

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2024/1553

Date: 20 December 2024



ProjexPartners

PROJECT MANAGEMENT | ENGINEERING | PLANNING

Building community through our people



Engineering and Services Report

LOT 600 SP321692 and LOT 50 SP305312

FIRST AVENUE

MAROOCHYDORE CITY CENTRE

Walker Corporation

September 2024

Rev B

Projex Partners Pty Ltd
Level 3
135 Horton Parade
Maroochydore Qld 4558

Our ref: 571-002



ProjexPartners
PROJECT MANAGEMENT | ENGINEERING | PLANNING
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Telephone: 1300 789 214

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1 INTRODUCTION

1.1 Background

Projex Partners have been engaged to develop an Engineering and Services report for submission to Economic Development Queensland (EDQ) as part of a Material Change of Use (MCU) application for the proposed multi-use development to be located on Lot 600 and Lot 50 First Avenue, Maroochydore (Lot 600 SP321692 and Lot 50 SP305312).

The proposed development will involve the construction of two multi-storey towers, supported on a common podium recreation area over three parking levels, ground floor retail and carparking. The site requires stormwater, water, sewer, telecommunication and electrical connections to service the buildings within the development. The site is shown in Figure 1-1.



Figure 1-1: Locality Plan (QLD Globe)

1.2 Scope of Report

This engineering report aims to provide:

- Details of services currently surrounding the site and possible locations for service connections for investigation and liaison with service providers.
- Summary of works required on the First Avenue, South Sea Islander Way, Future Way and Gaba Lane frontages to facilitate the development
- Bulk earthworks constraints

A separate Stormwater Management Plan has been developed to outline the management of flooding, stormwater quality and quantity for the development.

This report was prepared using information obtained from the following sources:

- Sunshine Coast Council MyMaps;
- Before-You-Dig-Australia (BYDA) services;

- Contour and Detail Survey prepared by Project Urban dated 28/06/2021. Site inspections have confirmed that there has been no substantive change to the site features since the survey date.

2 EXISTING SERVICES

A BYDA search found the following services are present within close proximity to the site:

- Electrical (Energex)
- Telecommunications (NBN Co, Telstra, Optus, and TPG)
- Stormwater Infrastructure (Sunshine Coast Council)
- Water (Unitywater)
- Sewer (Unitywater)
- Automatic Waste Collection System (AWCS) (Sunshine Coast Council)

The mapping for these services can be found in **Appendix A**.

2.1 Electrical (Energex)

Energex GIS Mapping and BYDA mapping show an 11kV underground cable runs along the border of South Sea Islander Way, Future Way, and Gaba Lane. These assets are owned by Energex and services properties and streetlights.

A pad-mounted transformer is currently located within the proposed development boundary on the South Sea Islander Way frontage as shown in **Figure 2-1**. This pad-mount transformer is proposed to be relocated within the development.

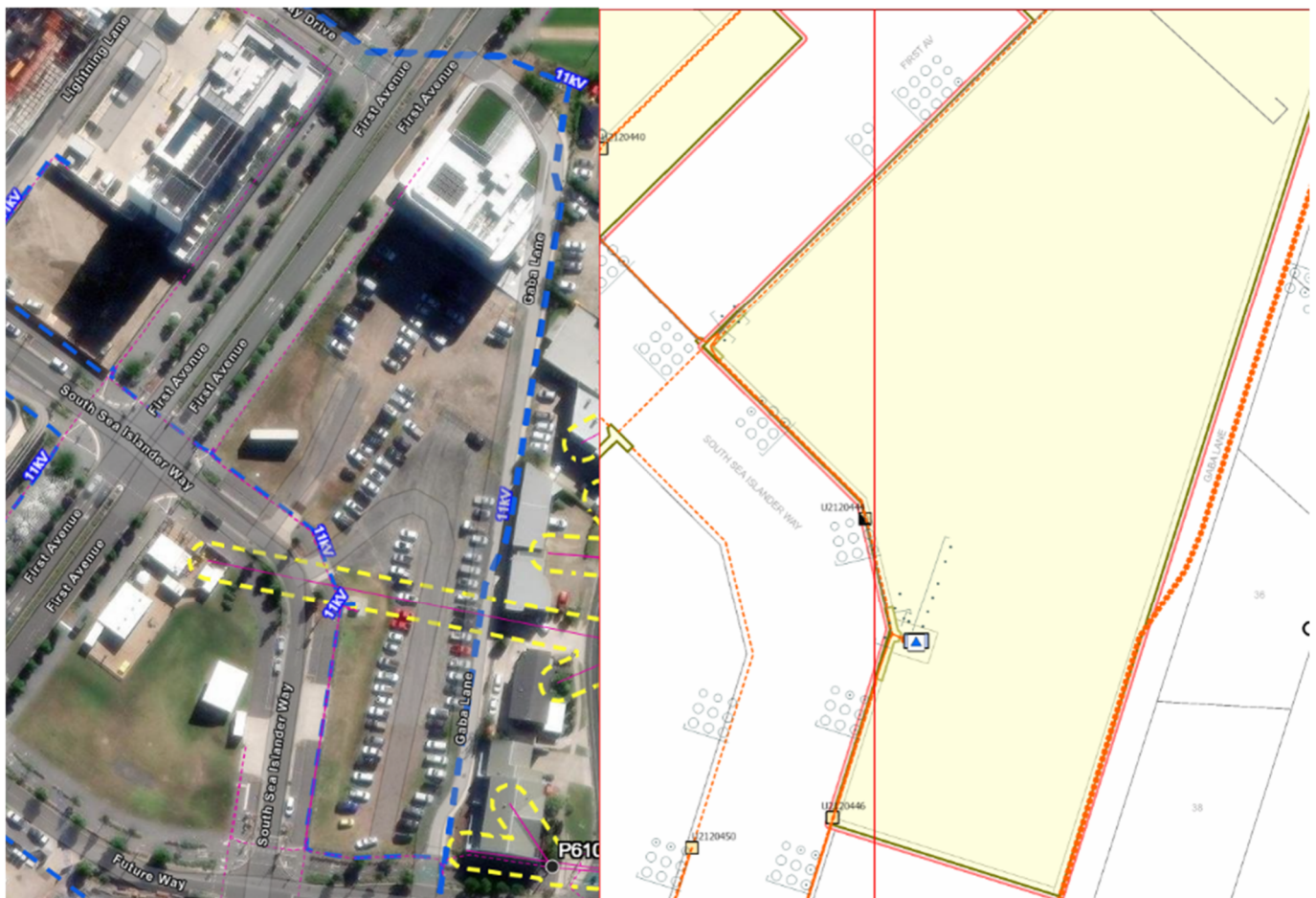


Figure 2-1: Existing Services Plan (Energex LUAL V2 (left) & BYDA (right))

2.2 Stormwater Infrastructure (Sunshine Coast Council)

The contour and detail survey for the site identified five field inlets located on the grassed slope next to the concrete footpath along the western boundary of the property. These inlets are connected to the road network by 375mm or 450mm reinforced concrete pipes (RCP). Lot 50 is drained via a field inlet within the site that discharges to the South Sea Islander Way network.

Further information on existing stormwater features is recorded in the Stormwater Management Plan submitted under this same application.

2.3 Telecommunication

2.3.1 NBN (NBN Co)

NBN Co has one (1) underground cable located on Lot 600 servicing the site from the Western boundary of the development. The existing cable located is a 20mm PVC conduit (P20) owned by NBN.

2.3.2 Telecommunication (Telstra, Optus and TPG)

Telstra and Optus services exist parallel to the NBN service. BYDA mapping indicates there is also a TPG PIPE networks duct on the southern side of South Sea Islander Way, however this is not anticipated to be required for the development.

2.4 Water (Unitywater)

There are five (5) existing 150mm ductile iron water main connection points along the western boundary available to service the site. These service points are connected to the First Ave and South Sea Islander Way 150mm PVC-O reticulation main, as shown in **Figure 2-2**.

2.5 Sewer (Unitywater)

A 150mm PVC-U gravity sewer main connection point is located on the south-western boundary of the site, branching into the South Sea Islander Way 450mm trunk main, as shown in **Figure 2-2**.



Figure 2-2: Unitywater Water and Sewer Network

3 SERVICE CONNECTIONS

It is anticipated that services for the property can be connected to the existing infrastructure located along the property boundaries.

All connections will require connection applications with the relevant service provider.

3.1 Stormwater Infrastructure (Sunshine Coast Council)

Stormwater will be conveyed onsite to stormwater quality improvement devices prior to discharging to the existing 375mm and 450mm RCPs along the western boundary of the site as shown in **Figure 3-1**. Minor alterations to the stormwater network will be required to accommodate the connection of the new stormwater infrastructure from the development.

The Stormwater Management Plan for the site details how the development will comply with Council's planning scheme.

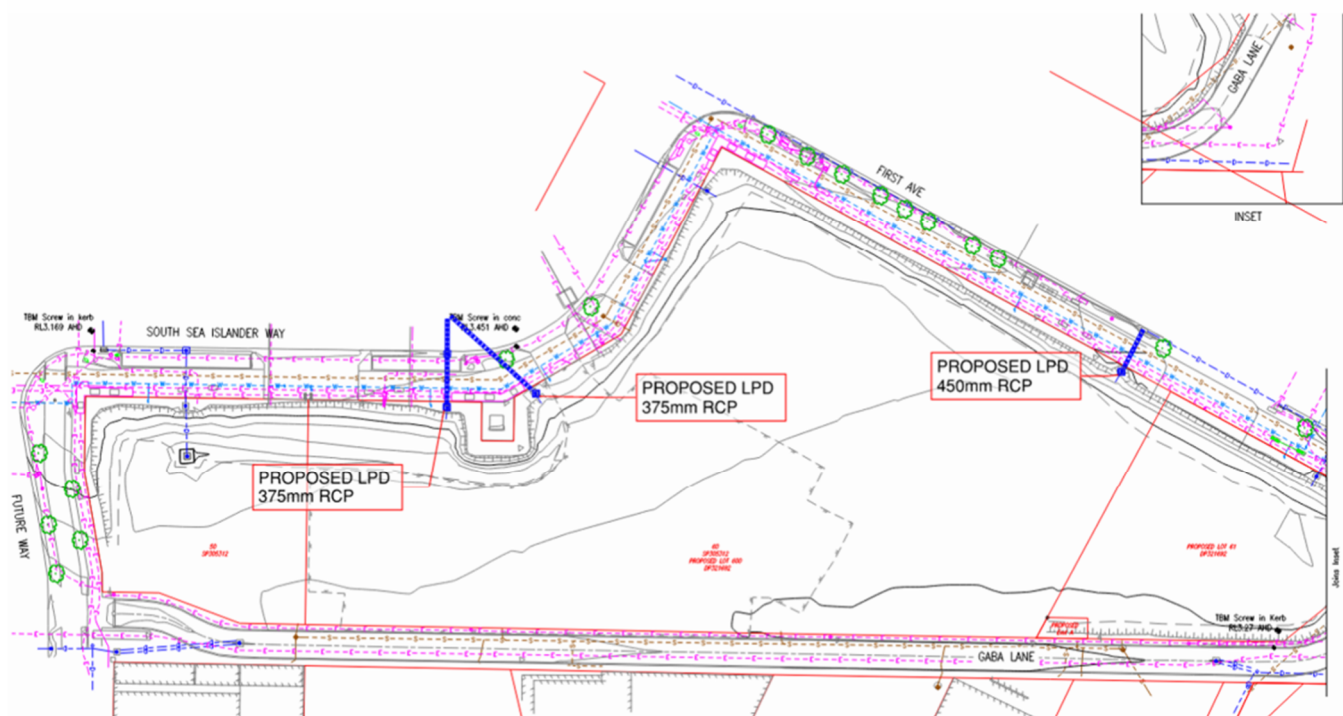


Figure 3-1: Proposed Legal Points of Discharge

3.2 Water (Unitywater)

A water connection point is available on 150mm reticulation main on South Sea Islander Way.

A Service Advice Notice (SAN) was lodged with Unitywater on 1 July 2024 with the notice received on 26 August 2024 and included in **Appendix C**.

The SAN indicates that reticulated water will be available for the site through Unitywater's network.

It is expected that the connection will be available although Unitywater has requested a network analysis be undertaken to determine if any upgrades to the existing network are required due to an increase in demand from the development from that previously assumed.

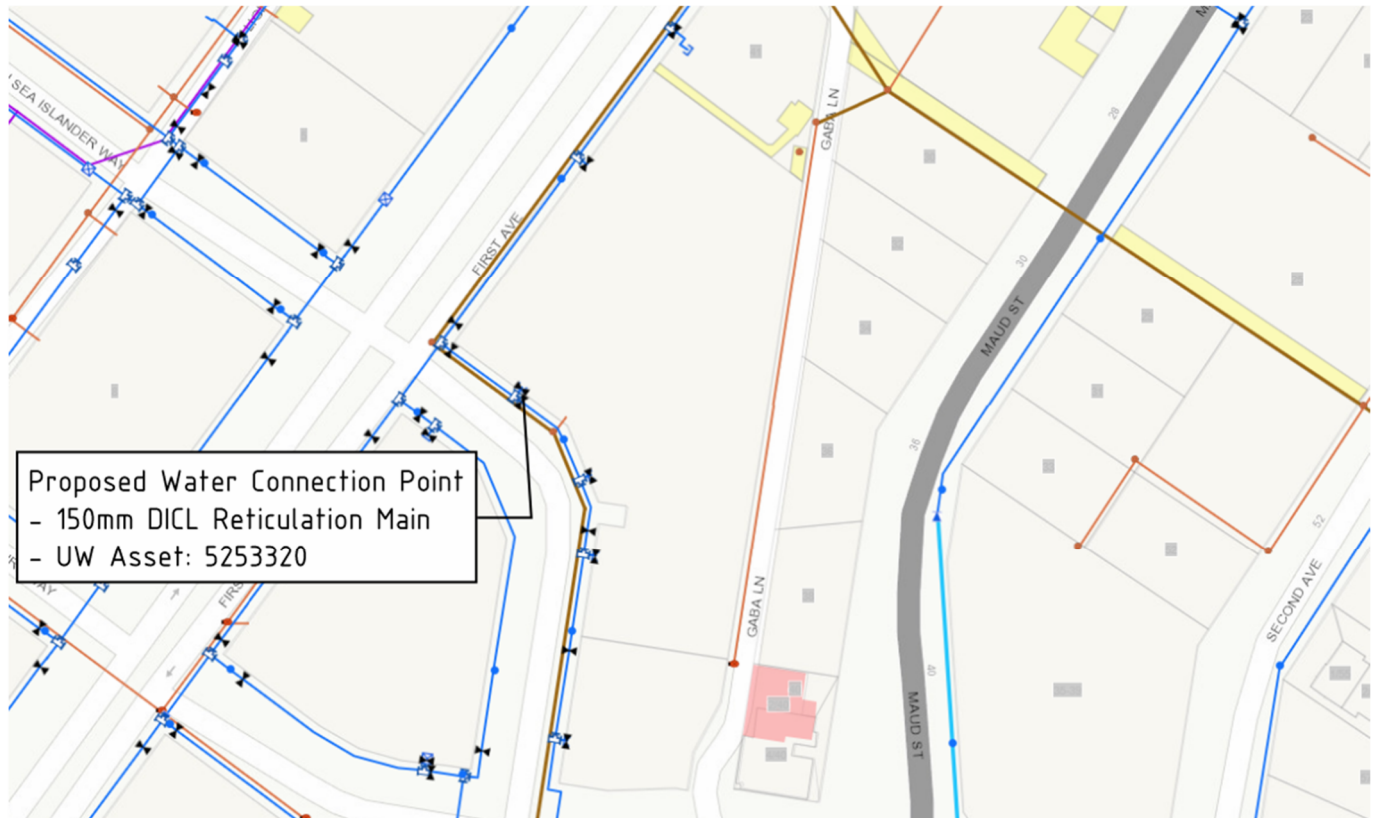


Figure 3-2: Water Connection to Site (Unitywater Mapping)

3.3 Sewer (Unitywater)

The existing 150mm property connection point will be proposed to service the development site. It is anticipated that the existing 150mm pipe is to be upgraded to a 225mm sewer connection at IL -0.100m AHD into the existing sewer manhole in accordance with Unitywater guidelines to service the increased demand of the development.

A Services advice notice (SAN) was submitted to Unitywater on 1 July 2024 to determine connection and network requirements with the notice received on 26 August 2024 and included in **Appendix C**.

The SAN indicates that reticulated sewer will be available for the site through Unitywater's network.

It is expected that the connection will be available although Unitywater has requested a network analysis be undertaken to determine if any upgrades to the existing network are required due to an increase in demand from the development from that previously assumed.

A plumbing approval will be required prior to connection.

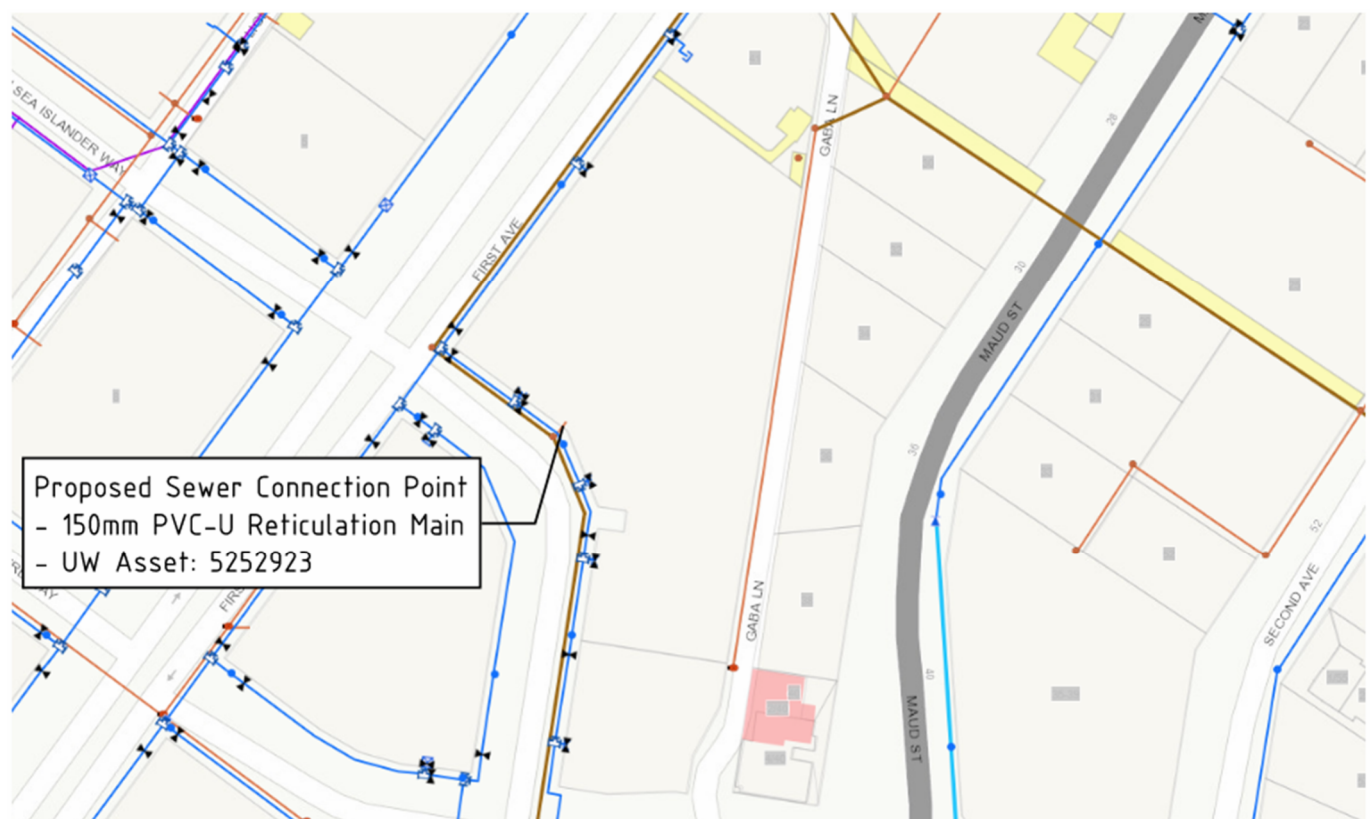


Figure 3-3: Sewer Connection to Site (Unitywater Mapping)

3.4 Telecommunication (NBN Co & Telstra)

Telstra, Optus and NBN services currently exist to the site via the P20 underground conduit as shown on the BYDA mapping in **Figure 3-4**.

Telecommunication service providers are being contacted to confirm connection points and capacity.

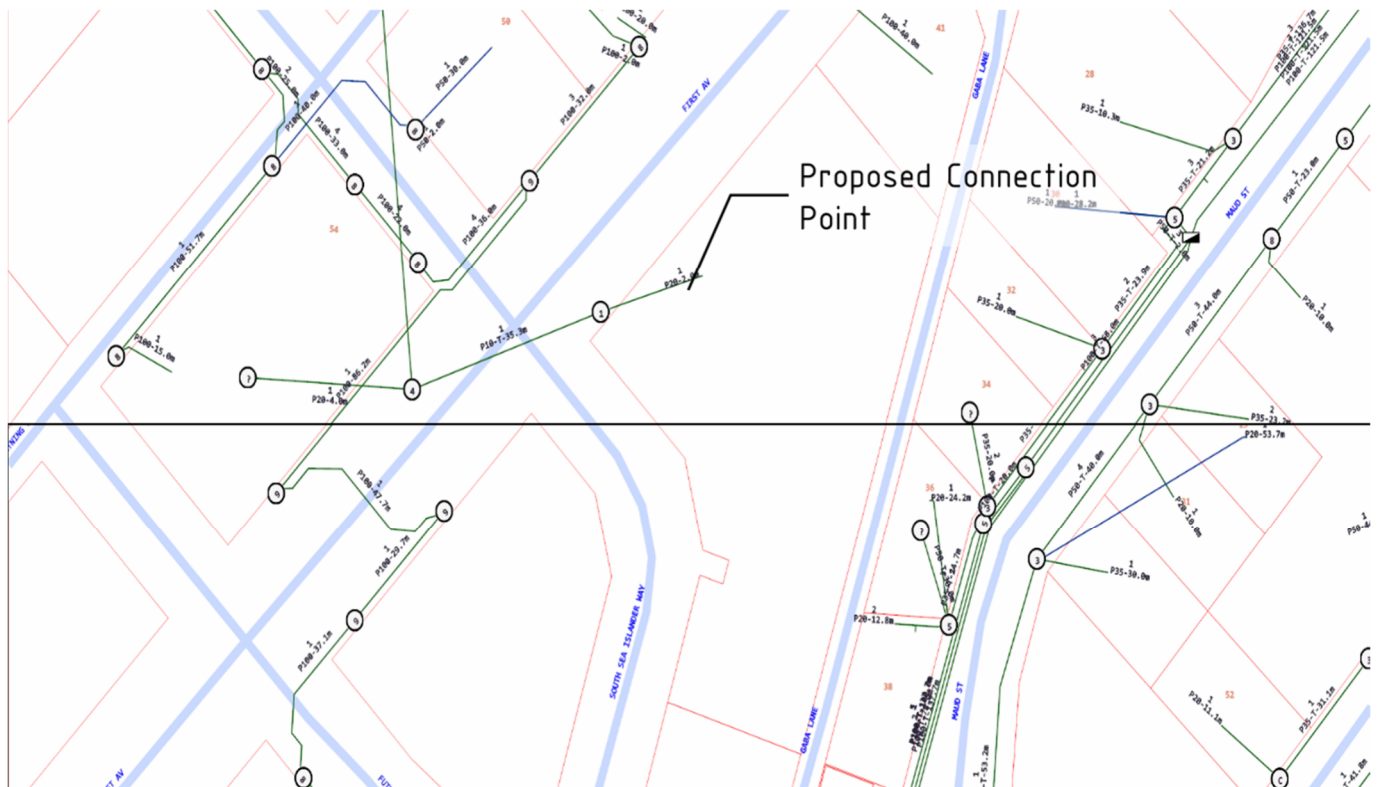


Figure 3-4: Telecommunication Connection to Site (NBN Co, BYDA Response)

3.5 Electrical (Energex)

Underground electrical lines are available to power the site.

A connection application will be lodged with Energex prior to construction to ensure power can be provided to the property.

The site has a pad mount transformer which is proposed to be relocated within the development.

Unused property connections (“Green Boxes”) for previous lots prior to the creation of Lot 600 will be decommissioned, subject to Energex approval.

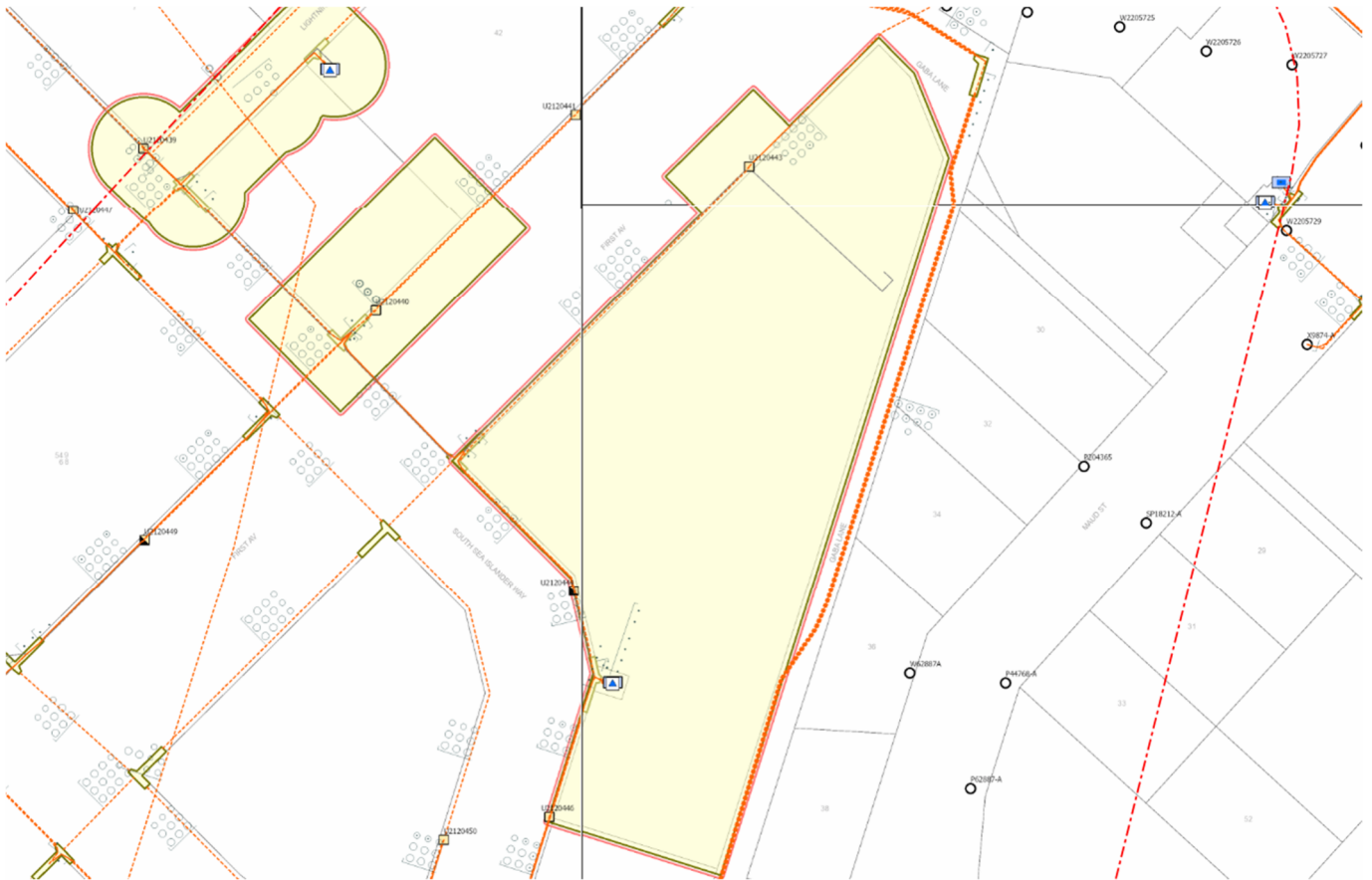


Figure 3-5: Electrical Connection to Site

3.6 Waste

The Maroochydore City Centre is serviced by an Automatic Waste Collection System (AWCS) to each lot.

It is proposed to connect the development to the existing AWCS connection points. Refer to the Operational Waste Management Plan for further details.

4 FRONTAGE WORKS

To facilitate the proposed development, works will be required on the First Avenue, South Sea Islander and Gaba Lane frontages as summarised in **Table 4-1** below.

All frontage works are shown on the Frontage Works plan included in **Appendix B**.

Table 4-1: Frontage Works Summary

Road Frontage	Proposed Works	Reason for Works
First Avenue	Construct new side inlet gully and pipe connection Reinstate existing path and landscaping	Provide Lawful point of Discharge clear of proposed development works
	Cap existing stormwater at boundary	Redundant service
	Cap and remove existing 150mm dia water main connection Reinstate existing path	Redundant service
South Sea Islander Way	Provide new potable and fire water connection point to existing 150mm water main	Provide water connection clear of proposed development works
	Provide new 225 diameter sewer connection point to Unitywater Manhole (Asset ID 5253001)	Provide enhanced capacity connection point for the development.
	Remove existing 150mm diameter property sewer connection (Unitywater Asset ID 525923).	Redundant service
	Cap and remove existing 150mm dia water main connection (x4 locations) Reinstate existing path	Redundant services
	Remove existing pad-mounted transformer	Provide electrical service within the development using substation (subject to Energex approval)
	Cap existing stormwater at boundary (x2 locations)	Redundant services
	Remove existing crossover and path Reinstate new kerb and channel to match existing line and level. Construct new path to match existing level and colour. Path width to match adjacent path width (4.2m nom) and alignment (Refer SCC Std Drg RS-065) Landscape between new path and back of kerb	Redundant accesses replaced by development access from Gaba Lane.
	Construct new emergency vehicle access crossover (refer to SCC Std Drg RS-051 "General Wide" at 3m width.	Emergency access to development carpark.
Future Way	No frontage works proposed.	
Gaba Lane	Remove existing barrier kerb Construct new crossover in accordance with SCC Std Drg RS-051 (General Wide) in two locations.	Provide access to the development.
	Cap existing sewer at boundary (x3 locations)	Redundant services

5 BULK EARTHWORKS

The proposed bulk earthworks plan for the development is included in **Appendix B**.

Finished Floor Levels (FFL) for the development have been based on the Cardno Technical Memorandum “*Maroochydore City Centre Stage 1 Local Flooding*” dated 29/10/2024 as provided by Suncentral and Sunshine Coast Council.

It is noted that the statutory FFL across the site varies due to the previous assumptions regarding property boundaries within the development. It is proposed that the FFL is amended for part of the development to reflect the amalgamation of lots for the creation of Lot 600 and to provide a cohesive development. Further details on the stormwater and changes to FFL are included in the Stormwater Management Plan.

The site is currently constructed to below the surrounding road and verge levels and will require approximately 3,700m³ of imported fill to establish site levels to meet the specified Finished Floor Levels.

All fill is to be placed under the supervision of a geotechnical engineer to meet the structural compaction requirements of the development. Fill will be sourced from commercially available fill / quarry sources within the Sunshine Coast and trucked to site using the existing road network.

6 CONCLUSION

The below services are readily available for service connections:

- Stormwater (Sunshine Coast Council)
- Water (Unitywater)
- Sewer (Unitywater)
- NBN (NBN Co)
- Telecommunications (Telstra)
- Telecommunications (Optus)
- Electrical (Energex)
- Automatic Waste Collection System (AWCS)(Sunshine Coast Council)

A connection application will be required for each service connection. There are no issues anticipated with providing connections for each of the services.

Frontage works will be required on First Avenue, South Sea Islander Way and Gaba Lane to remove redundant services connections and provide access to the development.

Imported fill will be required to meet the statutory Finished Floor Levels for the site.

APPENDIX A

Before You Dig Australia (BYDA)

All underground cables shall be treated as being energised. Where a cable is located that is not represented on the ENERGEX BYDA map, then ENERGEX shall be contacted immediately.

For Emergency Situations
please call 13 19 62



BYDA

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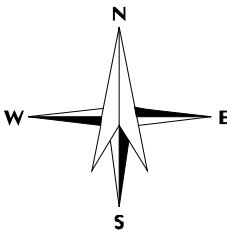
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OVERVIEW

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Symbols, please
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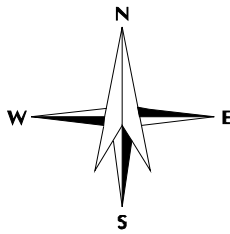
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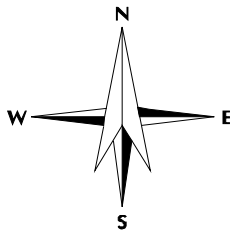
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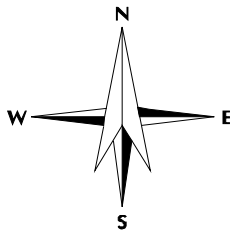
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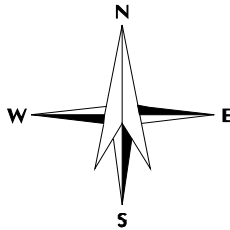


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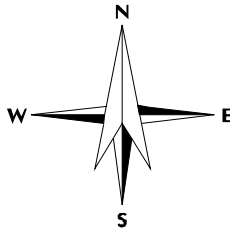


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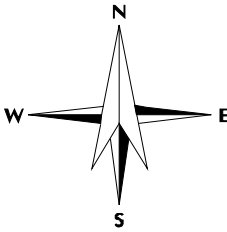


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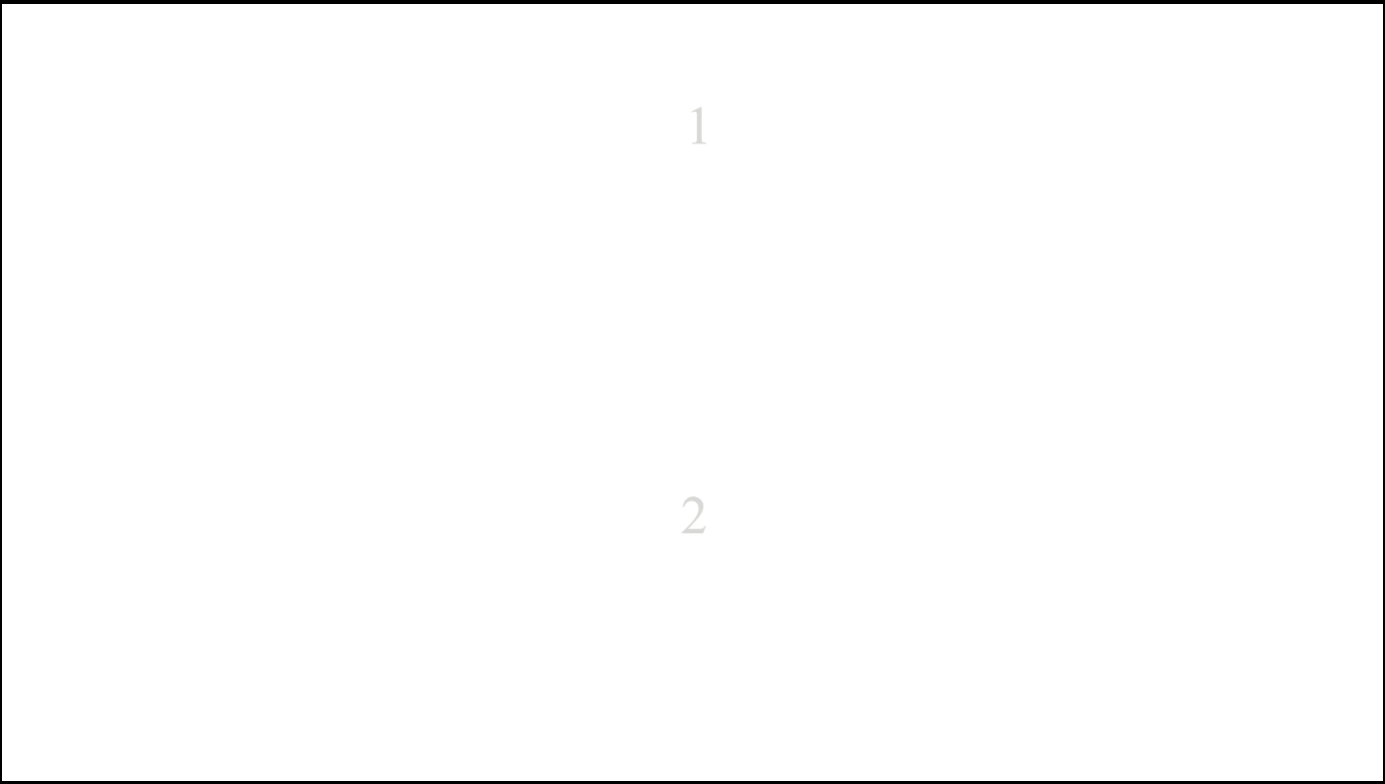
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Phone: Not Supplied
Fax: Not Supplied
Email: williambartsch@projexpartners.com.au

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Sequence #	241284230	
Issue Date:	01/07/2024	
Location:	Lot 600 First Avenue , Maroochydore , QLD , 4558	

Indicative Plans

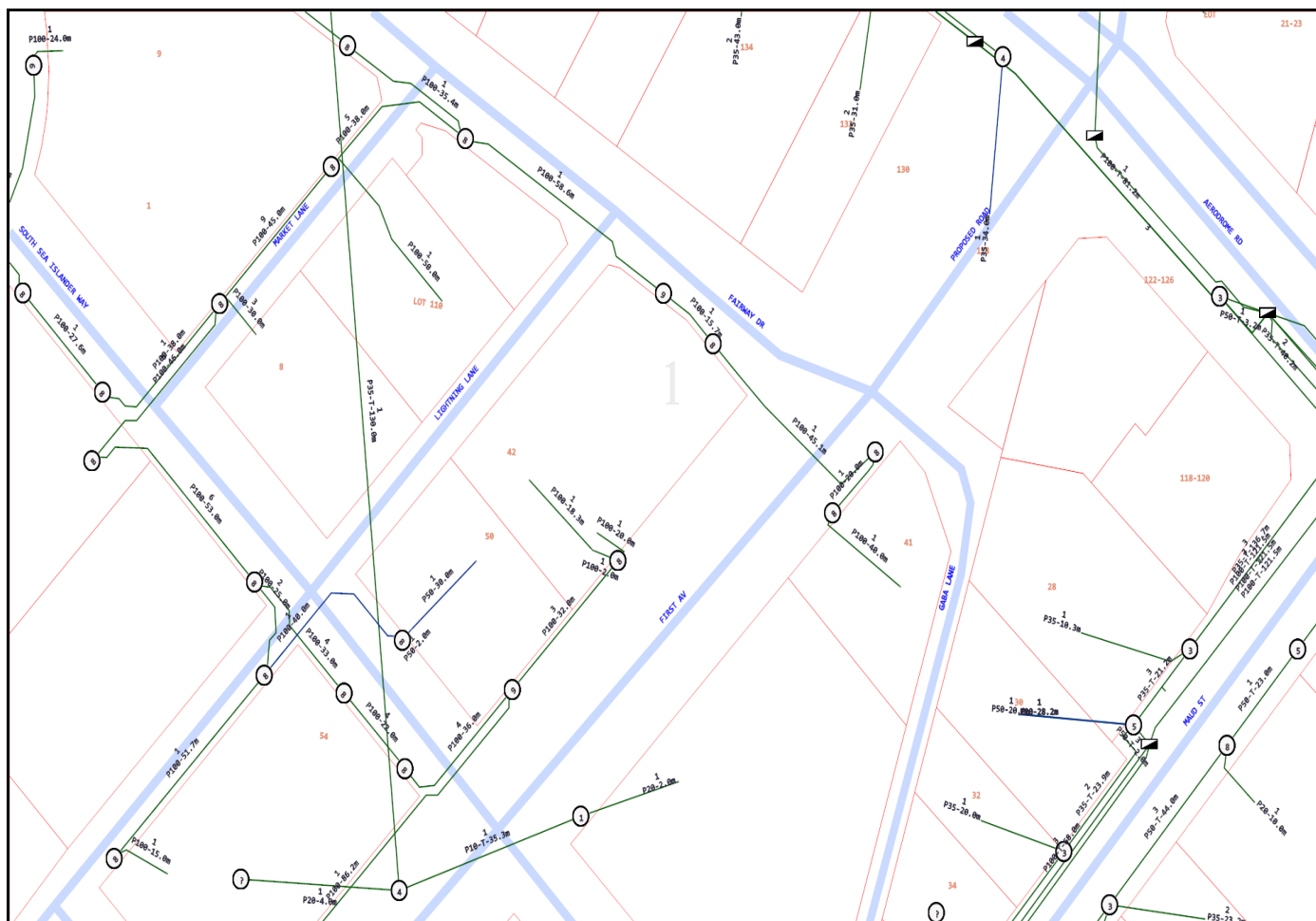


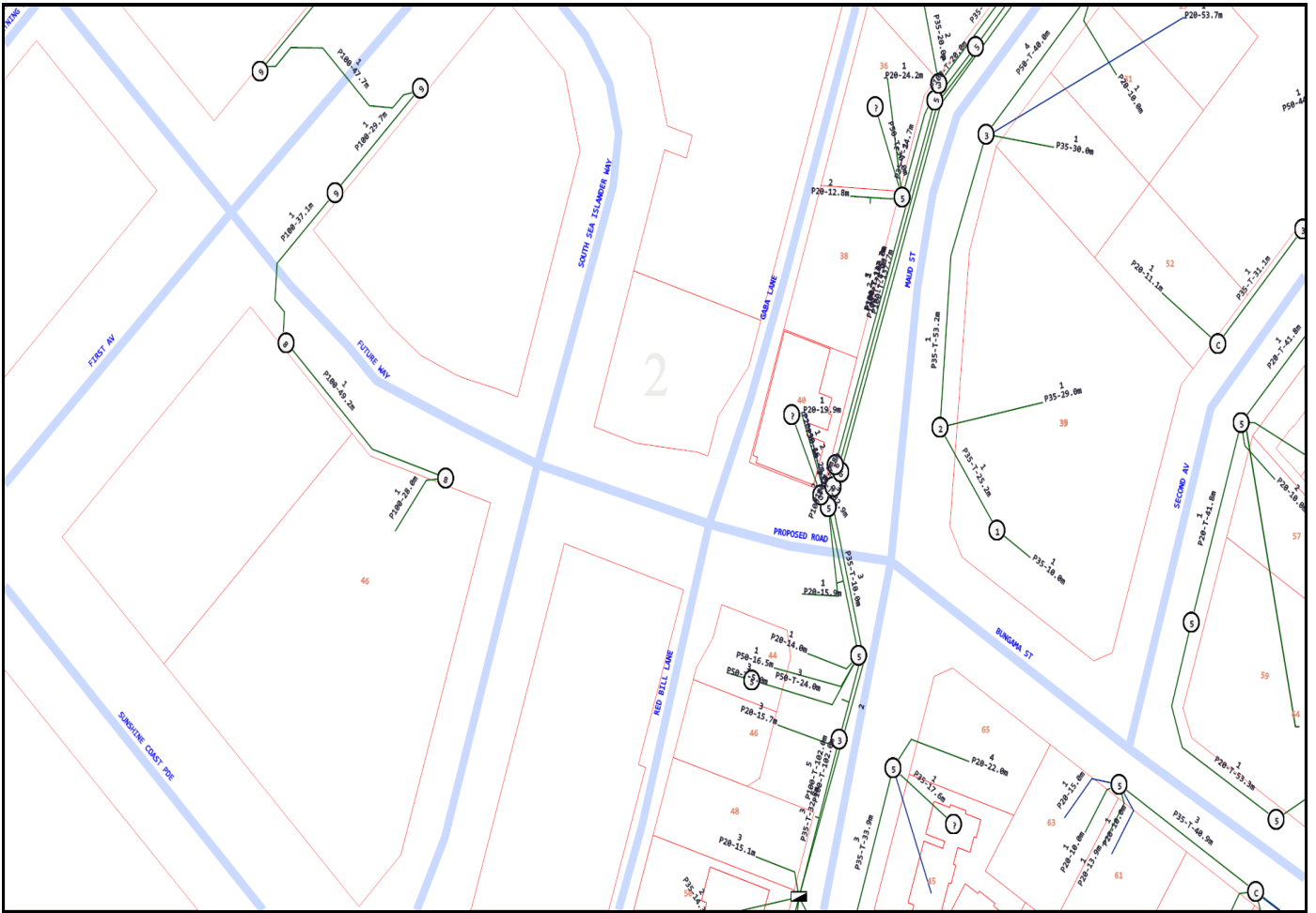


LEGEND



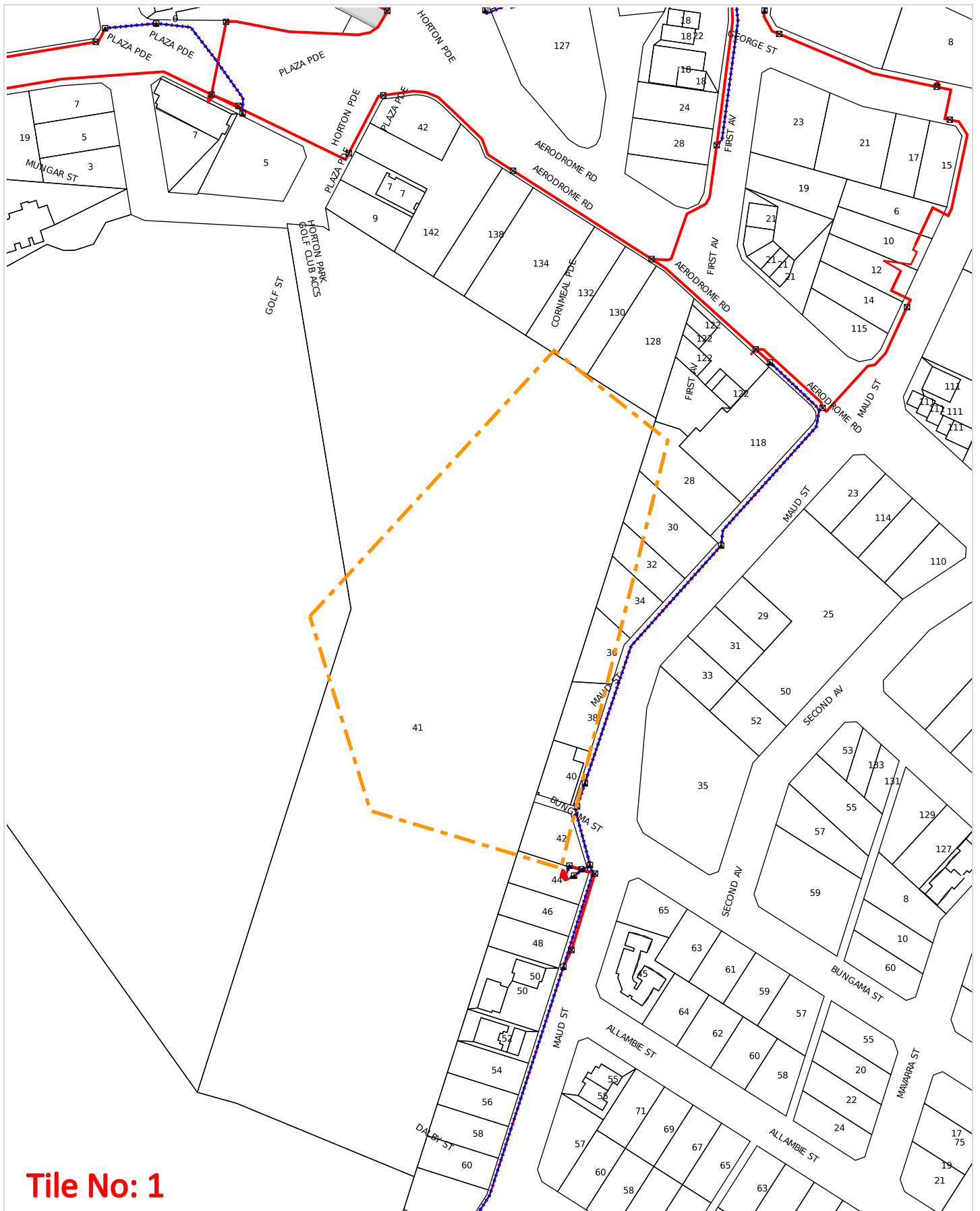
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	Power Pit with size "2E". Valid PIT Size: e.g. 2E, 5E, 6E, 8E, 9E, E, null.
	Manhole
	Pillar
	Cable count of trench is 2. One "Other size" PVC conduit (PO) owned by Telstra (-T-), between pits of sizes, "5" and "9" are 25.0m apart. One 40mm PVC conduit (P40) owned by NBN, between pits of sizes, "5" and "9" are 20.0m apart.
	2 Direct buried cables between pits of sizes, "5" and "9" are 10.0m apart.
	Trench containing any INSERVICE/CONSTRUCTED (Copper/RF/Fibre) cables.
	Trench containing only DESIGNED/PLANNED (Copper/RF/Fibre/Power) cables.
	Trench containing any INSERVICE/CONSTRUCTED (Power) cables.
	Road and the street name "Broadway ST"
Scale	0 20 40 60 Meters 1:2000 1 cm equals 20 m





Emergency Contacts

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Job # 37026519

Seq # 241284229

Legend

- BYDA Enquiry
- Detailed map page
- Land Parcels (Address)

Scale 1:2,500

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Legend

Electrical Infrastructure

- Electrical Switchboards
- Electrical Pits
- Electrical Poles
- Electrical Conduits

Communications Infrastructure

- Communications Pits
- Communications Conduits

Stormwater Network

- CatchPit
- FieldInlet
- Manhole
- Stormwater Quality Device
- Box
- Pipe

Automatic Waste Collection System

- AWCS Electrical Pits
- AWCS Communications Conduits
- AWCS Electrical Conduits
- AWCS Pipe
- AWCS Pits

SCC Water Services

- Water Pipes

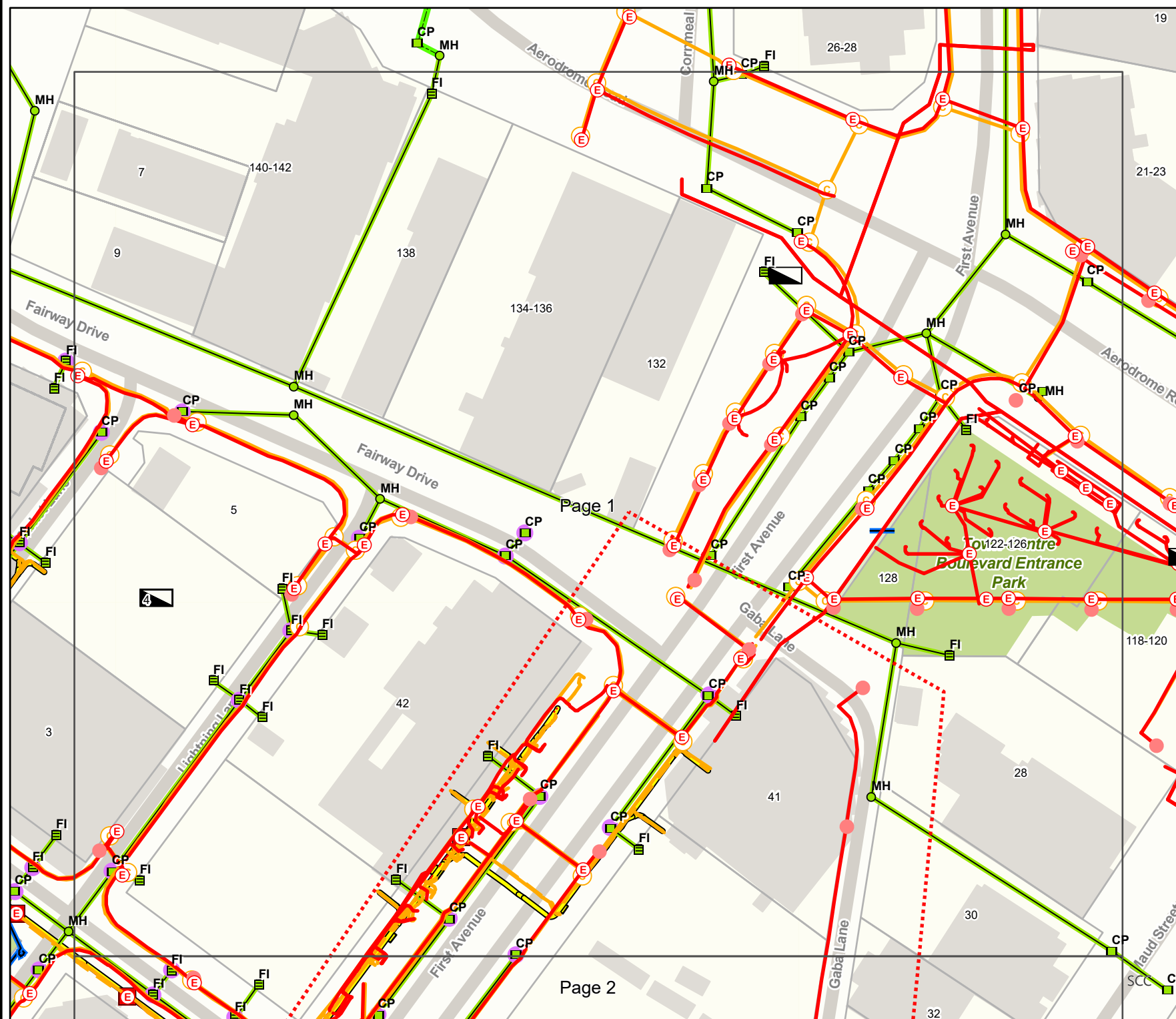
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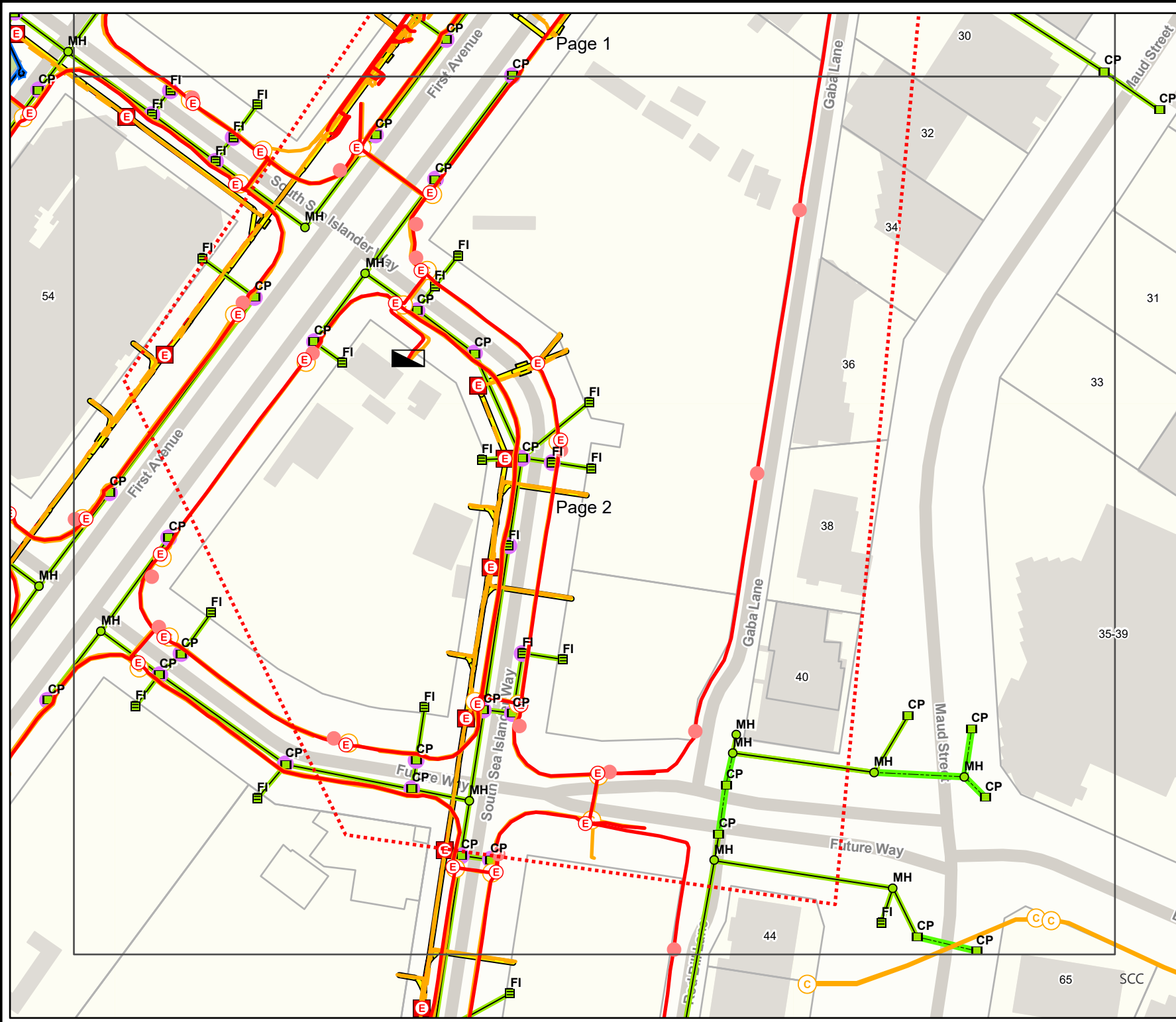
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Plans generated by SmarterWX™
Automate
01/07/24 (valid for 30 days)

In an emergency contact Sunshine Coast Council on (07) 5475 7272



Job # 37026519
Seq # 241284229

Legend

- Electrical Infrastructure**
- Electrical Switchboards
 - Electrical Pits
 - Electrical Poles
 - Electrical Conduits
- Communications Infrastructure**
- Communications Pits
 - Communications Conduits
- Stormwater Network**
- CatchPit
 - FieldInlet
 - Manhole
 - Stormwater Quality Device
 - Box
 - Pipe
- Automatic Waste Collection System**
- AWCS Electrical Pits
 - AWCS Communications Conduits
 - AWCS Electrical Conduits
 - AWCS Pipe
 - AWCS Pits
- SCC Water Services**
- Water Pipes

Scale 1:1,000

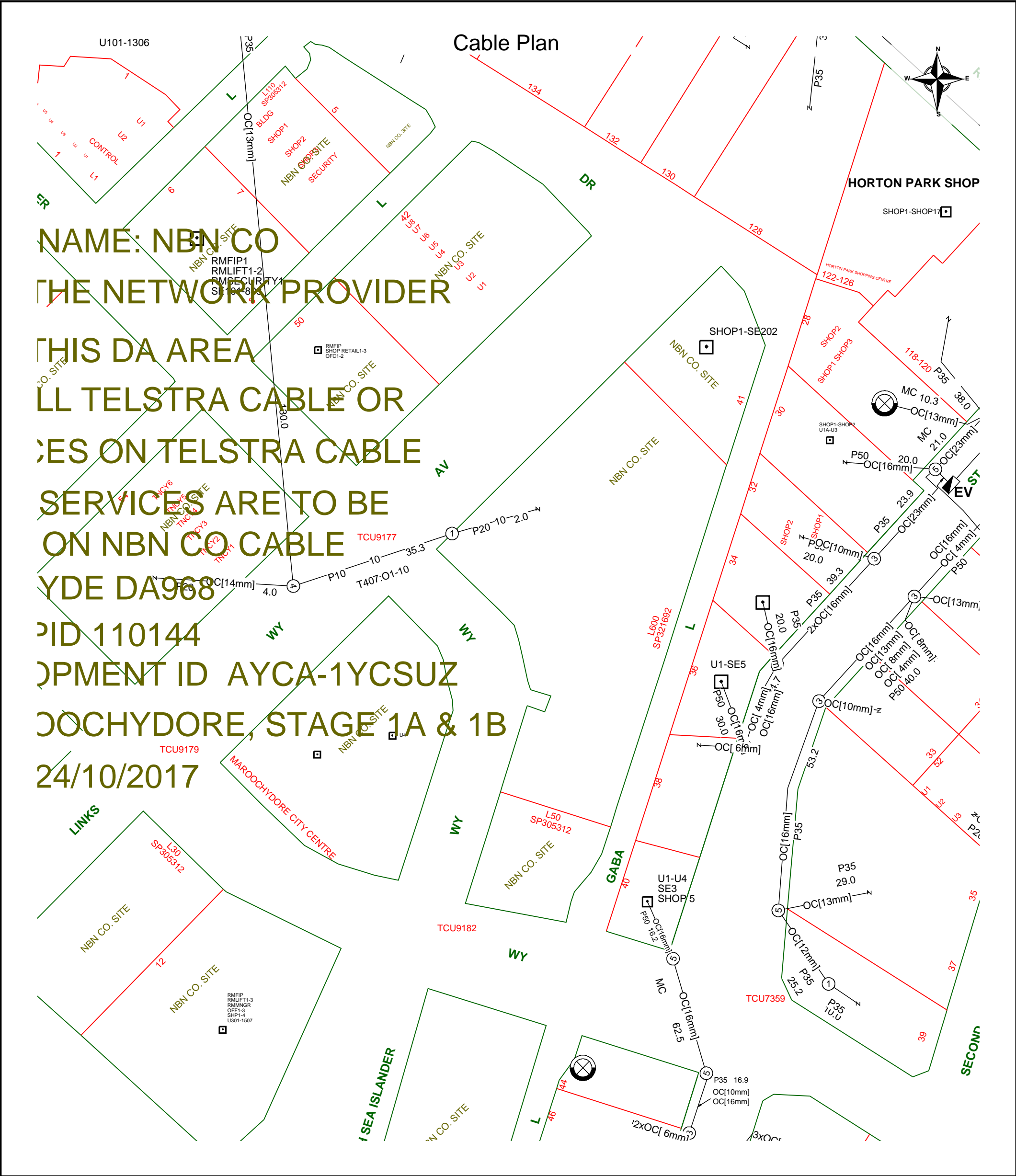
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	<p>Report Damage: https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra-equipment Ph - 13 22 03 Email - Telstra.Plans@team.telstra.com Planned Services - ph 1800 653 935 (AEST bus hrs only) General Enquiries</p>	<p>Sequence Number: 241284235</p>
<p>Generated On 01/07/2024 14:24:23</p>		<p>CAUTION: Critical Network Route in plot area. DO NOT PROCEED with any excavation prior to seeking advice from Telstra Plan Services on : 1800 653 935</p>

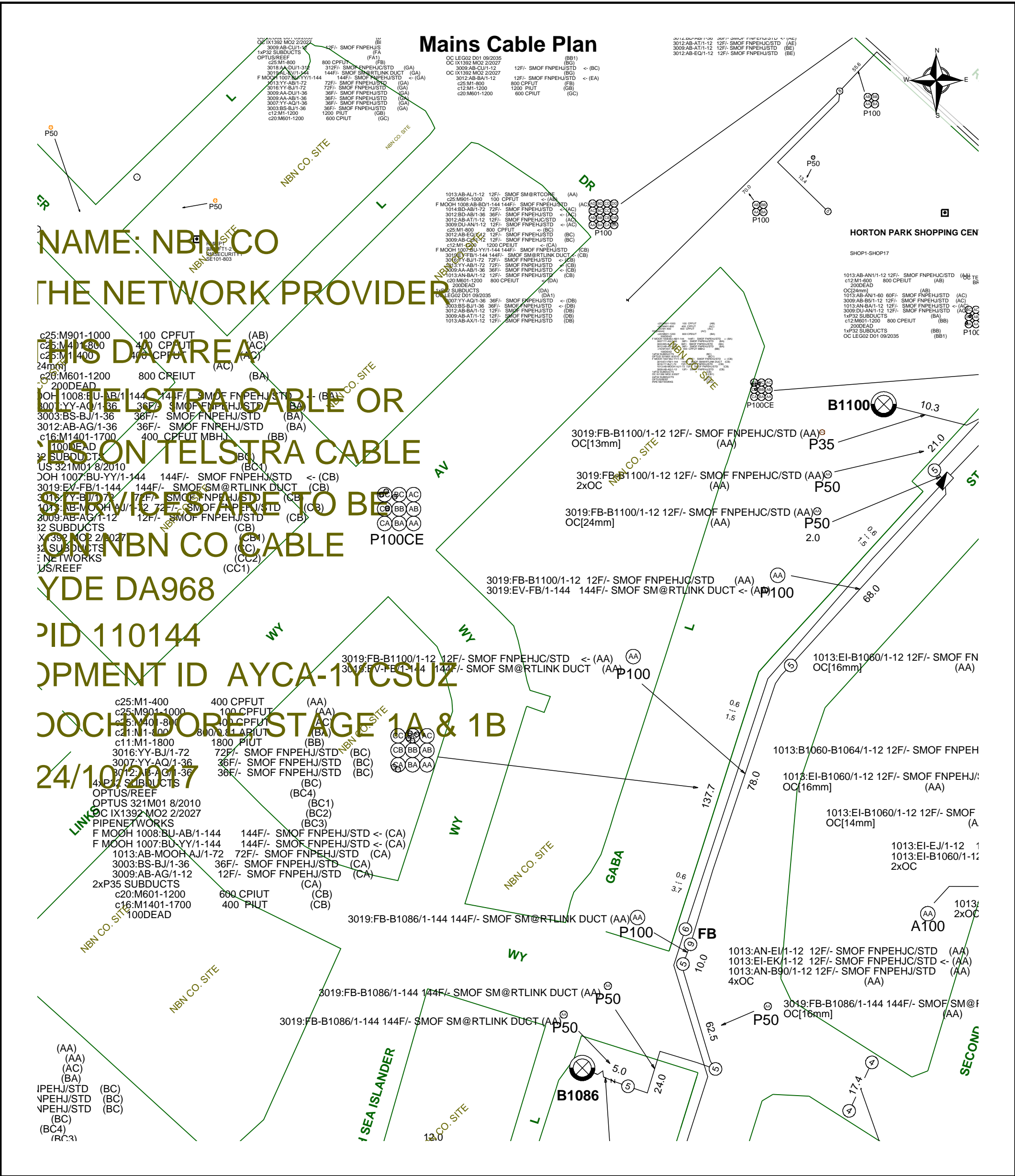
The above plan must be viewed in conjunction with the Mains Cable Plan on the following page


WARNING

Telstra plans and location information conform to Quality Level "D" of the Australian Standard AS 5488-Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. The exact position of Telstra assets can only be validated by physically exposing it. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy. Further on site investigation is required to validate the exact location of Telstra plant prior to commencing construction work. A Certified Locating Organisation is an essential part of the process to validate the exact location of Telstra assets and to ensure the asset is protected during construction works.

See the Steps- Telstra Duty of Care that was provided in the email response.

Page 1 of 2



	<p>Report Damage: https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra-equipment Ph - 13 22 03 Email - Telstra.Plans@team.telstra.com Planned Services - ph 1800 653 935 (AEST bus hrs only) General Enquiries</p>	<p>Sequence Number: 241284235</p>
<p>TELSTRA LIMITED A.C.N. 086 174 781 Generated On 01/07/2024 14:24:25</p>		<p>CAUTION: Critical Network Route in plot area. DO NOT PROCEED with any excavation prior to seeking advice from Telstra Plan Services on : 1800 653 935</p>

WARNING
Telstra plans and location information conform to Quality Level "D" of the Australian Standard AS 5488-Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. The exact position of Telstra assets can only be validated by physically exposing it. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy. Further on site investigation is required to validate the exact location of Telstra plant prior to commencing construction work. A Certified Locating Organisation is an essential part of the process to validate the exact location of Telstra assets and to ensure the asset is protected during construction works.

See the Steps- Telstra Duty of Care that was provided in the email response.

Date: 01/07/2024

Enquirer Name: William Bartsch
Enquirer Address: 3/135 Horton Parade
Email: williambartsch@projexpartners.com.au
Phone: +61466714510

Dear William Bartsch

The following is our response on behalf of each of the TPG carriers (listed below) to your Before You Dig Australia enquiry – Sequence **241284234**

It is provided to you on a confidential basis under the following conditions and must be shredded or securely disposed of after use.

Assets Affected: Lot 600 First Avenue Maroochydore

Carriers (each a “TPG carrier”) and assets affected:

AAPT/PowerTel, PIPE Networks

Location:

According to our records, the underground assets in the vicinity of the location stated in your enquiry are **AFFECTED**. Please read the below information and disclaimers in addition to the any attached plans provided prior to any construction activities.

IMPORTANT INFORMATION

- The information provided is valid for 30 days from the date of this response. If your work site area changes or your construction activity is beyond 30 days please contact Before You Dig Australia on 1100 or www.1100.com.au to re-submit a new enquiry.
- Due to the nature of underground assets and the age of some assets and records, our plans are indicative of the general location only and may not show all assets in the location. You should not solely rely on these plans when undertaking construction works. It is also inaccurate to assume depth or that underground network conduit and cables follow straight lines, and careful on-site investigations are essential to locate an asset's exact position prior to excavation. It is your responsibility to locate and confirm the exact location of our infrastructure using non-destructive techniques. We make no warranty or guarantee that our plans are complete, current or error free, and to the maximum extent permitted by law we exclude all liability to you, your employees, agents and contractors for any loss, damage or claim arising out of or in connection with using our plans.
- Please note that some of our conduits carry electrical cables and gas pipes. Please exercise extreme care when working within the vicinity of these conduit and take into account the minimum clearance distances under Duty Of Care below.
- You (and your employee and contractors) must not open, move, interfere, alter or relocate any of our assets without our prior approval.
- **Note** It is a criminal offence under the *Criminal Code Act 1995 (Cth)* to tamper or interfere with communication facilities owned by a carrier. Heavy penalties may apply for breach of this prohibition, and any damages suffered, or costs incurred by us as a result of such unauthorised works may be claimed against you.

DAMAGE

- You must report immediately any damage to our network on **1800 786 306** (24hrs). We will hold you liable and seek compensation for any loss or damage to our network, our property and our customers that is caused by or arises out of your activities.

DUTY OF CARE

You have a duty of care to carefully locate, validate and protect our assets when carrying out works near our infrastructure. For construction activities that may impact on or interfere with our network, you will need to call us on **1800 786 306** to discuss a suitable engineering solution, lead time and cost involved. The below precautions must be taken when working in the vicinity of our network:

- Contact us on **1800 786 306** to discuss and obtain relevant information and plans on our infrastructure in a particular location if the information provided in this response is insufficient.
- Physically locate and mark on-site our network infrastructure using non-destructive techniques i.e. pot holing or hand digging every 5 metres prior to commencing any construction activities. Assets located must be marked to AS5488 standard. **NO CONSTRUCTION WORK IS ALLOWED UNTIL THIS STEP IS COMPLETED.** You must use an approved telecommunications accredited locator, or we can provide a locator for you at your expense. If we provide you with a locator, and this locator attended the site and is proven to be grossly negligent in physically locating and marking our infrastructure, then to the extent any TPG carrier is liable for this locator's negligence, acts and omissions, the total liability aggregated for all TPG carriers is limited, at our option, to attend the site and re-mark the infrastructure or to pay for a third party to re-mark the infrastructure.
- If you require us to locate or monitor our infrastructure, please allow five business days' notice for us to respond.
- Ensure all information, including our network requirements and any associated plans provided by us are kept confidential and remain on-site throughout your construction works.

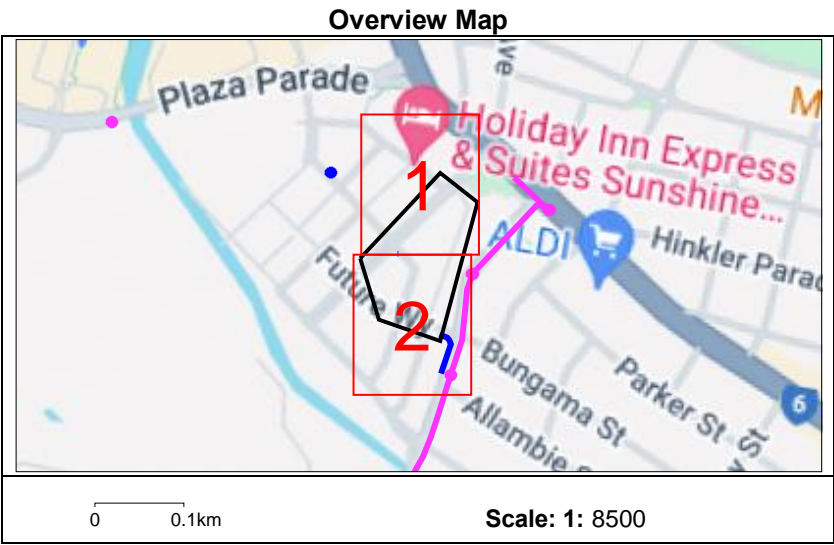
- Use suitably qualified and supervised professionals, particularly if you are working near assets that contain electricity cables or gas pipes.
- Ensure the below minimum clearance distances between the construction activities and the actual location of our assets are met. If you need clearance distances for our above ground assets, or if the below distances cannot be met, call **1800 786 306** to discuss.

Minimum assets clearance distances.

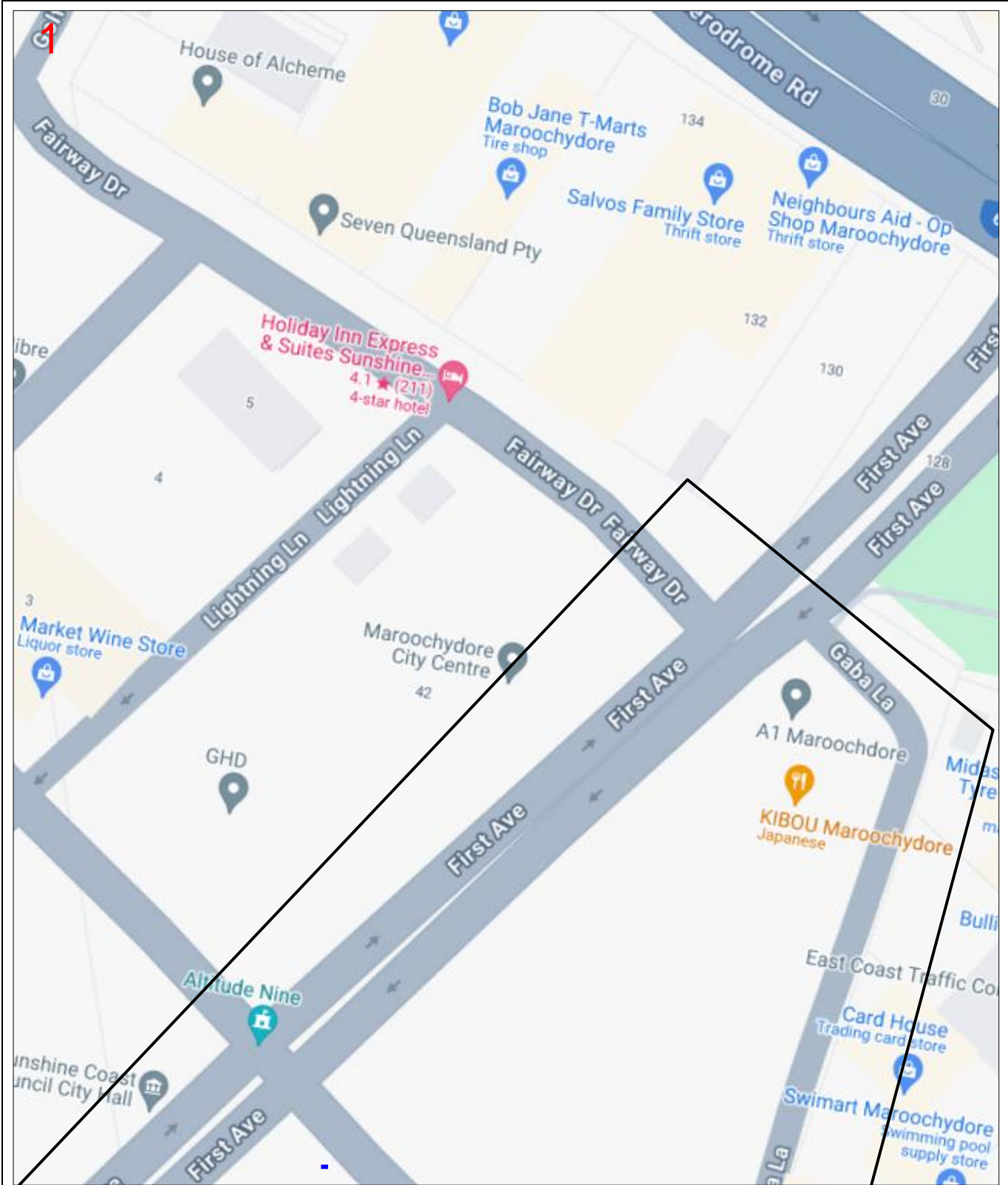
- 300mm when laying asset inline, horizontal or vertical.
 - 1000mm when operating vibrating equipment. Eg: vibrating plates. No vibrating equipment on top of asset.
 - 1000mm when operating mechanical excavators or jackhammers/pneumatic breakers.
 - 2000mm when performing directional bore in-line, horizontal and vertical.
 - No heavy vehicle over 3 tonnes to be driven over asset with less than 600mm of cover.
- Reinstate exposed TPG network infrastructure back to original state.

PRIVACY & CONFIDENTIALITY

- Privacy Notice – Your information has been provided to us by Before You Dig Australia to respond to your Before You Dig Australia enquiry. We will keep your personal information in accordance with TPG’s privacy policy, see www.tpg.com.au/about/privacy.
- Confidentiality – The information we have provided to you is confidential and is to be used only for planning and designing purposes in connection with your Before You Dig Australia enquiry. Please dispose of the information by shredding or other secure disposal method after use. We retain all intellectual property rights (including copyrights) in all our documents and plans.



TPG Telecom Limited



Enquiry Number: 241284234

Map Sheet: 1

Scale: 1: 750

0 0.008km

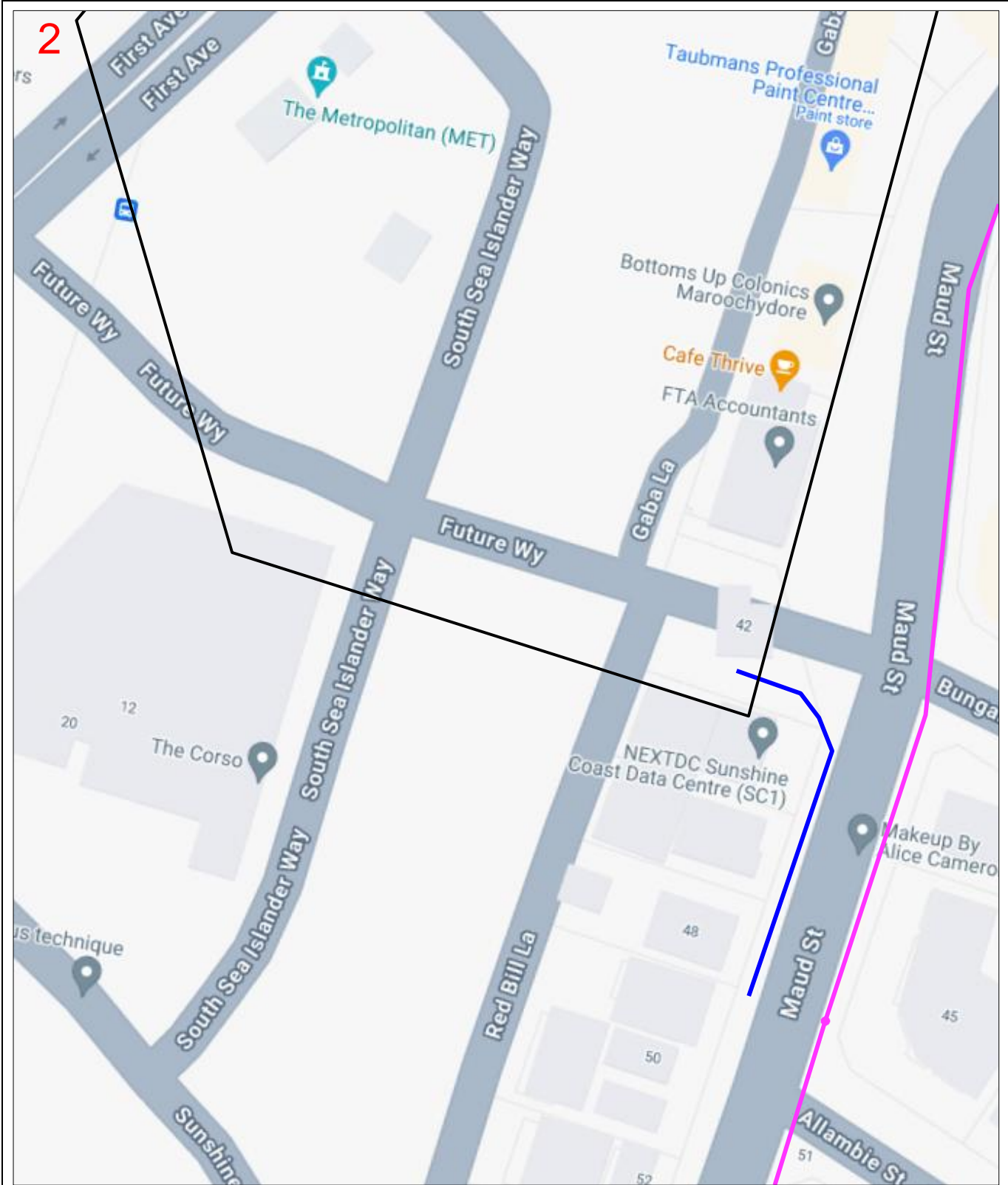
N

LEGEND

BYDA Work Area

AAPT/PowerTel Pit	●	TransACT Pit	●
AAPT/PowerTel Duct	—	TransACT Duct	—
DDA Pit	●	SOUL Pattinson Telecoms Pit	●
DDA Duct	—	SOUL Pattinson Telecoms Duct	—
Agile/Adam Pit	●	PIPE Networks Pit	●
Agile/Adam Duct	—	PIPE Networks Duct	—

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Enquiry Number: 241284234

Map Sheet: 2

Scale: 1: 750

0 0.008km

N

LEGEND

BYDA Work Area

AAPT/PowerTel Pit	●	TransACT Pit	●
AAPT/PowerTel Duct	—	TransACT Duct	—
DDA Pit	●	SOUL Pattinson Telecoms Pit	●
DDA Duct	—	SOUL Pattinson Telecoms Duct	—
Agile/Adam Pit	●	PIPE Networks Pit	●
Agile/Adam Duct	—	PIPE Networks Duct	—

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UNITYWATER BYDA MAP

Sequence Number: 241284236
Job Number: 37026519
Printed On: 1/07/2024

Emergency Situations
Call Unitywater:
1300 086 489

This information on this plan is valid
for 30 days from "Printed On" date.

Legend

Extent of Unitywater Area

Water

Water Pump Station

Water Service

Water Valve

Water Pipe (Abandoned)

Water Hydrant

Water Fitting

Water Main

Trunk Main

Reticulation Main

Sewer

Sewer Pump Station

Sewer Maintenance Hole

Sewer Valve

Sewer Fitting

Sewer Gravity Main

Trunk Main

Reticulation Main

Overflow Main

Sewer Pipe (Abandoned)

Sewer Pressure Main

Pressure Sewer

Rising Main

Vacuum Main

Pressure Sewer Service

Sewer Service

Recycled Water

Recycled Water Pump Station

Recycled Water Valve

Recycled Water Hydrant

Recycled Water Fitting

Recycled Water Pipe (Abandoned)

Recycled Water Main

Scale: 1:2050
(If printed at 100%
on A3 size paper)

Unitywater

Before You Dig Australia
Geospatial Information Systems
Ground Floor, 33 King St
Caboolture QLD 4510
Inquiries: 1300 0 Unity (1300 086 489)
Email: dbyd@unitywater.com

Disclaimer

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UNITYWATER BYDA MAP

Sequence Number: 241284236
Job Number: 37026519
Printed On: 1/07/2024

Emergency Situations
Call Unitywater:
1300 086 489

This information on this plan is valid
for 30 days from "Printed On" date.

Legend

Extent of Unitywater Area

Water

Water Pump Station

Water Service

Water Valve

Water Pipe (Abandoned)

Water Hydrant

Water Fitting

Water Main

Trunk Main

Reticulation Main

Sewer

Sewer Pump Station

Sewer Maintenance Hole

Sewer Valve

Sewer Fitting

Sewer Gravity Main

Trunk Main

Reticulation Main

Overflow Main

Sewer Pipe (Abandoned)

Sewer Pressure Main

Pressure Sewer

Rising Main

Vacuum Main

Pressure Sewer Service

Sewer Service

Recycled Water

Recycled Water Pump Station

Recycled Water Valve

Recycled Water Hydrant

Recycled Water Fitting

Recycled Water Pipe (Abandoned)

Recycled Water Main

Map Tile: 1
Scale: 1:1000
(If printed at 100%
on A3 size paper)

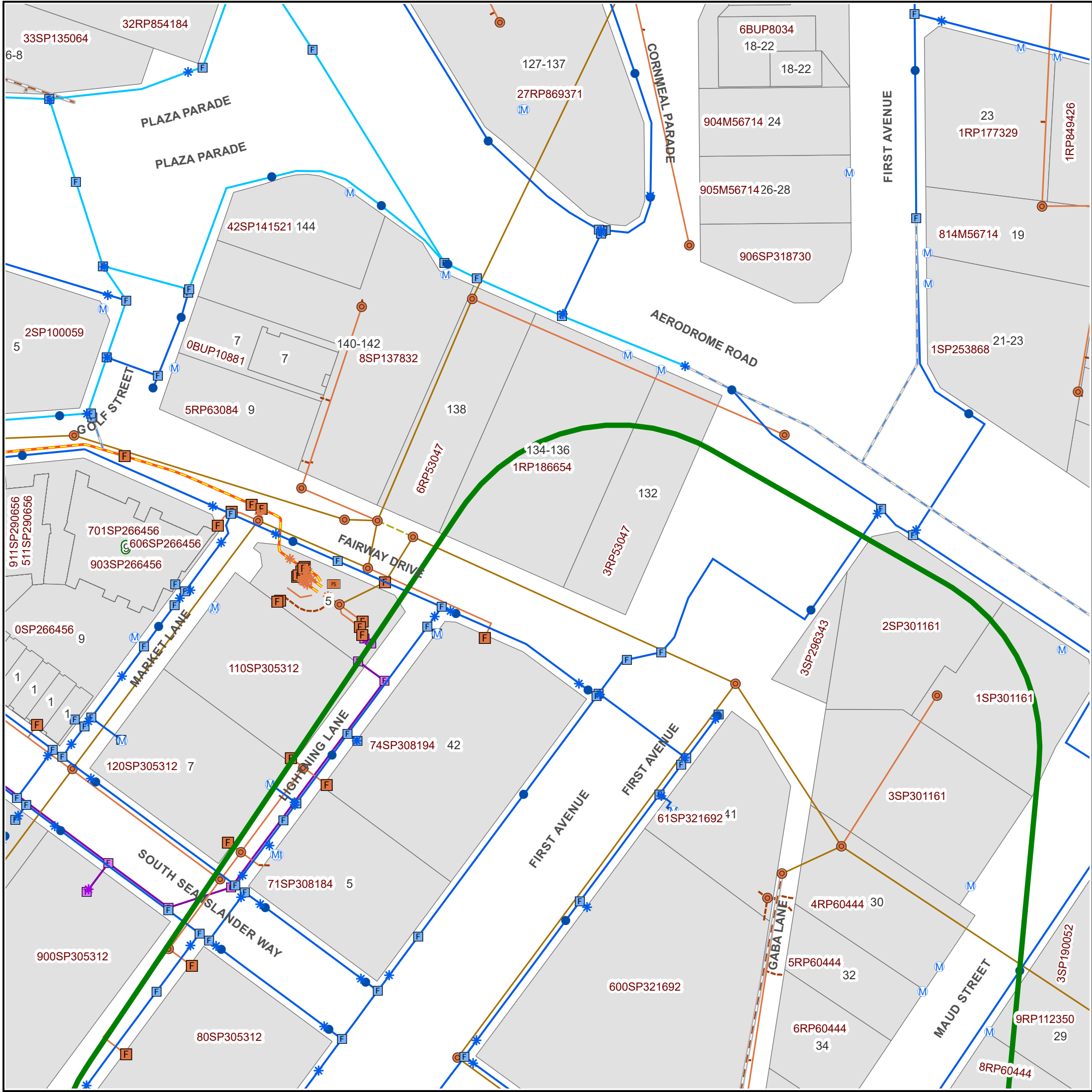


Unitywater

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UNITYWATER BYDA MAP

Sequence Number: 241284236

Job Number: 37026519

Printed On: 1/07/2024





























Emergency Situations

Call Unitywater:

1300 086 489

This information on this plan is valid
for 30 days from "Printed On" date.

Legend

	Extent of Unitywater Area	Sewer Gravity Main
Water		 Trunk Main
	Water Pump Station	 Reticulation Main
	Water Service	 Overflow Main
	Water Valve	 Sewer Pipe (Abandoned)
	Water Pipe (Abandoned)	Sewer Pressure Main
	Water Hydrant	 Pressure Sewer
	Water Fitting	 Rising Main
Water Main		 Vacuum Main
	Trunk Main	 Pressure Sewer Service
	Reticulation Main	 Sewer Service
Sewer		Recycled Water
	Sewer Pump Station	 Recycled Water Pump Station
	Sewer Maintenance Hole	 Recycled Water Valve
	Sewer Valve	 Recycled Water Hydrant
	Sewer Fitting	 Recycled Water Fitting
		 Recycled Water Pipe (Abandoned)
		 Recycled Water Main

Map Tile: 2
Scale: 1:1000
(If printed at 100%
on A3 size paper)



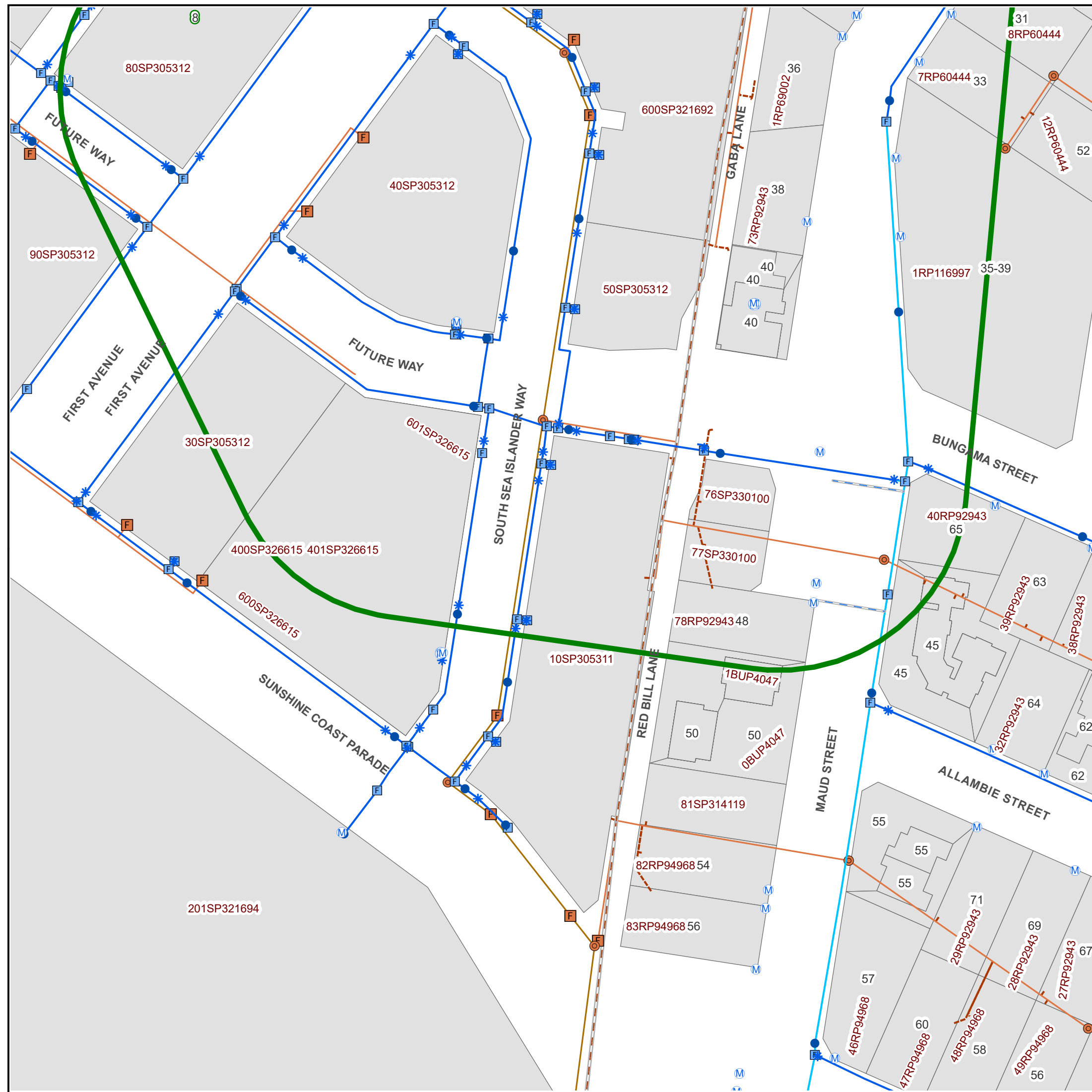
Unitywater

Before You Dig Australia
Geospatial Information Systems
Ground Floor, 33 King St
Caboolture QLD 4510
Inquiries: 1300 0 Unity (1300 086 489)
Email: dbyd@unitywater.com

Disclaimer

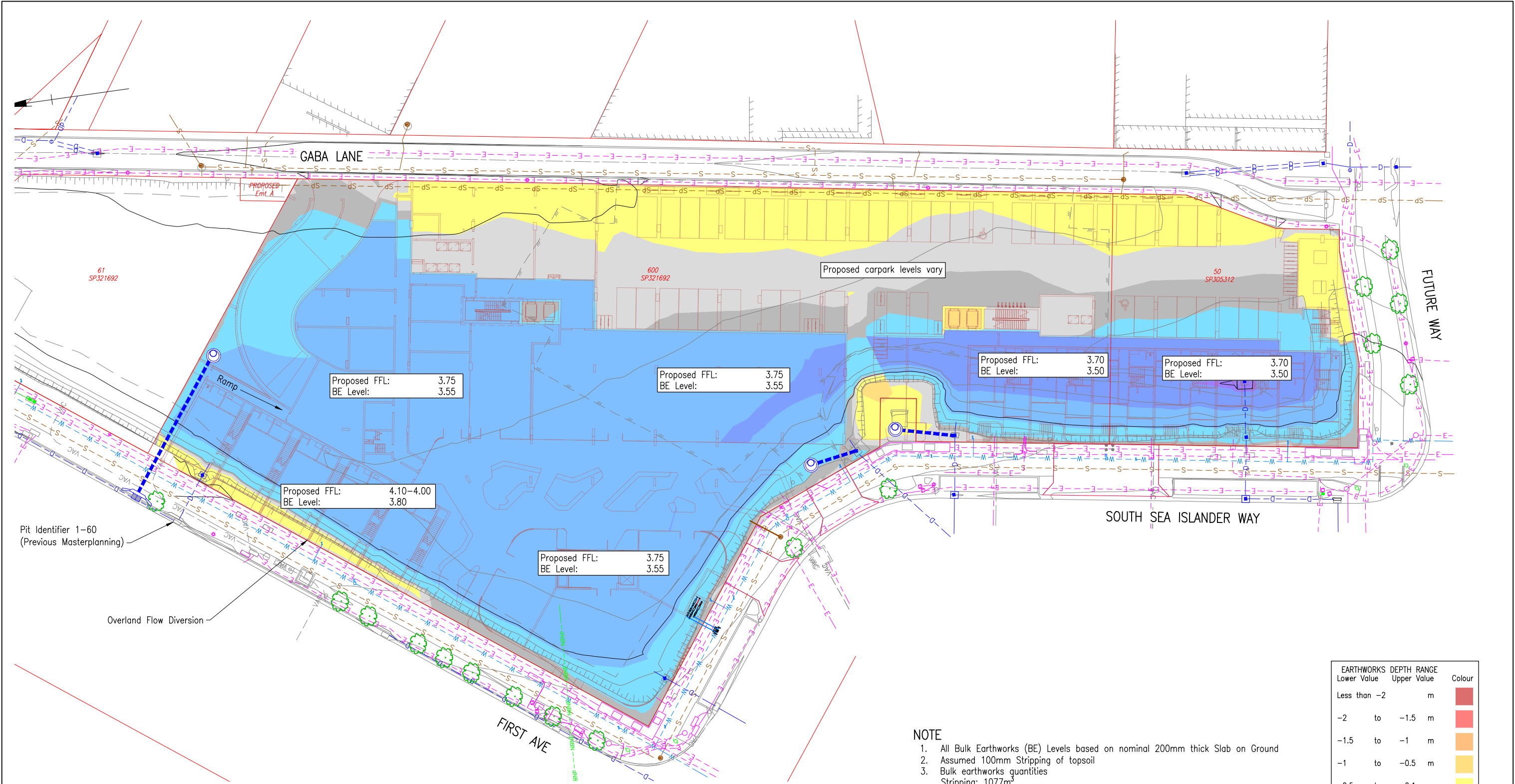
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APPENDIX B

Drawings



NOTE

- 1. All Bulk Earthworks (BE) Levels based on nominal 200mm thick Slab on Ground
- 2. Assumed 100mm Stripping of topsoil
- 3. Bulk earthworks quantities
Stripping: 1077m³

Cut: 55m³
Fill: 3682m³
(Cut/fill values are based off stripped surface to bulk earthworks surface)

EARTHWORKS DEPTH RANGE		Colour
Lower Value	Upper Value	
Less than -2	m	
-2	to -1.5	m
-1.5	to -1	m
-1	to -0.5	m
-0.5	to -0.1	m
-0.1	to 0	m
0	to 0.1	m
0.1	to 0.5	m
0.5	to 1	m
1	to 1.5	m
1.5	to 2	m
Greater than 2	m	

Ph: 1300 789 214

www.projexpartners.com.au

PROJECT MANAGEMENT | ENGINEERING | PLANNING

Ph: 1300 789 214

ProjexPartners

PROJECT MANAGEMENT | ENGINEERING | PLANNING

Ph: 1300 789 214

www.projexpartners.com.au

CLIENT

walker

Rev.

Description

Date

Drawn

Design

Check

RPEQ No. & Initial

A

APPROVAL

10/09/24

FRG

KAP

KAP

6343

DAB

ENGINEERING CERTIFICATION (RPEQ)

ENG. AREA

NAME

SIGNATURE

No.

DATE

CIVIL

DANIEL BERRY

Daniel Berry

6343

10/09/24

SCALE

1:250 0 5 10 A1

1:500 0 5 10 A3

LOTS 600 AND 50 MAROOCHYDORE CITY CENTRE

BULK EARTHWORKS PLAN

DRAWING NUMBER

571-002-C040

No IN SET

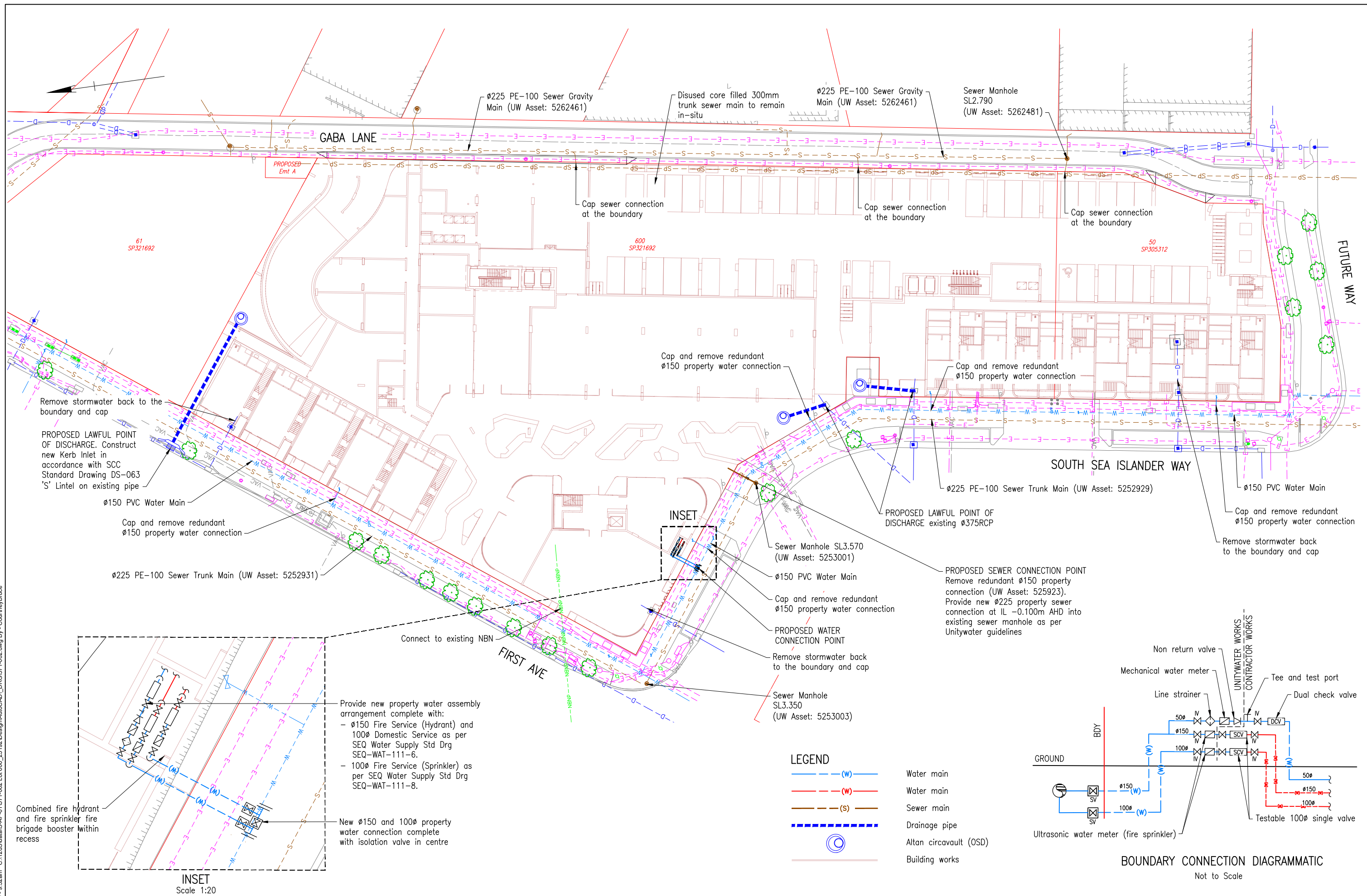
3 of 6

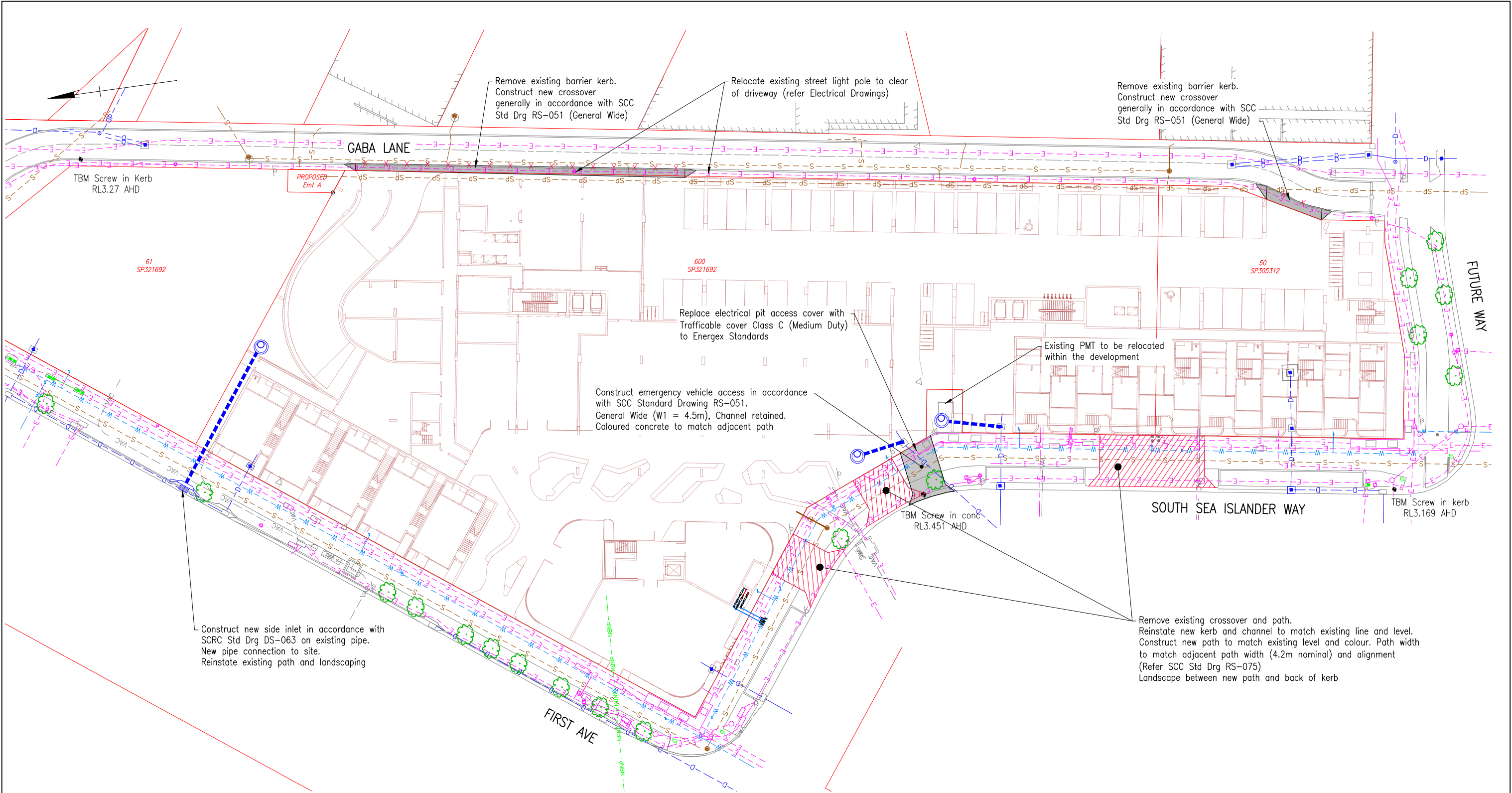
REVISION

A



Last Modified - Sep 10, 2024 - 9:32am C:\12d\stata\AP-01571-002 Lot 600_25192\Design\AutoCAD\DRG\571-002.dwg By - Courtney Bruce

THIS DRAWING MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS PREPARED BY PARTIES AGREED TO BY PROJEX PARTNERS & MUST NOT BE USED BY ANYONE ELSE OR FOR ANY OTHER PURPOSE





LEGEND

-  DEMOLISH
-  VEHICLE CROSSOVER

NOTE

All street frontage bollards to be removed prior to the commencement of works

Rev.	Description	Date	Drawn	Design	Check	RPEQ No. & Initial
A	APPROVAL	10/09/24	FRG	KAP	KAP	6343 DAB

ENGINEERING CERTIFICATION (RPEQ)				
ENG. AREA	NAME	SIGNATURE	No.	DATE
CIVIL	DANIEL BERRY	Daniel Berry	6343	10/09/24

SCALE	
1:250	0 5 10 A1
1:500	0 5 10 A3

LOTS 600 AND 50 MAROOCHYDORE CITY CENTRE

FRONTAGE WORKS

DRAWING NUMBER 571-002-C090

No in SET 5 of 6 REVISION A

APPENDIX C

Unitywater Service Advice Notice (SAN)

Services Advice Notice

South-East Queensland Water (Distribution and Retail Restructuring) Act 2009

Notice Details

Development Application No:	2024024607
Street Address:	Lot 600 First Avenue, MAROOCHYDORE QLD 4558.
Property Description:	Lot 600 SP 321692
Proposal:	Mixed-used development with 251 dwellings in two towers.
Local Government Area:	Sunshine Coast Regional Council
Applicant:	Kai Pelgrave (Projex Partners)
Date of Issue:	26/08/2024
Assessment Officer:	Don Jayasinghe

This notice is provided in accordance with Section 99BRAC of the *South-East Queensland Water (Distribution and Retail Restructuring) Act 2009*.

Please note that the **Service Advice Notice is advisory only** and does not represent approval of the connection or any associated works. The Service Advice Notice is **valid for 6 months** from the date of this notice.

Application must be made to Unitywater for approval of the connection or associated works.

- The proposed development site is located within Unitywater's current water supply and sewer connection areas. These services are available to the development site.
- Demand generated by this development exceeds the Unitywater's planning assumptions for the development lot. However, Unitywater may be amenable to approving water supply and sewerage connections for the development, if the demand of the proposed development will not have a detrimental effect on any existing or future customers within Unitywater's water supply and sewerage connection and future connection areas.
- Available capacity will need to be demonstrated by the applicant via a network analysis by a competent and suitably qualified consultant who is capable of carrying out such analysis.
- The water supply network analysis shall cover the DMA-HARBS and the sewerage analysis shall cover gravity mains, sewage pumping stations and rising mains from the connection point up to and including SPS-MRD002. The analysis shall include the identification of any upgrading works required to accommodate the proposed

Page 1 of 4

development. It is expected that any upgrades getting triggered from this development will need to be constructed by the developer. This will be a condition in a connection approval.

- A free copy of Unitywater's network models for this location is available to the developer on request subject to conditions. Please contact Senior Engineer Network Modelling, Mathy Jegan at mathy.jegan@unitywater.com
- The connection application shall accompany plans indicating.
 - The location of any metered water connection and sewerage property connection including offsets from boundaries and invert levels for new sewerage connections.
 - Any proposed large diameter water connections (greater than Ø25mm), above ground master meter assembly (This shall be located within the development property boundary) and proposed sub-meter installations.

Fire Fighting Requirements

- Direct connection of pressure boosting pumps to Unitywater network **is not** favoured by Unitywater. Sometimes the requests may be considered depending on the capacity, condition and sufficient connectivity of the reticulation system in the area. If there is any such proposal, details of the pumps (pump curves and design calculations) need to be submitted to Unitywater's **Development Services for approval** prior to installation. This request shall include a **certification by the hydraulic consultant** that the maximum flow rate of the installed pumps will be no greater than Unitywater's standards of service, relevant for the site.
- Unitywater's level of service towards firefighting capacity is guided by **SEQ Design & Construction Guidelines** whereas the internal fire suppression systems of buildings shall comply with the requirements of **AS 2419**. Therefore it is the responsibility of the developer to design and install the necessary infrastructure such as pumps, break tanks etc, so that the internal fire suppression system complies with the relevant standards.
- The Usage of street hydrants as standalone firefighting facility to a building will be entirely at the risk of the developer. Unitywater will not guarantee that the street hydrants will comply with the requirements of AS 2419 or of QFES. This applies to dry hydrant systems too.
- It is strongly recommended that the developer submits an application for flow & pressure information about the water mains that the development is getting connected to. This information will provide details of the expected flow & pressure of Unitywater's street watermain in the vicinity of the development from a hydraulic model prediction. The application can be downloaded from Unitywater's web site <https://www.unitywater.com/faults-and-outages/water-supply-problems/water-pressure> (Form 8578).
- Unitywater, at its discretion, may change the operational regime of its water mains. However, it won't be changed below Unitywater's minimum level of service towards

street hydrants. These values are shown in Table 1 below. For more details, please refer to the latest version of SEQ Design & Construction Code.

Type of Use	Flow available from Unitywater Main (Litres/sec)	Residual Head in Water main (meters)
Residential dwellings of less than 3 storey	15	12
Commercial that is ancillary to residential use	15	12
Multi Storey residential greater than 3 storeys	30	12
Commercial and or Industrial	30	12

- Location of existing Unitywater infrastructure can be viewed at Unitywater's website. Precise details of infrastructure are available via Detailed Infrastructure Plan (DIP) on application. Further information on this process is available at Unitywater website <http://www.unitywater.com/reference library>.
- This proposal would require the applicant to apply to Unitywater for a '*Staged or Other Connection Application*' which includes application/s for 'network works'. For further information on this process refer to Unitywater's website at <http://unitywater.com/Building-and-developing>.
- For current information in relation to all Unitywater's fees applicable to connection applications and development related works please refer to Unitywater website at <https://www.unitywater.com/Building-and-developing/pricing-fees-and-charges>.
- Should an approval for connection be provided by Unitywater, the developer will need to apply to Unitywater for a **Private Works Quote** in relation to the cost for new metered water supply service connections and live connections to existing water/sewer infrastructure by Unitywater. A copy of the connection approval and associated approved plans detailing the new connections must accompany the private works quotation application. Please refer Unitywater's website at <http://www.unitywater.com/private-works> for further details.
- It is the Applicant's responsibility to ensure that it has all necessary consents and approvals to carry out any connection related works in a publicly controlled place (e.g. Council, DTMR) or property that is not owned or controlled by the Applicant prior to starting such works.
- All water supply and sewerage works must be designed and constructed in accordance with the South-East Queensland Water Supply and Sewerage Design and Construction Code, Unitywater's Connections Administration Manual and any other matter Unitywater

considers to be relevant to the connection or supply of its water services or wastewater services.

- Easements will be required in accordance with the South-East Queensland Water Supply and Sewerage Design and Construction Code over water/sewerage mains located in private property boundaries.
- Payment of Levied Charges will be required in accordance with Unitywater's Infrastructure Charges for water supply and sewerage.

Yours sincerely,
Development Services
Unitywater