

DRAWING LIST

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3	Ground Floor Plan
4	Level 1
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6	Elevations - Sheet 2
7	3D's - Sheet 1
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12	Electrical Plan - Level
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14	Area Calc - Level 1

GENERAL NOTES

DO NOT SCALE FROM THE DRAWINGS, USE FIGURED DIMENSIONS. CONFIRM ALL DIMENSIONS ON SITE. ALL RL'S ARE RELATIVE STRUCTURAL RL'S GIVEN IN AHD. ARROWS INDICATE DIRECTION OF FALLS GENERALLY AND RISE ON STEPS & RAMPS. ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT'S DOCUMENTATION

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE AND LOCAL GOVERNMENT REQUIREMENT.

IN ACCORDANCE WITH NCC ABCB HOUSING PROVISIONS 10.2 WET AREA WATER PROOFING.

BALUSTRADE & HANDRAILS

ALL BALUSTRADING & HANDRAILS TO COMPLY WITH NCC ABCB HOUSING PROVISIONS SECTION 11 SAFE MOVEMENT AND ACCESS, PART 11.3 BARRIERS AND HANDRAILS

TERMITE PROTECTION

PROVIDE TERMITE PROTECTION AS PER AS3660.1 & NCC ABCB HOUSING PROVISIONS SECTION 3 SITE PREPARATION PART 3.4 TERMITE RISK MANAGEMENT

ENERGY EFFICIENCY

NCC ABCB HOUSING PROVISIONS SECTION 13,NCC VOLUME TWO SECTION S42C2 & QDC

ALL STEELWORK TO COMPLY WITH AS 4100 - STEEL STRUCTURES.

ALUMINIUM & GLAZING IN ACCORDANCE WITH AS 2047 & NCC ABCB HOUSING PROVISIONS SECTION 8

ABCB HOUSING PROVISIONS

OTHER CONT'D

STAIR CONSTRUCTION IS TO BE COMPLIANT WITH ABCB HOUSING PROVISIONS SECTION 11 & ENGINEER'S DRAWINGS.

LOCATION OF EXISTING SERVICES TO BE VERIFIED BY BUILDER PRIOR TO COMMENCEMENT OF CONSTRUCTION.

POSITION OF PROPOSED BUILDING TO BE CONFIRMED BY BUILDER ON SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

PROVIDE BRACING & TIEDOWN TO TIMBER FRAMING IN ACCORDANCE WITH AS 1684.2 / 1684.3. ALL OTHER BRACING & TIEDOWN TO ENGINEERS DETAIL.

EXTERNAL FITTINGS & FIXTURES TO BE CORROSION RESISTANT MATERIAL

SITE PREPARATION

ALL WORK TO BE IN ACCORDANCE WITH THE REQUIRMENTS OF THE NCC 2022 VOL 2 AND STABILIZED CUT & FILL BATTER TO BE A MINIMUM OF 1000mm AWAY FROM FOOTINGS WITH A MAXIMUM GRADIENT OF 1 IN 1. GRADE FINISHED SURFACE LEVEL AWAY FROM SLAB & FOOTINGS.

DRIVEWAYS & PATHS

A MINIMUM OF 20mm FALL OVER FIRST METRE FROM BUILDING.

LOCATION OF EXISTING SERVICES TO BE VERIFIED BY BUILDER PRIOR TO CONSTRUCTION. SEWERAGE DISCHARGE TO EXISTING SEWER IN ACCORDANCE WITH AS

STORMWATER DRAINAGE

IN ACCORDANCE WITH AS 3500.3 AND RCC.

90 DIA. DOWNPIPES TO STORMWATER PIPES WITH 200mm MINIMUM COVER (1:100 MINIMUM FALL). 1 DOWNPIPE PER 12m OF GUTTER. REDUCED BY 1 METRE FOR EACH BEND IN GUTTER.

PROVIDE SMOKE ALARMS TO THE RESIDENCE IN ACCORDANCE WITH PART 3.7.2 OF THE NCC VOL 2. ALARMS SHALL BE CONNECTED TO MAINS POWER.

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06.02.2023 Design Development - details added for clarity 12.02.2023 Design adjustment to include overhangs 23.02.2024 Design development submission 24.09.2024 Preliminary plan issue

TITLE Coversheet DATE 01.10.2024 SCALE

ADDRESS Lot 1 Songbird Harmony PROJECT NO DWG no Jodie Spies & Michael McConnell

ISSUE

PROPERTY DESCRIPTION

LOT 01 ON SP---BRISBANE CITY COUNCIL AREA: APPROX. 907m²

SITE COVERAGE

SITE AREA 907m² TOTAL FOOTPRINT 262.00m² SITE COVER 28.89%

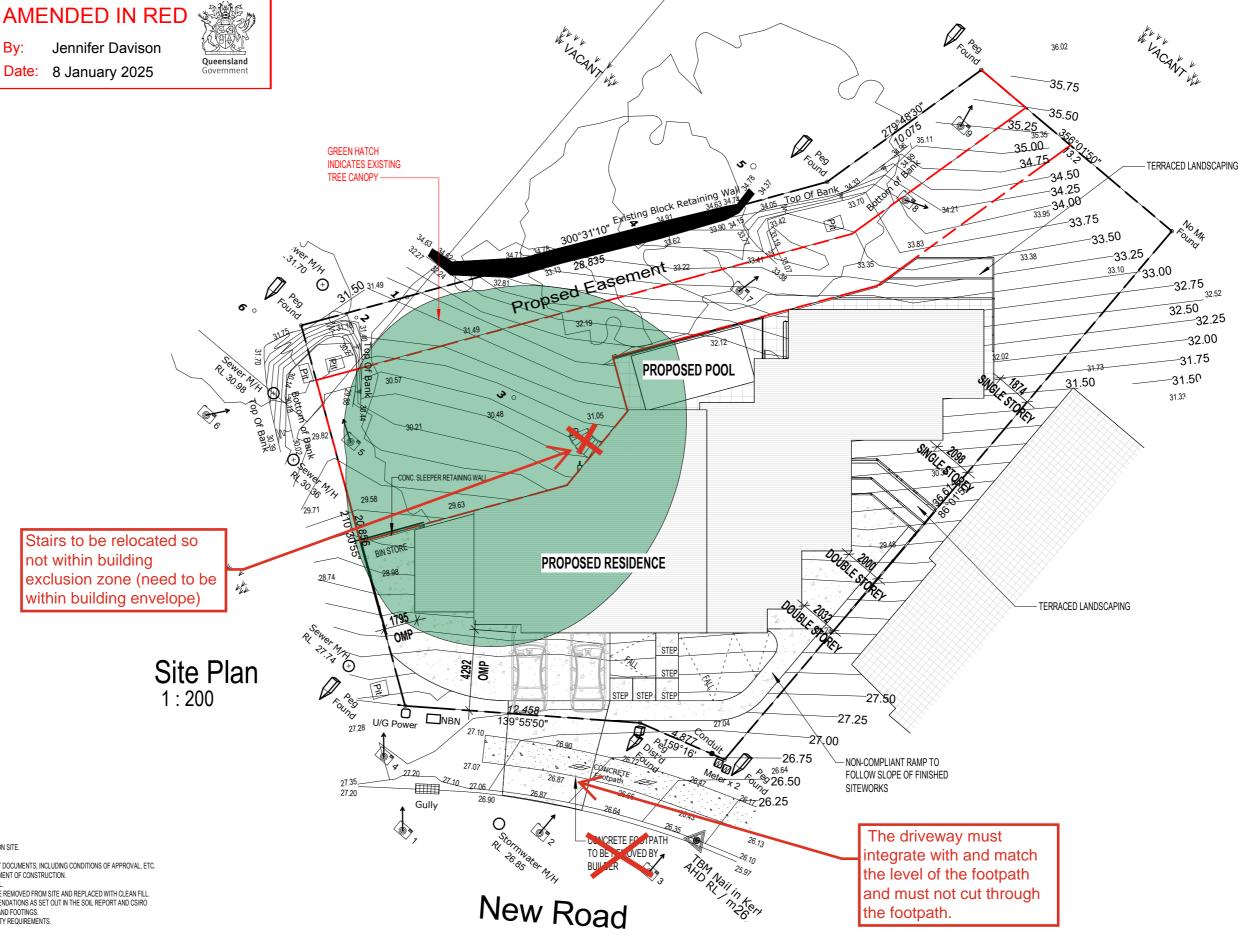
AREA SCHEDULE NAME AREA Alfresco 20.15 m² 11.09 m² Balcony 4.28 m² Courtyard 70.02 m² Garage Level Ground Floor 67.62 m² Level 1 189.80 m² 14.99 m² Porch 377.95 m²

AMENDED IN RED

By:

Jennifer Davison

Queensland



LEGEND

- DP DOWNPIPE MB METER BOX (LOCATION TO BE
- CONFIRMED ON SITE BY ELECTRICIAN)
 HWS HOT WATER SYSTEM
- LB LETTERBOX OMP OUTER MOST PROJECTION
- FOW FACE OF WALL
 STORMWATER PIT (ALLOCATION OF PITS TO BE CONFIRMED ON SITE BY PLUMBER)

GENERAL NOTES

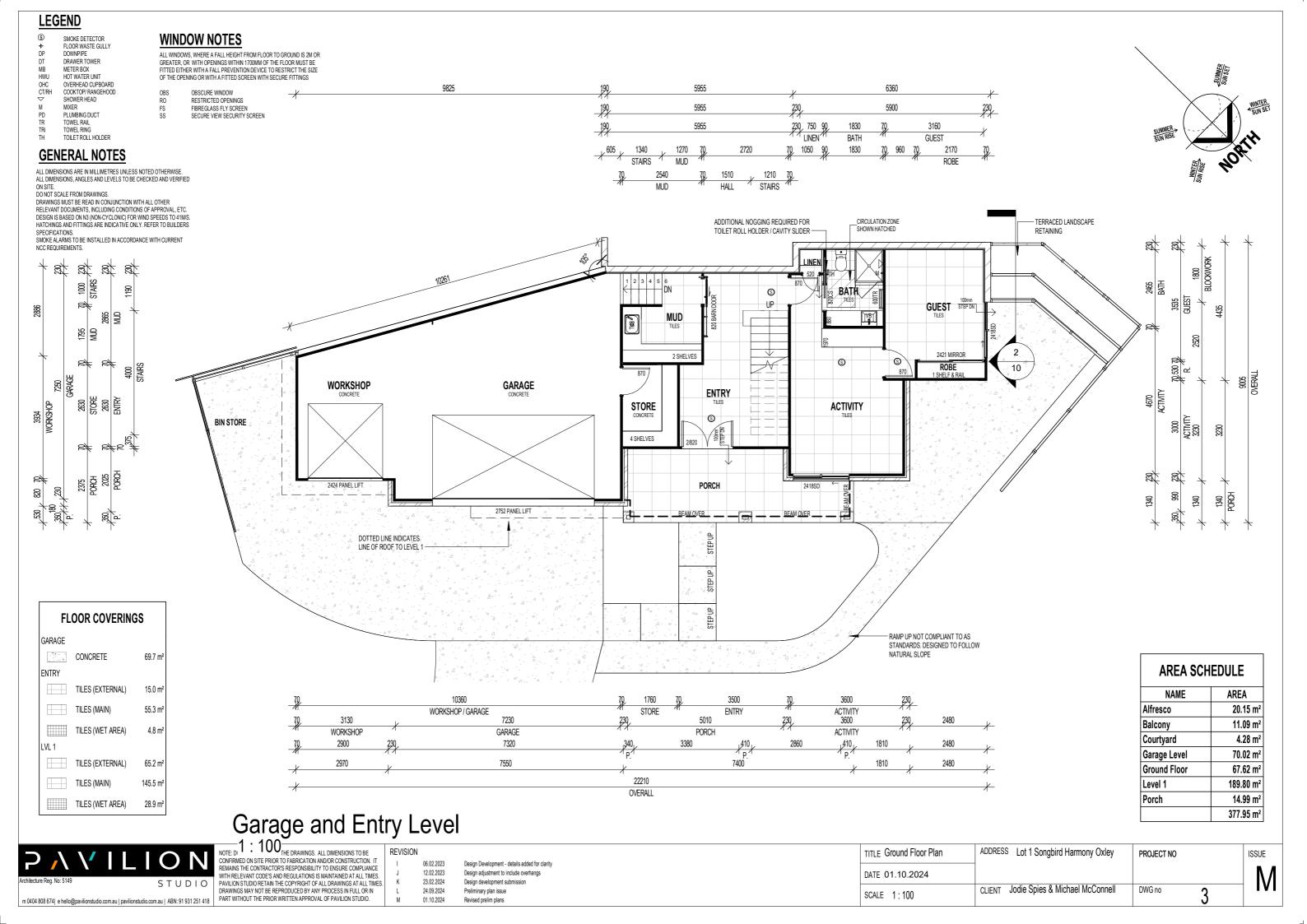
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
 ALL DIMENSIONS, ANGLES AND LEVELS TO BE CHECKED AND VERIFIED ON SITE. DO NOT SCALE FROM DRAWINGS.
- DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DOCUMENTS, INCLUDING CONDITIONS OF APPROVAL, ETC.
- ALL SURVEY PEGS ARE TO BE SITED IN POSITION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE DWELLING IS NOT TO EXCEED 8.5M ABOVE NATURAL GROUND LEVEL. ALL VEGETATION. RUBBISH. TOPSOIL AND CONTAMINATED FILL SHALL BE REMOVED FROM SITE AND REPLACED WITH CLEAN FILL
- THE SITE IS TO BE ADEQUATELY DRAINED TO THE ENGINEERS RECOMMENDATIONS AS SET OUT IN THE SOIL REPORT AND CSIRO RECOMMENDATIONS FOR THE MAINTENANCES OF RESIDENTIAL SLABS AND FOOTINGS.
- STORMWATER TO STREET KERB IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.
 ALL DOWNPIPES TO BE 90MM DIAMETER UPVC. NUMBER OF AS SHOWN.
- REFER TO ENGINEERS DESIGN AND DETAILS FOR HOUSEHOLD WASTE

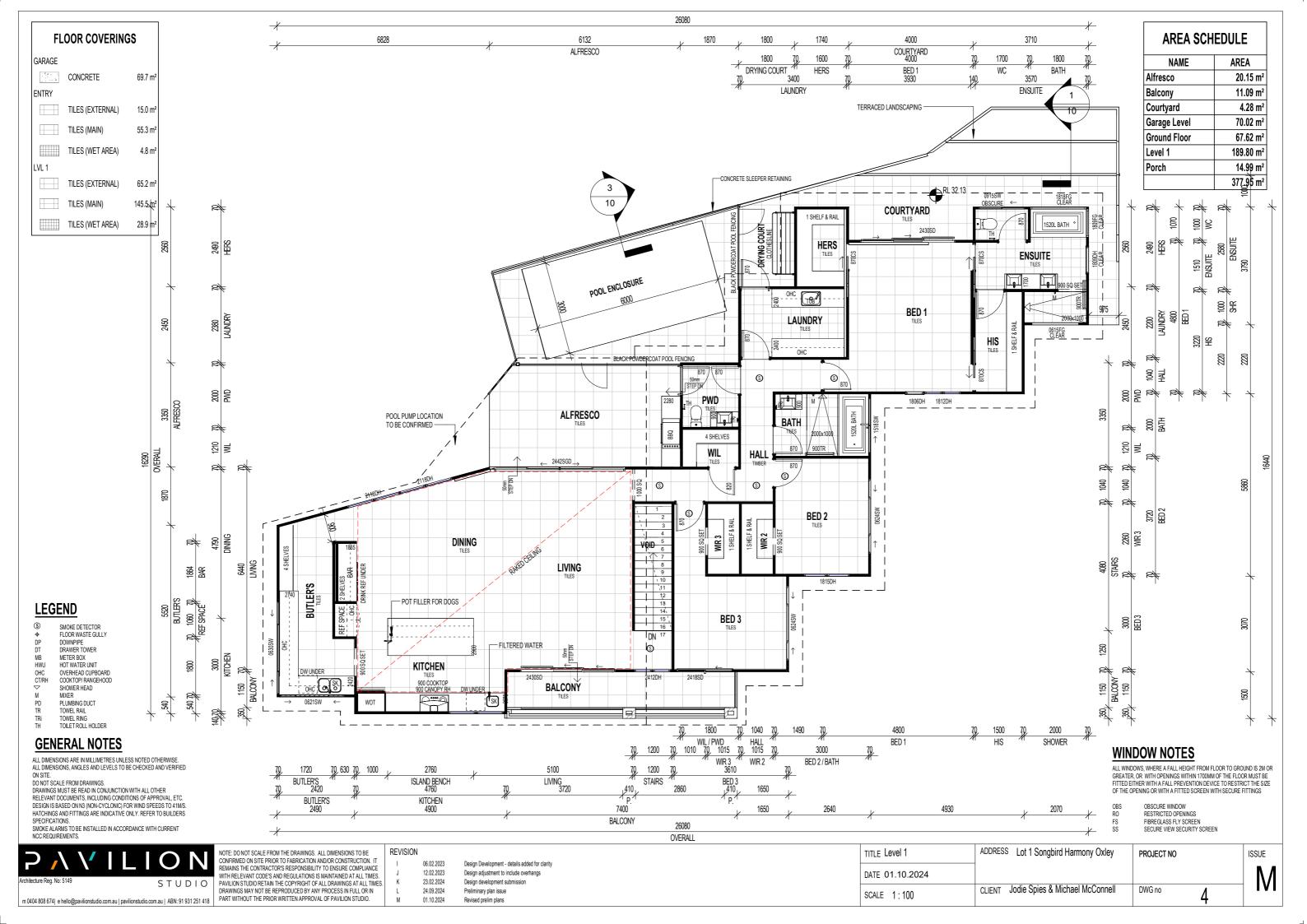
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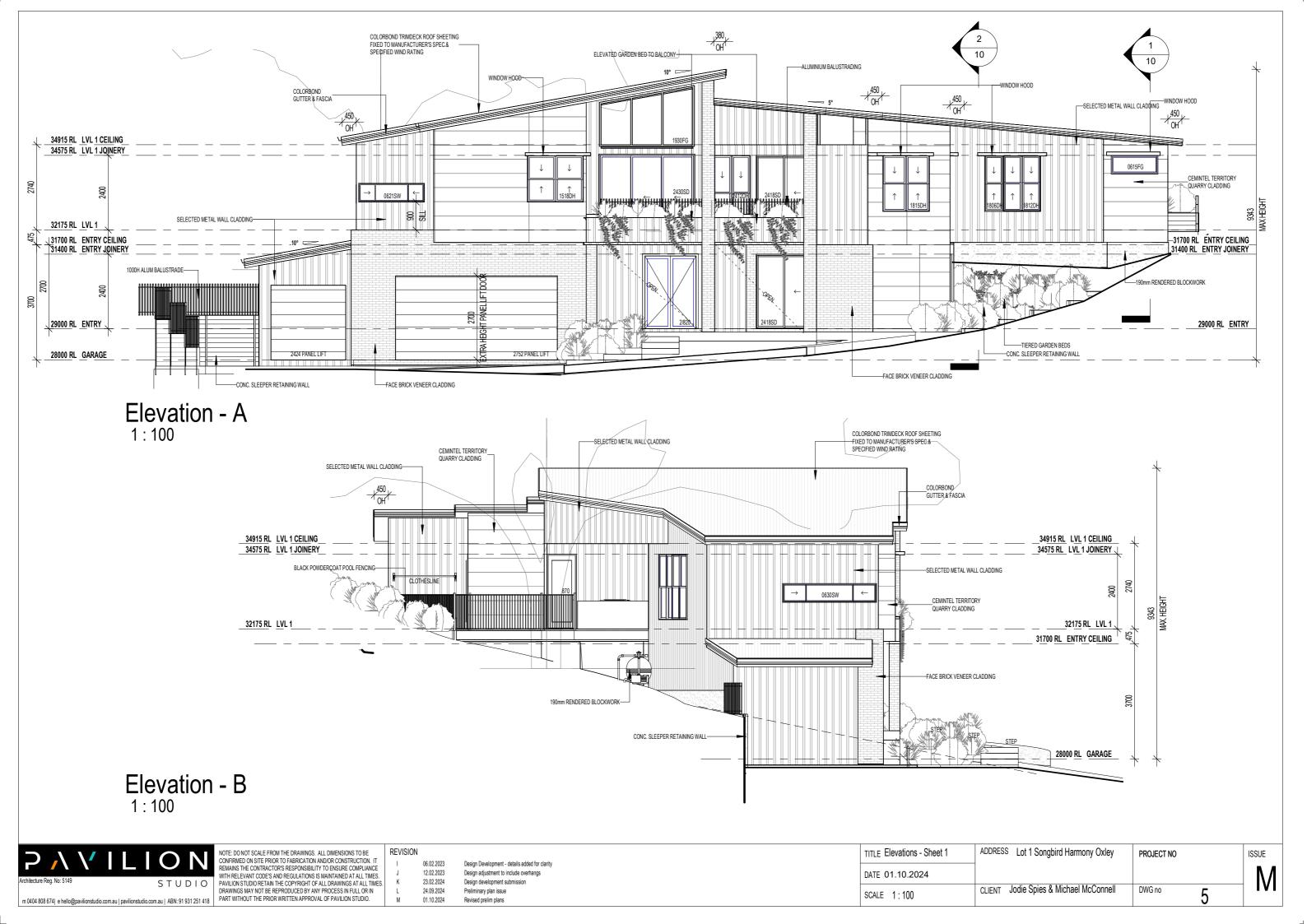
REVISION 06.02.2023 12.02.2023

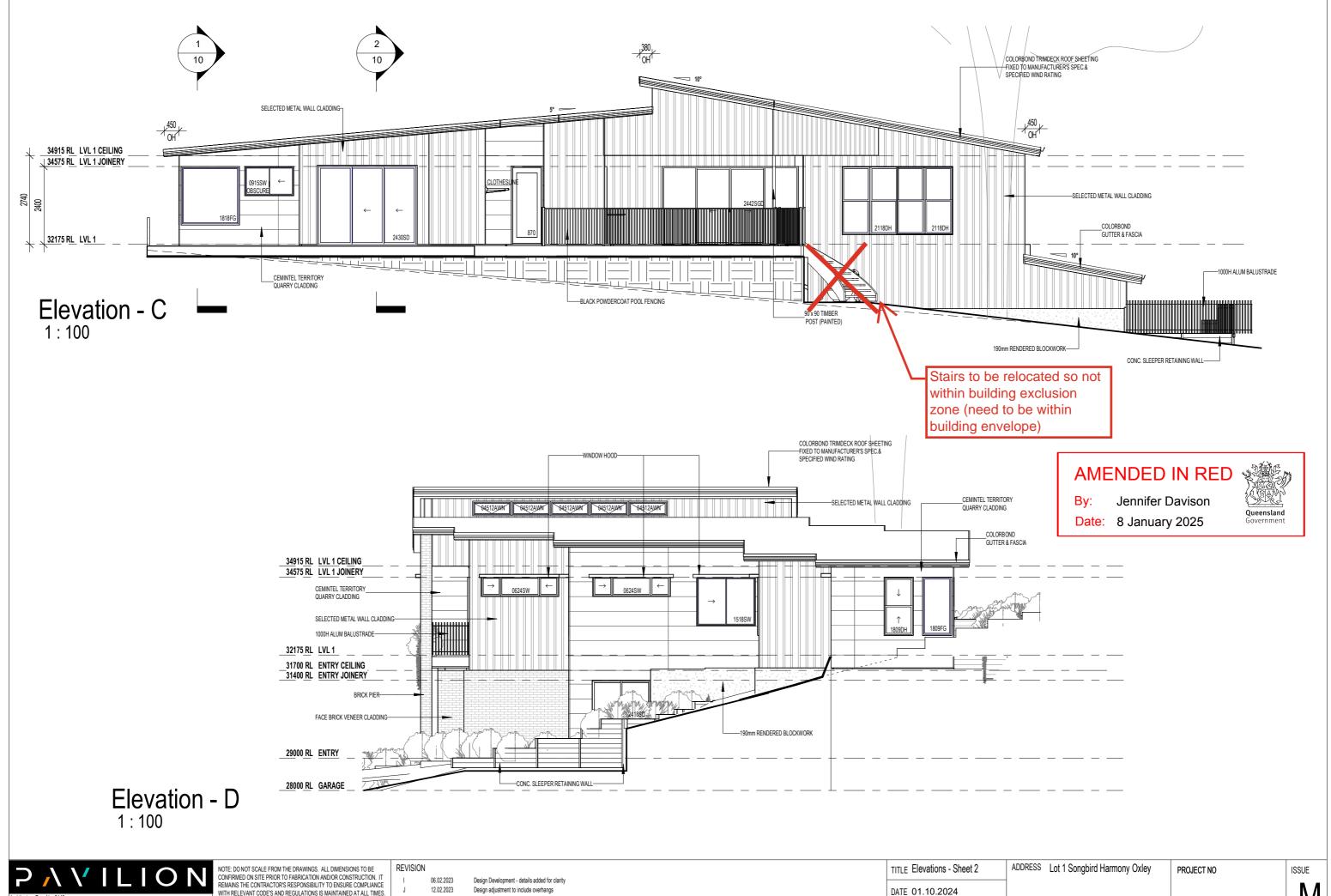
Design Development - details added for clarity Design adjustment to include overhangs 23.02.2024 Design development submission 24.09.2024 Preliminary plan issue Revised prelim plans

ADDRESS Lot 1 Songbird Harmony Oxley TITLE Site Plan PROJECT NO ISSUE DATE 01.10.2024 M CLIENT Jodie Spies & Michael McConnell DWG no SCALE As indicated









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23.02.2024 Design development submission 24.09.2024 Preliminary plan issue

Revised prelim plans

CLIENT Jodie Spies & Michael McConnell SCALE 1:100

M DWG no







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TITLE 3D's - Sheet 1	ADDRESS Lot 1 Songbird Harmony Oxley	PROJECT NO	ISSUE
DATE 01111.2023 024			NA
SCALE	CLIENT Jodie Spies & Michael McConnell	DWG no 7	IVI



Jennifer Davison







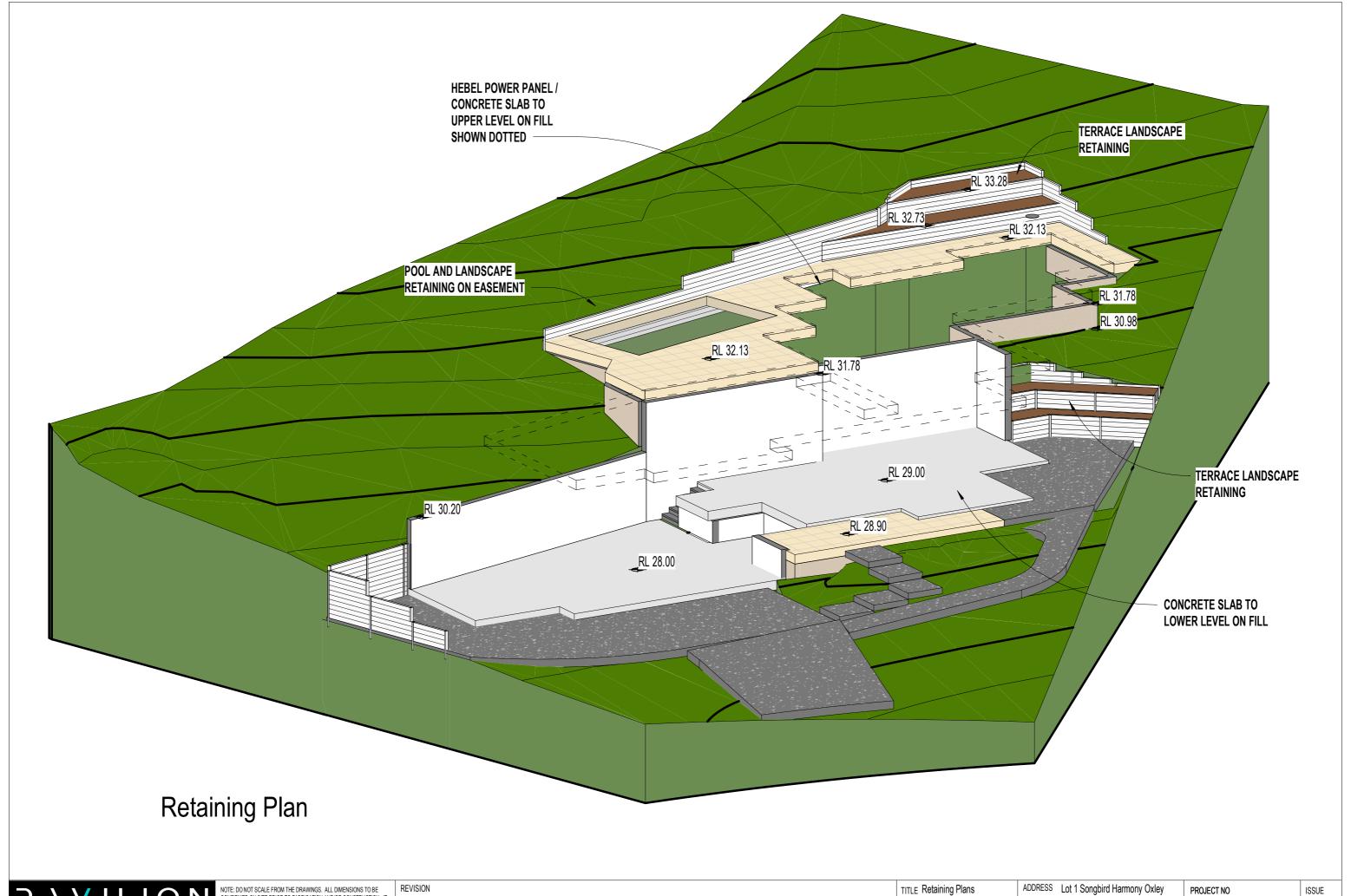
Stairs to be relocated so not within building exclusion zone (need to be within building envelope)

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TITLE 3D's - Sheet 2	ADDRESS	S Lot 1 Songbird Harmony Oxley	PROJECT NO		ISSUE
DATE 01.10.2024					Λ
SCALE	CLIENT	Jodie Spies & Michael McConnell	DWG no	8	11



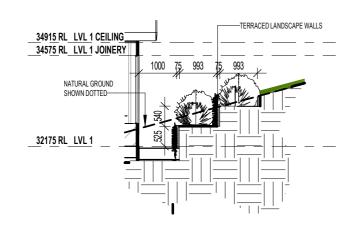
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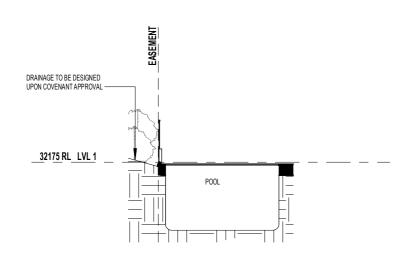
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ADDRESS Lot 1 Songbird Harmony Oxley TITLE Retaining Plans PROJECT NO DATE 01.10.2024 CLIENT Jodie Spies & Michael McConnell DWG no SCALE

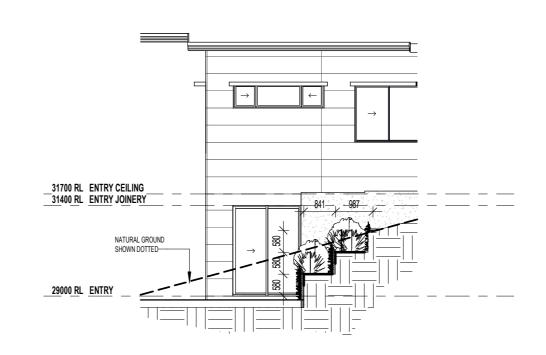
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1. TERRACED LANDSCAPE RETAINING - UPPER LEVEL



3. POOL & LANDSCAPE RETAINING ON EASEMENT



2. TERRACED LANDSCAPE RETAINING - LOWER LEVEL



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 I
 06.02.2023
 Design Development - details added for clarity

 J
 12.02.2023
 Design adjustment to include overhangs

 K
 23.02.2024
 Design development submission

 L
 24.09.2024
 Preliminary plan issue

 M
 01.10.2024
 Revised prelim plans

TITLE Site Details

DATE 01.10.2024

SCALE 1:100

ADDRESS Lot 1 Songbird Harmony Oxley

PROJECT NO

CLIENT Jodie Spies & Michael McConnell

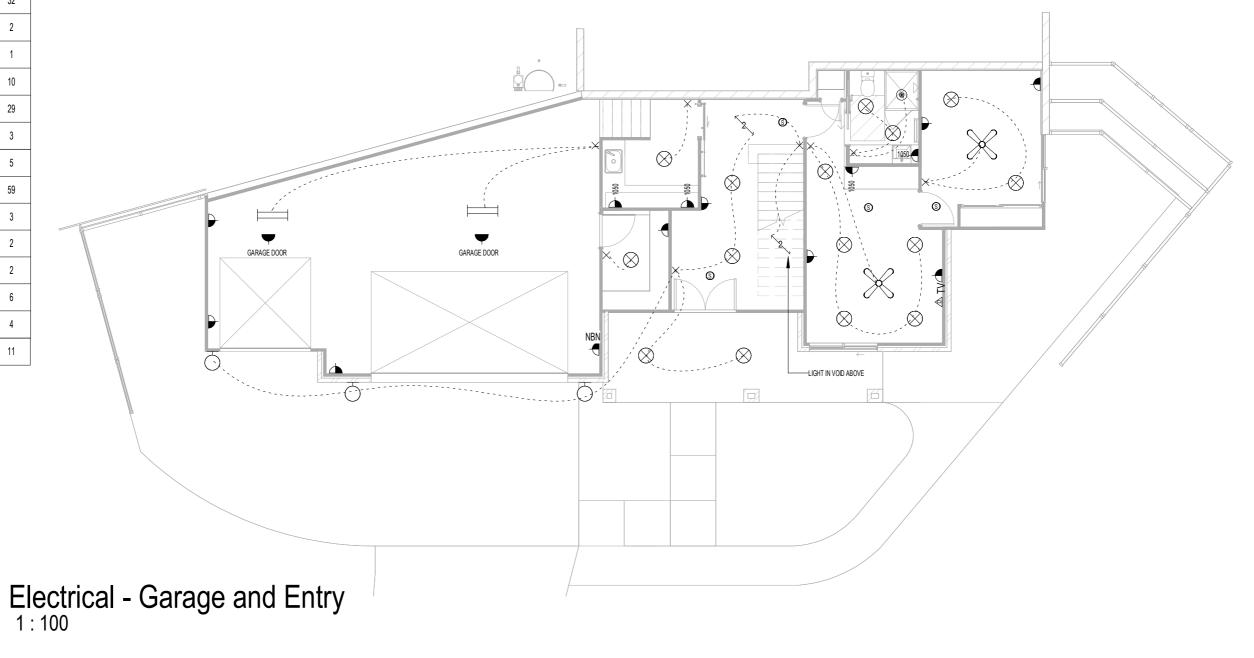
DWG no

10

ISSUE

M

	ELECTRICAL LEGEND	
SYMBOL	TYPE	TOTAL
NBN	NATIONAL BROADBAN NETWORK	1
×	CEILING FAN	8
\triangle	DATA POINT LOCATE 300mm ABOVE F.F.L U.N.O	3
_	DOUBLE POWERPOINT LOCATE 300mm ABOVE F.F.L U.N.O	32
USB	DOUBLE P/P WITH 2/USB POINTS LOCATE 300mm ABOVE F.F.L U.N.O	2
△ WP	WATERPROOF DOUBLE P/P LOCATE 300mm ABOVE F.F.L U.N.O	1
	SINGLE POWERPOINT LOCATE 300mm ABOVE F.F.L U.N.O	10
×	LIGHT / FAN SWITCH LOCATE 1100mm ABOVE F.F.L U.N.O	29
TV	STANDARD TELEVISION POINT LOCATE 300mm ABOVE F.F.L U.N.O	3
100	2-WAY LIGHT SWITCH	5
\otimes	LED DOWNLIGHT	59
*	EXHAUST FAN ONLY	3
	2/1200 FLUORESCENT LIGHT	2
H	POOL LIGHT	2
О	EXTERNAL UP/DOWN LIGHTS LOCATE 2000MM ABOVE FFL U.N.O.	6
Р	PENDANT LIGHT OWNER SUPPLIED,BUILDER INSTALLED	4
<u> </u>	SMOKE DETECTOR HARWIRED & INTERLINKED AS3786-2014	11



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ADDRESS Lot 1 Songbird Harmony Oxley TITLE Electrical Plan - Ground PROJECT NO DATE 01.10.2024 CLIENT Jodie Spies & Michael McConnell DWG no SCALE 1:100

ISSUE M

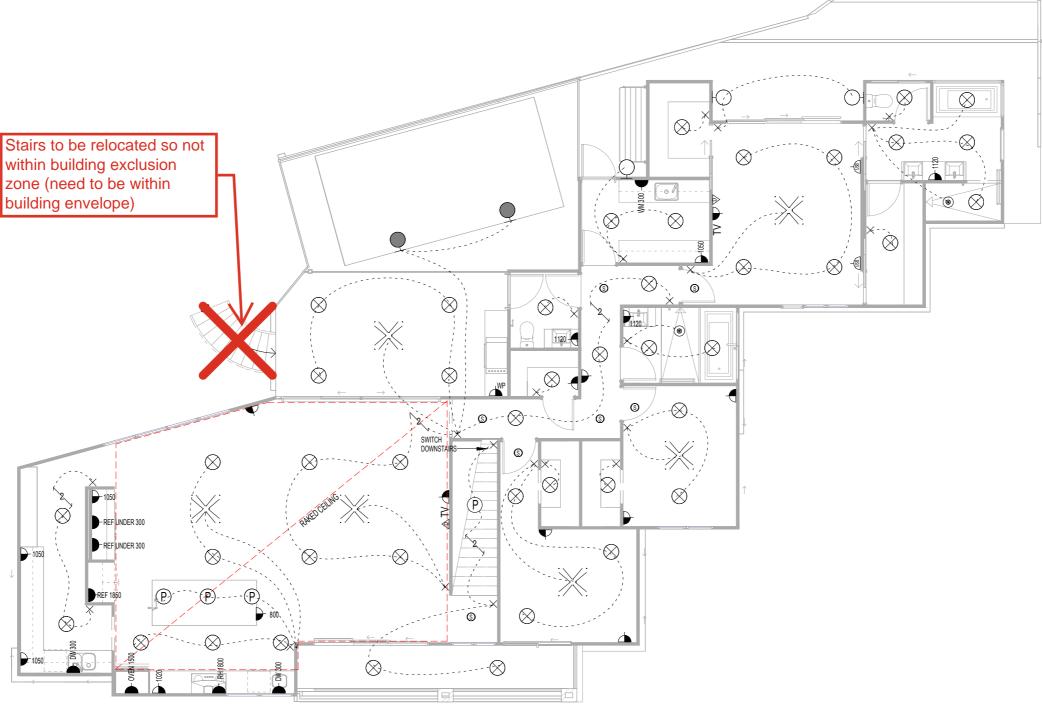
ELECTRICAL LEGEND SYMBOL TOTAL NATIONAL BROADBAN NETWORK 1 CEILING FAN 8 DATA POINT 3 LOCATE 300mm ABOVE F.F.L U.N.O DOUBLE POWERPOINT LOCATE 300mm ABOVE F.F.L U.N.O 32 DOUBLE P/P WITH 2/USB POINTS LOCATE 300mm ABOVE F.F.L U.N.O 2 WATERPROOF DOUBLE P/P LOCATE 300mm ABOVE F.F.L U.N.O **△**WP SINGLE POWERPOINT LOCATE 300mm ABOVE F.F.L U.N.O 10 LIGHT / FAN SWITCH 29 LOCATE 1100mm ABOVE F.F.L U.N.O STANDARD TELEVISION POINT LOCATE 300mm ABOVE F.F.L U.N.O 3 5 2-WAY LIGHT SWITCH 59 LED DOWNLIGHT EXHAUST FAN ONLY 3 2 2/1200 FLUORESCENT LIGHT 2 POOL LIGHT EXTERNAL UP/DOWN LIGHTS LOCATE 2000MM ABOVE FFL U.N.O. 6 PENDANT LIGHT OWNER SUPPLIED, BUILDER INSTALLED SMOKE DETECTOR 11 HARWIRED & INTERLINKED AS3786-2014

AMENDED IN RED

Jennifer Davison



Date: 8 January 2025



Electrcial - Level 1 1:100

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TITLE Electrical Plan - Level 1 ADDRESS Lot 1 Songbird Harmony Oxley PROJECT NO DATE 01.10.2024 CLIENT Jodie Spies & Michael McConnell DWG no SCALE 1:100

ISSUE M

NAME	AREA
Alfresco	20.15 n
Balcony	11.09 n
Courtyard	4.28 n
Garage Level	70.02 n
Ground Floor	67.62 n
Level 1	189.80 n
Porch	14.99 n
	377.95 n

Area Calculation

Alfresco

Balcony

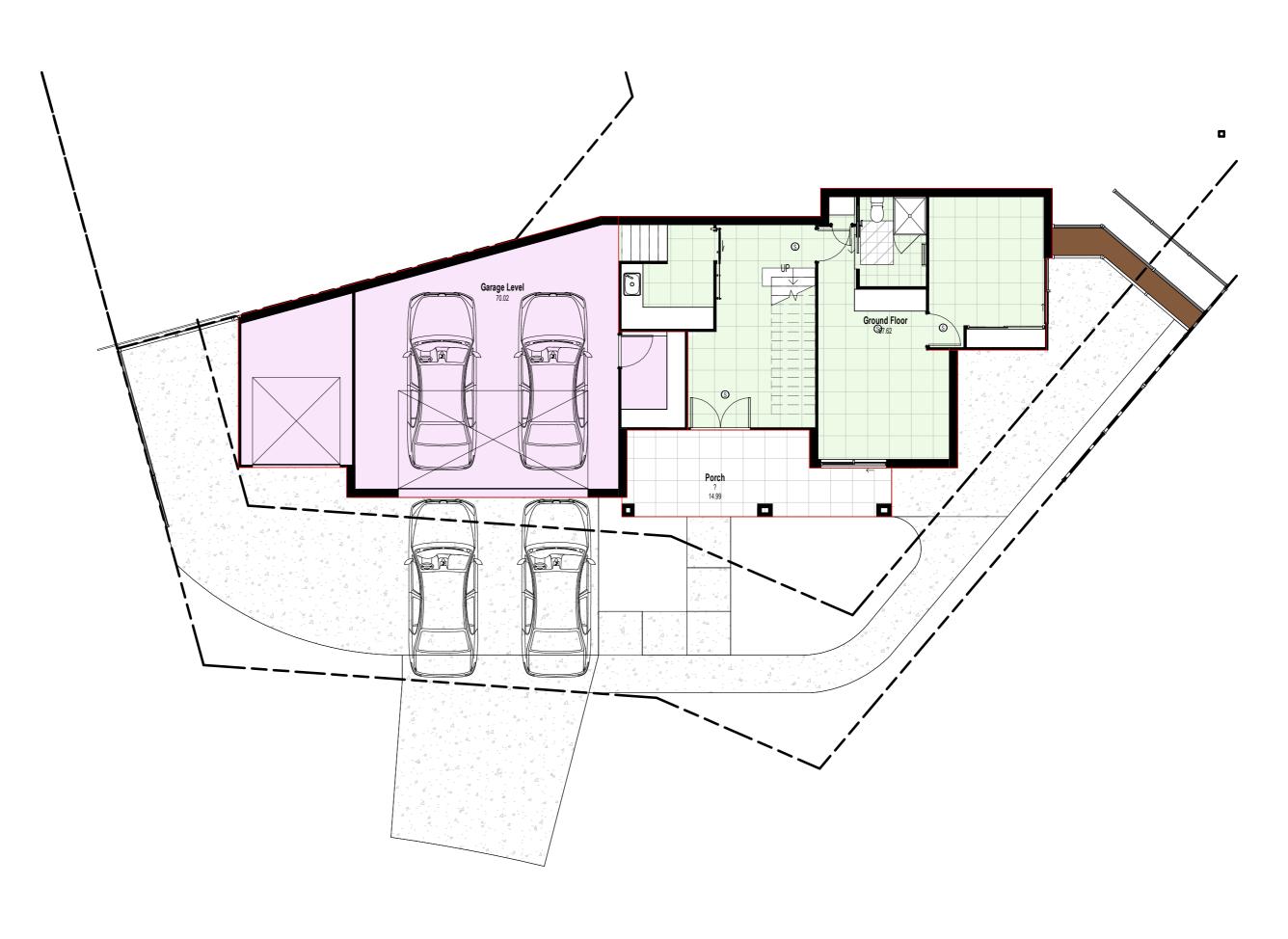
Courtyard

Garage

Garage Level

Ground Floor

Level 1





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Revised prelim plans

ADDRESS Lot 1 Songbird Harmony Oxley TITLE Area Calc - Ground PROJECT NO DATE 01.10.2024 CLIENT Jodie Spies & Michael McConnell DWG no SCALE 1:100

ISSUE M

AREA SCHEDULE NAME AREA Alfresco 20.15 m² 11.09 m² Balcony 4.28 m² Courtyard 70.02 m² Garage Level 67.62 m² **Ground Floor** Level 1 189.80 m² Porch 14.99 m² 377.95 m²

AMENDED IN RED

Jennifer Davison Date: 8 January 2025



Area Calculation

Alfresco

Balcony

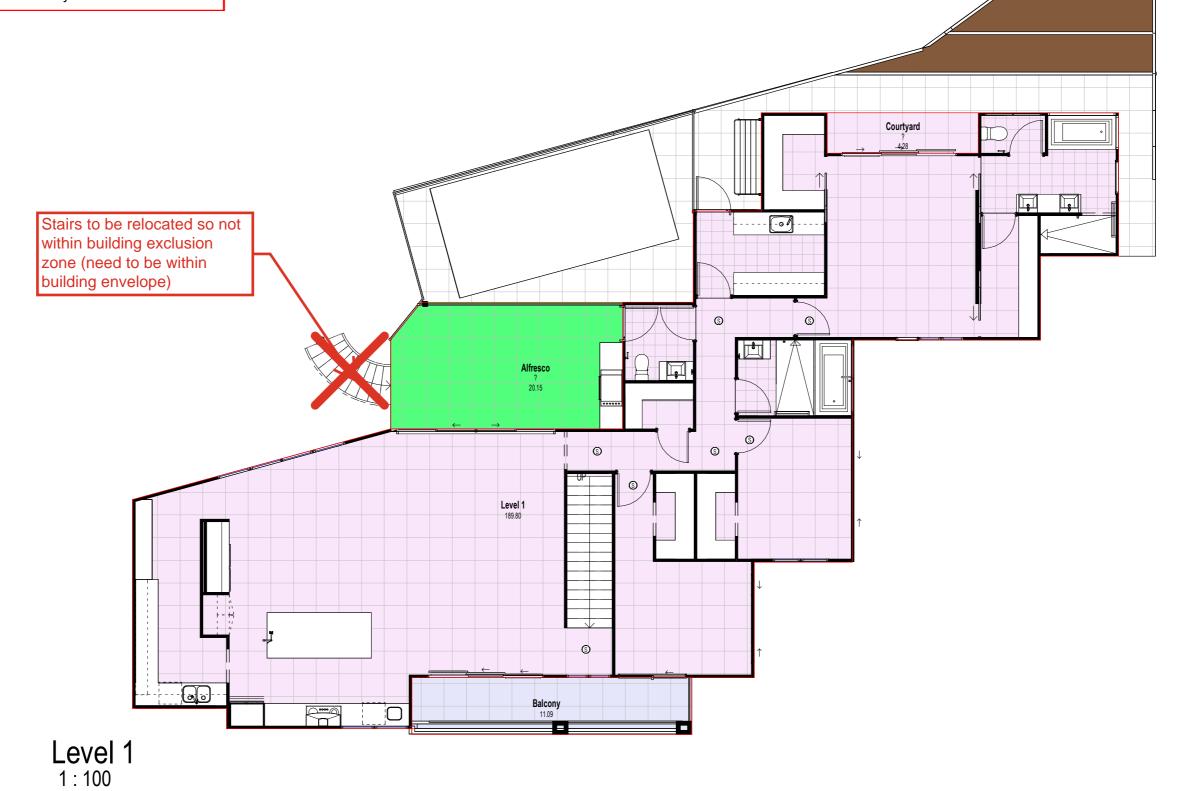
Courtyard

Garage

Garage Level

Ground Floor

Level 1





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ADDRESS Lot 1 Songbird Harmony Oxley TITLE Area Calc - Level 1 PROJECT NO ISSUE M DATE 01.10.2024 CLIENT Jodie Spies & Michael McConnell DWG no 14 SCALE 1:100