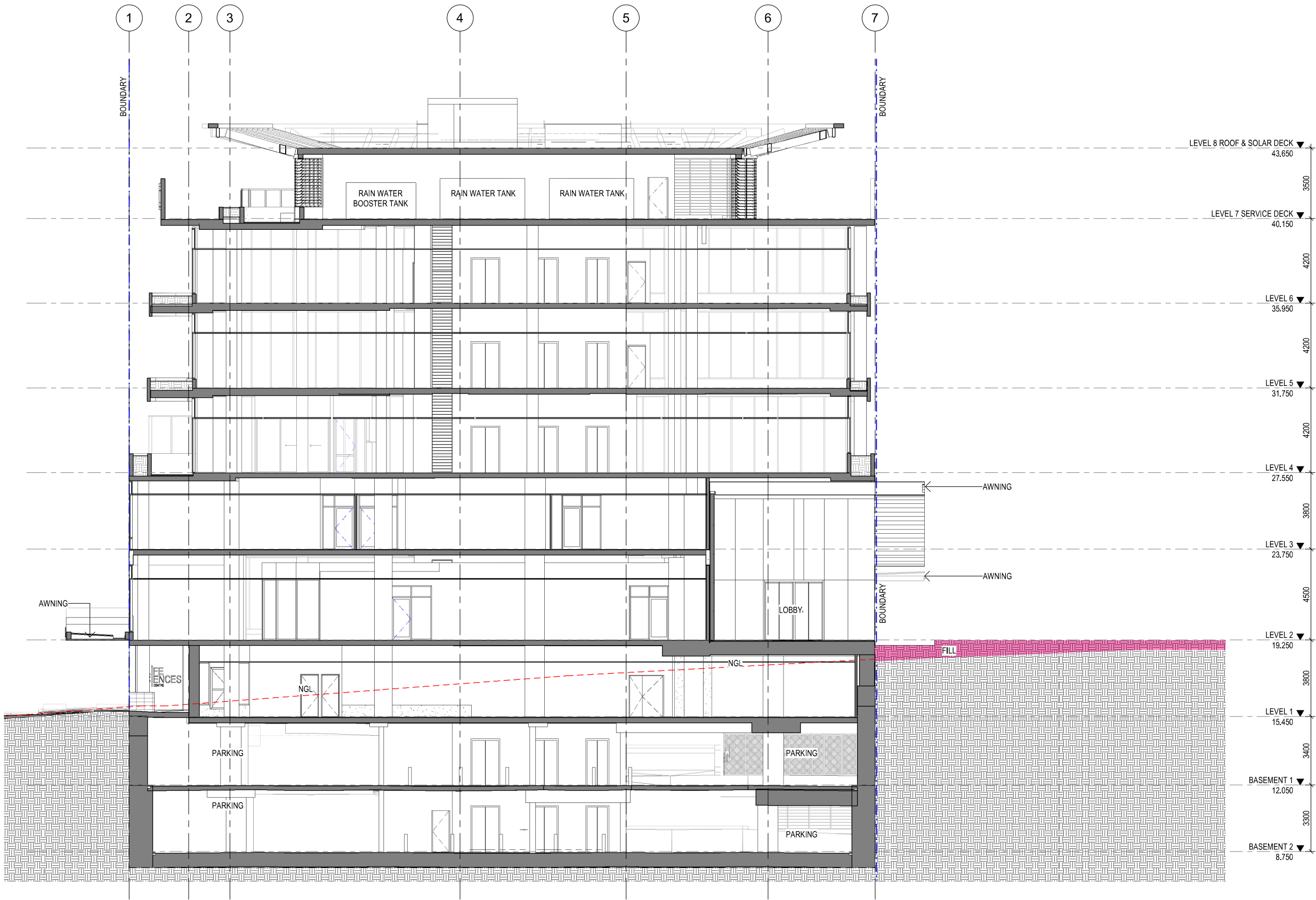
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REV

C



REV	DATE	BY	AMENDMENT
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B	23.08.24	KL	GENERAL AMENDMENTS
C	09.09.24	LL	DA CHANGE
D	17.09.24	LL	DA CHANGE
E	18.09.24	LL	DA CHANGE

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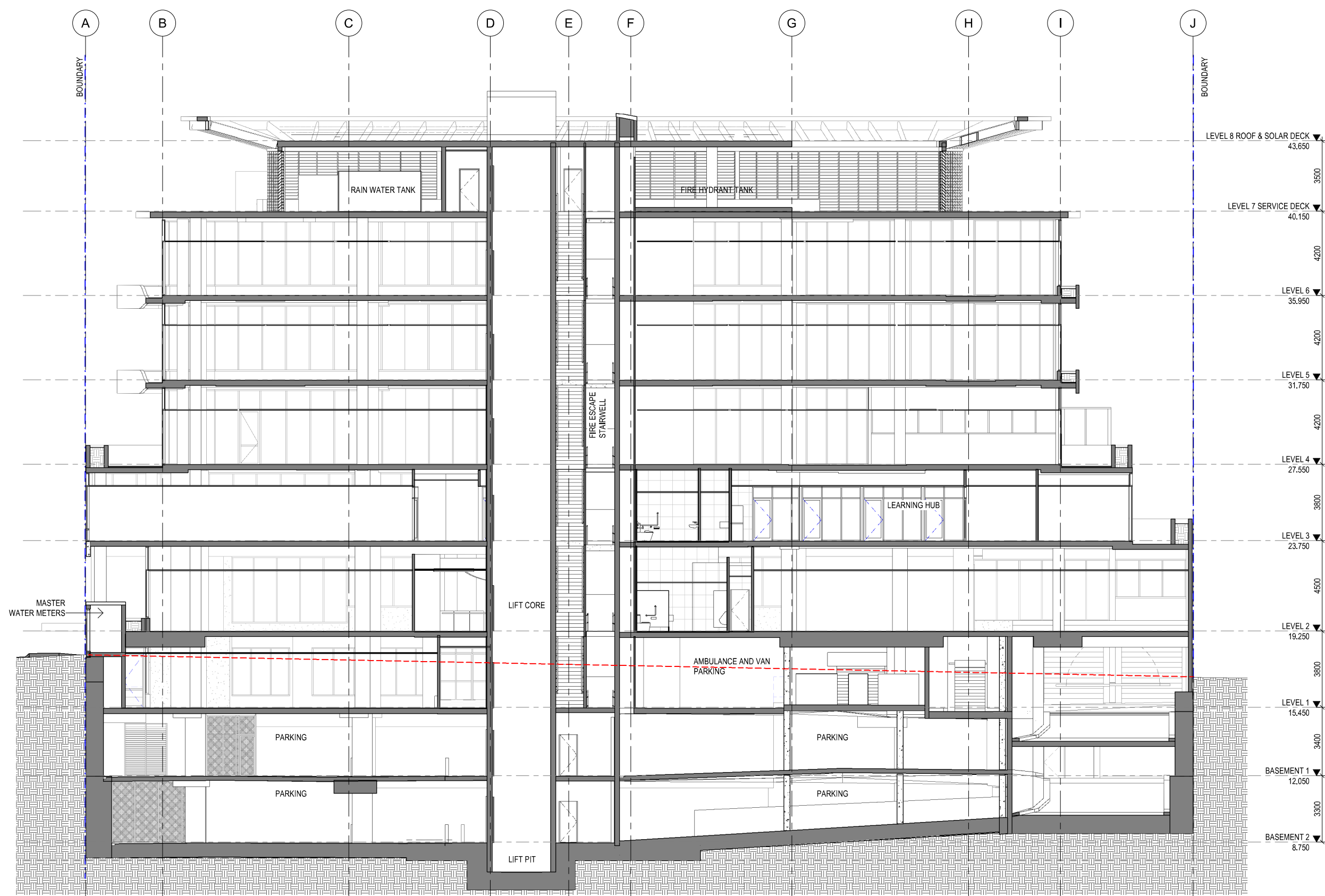
AT:

LUMINA SITE 6B
CORNER OF HILL STREET &
FRAZER STREET
SOUTHPORT

DRAWING TITLE:

SECTION B

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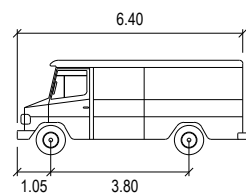


Attachment B

Swept Path Assessment



Vehicle Clearance (300mm)



SRV	meters
Width	: 2.3
Track	: 2.3
Lock to Lock Time	: 6.0
Steering Angle	: 40.0

DESIGN VEHICLE



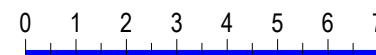
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Scale @ A3



1:150

Project	
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GCHKP Minor Change TIS

Title	Ground - SRV / Ambulance Bay Swept Path
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Design	B.J.
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Drawn	B.J
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Checked	B.J
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CONCEPT ONLY

Date	19.09.2024
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Project Number
P6318

Sheet Number	1
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Issue	001
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