

NORTHSHORE AFFORDABLE HOUSING DEVELOPMENT APPLICATION

BNE24017-DA
BRISBANE HOUSING COMPANY
OCTOBER 22 2024

STATUS	DEVELOPMENT APPLICATION
ISSUE	C
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PREPARED BY	SM
APPROVED BY	MD

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2024/1524
Date: 31 January 2025



Queensland
Government

ACKNOWLEDGEMENT OF COUNTRY

We acknowledge the Turrbal and Yaggera People as the traditional custodians of the land and area in which this project is located.

We pay respects to all elders past, present and emerging, and the traditions and cultural connections that have and continue to care for

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1.0 Project Understanding

1.1 Understanding Country

Much of what is now the North Shore Hamilton area was known to Aboriginal people as Yerrol.

Named after rainforest vine, Yerrol was an iconic hunting and campground that supported, nurtured and provided for indigenous poplations for mutiple generations.

Yerrol was the heart and home of indigenous culture in what is now known as Inner City Brisbane. Aboriginal tribes would travel from the north and south to stay at Yerrol to hunt and collect resources for mob. The confluence of Breakfast Creek and Brisbane River's brought rich soils and minerals from the mountaintops, giving Yerrol incredibly fertile soil that grew large varieties of plants and attracted swathes of wildlife. This idyllic combination of natural occurences attracted mobs from far and wide, whose people were able to thrive economically, socially and spiritually with the offerings from Yerrol.

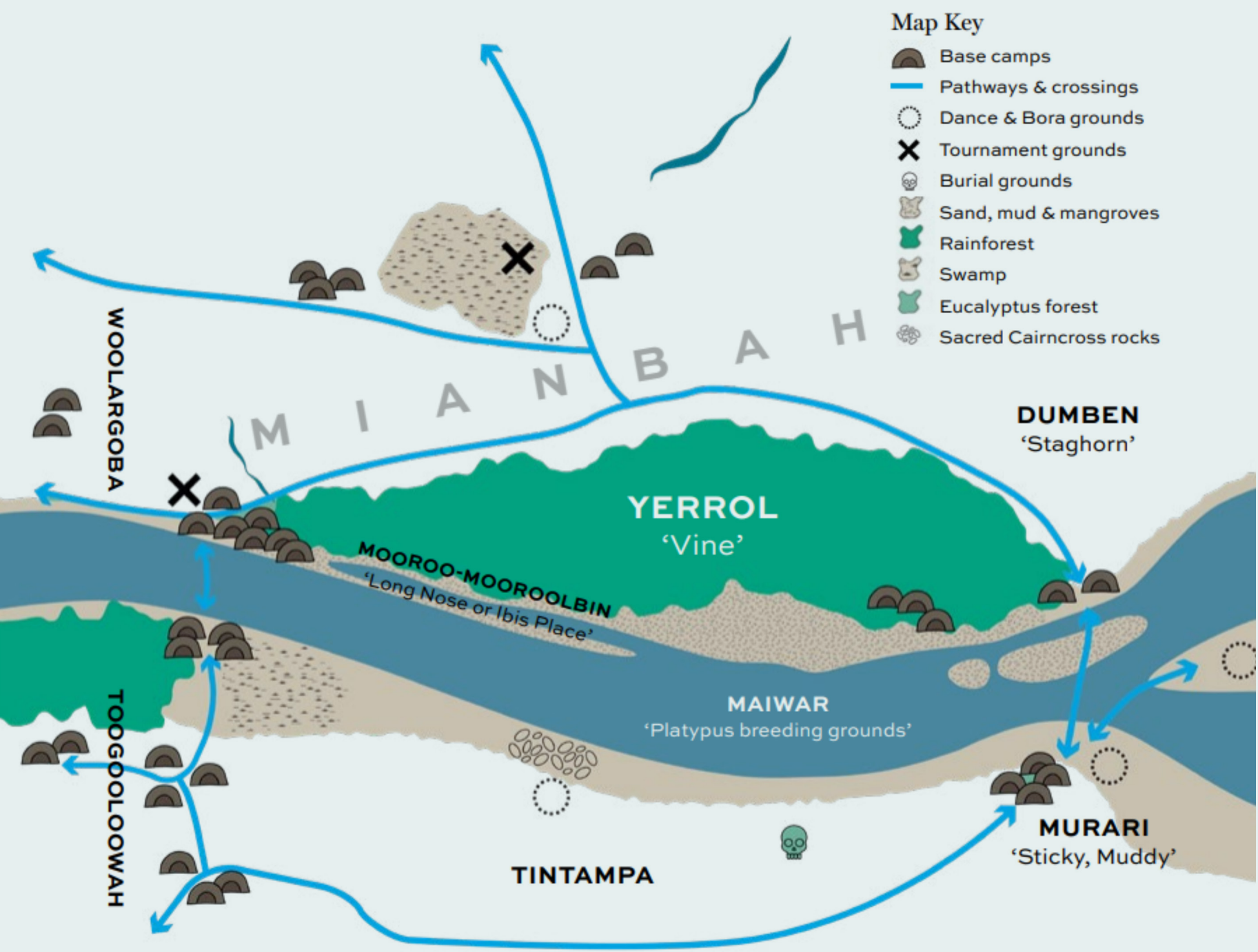


Image based on illustrations by Ray kerkhove

The vegetation is described as including vines, palms, cedars, pines, orchids and gs.

Silky oak - *grevillea robusta* A sugary drink was made from its flowers

Livistona australis young fronds were eaten, dipped in honey, but the main value of the tree was for making fibre and matting

vines important for making baskets and nets: kurrajong and bush kurrajong, native hibiscus (the cotton tree)

Yellowwood - *flindersia xanthoxyla* grew along the riverine 'jungle' and was notable at Hamilton. The wood was used for tool handles

Bungwall fern (*blechnum indicum*) once grew as an understory to the ti-tree swamps at Doomben. It was much valued for its tuber, which was turned into edible damper

swamp orchid - *phaius australis*

Moreton bay chestnut - *castanosperum austale*
It was probably the main reason Yerrol was a towrie, as black bean was a very important tree in providing a staple food

Swamp mahogany (*eucalyptus robusta*) was the usual tree used for making canoes

giant pepper vine *piper hederaceum*

Moreton Bay Fig *Ficus macrophylla*
Moreton Bay figs. A grove of Moreton Bay figs stood opposite the women's stockade some native figs served as a burial area just below Newstead House. The fruit was eaten and attracted many birds, which were hunted

harpullia pendula - The fruit of the yellow tulipwood was eaten; the leaves used in cooking and the wood used in carving.

1.2 Understanding the Master Plan

Northshore Brisbane is the largest waterfront urban renewal project in Queensland and is destined to become a true Brisbane icon.

Over the next 20 years, this 304-hectare precinct will transform from an industrial area into a vibrant riverside precinct which stretches 2.5 kilometres along the Brisbane River

The BHC Northshore Vision Focuses On 7 Key Objectives:

1. Innovation
2. Enterprise
3. Connection
4. Diversity
5. Opportunity
6. Design Excellence
7. Sustainability Excellence

kingsford smith drive

Hercules Park

Northshore hamilton

Ferry Terminal

Future Development

ATOM

Industrial

Future Development

Future Park

BHC NORTHSHORE

Future Park

Future Connection

Royal Queensland Golf Club

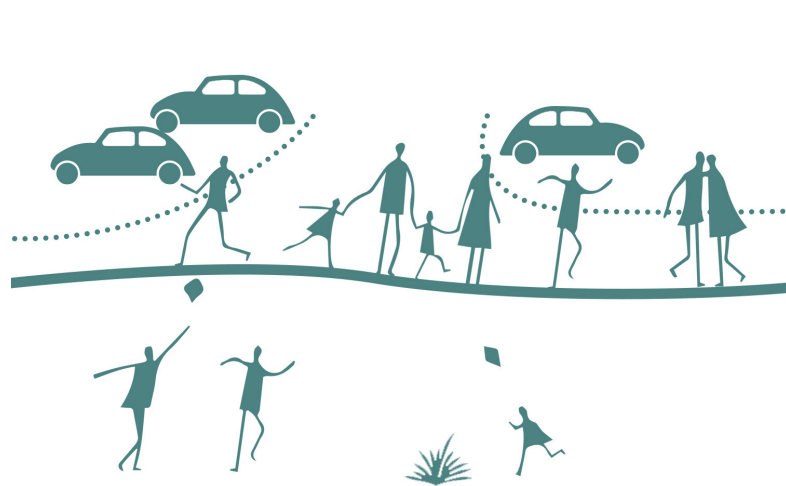
Hamilton Reach

Ferry Terminal

brisbane river

1.3 Designing for Community

Responding to Social Housing Design Guidelines by the Queensland Government, Northsore will be cultivated as a healthy, safe, resilient and comfortable home supported by design objectives and strategies.



creating SAFE neighbourhoods

Offering privacy and enhancing security through purposeful landscape design will increase residents' sense of safety and neighbourhood appeal.

- Create safe communities
- Guided by CPTED principles
- Layering privacy
- Enviornments that work well in an emergency
- Legible thresholds between community and private spaces



designing RESILIENT environments

Influencing resilience by providing a sense of long-term stability and security for residents. Environments that can be adapted in response to changing social, economic and environment needs.

- Designing resilient landscapes with efficient energy usage
- Sustainable sourcing of materials
- Embed opportunities for adaptation and change
- Support learning and earning at home
- Design for sharing



forming COMFORTABLE spaces

Well-designed communities are places where people want to live. They are adaptable to residents' lifestyle requirements and comfortable throughout the year.

- Designing to address changing climate
- Passive cooling techniques and using landscape for shade
- Balance privacy and views
- Arrange space to enhance liveability
- Support individuality and choice



shaping HEALTHY communities

Healthy communities are fostered by well-designed homes, encouraging residents to be active and improve their wellbeing, while offering a sanctuary to rela

- Support the health and wellbeing of residents
- Encourage residents to be active
- Design for pedestrians, bikes then cars
- Create places that provide sanctuary
- Support people through life's challenges

2.0 Design Visioning

2.1 Design Vision

Yerrol Landscape Strategy

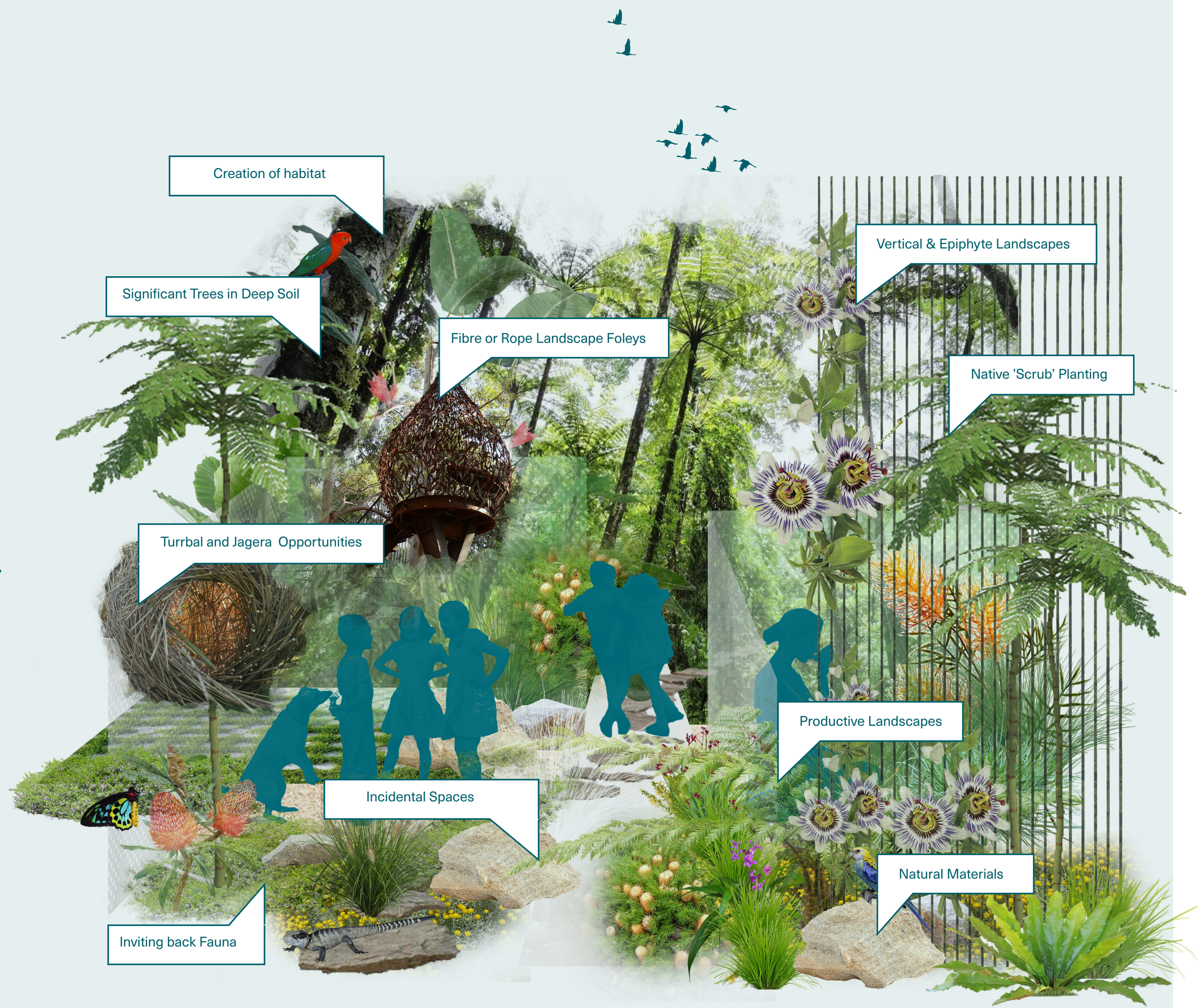
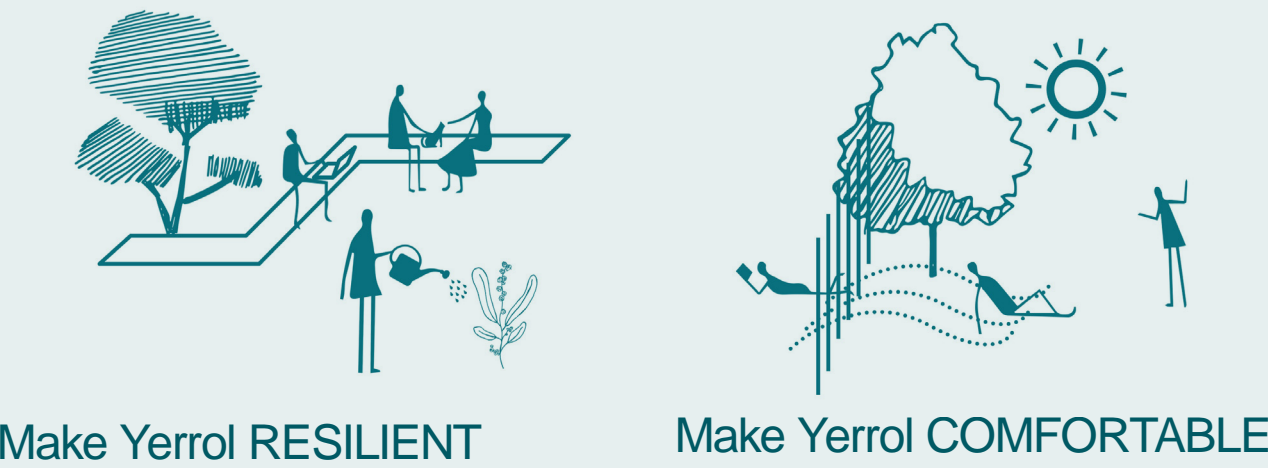
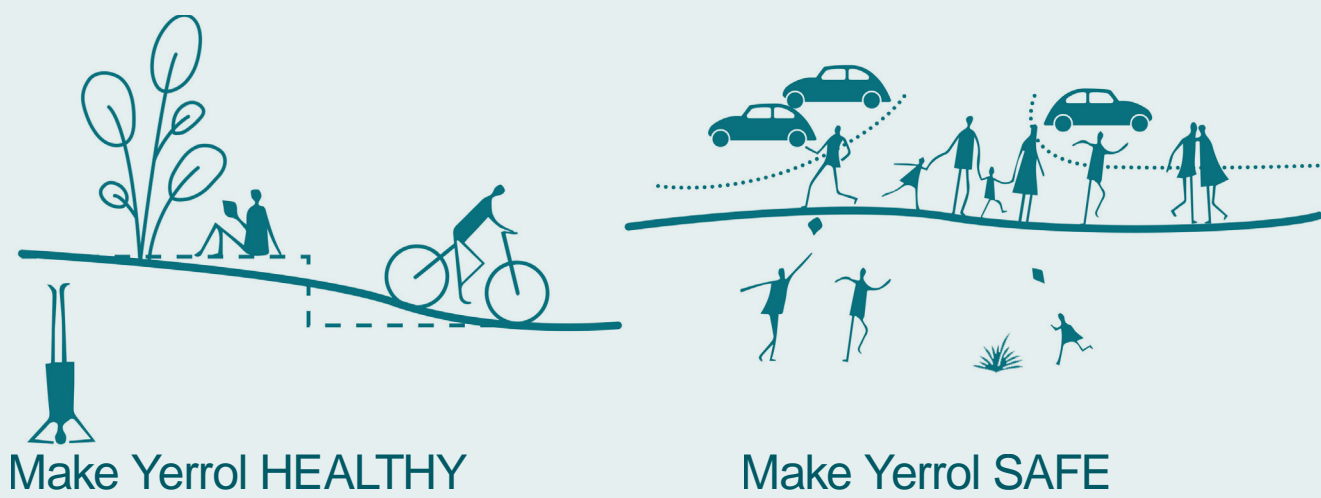
“Co - Habitation”

The new community will re-imagine yerrol into the pre-existent scrub which was known to the Turrbal and Jagera people as Yerrol or Yurrol, which referred to rainforest vine, used in hut-building and as a general fibre or rope.

The narrative stems from the idea of co-habitation, which fosters a relationship within living systems and sharing of the same place. It is important that we expand design beyond a ‘human-centric’ approach, and create a shared space for all species. The proposed landscape areas will align with First Nation ideas of ‘Caring for Country’ and allows community to create a habitat for all life

Landscape spaces will be abundant in endemic plantings made up of species such as Tree Ferns (Cyathea Cooperi), Staghorns (Platyceriumsp), Cabbage Palms (Livistona Australis) and Kangaroo Vine (Cissus Antartica) .

Reflective of the Social Housing Design Guidelines by the Queensland Government, the design will be cultivated as a healthy, safe, resilient and comfortable home with a lasting mosaic of experiences and stories to support community experiences and celebrations.



2.2 Design Drivers



BHC Northshore is...

CREATING COMMUNITY

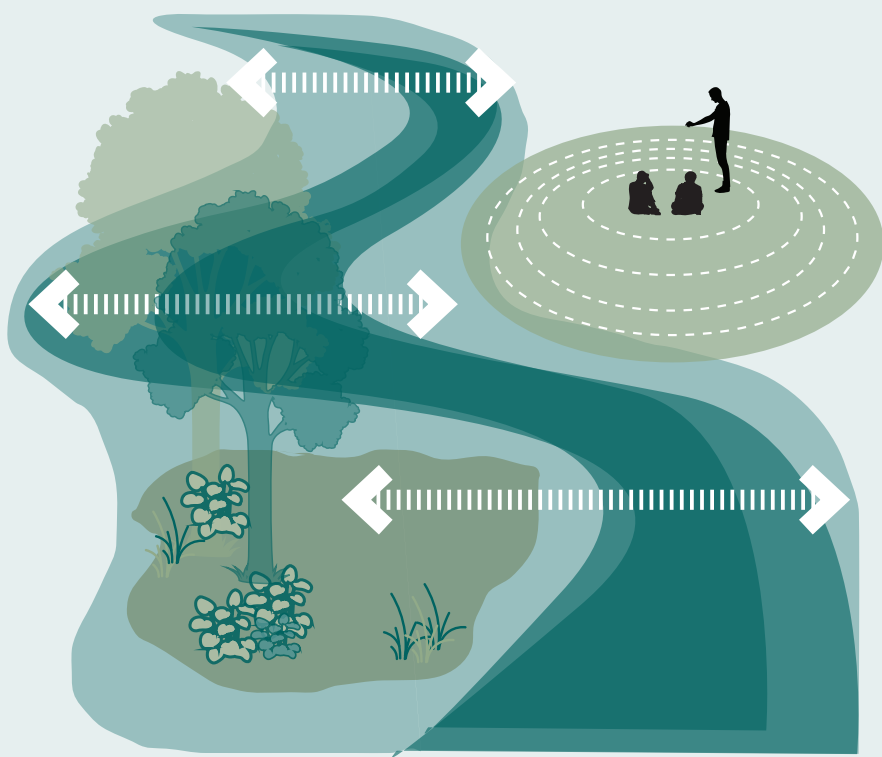
Grouping together likeminded spaces to encourage resident interaction, passive surveillance and custodianship of spaces.



amongst a...

SOOTHING HABITAT

Promoting healing, growth and health of the community through everyday, gentle interactions with the natural environment.



with expertly...

BLENDED DESIGN

Using strategic placement of landscape element's to support the human scale and add an additional layer of privacy to the development.



to...

WELCOME YOU HOME

Drawing residents out of their homes with considerate spaces so they can feel safe and confident interacting with their fellow community.

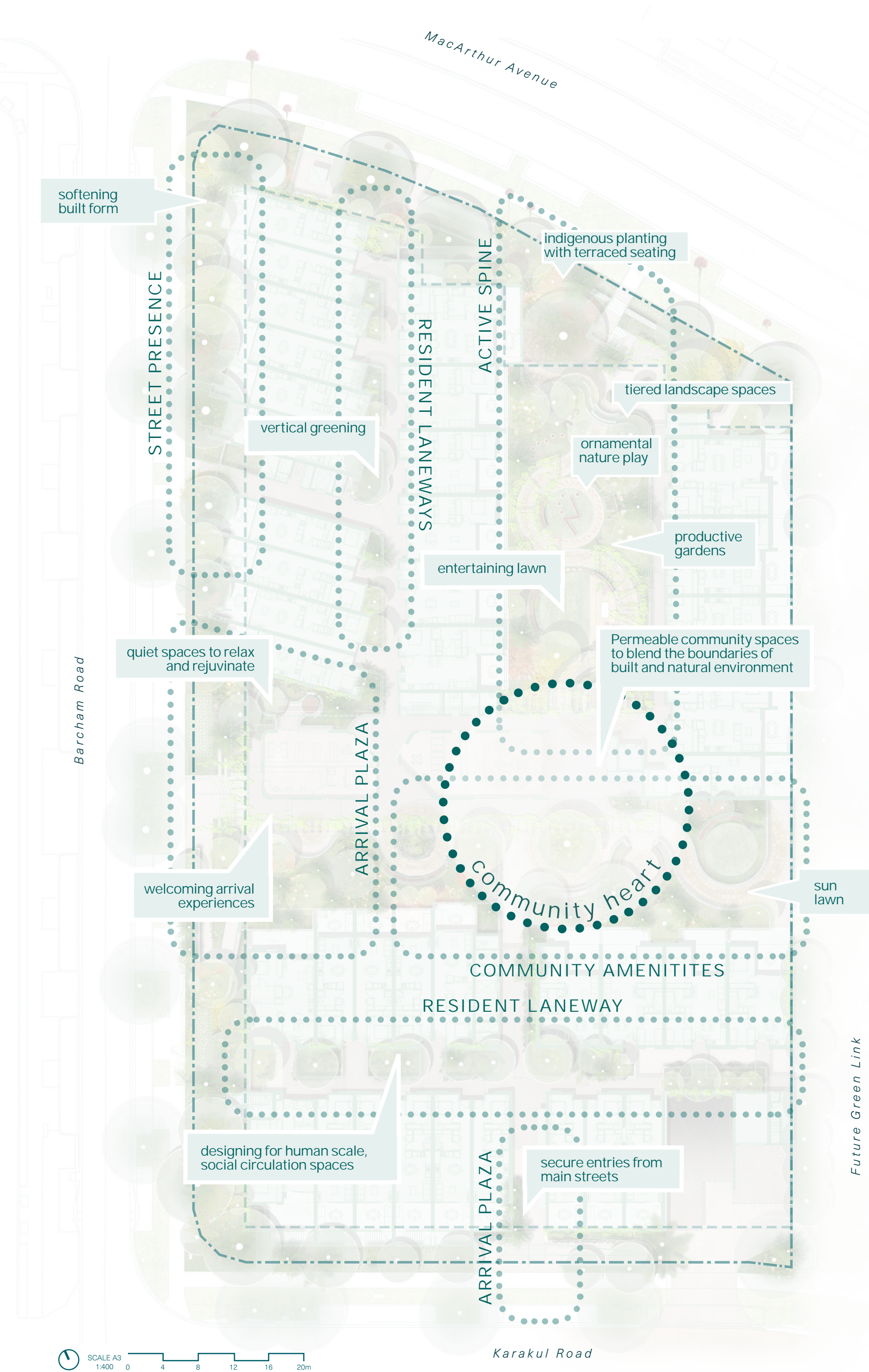
3.0 Design Response

3.1 Engaging Spaces

A curated public realm that will invigorate an engaged and active community ..

DESIGN OBJECTIVES

- Create sense of place, hosting community events
- Grouped active spaces with passive surveillance
- Welcoming and logical public realm
- Softening scale of built form
- Catering for large and small groups
- Incorporate social opportunities where possible
- Delineate public and private access

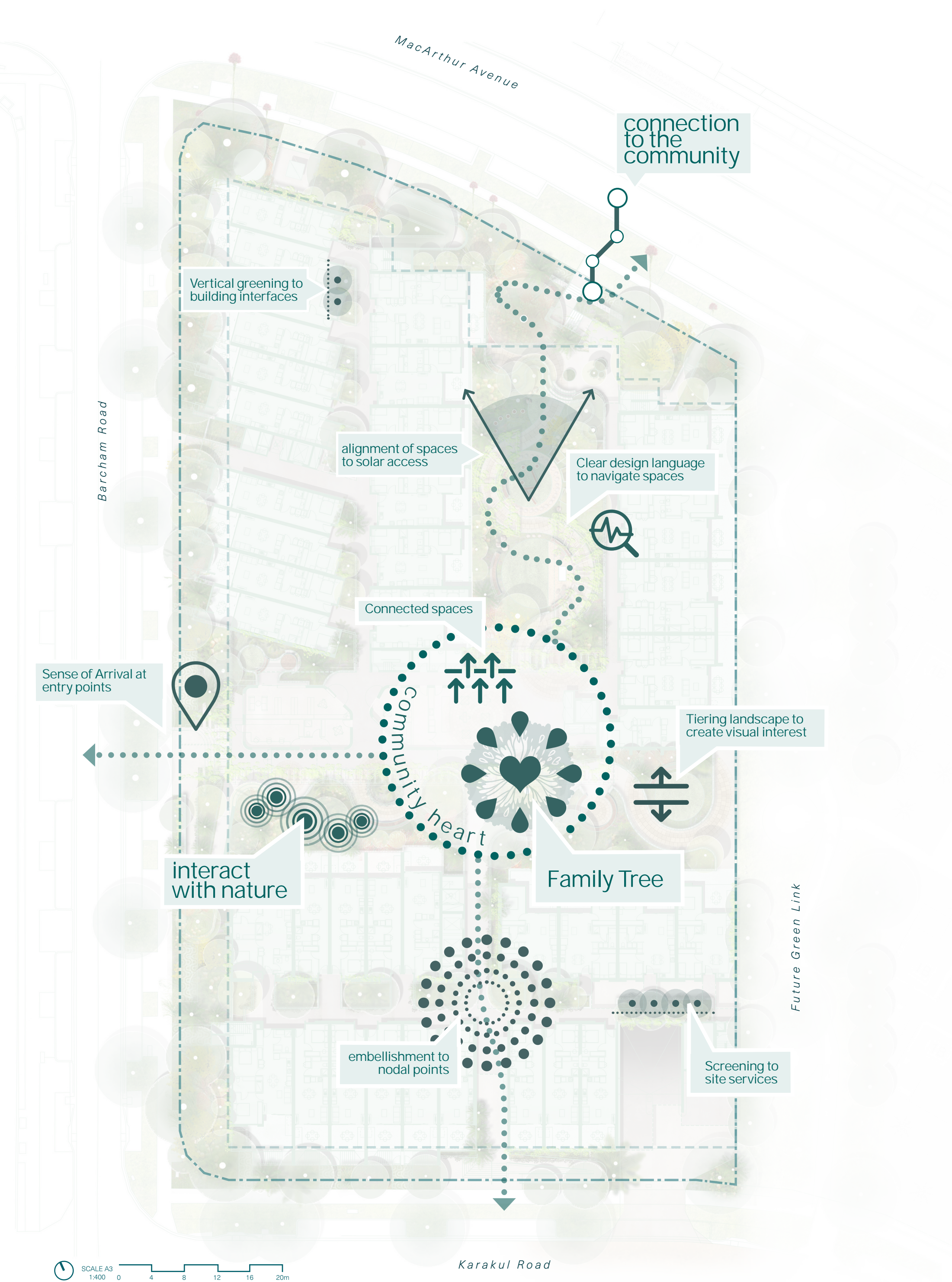


3.2 Memorable Places

Incorporating tactical design strategies to bring warmth and life into the built environment ..

DESIGN OBJECTIVES

- Use of landscape elements to navigate site
- Vertical greening to buildings
- Connected spaces that interact logically
- Centering community space around landscape elements
- Opportunity for connection and interaction with natural elements
- Sense of ownership



3.3 Landscape Plan - Ground Plane

BHC Northshore embodies Yerrol in the modern day, creating a built environment that supports, nurtures and invigorates its populus. Through considered and holistic design, BHC Northshore will envelop its community with warmth and amenity, making for an easy and exciting place to call home.



3.4 Green Infrastructure - Ground Plane

Typical Podium Planters

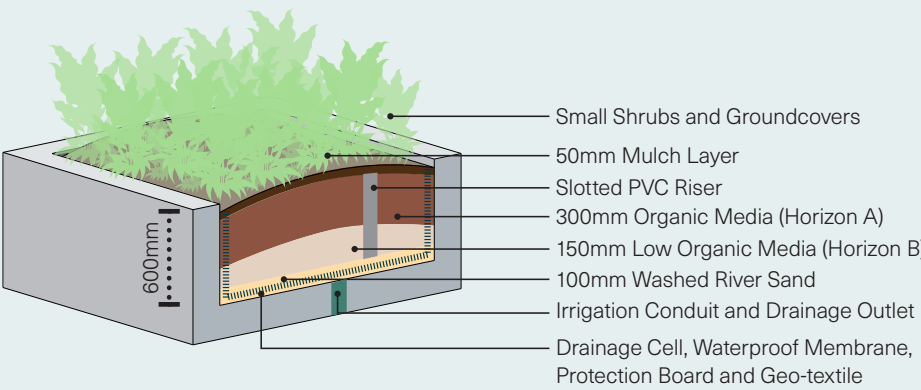
Notes: Adjacent diagram shows **average** soil depth for planters on podium. Depth will be achieved through slab set downs and mounding to soil above retaining walls.
The below planting profiles are indicative only. Further detailed drawings will be provided during the Design Development phase.
Total site area: 7980m2.

Planting in Natural Ground

996m2
12% of total site area

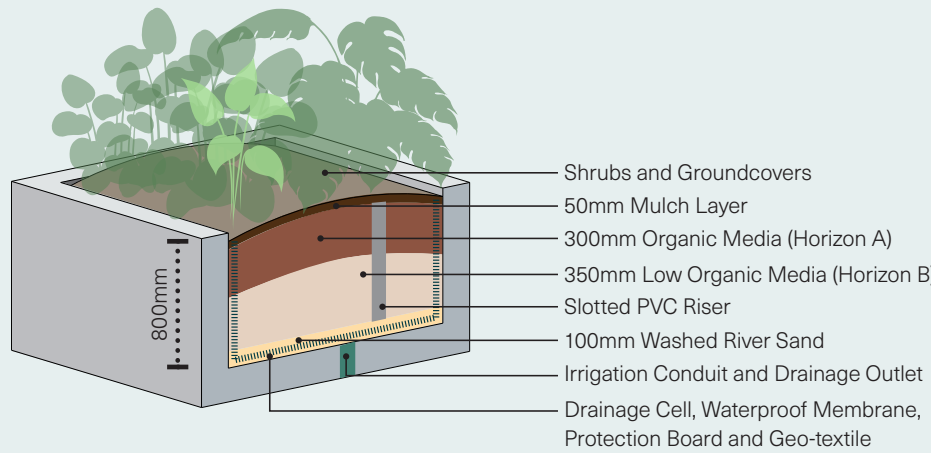
Small Shrubs and Groundcovers

40m2
0.5% of total site area



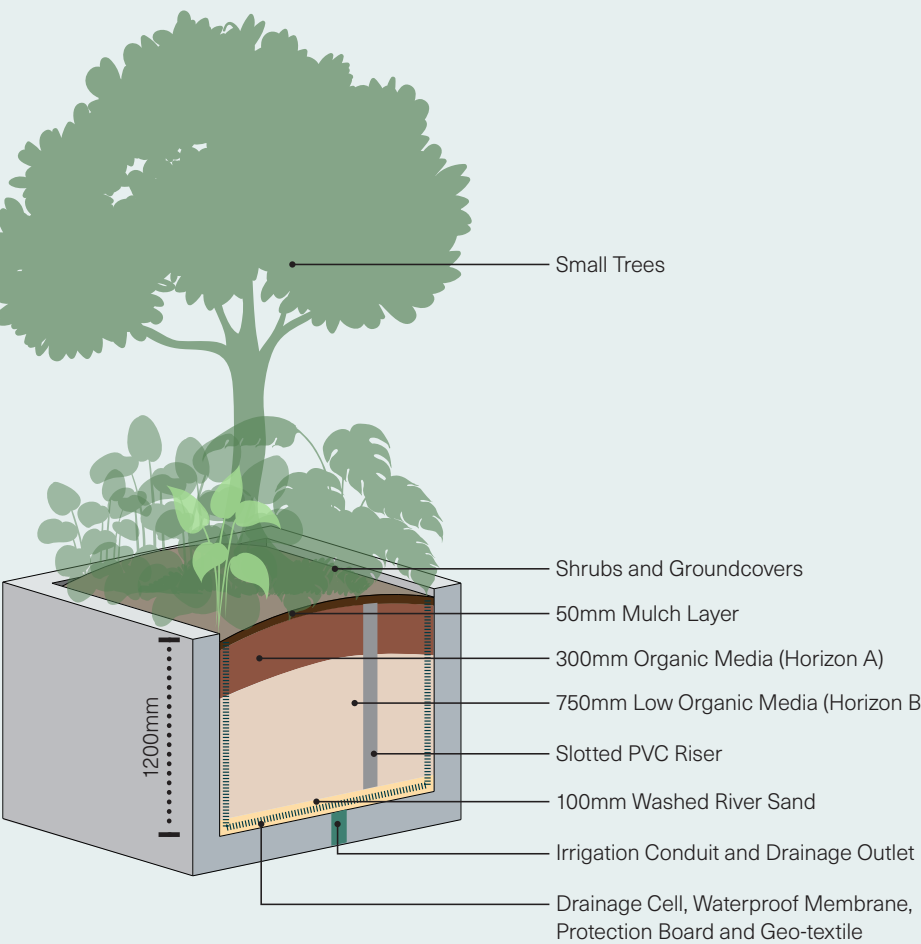
Large Shrubs and Groundcovers

265m2
3% of total site area

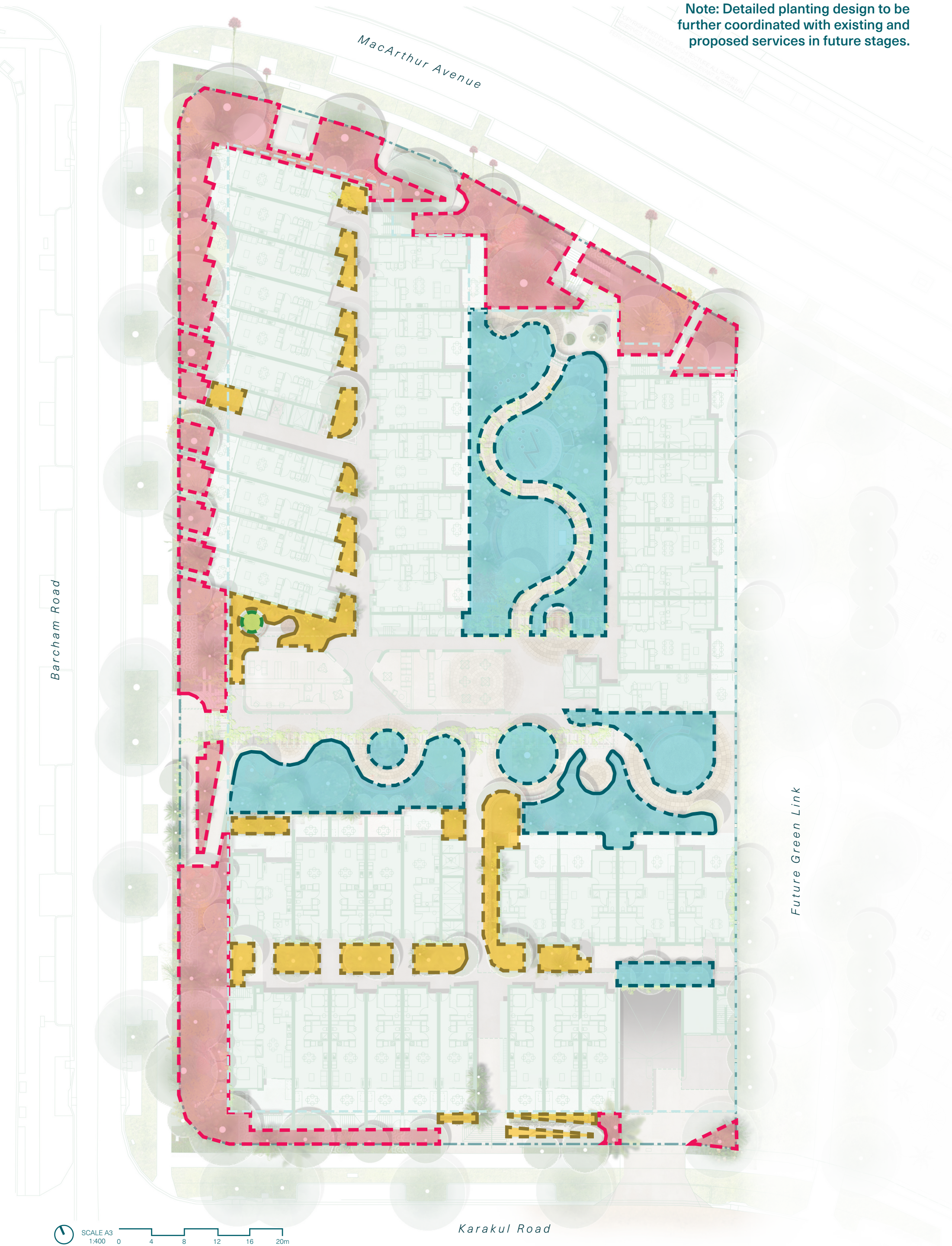


Small Trees

1025m2
13% of total site area

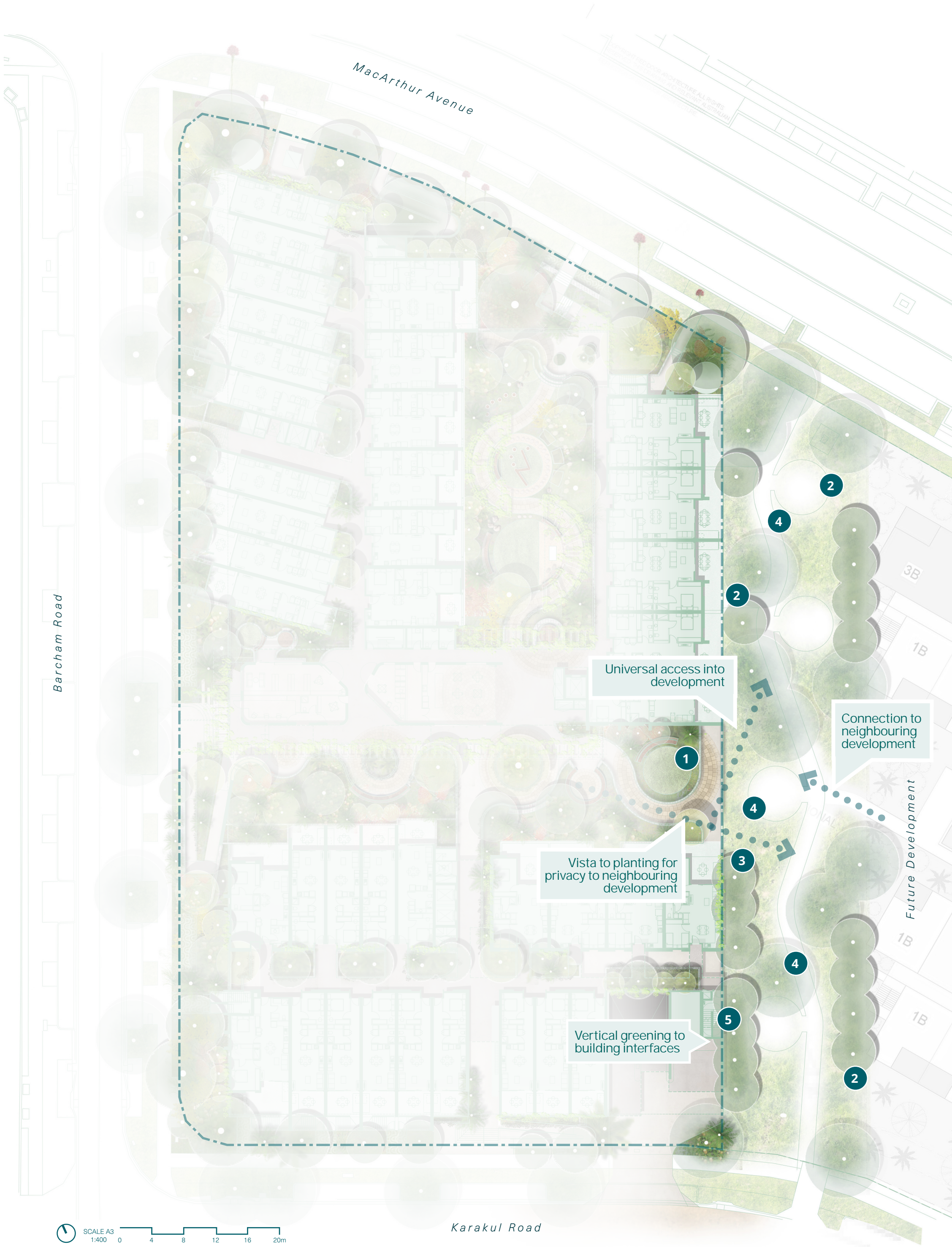
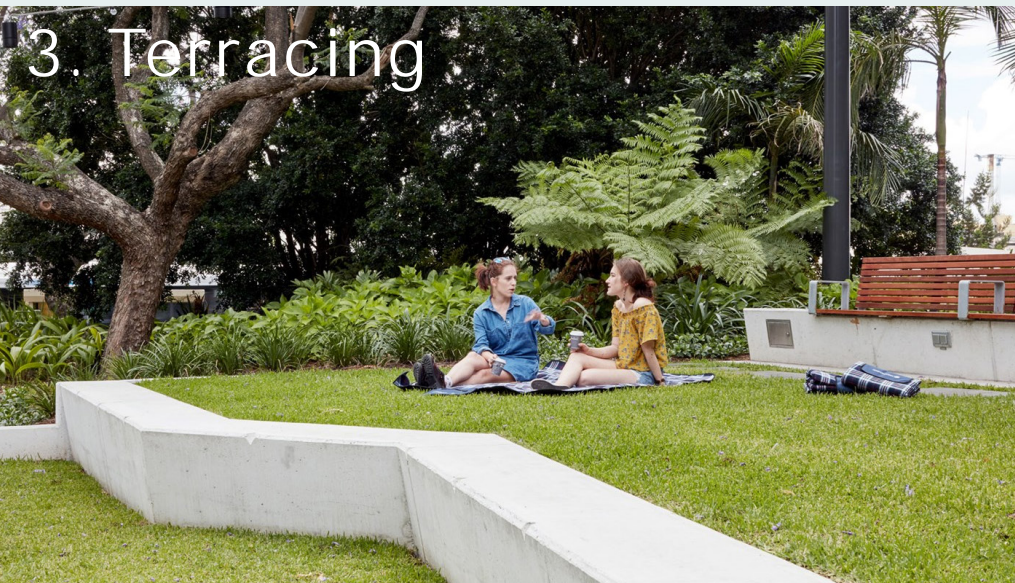


Note: Detailed planting design to be further coordinated with existing and proposed services in future stages.



3.5 Green Link Considerations

BHC Northshore could connect into the adjacent Green Link via a series of terraces and pathways to absorb the required level changes between the two developments. The Green Link is part of the neighbouring developer's scope. The following design is a suggestion for how the neighbouring developments could link. Refer 5.3 + 5.4.



3.6 Landscape Plan - Upper Levels


BHC Northshore will implement a “Ground-Up” approach to greening the upper levels of the development. Through harnessing a series of landscape strategies, the Ground Plane of BHC Northshore will nurture and support planting that will grow over time with the development to soften and screen the upper levels.



3.7 Sustainable Initiatives

BHC Northshore will set the standard for sustainable developments in the local area. Implementing a plethora of water saving, bio diversity enhancing and safety tactics, the development will not only satisfy but exceed the standard for healthy, resilient and positive built environments.

Canopy Establishment

	Canopy Cover
Deep Soil - 14% of total site <i>Refer 3.4 Green Infrastructure</i>	
Podium Planting - 18% of total site <i>Refer 3.4 Green Infrastructure</i>	

Social

S1	Entertaining Areas
S2	Intimate Areas
S3	Connection to Nature
S4	Activated Streetscape

Permeability

	Permeable Paving - 1620m2
	Landscape Areas - 1325m2

Biodiversity

B1	Sensory Gardens
B2	Native Stingless Bee Hives
B3	Community Composting
B4	Habitat Tree
B5	Vegetable Gardens

Active Lifestyle

A1	Bike Racks
A2	Connection to Public Transport
A3	Connection to Public Open Space

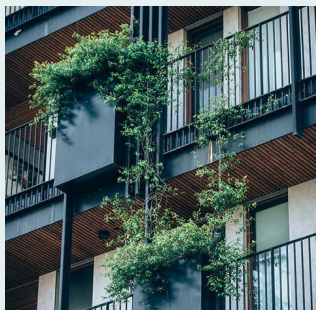


3.8 Materials Palette

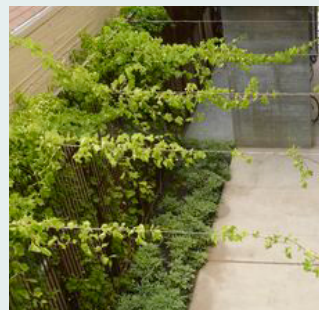
Structures



Lightweight Arbor



Hit + Miss Planter Boxes

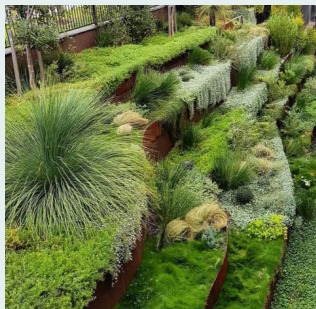


Tensile Wire Trellises

Walls



Feature Brickwork



Steel Edging



Rendered Planter Walls

Furniture



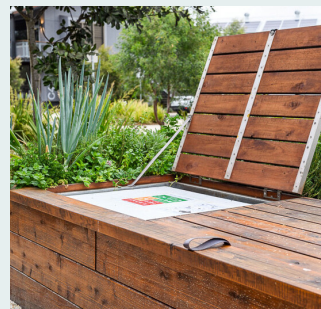
Timber Lounger



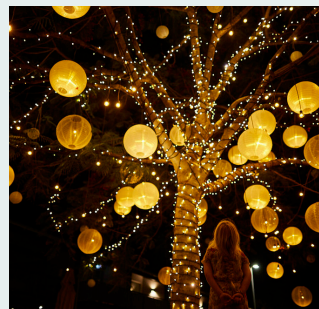
Recycled Terrazzo Tabletop



Pod Seat

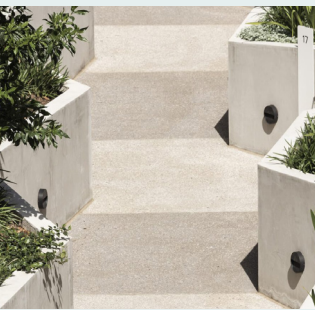


Integrated Composting Bin



Feature Lighting

Pavement



Feature Textured Pavement



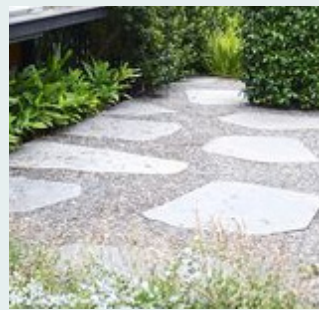
Feature Coloured Aggregate



Decomposed Granite



Steppers in Planting



Steppers in Decomposed Granite

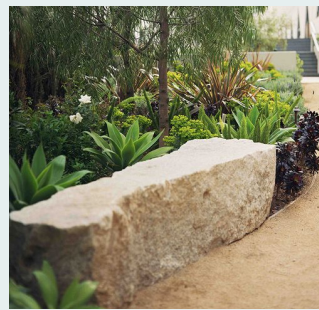
Natural Elements



Timber Log Steppers



Timber Balancing Logs with Decorative Engravings



Feature Boulders

3.9 Planting Intent

Celebrating the local landscape, the planting palette will provide incidental areas of delight, seasonal colouring and areas of production. Endemic species will help connect the site to adjacent nature reserves and attract native birds and insects. The function of the planting will soften and integrate the built form, with an emphasis of vertical and columnar planting.



4.0 Spatial Detailing



4.1 Active Link

Harnessing the ideallic northern aspect, the Active Link provides amenity for entertainment, all ages play and overall fun in the sun. The Active Link incorporates an array of interconnected spaces to flow seamlessly between activities and facilitate large groups of residents and guests.

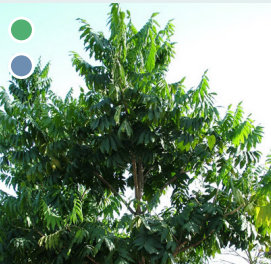
The Active Link includes:

- a community barbecue with seating nodes and arbor cover
- large open lawn for kickabout
- nature play with supervisor seating spaces
- secure entrance point from MacArthur Avenue
- terraced seating for coffee van visits and mingling with the wider Northshore community
- light gardening and vege pods with integrated tool storage and composting
- large workspace connected to communal facilities

Planting Palette:

Northern aspect provides one of the only spaces within the development to recieve full sun. Incorporating a plethora of indigenous and flowering plants to increase biodiversity and resident connection to nature.


Trees



Bumpy Ash
Flindersia schottiana




Weeping Lilly Pilly
Waterhouisia oribunda



Silky Oak
Grevillea robusta



Eumundi Quandong
Elaeocarpus spp.



Ivory Curl
Buckinghamia celsissima

● Indigenous
● Connection to Nature
● Biodiversity Supporting
● Climbing/Screening
● Water Wise

Shrubs



Native Ginger
Alpinia nutans



Butterfly Bush
Gaura lindheimeri



Blue Flax Lily
Dianella longifolia



Billy Buttons
Pycnosorus globosus



River Lily
Crinum pedunculatum



Native Rosemary
Westringea spp.

Understorey



Birthday Candles
Banksia spinulosa



Sarsparilla Vine
Hardenbergia violacea



Kangaroo Vine
Cissus antarctica



Kangaroo Paw
Anigozanthos spp.



Native Daisy
Brachyscome multi da



No-mow Grass
Zoysia tenuifolia



Detail Plan

SCALE A3
1:200



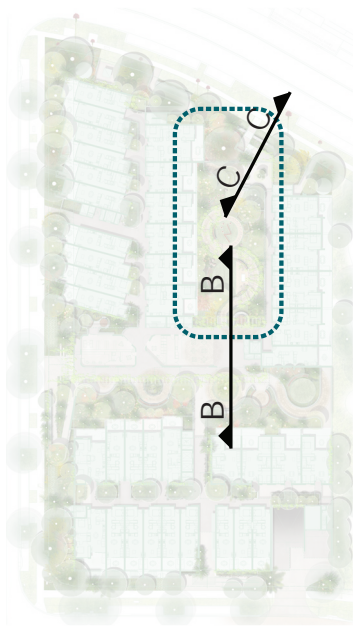
Key

1	Pedestrian Footpath 1.5m width as per BHC Design Guidelines
2	Zoysia Lawn
3	Feature Seating in Planting
4	Sensory Play Path
5	Barbecue Kitchen with Fixed Furniture
6	Lightweight Trellis Screen with Climbers
7	Resident Circulation Footpath
8	Feature Pot Planters to Pavement
9	Stair Access to MacArthur Avenue
10	Seating Terrace to MacArthur Avenue
11	Habitat Tree in Deep Planting
12	Feature Flowering Tree
13	Vegetable Gardens
14	Lightweight Gate House with Climbing Landscape
15	Nature Play Space with Balancing Logs and Log Steppers
16	Lush Tiered Planting Mounded to 1200mm soil depth
17	On Street Parking for Coffee Van
18	Fire Stair Access
19	Building Services
20	Large Outdoor Work Table
21	Trellis to Communal Building - Refer Architect
22	Permeable Pavement
23	Feature Cobble Pavement
24	Deep Planting

--- Security Line - Refer Architect

--- Basement Extent - Refer Architect

--- Property Boundary



4.2 Community Heart

The Community Heart blends the boundaries of indoor and outdoor activity to celebrate life at BHC Northshore amongst a beautifully greened backdrop. This facilitates many exciting activities and opportunities whilst also providing functionality to the operations of the development.

The Community Heart includes:

- Family Tree
- Permeable community building opening out onto piazza
- Entry plaza with DDA access from Barcham Road
- Large and intimate seating nooks
- Raised Zoysia lawns for lounging
- Tiered, fine grain planting for privacy and resident amenity

Planting Palette:

Located along the East-West axis of the development, the Community Heart is an opportune location for shadier, more visually inspiring plants that will thrive in the shadow of the adjacent buildings.

Trees



Bumpy Ash
Flindersia schottiana

Weeping Lilly Pilly
Waterhousia oribunda

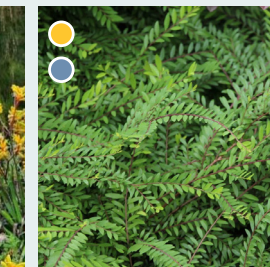
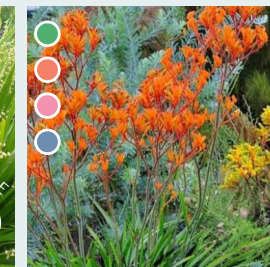
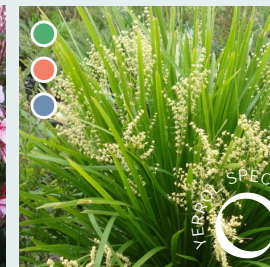
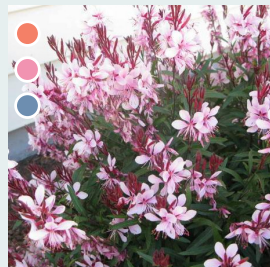
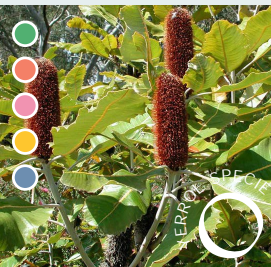
Flame Tree
Brachychiton acerifolius

Quandong
Elaeocarpus spp.

Native Gardenia
Atractocarpus tzalanii

● Indigenous
● Connection to Nature
● Biodiversity Supporting
● Climbing/Screening
● Water Wise

Shrubs



Swamp Banksia
Banksia robur

Butterfly Bush
Gaura lindheimeri

Mat Rush
Lomandra spp.

Kangaroo Paw
Anigozanthos spp.

Waterfall Plant
Phyllanthus multi orus

Understorey



Cousin It
Casuarina glauca

Native Jasmine
Jasminum simplicifolium

Yellow Buttons
Chrysocephalum apiculatum

No-mow Grass
Zoysia tenuifolia

Australian Violet
Viola hederacea

Native Daisy
Brachyscome multi da



Detail Plan

SCALE A3
1:200 0 2 4 6 8 10m

Key

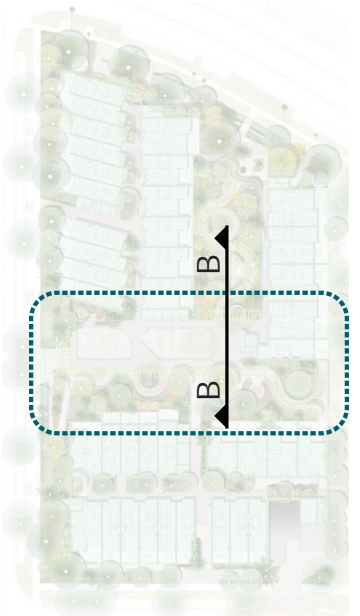
- 1 Pedestrian Footpath
Min. 1.5m width as per BHC Design Guidelines
- 2 Bike Racks on Permeable Pavement
- 3 Feature Seating in Planting
- 4 Lush Tiered Planting
Mounded to 1200mm soil depth
- 5 Feature Flowering Tree
- 6 Climbers on Trellis Structure - Refer Architect
- 7 DDA Accessible Ramp Entry to Barcham Road
- 8 Stair Entry
- 9 Gated Access
- 10 Feature Family Tree Planter with integrated timber seating
- 11 Mailboxes
- 12 External Library Nook
- 13 Terrace Seating
- 14 Raised Zoysia Lawn
- 15 Feature Cobble Pavement
- 16 Community Spill Out Piazza
- 17 Raised Planter
- 18 Green Link Observation Deck
- 19 Building Services
- 20 Feature Centre Planter
- 21 1.8m Fence Atop Basement Wall
- 22 Permeable Pavement
- 23 Privacy Planting to Apartment Balconies

--- Security Line - Refer Architect

--- Basement Extent - Refer Architect

--- Property Boundary

--- Trellis Structure to Building Wall



4.3 Resident Arrival + Laneways

Softening the built form and growing with the development over time, the Resident Arrivals and Laneways will welcome the residents of BHC Northshore home. The main function of these spaces is to humanise the scale of the development and give a sense of privacy and intimacy as residents navigate to their dwelling. .



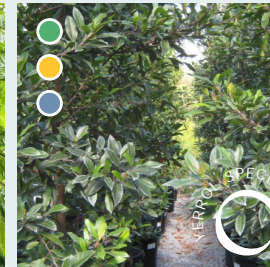
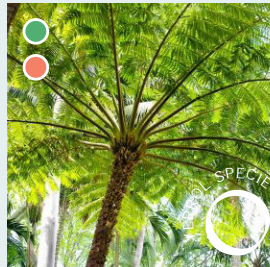

The Resident Arrival + Laneways include:

- Micro climate responsive planting that will thrive in low light areas
- Plants that will grow up masonry walls over time, negating the need for trellis structures
- Strategic placement of key species to assist with resident navigation
- Screening the development both internally (onlooking into apartments) and externally (blending the development into the wider Northshore community).

Planting Palette:

Planting to the resident arrival and laneways will be reminiscent of Yerrol Rainforest as the shadowy undercroft of the apartment buildings replicate a similar microclimate to the rainforest. Deep shade loving plants will make the body of the plant palette for these spaces accented with climbing species that will grow up the faces of the building over time, softening and screening the apartments from overlooking.

Trees



Australian Fan Palm
Licuala ramsayi

Fern Tree
Cyathea cooperi

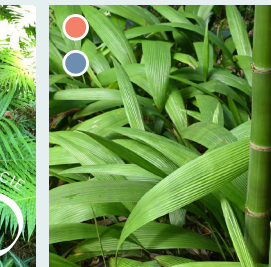


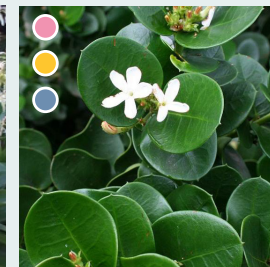
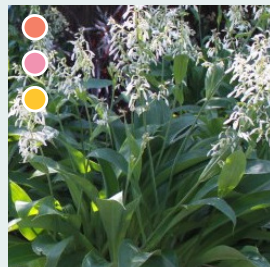
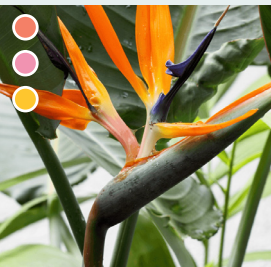
Quandong
Elaeocarpus spp.

Paperplant
Fatsia japonica

Native Gardenia
Atractocarpus tzalanii

Indigenous
Connection to Nature
Biodiversity Supporting
Climbing/Screening
Water Wise

Shrubs



Bird of Paradise
Strelitzia reginae

NZ Rock Lily
Arthropodium cirratum

Desert Star
Carissa macrocarpa

Cunjevoi Lily
Alocasia brisbanensis

Silver Lady
Blechnum gibbum

Palm Grass
Molinieria capitulata

Understorey



Blue Flax Lily
Dianella caerulea

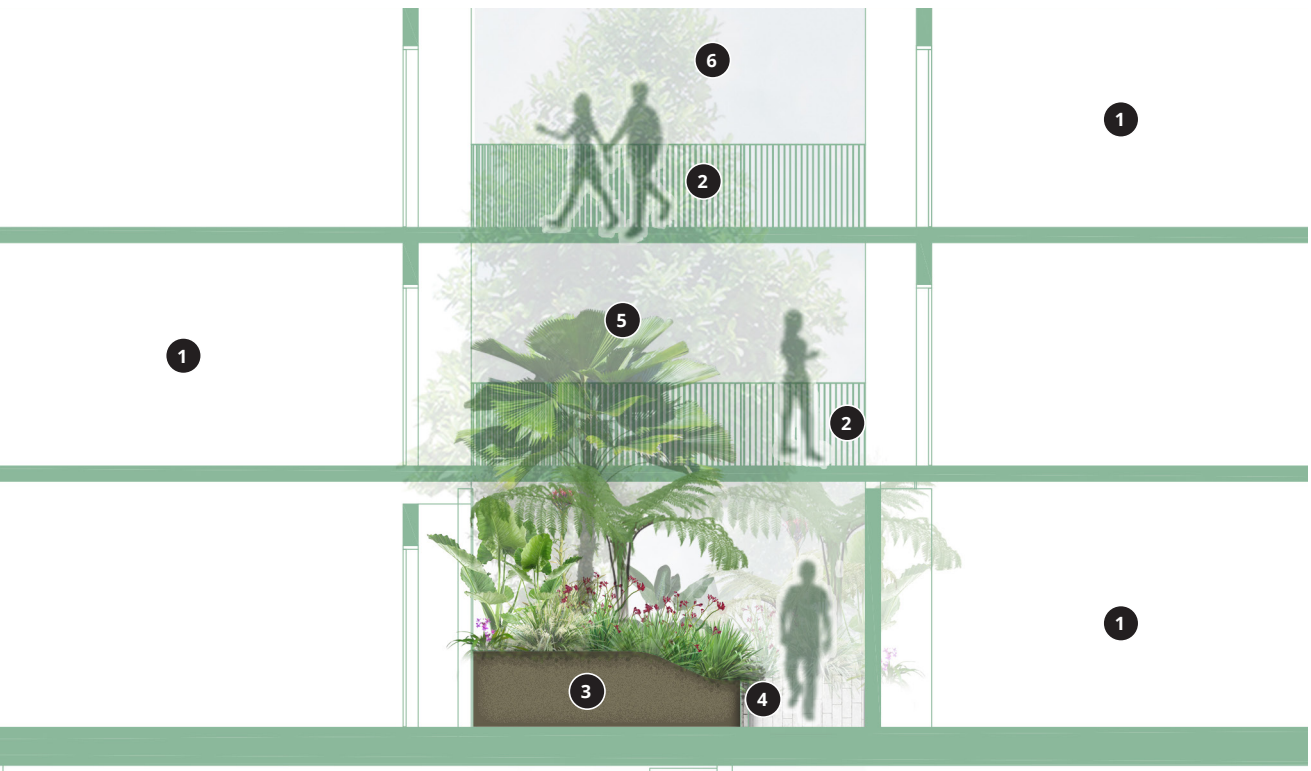
Creeping Fig
Ficus pumila

Australian Violet
Viola hederacea

Native Jasmine
Jasminum simplicifolium

Swiss Cheese Plant
Monstera deliciosa

Ligularia reniformis
Tractor Seat Plant



Detail Plan

SCALE A3
1:200

0 2 4 6 8 10m

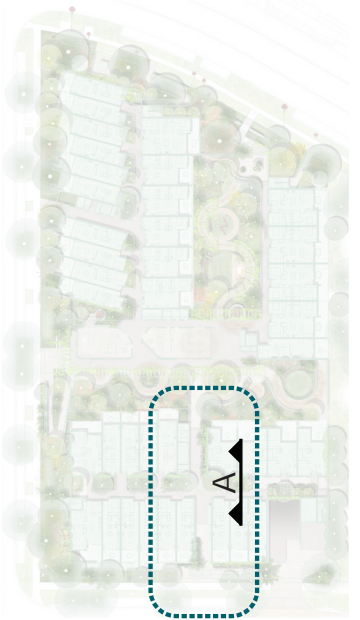
Key

- 1 Pedestrian Footpath
1.5m width as per BHC Design Guidelines
- 2 Bike Racks on Permeable Pavement
- 3 Feature Brick-Look Planter Wall
800mm Wall Height
- 4 Lush Tiered Planting
Mounded to 1200mm soil depth
- 5 Feature Flowering Tree
- 6 Climbers on Trellis Structure
- 7 DDA Accessable Ramp Entry
to Karakul Avenue
- 8 Stair Entry
- 9 Gated Access
- 10 Street Access with Permeable Pavement
- 11 Deep Planting Buffer
- 12 Existing Street Tree Planting

--- Security Line - Refer Architect

--- Basement Extent - Refer Architect

--- Property Boundary



Section AA

SCALE A3
1:100

0 1 2 3 4 5.0m

Key

- 1 Proposed Building
- 2 Walkway Over
- 3 Podium Planter
Mounded to 1200mm soil depth
- 4 Feature Bagged Brick Planter Wall
- 5 Deep Shade Trees
- 6 Columnar Tree Behind

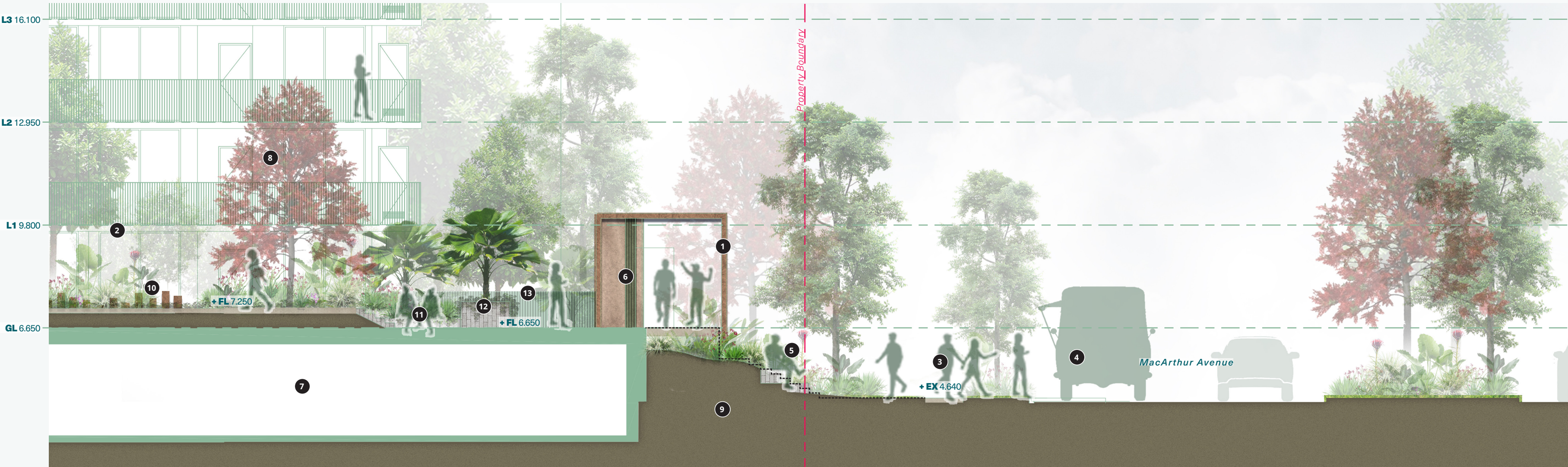
4.4 Site Sections



Section BB

SCALE A3
1:100 0 1 2 3 4 5.0m

Key	
1	Communal Open Space <i>Refer 4.1 Active Link</i>
2	Communal Open Space <i>Refer 4.2 Community Heart</i>
3	Community Outdoor Kitchen
4	Podium Planting <i>Depth varies, mounded to 1200mm where tree planting occurs. Refer 3.4 Green Infrastructure</i>
5	Feature Flowering Tree
6	Community Workspace
7	Family Tree Planter <i>Min. 800mm soil depth, mounded to 1200mm where tree planting occurs.</i>
8	Terrace Seating
9	Community Piazza
10	Outdoor Picnic Setting
11	Feature Brick Seating Wall
12	Trellis to Building Edge
13	Sensory Path <i>through Active Spine</i>
14	Arbour Structure <i>to Active Spine</i>
15	Extended Ground Floor Courtyards
16	Balustrade <i>atop Planter Wall</i>

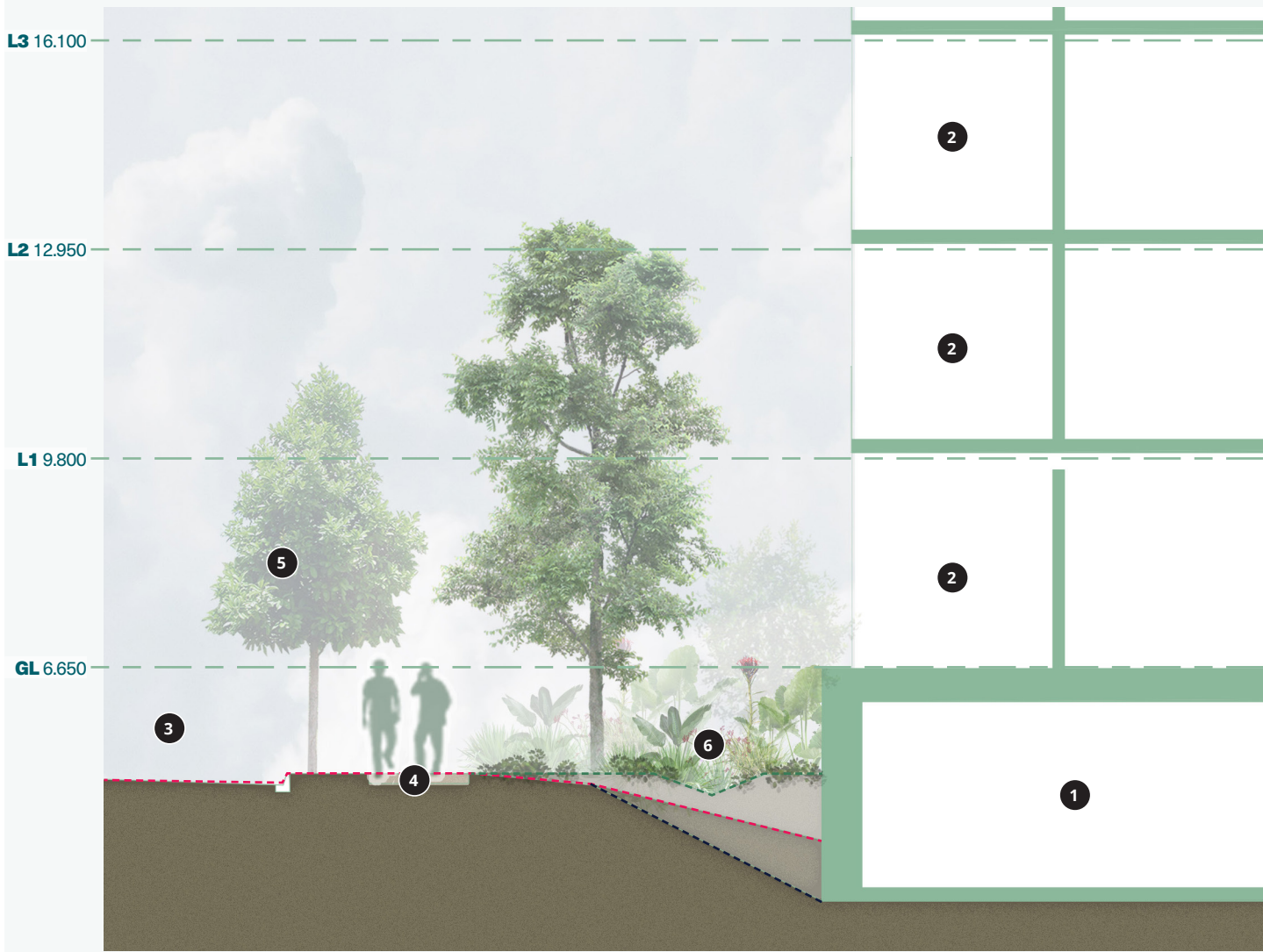


Section CC

SCALE A3
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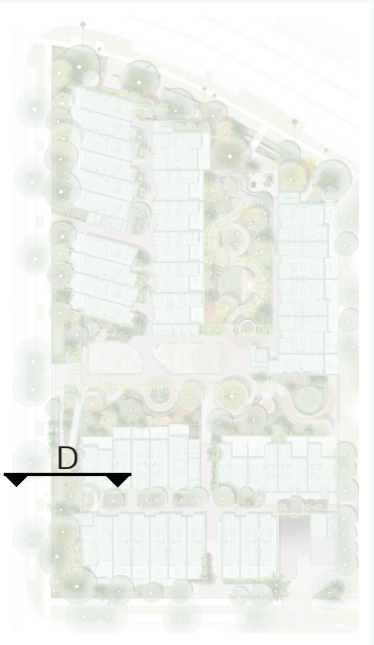
Key	
1	Tiered Staircase and Gatehouse <i>to MacArthur Avenue</i>
2	Communal Open Space <i>Refer 4.1 Active Link</i>
3	Existing Streetscape
4	Street Parking for Coffee Van
5	Terrace Seating
6	Security Access Gate
7	Basement
8	Feature Flowering Tree
9	Deep Planting
10	Nature Play <i>Refer 4.1 Active Link</i>
11	Seating Wall
12	Feature Pot Planter
13	Balustrade <i>1100mm height</i>
-----	Profile of Staircase <i>Behind deep planting</i>

4.5 Streetscape Detail Section



Key	
1	Basement <i>Refer Architect</i>
2	Private Dwellings <i>Refer Architect</i>
3	Barcham Road
4	Existing Footpath <i>As per BCC Standard Detail</i>
5	Existing Street Tree
6	Proposed Finished Planter Bed <i>Refer Detail Plans and Planting Palette</i>
<i>Detail by Civil Engineer:</i> Area between RP Boundary and Basement Extent to be filled to raise FSL. Swale to be shaped by contractor to manage overland flow.	
---	Existing Ground Line
---	Bulk Earthworks Surface <i>Refer Civil Engineer</i>
---	Proposed Finished Surface <i>Refer Civil Engineer</i>

Note: Detailed planting design to be further coordinated with existing and proposed services in future stages.



4.6 Site Elevations



MacArthur Frontage - Elevation A



- Key
- 1 Deep Planting Buffer
 - 2 Building Services
Refer Architect
 - 3 Open Lawn
with Seating Terrace
 - 4 Existing Streetscape
 - 5 Existing Street Tree
 - 6 Habitat Tree
in Deep Planting
 - 7 Secure Line
with Gate Access
 - 8 Fire Egress Discharge Point
 - 9 Feature Flowering Tree
 - 10 Stair Access to Development



Barcham Road Frontage - Elevation B



- Key
- | | |
|--|---|
| 1 Deep Planting Buffer | 7 Bike Racks
<i>on Permeable Pavement</i> |
| 2 Tiered Planting
<i>to Private Entries</i> | 8 Entry Arbour
<i>with Climbing Plants</i> |
| 3 Private Apartment Entrance
<i>with Permeable Pavers</i> | 9 Feature Flowering Tree |
| 4 Main Pedestrian Entrance | 10 Climbers to Masonry Wall |
| 5 Secondary Pedestrian Entrance | 11 Fire Egress Discharge Point |
| 6 Seating Wall in Planting | |

5.0 Appendix

5.1 Project Notes

5.1.1 GENERAL

Scope of works as shown on drawings. All garden areas to have minimum internal width of 600mm. A durable edge is to be provided between all garden beds and turfed areas or areas of other loose material.

5.1.2 CULTIVATION

Subsoil is to be cultivated prior to spreading topsoil to a minimum depth of 150mm unless this will adversely affect the roots of established trees.

5.1.3 TOPSOIL

Standards: To AS 4419 ‘Soils for landscaping and garden use.’

Priority is to be given to using existing site topsoil provided it meets or can be cost-effectively ameliorated to be the Australian Standard. If additional soil is required to meet the minimum depths, the imported topsoil is to meet the Australian Standard. Fit for purpose on podiums.

5.1.4 MULCH

Standards: To AS4454 ‘Compost, soil conditioners and mulches’.

Mulch Type: Hoop Pine bark - 75 to 100mm deep

5.1.5 TREES

Minimum sizes: refer to plant schedules.

Trees adjacent to pathways, entries, parking areas and driveways shall be capable of attaining a 1.8m clear trunk height on maturity.

Staking: All trees shall be staked or guyed as appropriate

All trees supplied are to comply with Australian Standard AS2303: 2015 ‘Tree Stock for Landscape Use.’

Trees on podium areas have been selected for their robust qualities to withstand windy aspects.

5.1.6 SHRUBS AND GROUNDCOVERS

Plant species selection shall be finalised in accordance to container type, size and location, taking into account orientation, shading and wind.

Minimum sizes: refer to plant schedules

Shrubs shall not exceed 1m height along street frontages, pathways and adjacent to open space areas. Landscaping, planting and mounding shall not interfere with visibility along a pathway.

Planting densities and stock sizes are to ensure full coverage of mulched planting areas within 2 years.

5.1.7 PODIUM PLANTING & STREET TREES

Podium planting and Street Trees in compliance with Brisbane City Council Standard Drawings

5.1.8 PEDESTRIAN PAVEMENTS

All pedestrian pavements shall be stable and usable in all weathers. All pedestrian surfaces shall have a classification of ‘W’ or ‘V’ to AS/NZS 4596 ‘Slip Resistance classification of new pedestrian surface materials’.

5.1.9 IRRIGATION

All garden beds and planter boxes in common areas shall be irrigated by a reticulated irrigation system.

The irrigation system is to be designed by a suitably qualified person accredited as a certified irrigation designer by the Irrigation Association of Australia, holding a diploma of Irrigation, or with equivalent experience.

Proposed location of rainwater harvesting tank for irrigation is on the Roof Plant Void level. Refer to Architect’s and Engineer’s drawings.

Irrigation controllers shall be located in accessible areas.

Hose cocks shall be provided in each lanscape zone for maintenance.

5.1.10 DRAINAGE

All pavements, turf and planted areas shall be adequately drained. All garden beds and planter boxes shall be drained with sub-surface drains connected to stormwater. Wherever possible surface run off shall be directed towards garden beds, turf or other permeable surfaces where water quality is conducive to plant growth. Landscaping uses appropriate materials to maintain the function of an overland flow path.

5.1.11 LIGHTING

Lighting shall be provided to entries, driveways and pedestrian pathways.

Standards: To AS/NZS 1158 ‘Lighting for Roads and Public Spaces’.

5.1.12 ESTABLISHMENT AND DEFECTS LIABILITY

An establishment period of 12 weeks from the date of practical completion shall apply to landscape softworks (planting). During the establishment period, the plantings will be watered, weeded, pruned and monitored to ensure the softscape is growing well at the end of the period, with any dead or failing plants to be replaced.

A defects liability period of 12 months from the date of practical completion shall apply to landscape hardworks.

5.2 Maintenance Guidelines

5.2.1 GENERAL GUIDELINES & TERMS

The plants, when established are resilient to fluctuations in essential levels of, water and nutrition. Best results are achieved when continuity of supply is maintained. Any disruption to power and water to the irrigation must be highlighted to a supervisor.

Short disruptions should not matter, but the longer that any essential element is disrupted the longer it will take for the landscape to recover. The most obvious indicator of health is the landscape as a whole, not the individual plants. The individual plants can, however, be initial indicators by themselves.

These indicators could be one or several of the following:

- 1. Cessation of flowering
- 2. No new leaf production and wilting of any new leaf growth
- 3. Bleaching or discoloration of leaves (greens fading)
- 4. Wilting, rolling and quilling of leaves (eventually all)
- 5. Yellowing then browning of leaves (eventually all)

After onsite establishment, the vertical green infrastructure elements should be washed down 2-3 times each year minimum to remove dust and pollution.

Any dead foliage or dead flower spikes can be trimmed using a pair of secateurs or sharp scissors. Best practice is to sanitize all cutting tools after maintenance sessions by dipping them in methylated spirits or spraying with rubbing alcohol.

Plants affected by caterpillars (mechanical chewing pests) to be sprayed with “Mavrik”

Plants affected by aphids (sucking pests) to have “Confidor” added direct to nutrient tank.

Please note the following terms:

- Any interruption to water or power supply resulting in plant loss necessitating replanting works the cost of access, labour and plants will be assessed, quantified for approval and sent to client for approval ahead of commencing replanting works.
- Any damage to plants and the green infrastructure system as a whole, deemed an act of vandalism will be assessed, quantified and invoice to client. This scope of work falls outside regular scheduled green infrastructure maintenance.

5.2.2 CONTRACTED SERVICE AGREEMENT

The following items will be checked by a maintenance supervisor on all scheduled maintenance visits:

- The fertiliser nutrient level; if this is low, it will be topped up.
- The irrigation system; it will be tested and any necessary adjustments made
- Pests and diseases will be controlled
- Dead leaves or flower spikes will be trimmed where necessary
- The vertical green infrastructure elements will need a complete wash down 2-3 times a year.
- Verify all lights are operating.
- Ensure adequate drainage.

5.2.3 MAINTENANCE SCHEDULE FOR ALL PLANTING

Initial Service – One off service

- Prune and manage foliage removing any foliage displaying signs of stress or disease.
- Wash foliage to remove built up of dust, pollution.

Regular service – Once a month

- Prune and manage foliage removing and foliage displaying signs of stress or disease.
- Apply Fungicide and or systemic pesticide where required.

Major service – approx. 2 times a year

- Succession planting – replace seasonal plants where required.
- Wash foliage to remove built up dust and pollution.

5.3 Green Link Interim Connection



5.4 Green Link Future Connection



