

MANAGEMENT LOT PLAN

NOT TO BE USED FOR ENGINEERING DESIGN
OR CONSTRUCTION

NOTES

This plan was prepared as a conceptual layout only. The information on this plan is not suitable for any other purpose.

Property dimensions, areas, numbers of lots and contours and other physical features shown have been compiled from existing information and may not have been verified by field survey. These may need verification if the development application is approved and development proceeds, and may change when a full survey is undertaken or in order to comply with development approval conditions.

No reliance should be placed on the information on this plan for detailed subdivision design or for any financial dealings involving the land.

Pavements and centrelines shown are indicative only and are subject to Engineering Design.

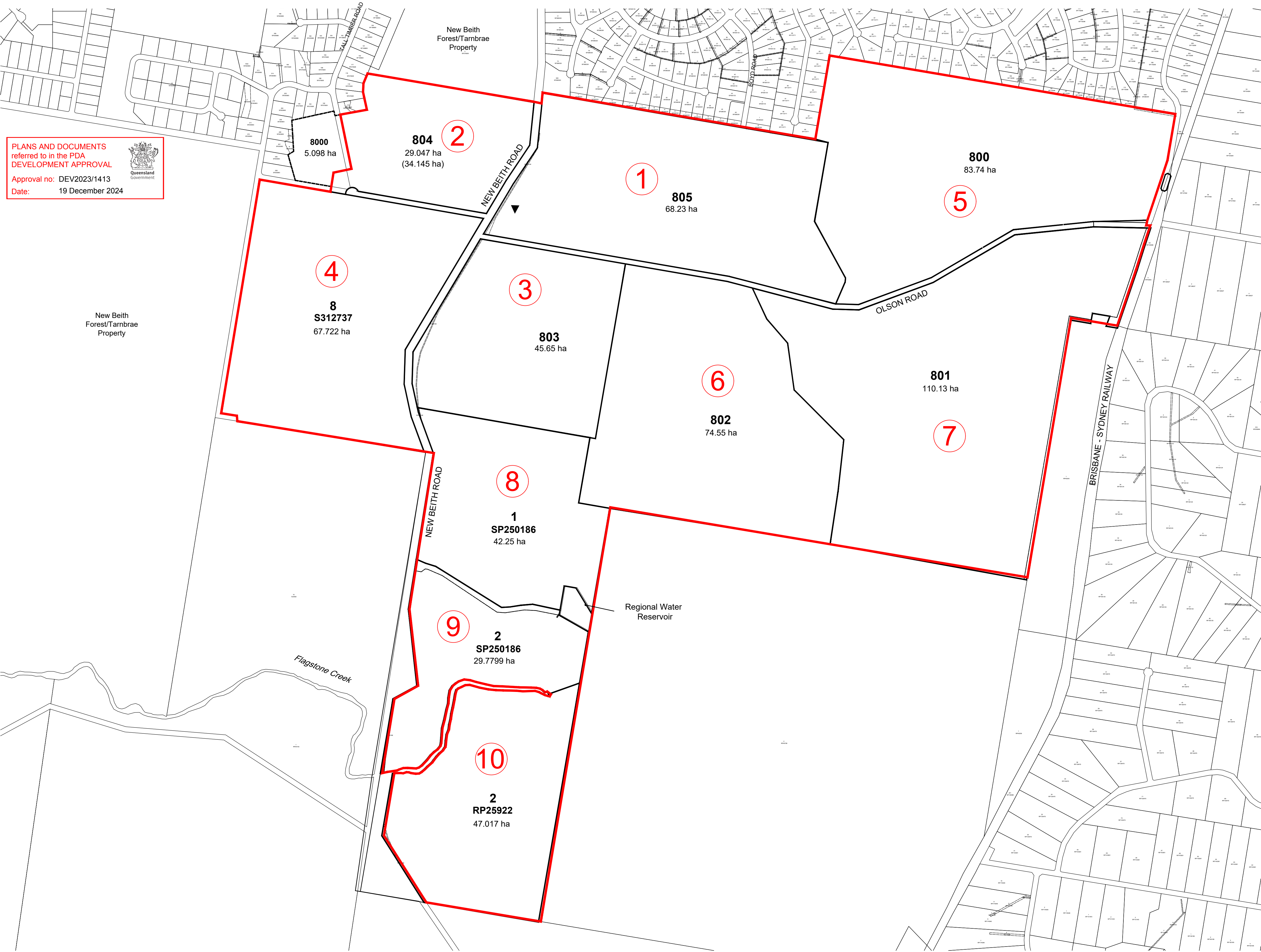
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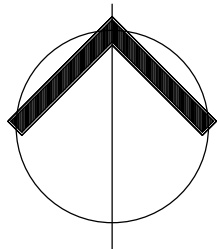
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LEGEND

- Land within PDA Boundary
- Precinct No.
- Future Railway Station
- Fire and Rescue Station



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL
Approval no: DEV2023/1413
Date: 19 December 2024



NEW BEITH PTY LTD

NEW BEITH ROAD, NEW BEITH 30/11/2022 8905 P 16 Rev D

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LEGEND

- Land within PDA Boundary
- Major Contour (1.0m interval)
- Education
- District Centre
- Local Centre
- Mixed Use/Railway Station
- High Density Residential Neighbourhood
- Mixed Residential Neighbourhood
- Urban Residential Neighbourhood
- Active Living / Retirement Precinct
- Medium Density Precinct
- Open Space
- Regional Recreation Park
- District Recreation Park
- Town Square
- Regional Sports Park
- District Sports Park
- Potential Land Dedication - Railway Corridor
- Controlled Intersection - Possible Signalised Intersection
- Controlled Intersection - Possible Roundabout
- Urban Arterial Multi Modal Dual Carriageway - (37m-40m wide)
Footpath: 1.5m on both sides
Separated Cycle Track
- Trunk Connector (4 lane) - (33mwide)
Footpath: 1.5m both sides
2m wide one-way separated cycle tracks in each verge
(3m wide two way cycle track in one verge acceptable for interim 2 lane configurations)
- Centre Access Street (2 lane) - (25m wide)
Footpath: 3m both sides
2m one-way separated cycle track in each verge
- Neighbourhood Connector (2 lane) - (22m wide)
Footpath: 1.5m on one side
3m wide shared path one side
- Future Railway Station
- Fire and Rescue Station
- Precinct No.

SCALE @A1 1:7500 @A3 1:15000 - LENGTHS ARE IN METRES
100 0 100 200 300 400 500 600 700 800 900

