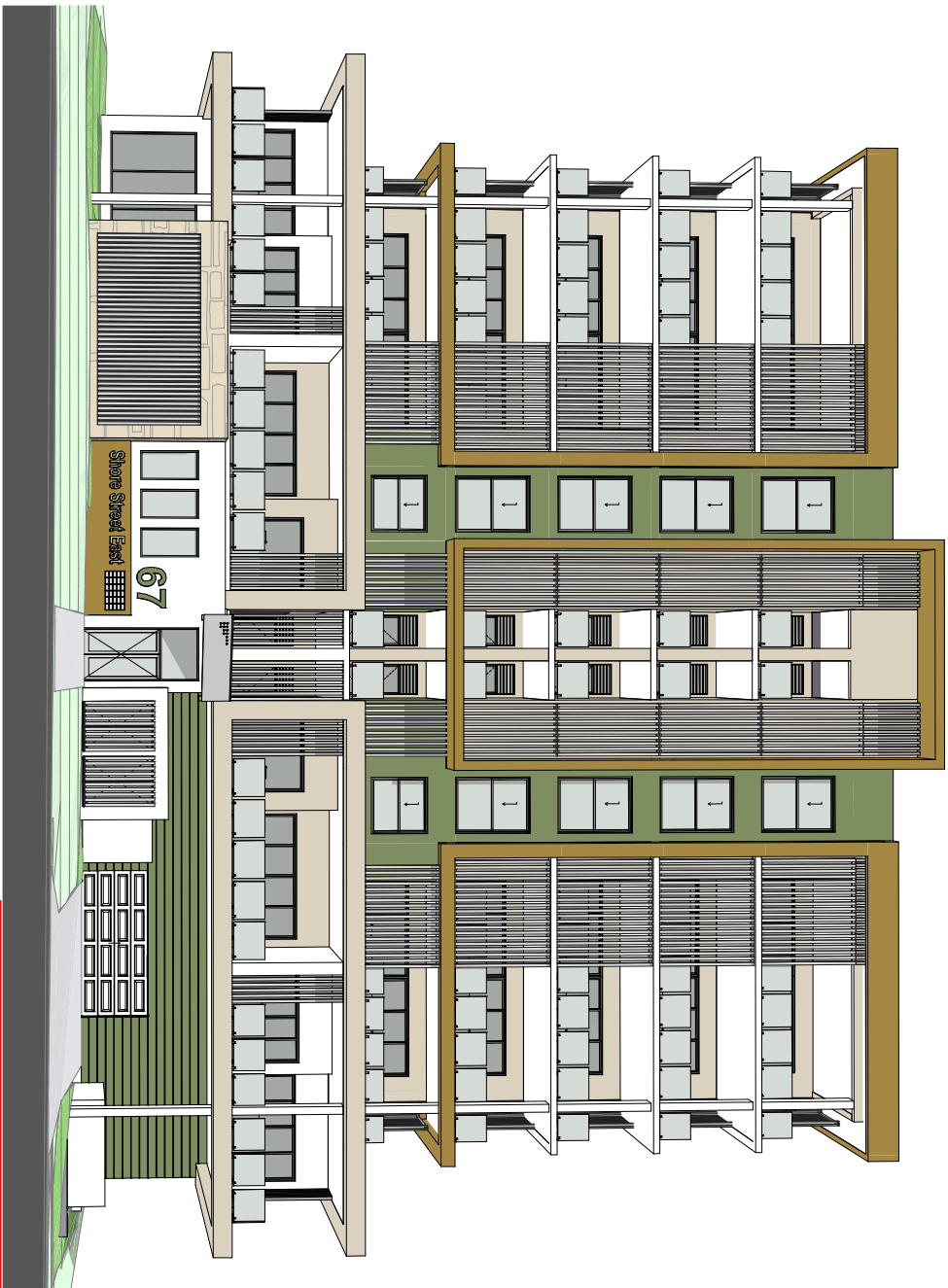


SHEET INDEX	DRAWING TITLE	PG.	DRAWING TITLE	PG.
0.00	COVER PAGE	2.5	FOURTH FLOOR (TYPICAL)	
0.01	3D INDICATIVE		FIFTH FLOOR (Typical, Sub-Penthouse)	2.6
0.02	3D INDICATIVE		SIXTH FLOOR (Typical, Penthouse)	2.7
0.03	3D INDICATIVE		Roof Plan	2.8
0.04	3D INDICATIVE		SITE COVER	2.9
0.06	3D INDICATIVE		ELEVATION	3.1
0.07	3D INDICATIVE		ELEVATION	3.2
1.1	SURVEY PLAN		ELEVATION	3.3
1.2	SURVEY PLAN		ELEVATION	3.4
1.3	SITE PLAN		SECTION 1A	3.5
1.4	LANDSCAPE & RECREATION SPACE CALCULATION		SECTION 2A	3.6
1.5	REFUSE CALCULATION		SECTION 3A	3.7
2.1	GROUND FLOOR			
2.2	FIRST FLOOR			
2.3	SECOND FLOOR (TYPICAL)			
2.4	THIRD FLOOR (TYPICAL)			
ISSUE	AMENDMENT	DATE		
A1	New Design Sketch - 7 Storey	30/OCT/2023		
A11-SK	Units layout sketch	07/DEC/2023		
B1	Preliminary Issue	11/DEC/2023		
B6	facade updated, floor plan amended	19/JAN/2024		
C1	chill input, facade updated, FFL changed	22/JAN/2024		
C12	Roof updated, added PWD unit	25/APR/2024		
D1	Additional Infos	08/MAY/2024		
D7	Floor Plans amended, Roof Plans Amended	04/JUN/2024		
E1	Preliminary Drawings, additional 3D Indicative	06/JUN/2024		
E4	Elevation amended	16/JUN/2024		
F1	Lift amended, waste chute relocated, bins room changed	19/JUN/2024		
	Units amended : U05, U06 Typical, U08 Typical			
	Units amended : U23, U28 changed back to previous design			
F2	External colour scheme amended	29/JUN/2024		
F3	Info request FSL lobby	08/JUL/2024		
G1	Roof Changes	23/JUL/2024		
G2	Roof minor change	26/JUL/2024		
G3	Amended : Landscape, Bins Store, Visitor carpark	08/AUG/2024		

#PROPOSED DEVELOPMENT
LOT 12 #67 SHORE STREET EAST, CLEVELAND, REDLAND CITY, QLD
 PROUDLY DEVELOPED BY :
TBC



SITE DETAILS

Real Property Description : Lot 12-13 on CL14563
 Address of Site : LOT 12 #67 SHORE STREET EAST CLEVELAND REDLAND CITY QLD
 Area of Site : 2,226 sqm (APPROX.)
 Total Numbers of Proposed Unit : **30 Units**
 Total Numbers of Proposed Carparking : **63 Cars (3 Visitor Spaces + 60 Residential Spaces)**
2 Motorbike Spaces

PLANS AND DOCUMENTS
 referred to in the PDA
 DEVELOPMENT APPROVAL
 Approval no: DEV2024/1488
 Date: 30/09/2024



RC+ Design
 1851 Leveah Number
 1212825
 Email: info@rcplusdesign.com.au
 Phone: 0421917117

CLIENT: TBC
 LOCATION: LOT 12 #67 SHORE STREET EAST, CLEVELAND, QLD

DRAWING NAME: COVER PAGE
 DESIGNER:

ISSUE	DATE	DESCRIPTION	STATUS
G3	08/AUG/2024	Preliminary Dwgs	VT
G2	26/JUL/2024	Preliminary Dwgs	VT
G1	23/JUL/2024	Preliminary Dwgs	VT

Refer to signed contract documents for final selections and inclusions



SCALE: 1:27.32 @A3 PAPER

JOB NUMBER	DRAWING	REVISION
	0.00	G3

SIDE BOUNDARY SETBACK:
 1st storey - 1.5m setback
 2nd storey - 2m setback
 3rd storey - 3m setback
 4th to 6th storey - 3m setback

PLANS AND DOCUMENTS
 referred to in the PDA
DEVELOPMENT APPROVAL
 Approval no: DEV2024/1488
 Date: 30/09/2024



COLOUR SCHEDULE - TBC

1. Main Colour	- Colorbond Paperbark or similar
2. Screening	- Colorbond Surfist or similar
3. Aluminium Powdercoated Doors & Windows Frame	- Dulux Pearl White or similar
3. Ground Floor Walls / Secondary Colour	- Dulux Pearl White or similar
4. Feature Tiled Area - Selected Travertine	- beige tone / similar
5. Feature Colour A	- Colorbond Sandbank or similar
6. Feature Colour B / Shear Walls	- Colorbond Pale Eucalyptus or similar
7. Selected Glass Balustrade	

PRELIMINARY FOR DISCUSSION - ISSUE G3 (08/AUG/2024)



1834/Levitts Number
 1212825
 Email
 info@rcplusdesign.com.au
 Phone
 0421917117

CLIENT
 TBC
LOCATION
 LOT 12 #67 SHORE STREET EAST, CLEVELAND QLD

DRAWING NAME
 3D INDICATIVE
DESIGNER

ISSUE	DATE	DESCRIPTION	BY
G3	08/AUG/2024	Preliminary Dwgs	VT
G2	26/JUL/2024	Preliminary Dwgs	VT
G1	23/JUL/2024	Preliminary Dwgs	VT

Refer to signed contract documents for final selections and inclusions

NORTH

SCALE
 @A3
 PAPER

JOB NUMBER	DRAWING	REVISION
	0.01	G3

SIDE BOUNDARY SETBACK:
 1st storey - 1.5m setback
 2nd storey - 2m setback
 3rd storey - 3m setback
 4th to 6th storey - 3m setback

PLANS AND DOCUMENTS
 referred to in the PDA
DEVELOPMENT APPROVAL
 Approval no: DEV2024/1488
 Date: 30/09/2024




COLOUR SCHEDULE - TBC

- 1. Main Colour
- Colorbond Paperbark or similar
- 2. Screening
- Colorbond Surfist or similar
- 3. Aluminium Powdercoated
Doors & Windows Frame
- Dulux Pearl White or similar
- 3. Ground Floor Walls /
Secondary Colour
- Dulux Pearl White or similar
- 4. Feature Tiled Area - Selected
Travertine in beige tone / similar
- 5. Feature Colour A
- Colorbond Sandbank or similar
- 6. Feature Colour B / Shear Walls
- Colorbond Pale Eucalyptus or similar
- 7. Selected Glass Balustrade

BSA License Number
 1212825
 Email
 info@rcdesign.com.au
 Phone
 0421917117

CLIENT
 TBC
LOCATION
 LOT 12 #67 SHORE STREET EAST, CLEVELAND QLD

DRAWING NAME
 3D INDICATIVE
DESIGNER

ISSUE	DATE	DESCRIPTION	STATUS
G3	08/AUG/2024	Preliminary Dwgs	VT
G2	26/JUL/2024	Preliminary Dwgs	VT
G1	23/JUL/2024	Preliminary Dwgs	VT

Refer to signed contract documents for final selections and inclusions

NORTH

SCALE
 @A3
 PAPER

JOB NUMBER	DRAWING	REVISION
	0.02	G3

SIDE BOUNDARY SETBACK:
 1st storey - 1.5m setback
 2nd storey - 2m setback
 3rd storey - 3m setback
 4th to 6th storey - 3m setback

PLANS AND DOCUMENTS
 referred to in the PDA
 DEVELOPMENT APPROVAL
 Approval no: DEV/2024/1488
 Date: 30/09/2024

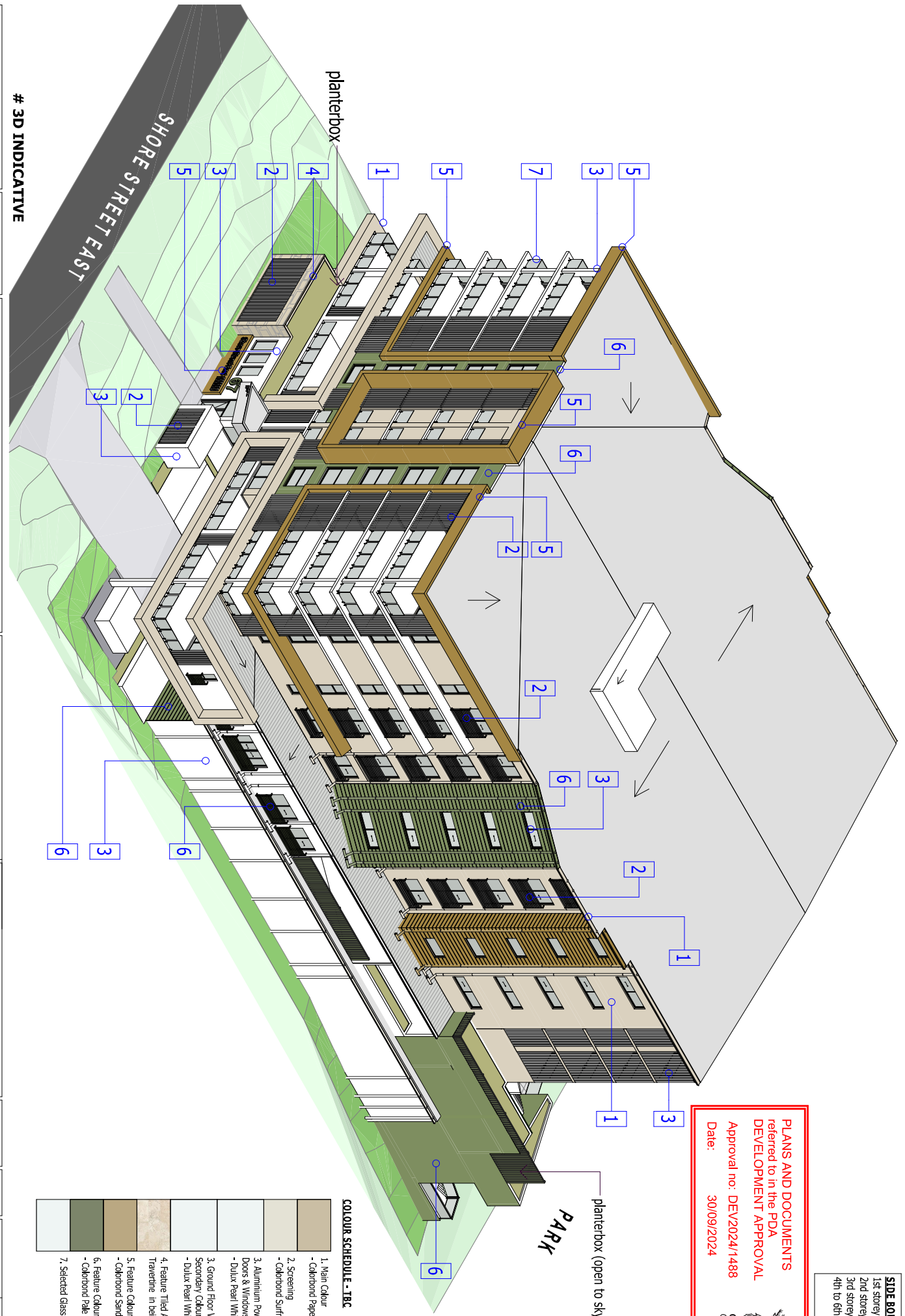



COLOUR SCHEDULE - TBC

1. Main Colour	- Colorbond Paperbark or similar
2. Screening	- Colorbond Surfist or similar
3. Aluminium Powdercoated Doors & Windows Frame	- Dulux Pearl White or similar
3. Ground Floor Walls / Secondary Colour	- Dulux Pearl White or similar
4. Feature Tiled Area - Selected Travertine	- in beige tone / similar
5. Feature Colour A	- Colorbond Sandbank or similar
6. Feature Colour B / Shear Walls	- Colorbond Pale Eucalyptus or similar
7. Selected Glass Balustrade	

SIDE BOUNDARY SETBACK:
 1st storey - 1.5m setback
 2nd storey - 2m setback
 3rd storey - 3m setback
 4th to 6th storey - 3m setback

PLANS AND DOCUMENTS
 referred to in the PDA
DEVELOPMENT APPROVAL
 Approval no: DEV2024/1488
 Date: 30/09/2024

COLOUR SCHEDULE - TBC

1. Main Colour	- Colorbond Paperbark or similar
2. Screening	- Colorbond Sunmist or similar
3. Aluminium Powdercoated Doors & Windows Frame	- Dulux Pearl White or similar
3. Ground Floor Walls / Secondary Colour	- Dulux Pearl White or similar
4. Feature Tiled Area - Selected Travertine in beige tone / similar	
5. Feature Colour A	- Colorbond Sandbank or similar
6. Feature Colour B / Shear Walls	- Colorbond Pale Eucalyptus or similar
7. Selected Glass Balustrade	

3D INDICATIVE

1934/Leveah Number
 1212825
 Email
 info@rcdesign.com.au
 Phone
 042197117

CLIENT
 TBC
LOCATION
 LOT 12 #67 SHORE STREET EAST, CLEVELAND QLD

DRAWING NAME
 3D INDICATIVE
DESIGNER

ISSUE	DATE	DESCRIPTION	STATUS
G3	08/AUG/2024	Preliminary Dwg	VT
G2	26/JUL/2024	Preliminary Dwg	VT
G1	23/JUL/2024	Preliminary Dwg	VT

Refer to signed contract documents for final selections and inclusions

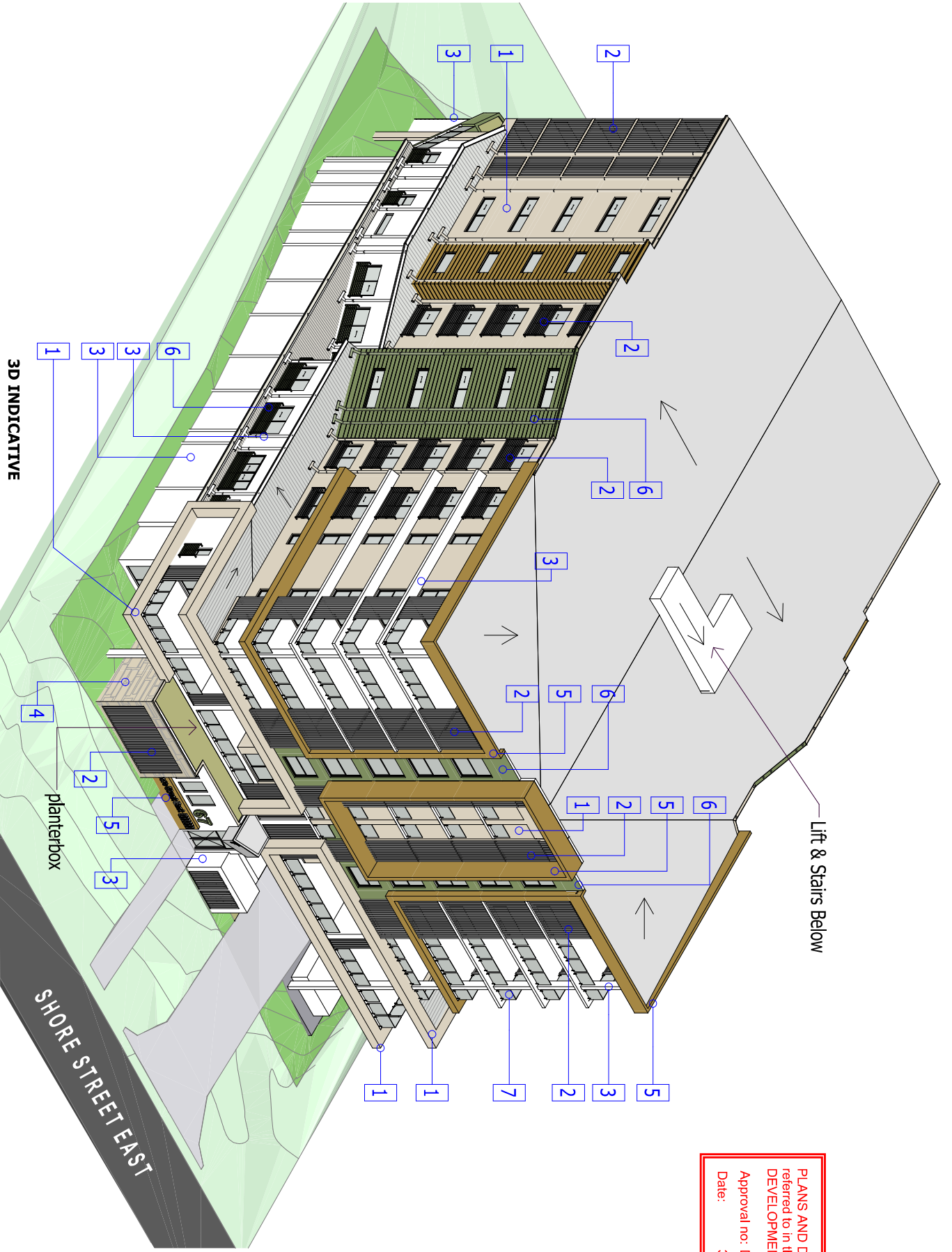
NORTH

SCALE
 NTS
 @A3
 PAPER

JOB NUMBER	DRAWING	REVISION
	0.04	G3

SIDE BOUNDARY SETBACK:
 1st storey - 1.5m setback
 2nd storey - 2m setback
 3rd storey - 3m setback
 4th to 6th storey - 3m setback

PLANS AND DOCUMENTS
 referred to in the PDA
DEVELOPMENT APPROVAL
 Approval no: DEV/2024/1488
 Date: 30/09/2024

COLOUR SCHEDULE - TBC

1. Main Colour	- Colorbond Paperbark or similar
2. Screening	- Colorbond Sunfist or similar
3. Aluminium Powdercoated Doors & Windows Frame	- Dulux Pearl White or similar
3. Ground Floor Walls / Secondary Colour	- Dulux Pearl White or similar
4. Feature Tiled Area - Selected Travertine in beige tone / similar	
5. Feature Colour A	- Colorbond Sandbank or similar
6. Feature Colour B / Shear Walls	- Colorbond Pale Eucalyptus or similar
7. Selected Glass Balustrade	

3D INDICATIVE

RC+ Design

193/Levins Number
 1212825
 Email
 info@rcplusdesign.com.au
 Phone
 042197117

CLIENT
 TBC

LOCATION
 LOT 12 #67 SHORE STREET EAST, CLEVELAND QLD

DRAWING NAME
 3D INDICATIVE

DESIGNER

ISSUE

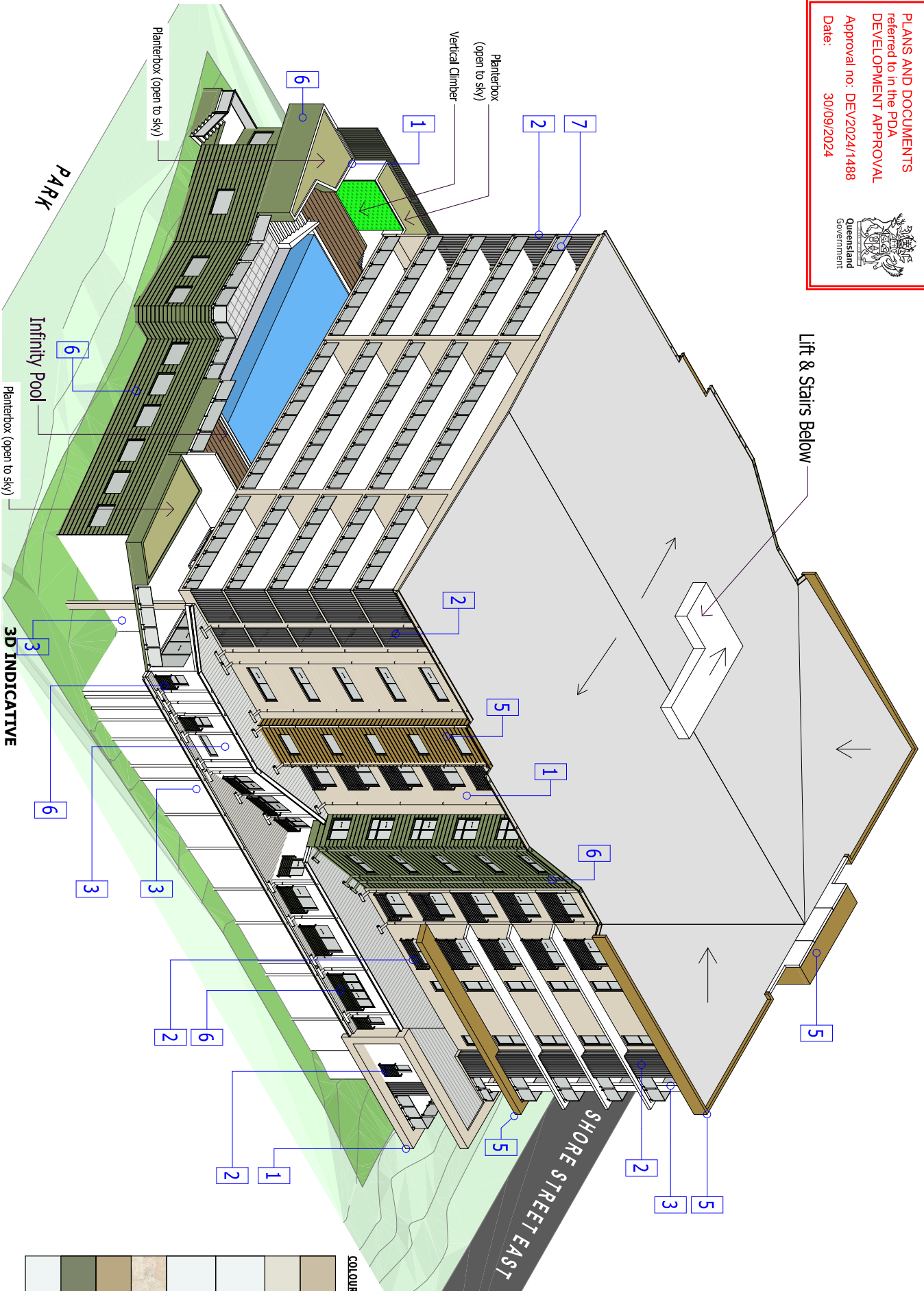
G3	08/AUG/2024	Preliminary Dwg	VT
G2	26/JUL/2024	Preliminary Dwg	VT
G1	23/JUL/2024	Preliminary Dwg	VT

Refer to signed contract documents for final selections and inclusions

NORTH

SCALE
 NTS @A3 PAPER

JOB NUMBER	DRAWING	REVISION
	0.05	G3



Lift & Stairs Below

SHORE STREET EAST

PARK

3D INDICATIVE

SIDE BOUNDARY SETBACK:
1st storey - 1.5m setback
2nd storey - 2m setback
3rd storey - 3m setback
4th to 6th storey - 3m setback



Vertical Climber
Photo Reference

COLOUR SCHEDULE - TBC

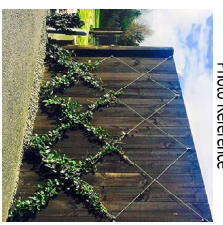
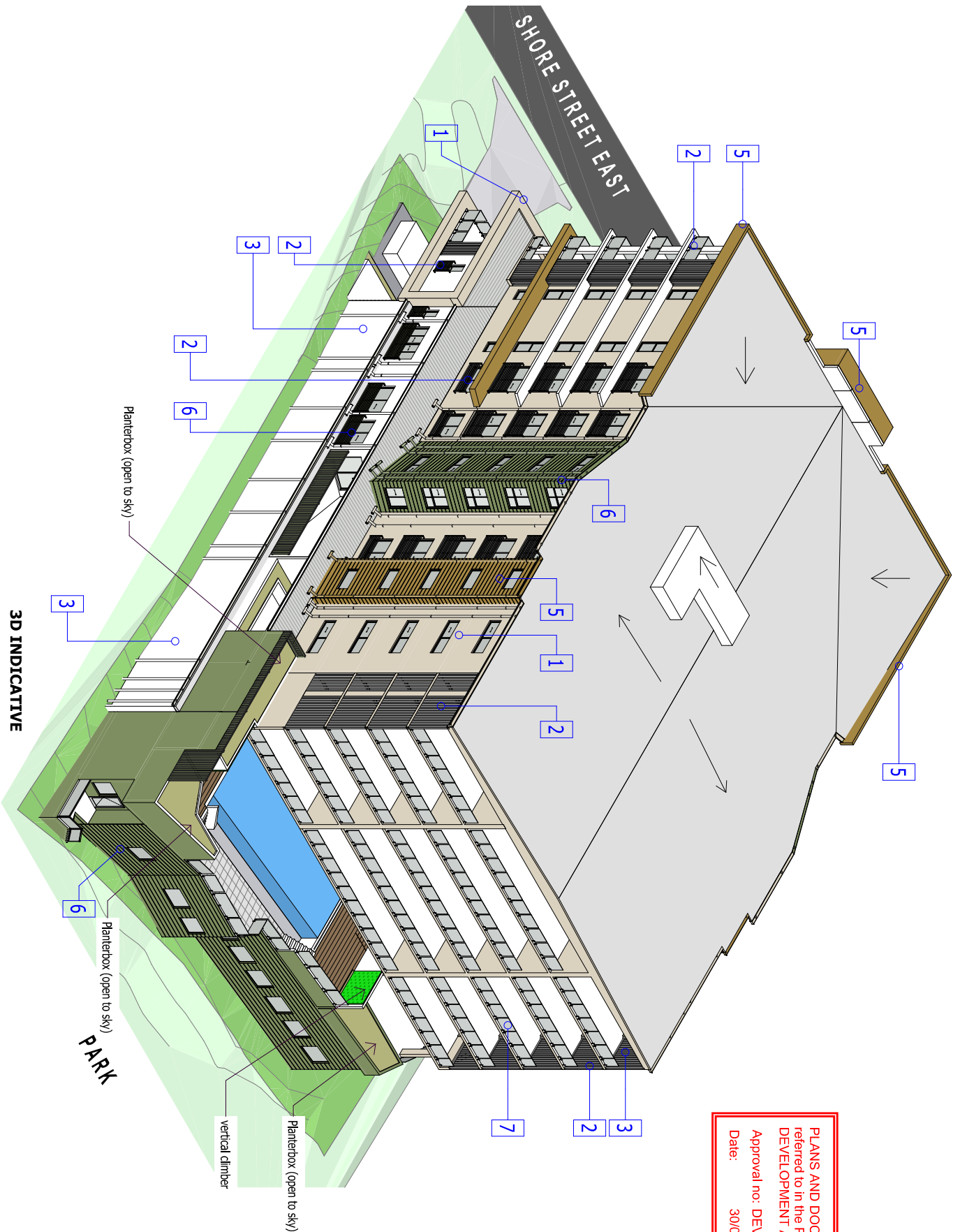
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2. Screening	- Colorbond Sunrissist or similar
3. Aluminium Powdercoated Doors & Windows Frame	- Dulux Pearl White or similar
3. Ground Floor Walls / Secondary Colour	- Dulux Pearl White or similar
4. Feature Tiled Area - Selected Travertine in beige tone / similar	
5. Feature Colour A	- Colorbond Sandbank or similar
6. Feature Colour B / Shear Walls	- Colorbond Pale Eucalyptus or similar
7. Selected Glass Balustrade	

SIDE BOUNDARY SETBACK:
 1st storey - 1.5m setback
 2nd storey - 2m setback
 3rd storey - 3m setback
 4th to 6th storey - 3m setback

PLANS AND DOCUMENTS
 referred to in the PDA
DEVELOPMENT APPROVAL
 Approval no.: DEV2024/1488
 Date: 30/09/2024




Queensland Government

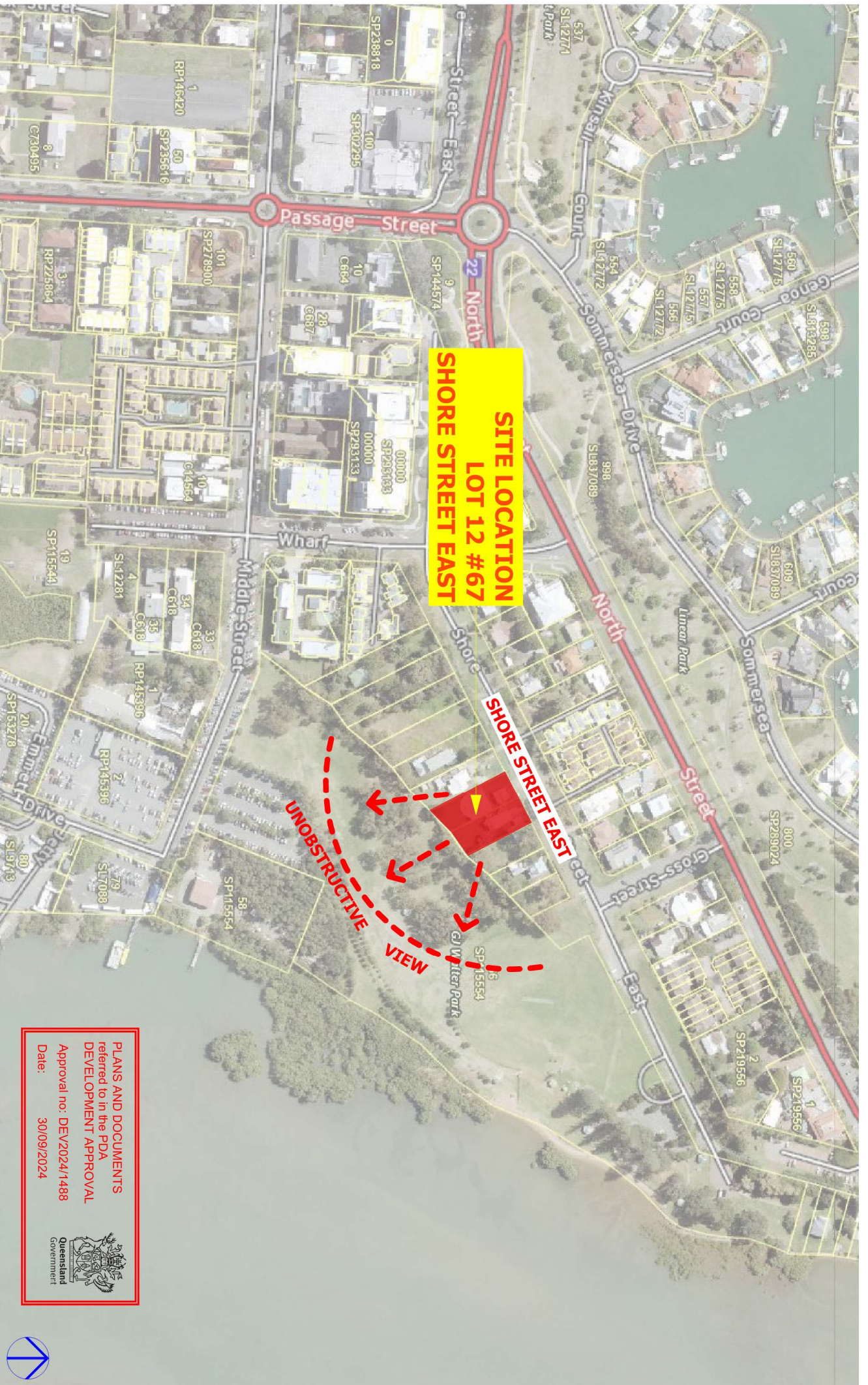


COLOUR SCHEDULE - TBC

1. Main Colour
- Colorbond Paperbark or similar
2. Screening
- Colorbond Sunrissist or similar
3. Aluminium Powdercoated Doors & Windows Frame
- Dulux Pearl White or similar
3. Ground Floor Walls / Secondary Colour
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- Colorbond Sandbank or similar
6. Feature Colour B / Shear Walls
- Colorbond Pale Eucalyptus or similar
7. Selected Glass Balustrade

3D INDICATIVE

	1934/Levanta Number 1212825 Email info@rcplusdesign.com.au Phone 0421197117	CLIENT TBC LOCATION LOT 12 #67 SHORE STREET EAST, CLEVELAND QLD	DRAWING NAME 3D INDICATIVE DESIGNER	ISSUE G3 08/AUG/2024 Preliminary Dwg G2 26/JUL/2024 Preliminary Dwg G1 23/JUL/2024 Preliminary Dwg Refer to signed contract documents for final selections and inclusions	NORTH	SCALE NTS @A3 PAPER	JOB NUMBER 0.07	DRAWING 0.07	REVISION G3
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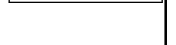
**SITE LOCATION
LOT 12 #67
SHORE STREET EAST**

**UNOBSTRUCTIVE
VIEW**

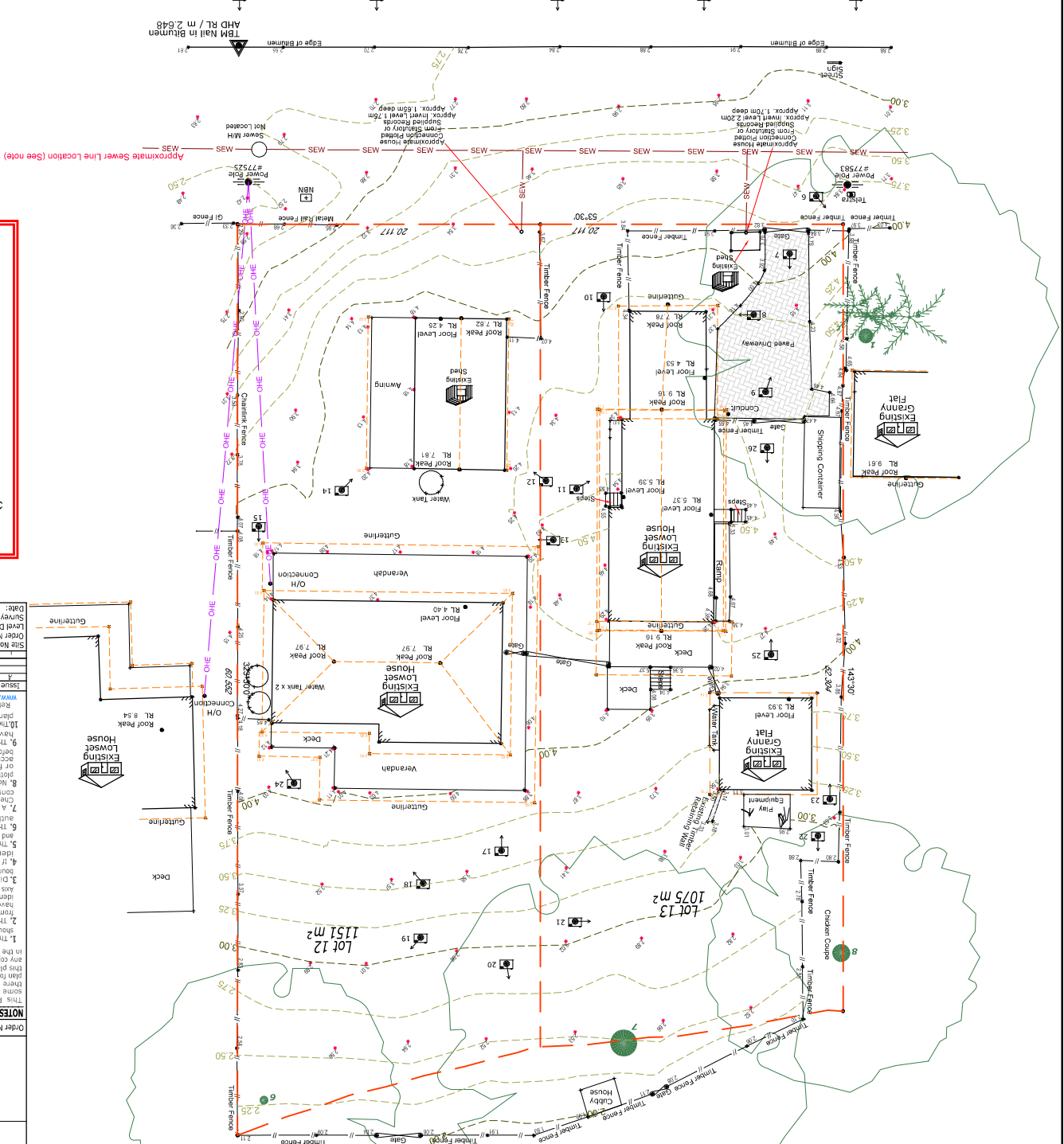
**PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL**
Approval no: DEV2024/1488
Date: 30/09/2024



No.	Name	Tree Ht.	Tree Sp.	Tree Dia.
1	Tree	1.00m	3.00m	1.00m
2	Tree	1.50m	3.50m	1.50m
3	Tree	2.00m	4.00m	2.00m
4	Tree	2.50m	4.50m	2.50m
5	Tree	3.00m	5.00m	3.00m
6	Tree	3.50m	5.50m	3.50m
7	Tree	4.00m	6.00m	4.00m
8	Tree	4.50m	6.50m	4.50m
9	Tree	5.00m	7.00m	5.00m
10	Tree	5.50m	7.50m	5.50m
11	Tree	6.00m	8.00m	6.00m
12	Tree	6.50m	8.50m	6.50m
13	Tree	7.00m	9.00m	7.00m
14	Tree	7.50m	9.50m	7.50m
15	Tree	8.00m	10.00m	8.00m
16	Tree	8.50m	10.50m	8.50m
17	Tree	9.00m	11.00m	9.00m
18	Tree	9.50m	11.50m	9.50m
19	Tree	10.00m	12.00m	10.00m
20	Tree	10.50m	12.50m	10.50m
21	Tree	11.00m	13.00m	11.00m
22	Tree	11.50m	13.50m	11.50m
23	Tree	12.00m	14.00m	12.00m
24	Tree	12.50m	14.50m	12.50m
25	Tree	13.00m	15.00m	13.00m
26	Tree	13.50m	15.50m	13.50m
27	Tree	14.00m	16.00m	14.00m
28	Tree	14.50m	16.50m	14.50m
29	Tree	15.00m	17.00m	15.00m
30	Tree	15.50m	17.50m	15.50m



Shore Street East



**PLANS AND DOCUMENTS
REFERRED TO IN THE PDA
DEVELOPMENT APPROVAL**

Approval no.: DEV2024/1488
Date: 30/09/2024



Site No:	220896	Scale:	1:200
Level Name:	AHD	Draw No.:	AK6454
Level:	4.00	Issue:	25/09/2022
Drawn:	AK6454	Date:	25/09/2022
Checked:	AK6454	Page:	1 OF 1
Issue:	25/09/2022	Project:	RC+ DESIGN
Issue:	25/09/2022	Project:	RC+ DESIGN

NOTES TO BE READ BEFORE USING THIS PLAN

1. This plan has been prepared for our client & in the link below, with the main ones being ->

2. The boundaries shown have been surveyed from the subject survey plan or as noted, and from other sources and may not be accurate. Services should be exposed and located from the relevant authority's records. If non visible services (if shown), have been checked with local council for m, and max. construction heights.

3. If positional accuracy is critical a boundary identification survey may be required. Boundaries should not be used or relied upon.

4. If positional accuracy is critical a boundary identification survey may be required. Boundaries should not be used or relied upon.

5. The certificate of title has not been searched and should be checked for any encumbrances.

6. The contours may not represent the actual ground level.

7. A flood search has not been carried out.

8. Non visible services (if shown), have been checked with local council for m, and max. construction heights.

9. The position of any unshown structures have not been investigated.

10. The north point has been taken from the survey.

Refer to this link for more information: www.kissurveys.com.au/links/notes-to-be-read-before-using-this-plan

Client: Mayer Hou c/o Redland City Council
Suburb: Cleveland
Local Auth: Redland City Council
Area: As Shown

LOT 12 - 13 on C14563
#67-69 Shore Street East

Unit 5/23 Overland Place, ACACIA RIDGE, Qld, 4110
Ph (07) 3632 8100 www.kissurveys.com.au

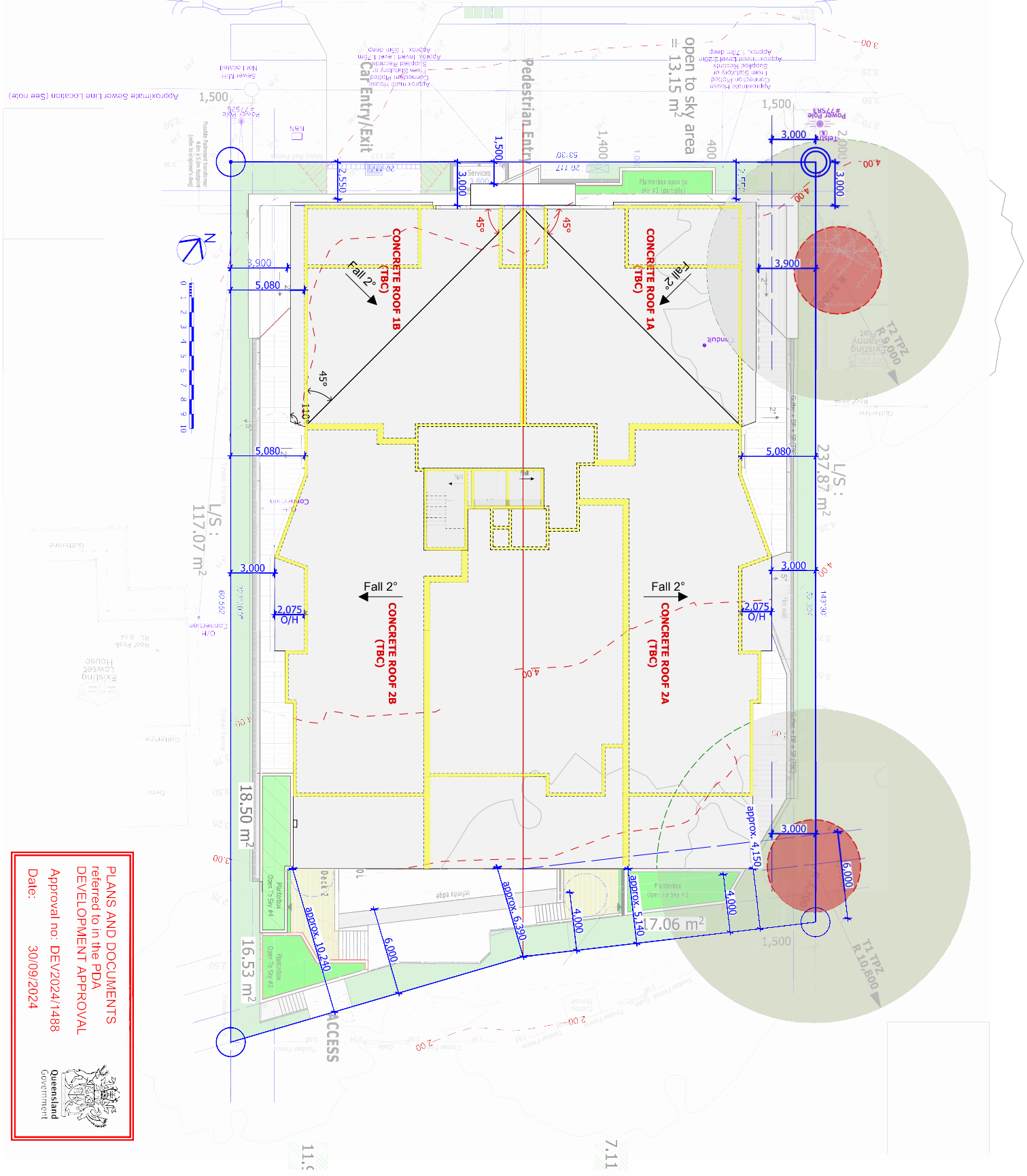
AXIS SURVEYS
Contour & Feature Survey

SEE NOTE
The red dashed lines on this plan represent an approximation of the boundary positions for the site and may not be located in the position in relation to the Level and features shown here on Additional Survey.

BOUNDARY MARKS
Unless otherwise stated no boundary marks have been located. (Unless otherwise stated no boundary marks have been located. Checked and may not be correct. Sewer manholes not located must be found on site prior to construction.)

STOUT EXTRA FEES ALERT (Designer/Builder Etc.)
The contour and feature survey is prepared by Axis Surveys and may require additional fees for work done in order to make it clear any proposed surveying work.

SHORE STREET EAST




PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2024/1488
Date: 30/09/2024



PRELIMINARY ISSUE - REV G3 (08/AUG/2024)

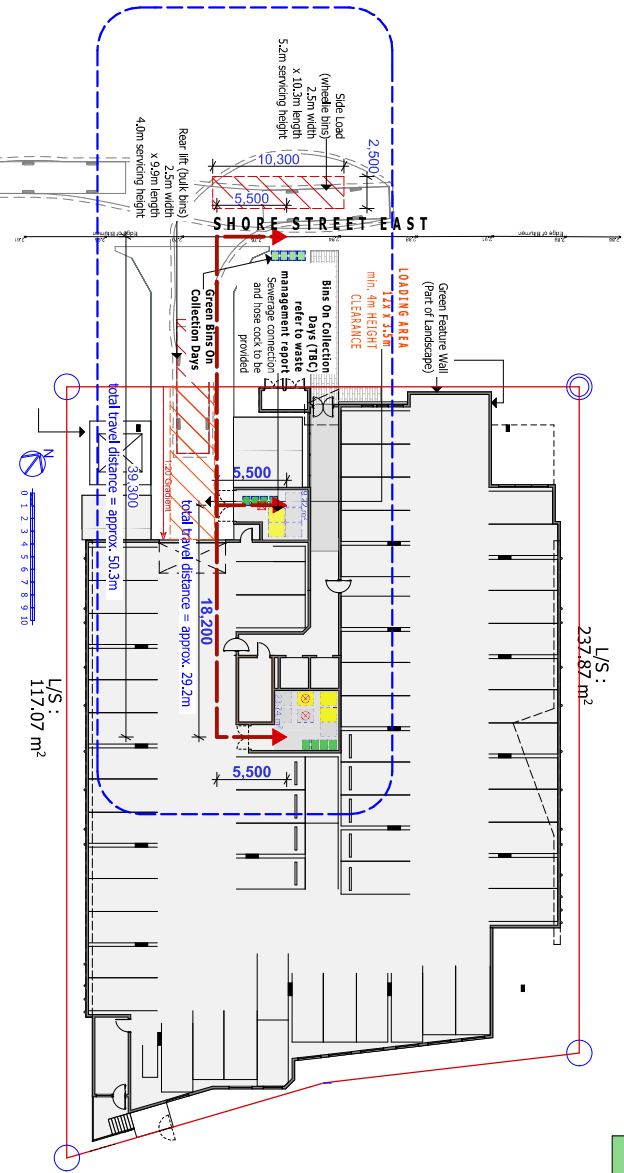
 RC+ Design	BSA License Number: 12171833 Email: info@rcdesign.com.au Phone: 0421818117	LOCATION: LOT 12 #67 SHORE STREET EAST CLEVELAND REDLAND CITY QLD
	CLIENT: TBC	DRAWING NAME: SITE PLAN

ISSUE : G3 SCALE : 1:250 @A3 JOB NO : #P/n DRAWING : 13	ISSUE : G3 DATE : 08/AUG/2024 DRAWN BY : [Redacted] CHECKED BY : [Redacted] APPROVED BY : [Redacted]
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refer to waste management report for detail

SITE AREA : 2,226 sqm (as per survey)

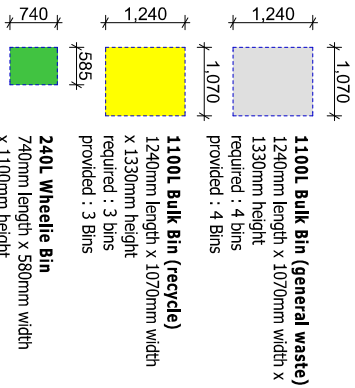
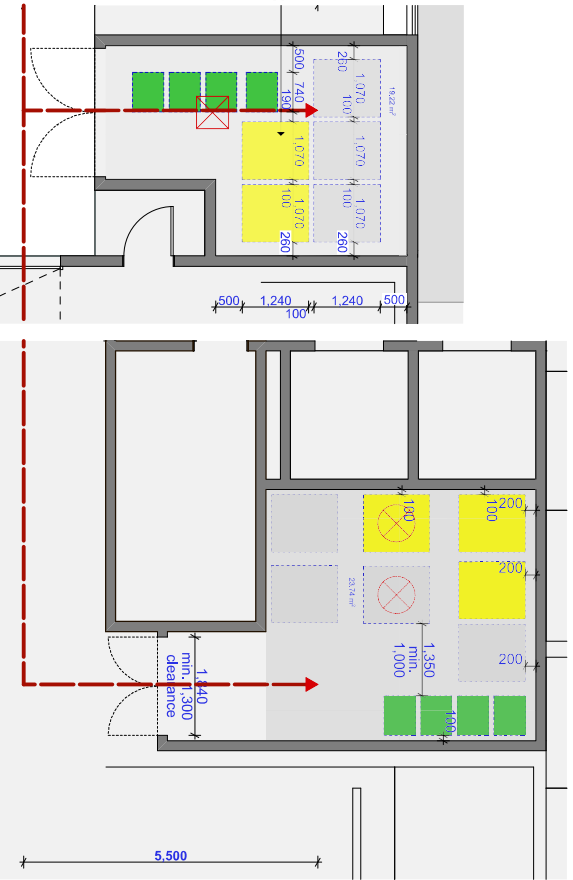
Ground Floor	117.07
Landscape Area	237.87
Landscape Area	354.94 m²



LS :
237.87 m²

LS :
117.07 m²

0. Ground Floor



1100L Bulk Bin (general waste)
1240mm length x 1070mm width x 1330mm height
required : 4 Bins
provided : 4 Bins

1100L Bulk Bin (recycle)
1240mm length x 1070mm width x 1330mm height
required : 3 Bins
provided : 3 Bins

240L Wheelie Bin
740mm length x 580mm width x 1100mm height
required : 4 Bins
provided : 4 Bins (to be determined)

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL
Approval no: DEV2024/1488
Date: 30/09/2024



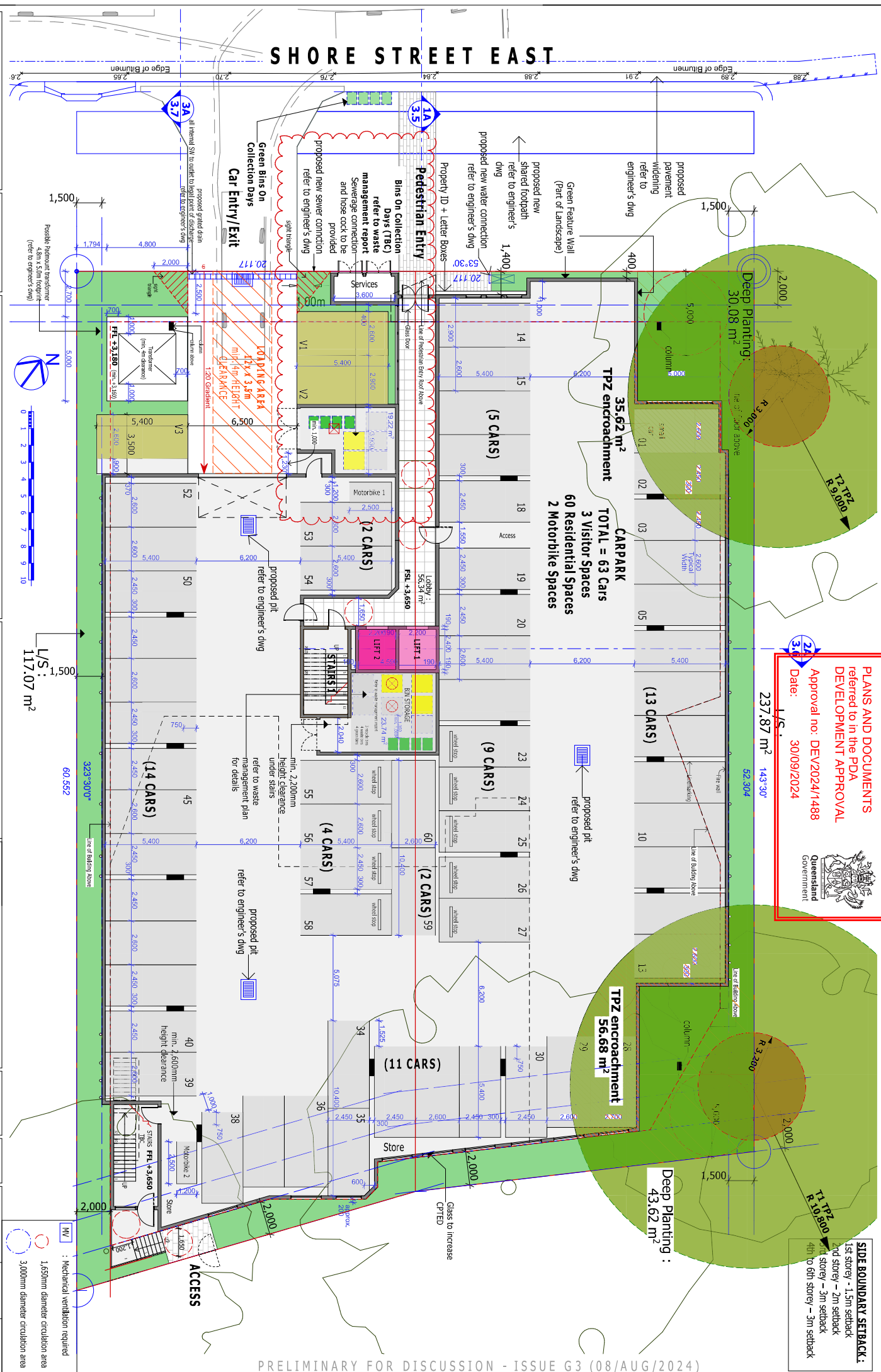
Table 4-1 Refuse Calculations

Use	(L / 100m ² / day)		Units	(L / Week)	
	General Waste	Commingled Recycling		General Waste	Commingled Recycling
3+ bedroom	100	70	30	3,000	2,100
					828

Table 4-2 Bin Requirements

Description	Dwellings	General Waste	Commingled Recycling	Green Waste
Total	30	3,000	2,100	828
Daily Volumes (L per day)		429	300	118
Collection Frequency (per week)		1	1	Once a month or as needed
Collection Volumes (L per week)		3,000	2,100	828
Bin Size (L)		1100	1100	240
No. Bins (+bins under chute)		3+1	2+1	4
Bin Area		5.3m ²	4m ²	1.7m ²
Refuse Storage Room Area		29.25m ²		
Bin Servicing Room Area		13.9m ²		

SHORE STREET EAST



PLANS AND DOCUMENTS
 referred to in the PDA
DEVELOPMENT APPROVAL
 Approval no: DEV2024/1488
 Date: 30/09/2024

237.87 m² 143°30'

SIDE BOUNDARY SETBACK:
 1st storey - 1.5m setback
 2nd storey - 2m setback
 3rd storey - 3m setback
 4th to 6th storey - 3m setback

L/S: 117.07 m²



193/1 Leveah Number
 1212825
 Email: info@rcplusdesign.com.au
 Phone: 0421917117

CLIENT
 TBC
LOCATION
 LOT 12 #67 SHORE STREET EAST, CLEVELAND QLD

DRAWING NAME
 GROUND FLOOR
DESIGNER

ISSUE	DATE	DESCRIPTION
G3	08/AUG/2024	Preliminary Dwgs
G2	26/JUL/2024	Preliminary Dwgs
G1	23/JUL/2024	Preliminary Dwgs
VT		



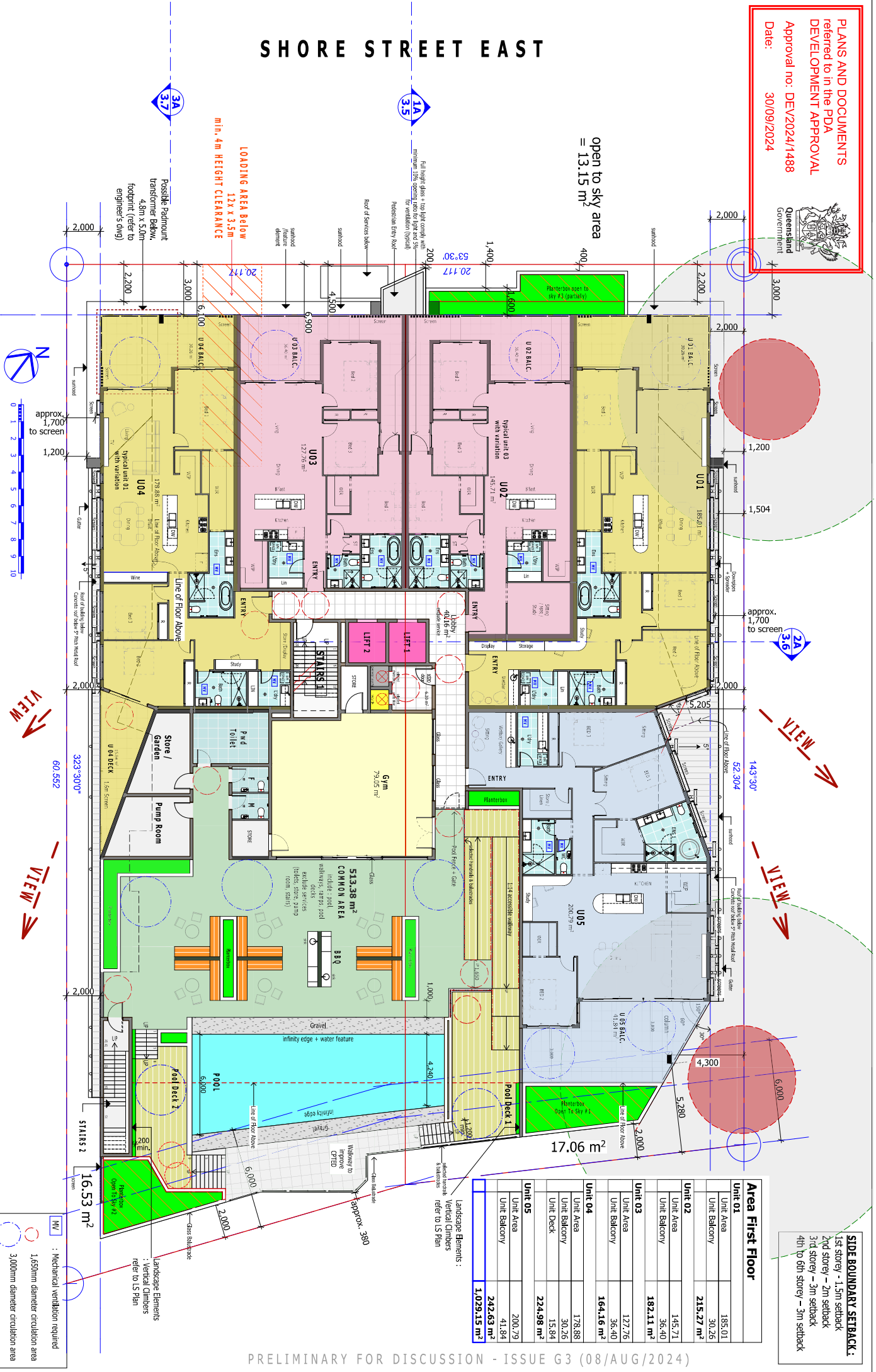
SCALE
 1:200
 @A3
PAPER

JOB NUMBER	DRAWING	REVISION
	2.1	G3



SHORE STREET EAST

open to sky area
 = 13.15 m²



SIDE BOUNDARY SETBACK:

- 1st storey - 1.5m setback
- 2nd storey - 2m setback
- 3rd storey - 3m setback
- 4th to 6th storey - 3m setback

Area First Floor	
Unit 01	185.01
Unit Balcony	30.26
Unit 02	215.27 m²
Unit Area	145.71
Unit Balcony	36.40
Unit 03	182.11 m²
Unit Area	127.76
Unit Balcony	36.40
Unit 04	164.16 m²
Unit Area	178.88
Unit Balcony	30.26
Unit Deck	15.84
Unit 05	224.98 m²
Unit Area	200.79
Unit Balcony	41.84
Total	242.63 m²
Landscaping	1,029.15 m²

Mechanical Ventilation required
 1.650mm diameter circulation area
 3,000mm diameter circulation area



1934/Leveah Number
 1212835
 Email: info@rcplusdesign.com.au
 Phone: 042197117

CLIENT: TBC
 LOCATION: LOT 12 #67 SHORE STREET EAST, CLEVELAND QLD

DRAWING NAME: FIRST FLOOR
 DESIGNER:

ISSUE	DATE	DESCRIPTION
G3	08/AUG/2024	Preliminary Dwg
G2	26/JUL/2024	Preliminary Dwg
G1	23/JUL/2024	Preliminary Dwg

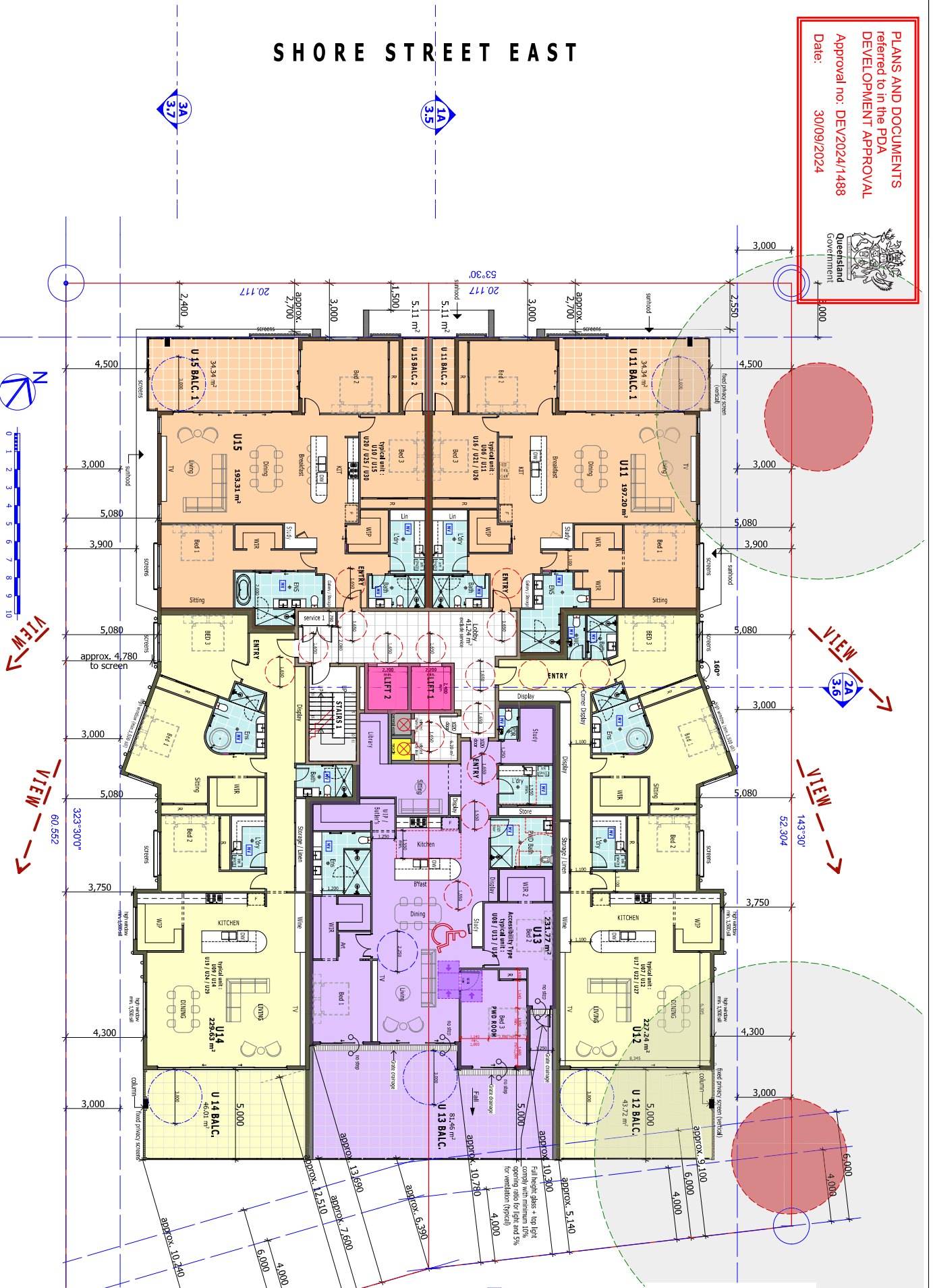


SCALE: 1:200 @ A3 PAPER

JOB NUMBER	DRAWING	REVISION
	2.2	G3



SHORE STREET EAST



SIDE BOUNDARY SETBACK:

- 1st storey - 1.5m setback
- 2nd storey - 2m setback
- 3rd storey - 3m setback
- 4th to 6th storey - 3m setback

Area Third Floor	
Unit 11	197.20
Unit Area	197.20
Unit Balcony	34.34
Unit Balcony	5.11
Unit 12	236.65 m²
Unit Area	227.24
Unit Balcony	43.72
Unit 13	231.77
Unit Area	231.77
Unit Balcony	81.46
Unit 14	313.23 m²
Unit Area	229.63
Unit Balcony	275.64 m ²
Unit 15	193.31
Unit Area	193.31
Unit Balcony	34.34
Unit Balcony	232.76 m ²
Total	1,329.24 m²

MV : Mechanical Ventilation required
 1.650mm diameter circulation area
 3.000mm diameter circulation area

1931 License Number
1212835
Email
info@rcplusdesign.com.au
Phone
042197117

CLIENT
TBC
LOCATION
LOT 12 #67 SHORE STREET EAST, CLEVELAND QLD

DRAWING NAME
THIRD FLOOR (TYPICAL)
DESIGNER

ISSUE	DATE	DESCRIPTION	BY	CHK
G3	08/AUG/2024	Preliminary Dwgs	VT	
G2	26/JUL/2024	Preliminary Dwgs	VT	
G1	23/JUL/2024	Preliminary Dwgs	VT	

Refer to signed contract documents for final selections and inclusions

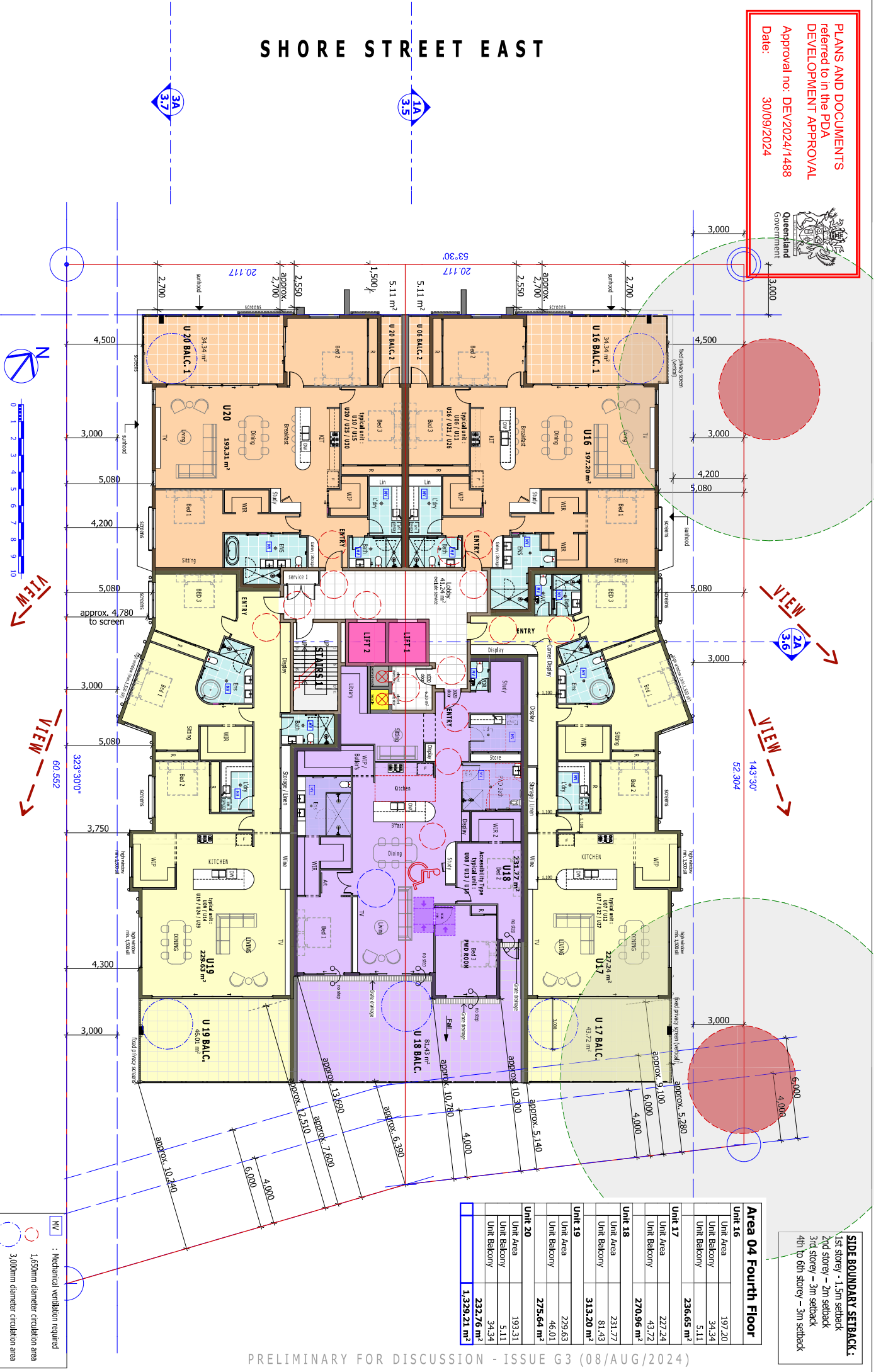


SCALE
1:200
@A3
PAPER

JOB NUMBER	DRAWING	REVISION
	24	G3

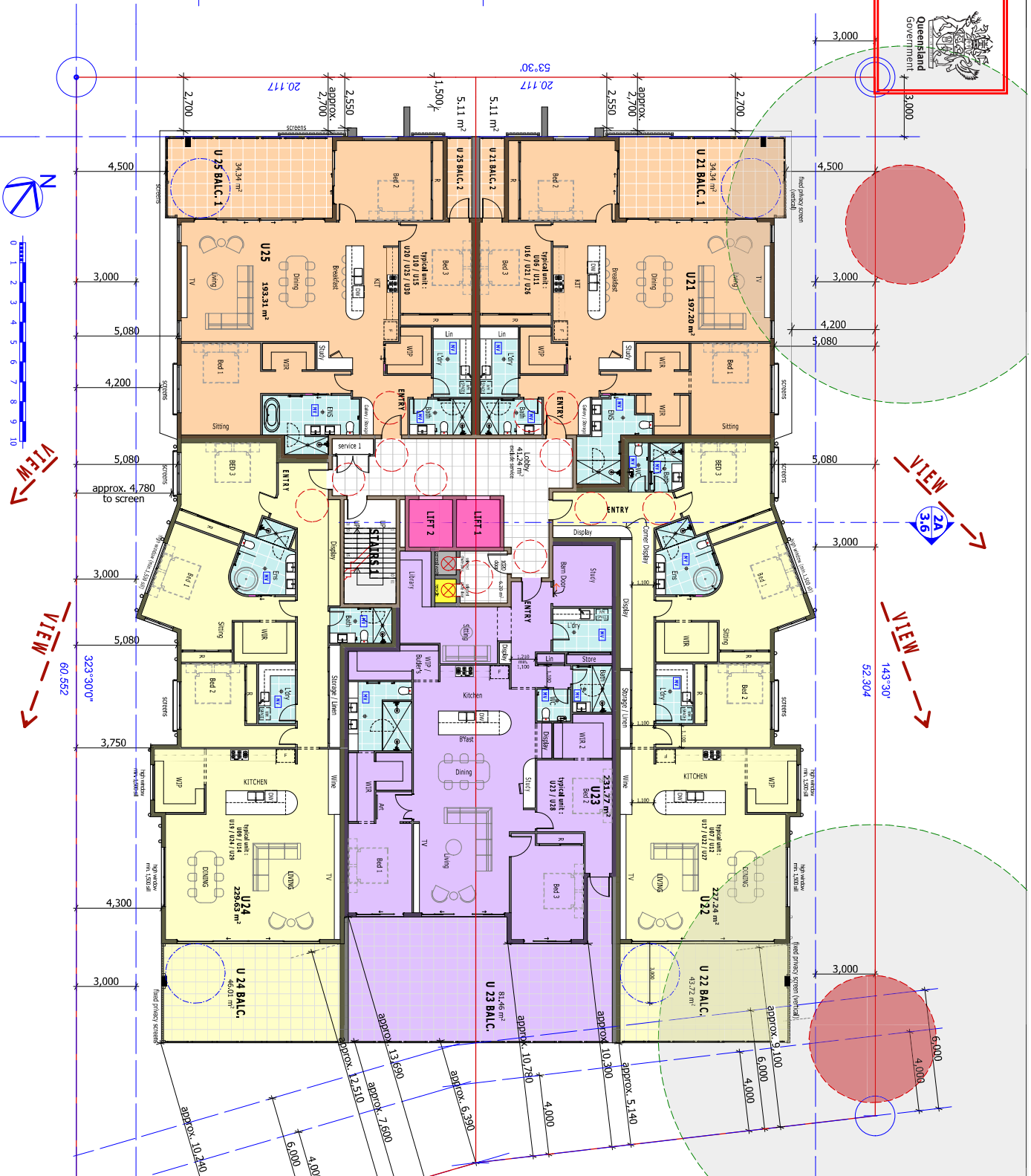


SHORE STREET EAST





SHORE STREET EAST



Area 05 Fifth Floor (Sub-Penthouse)

Unit 21	197.20
Unit Area	34.34
Unit Balcony	5.11
236.65 m²	

SIDE BOUNDARY SETBACK:
1st storey - 1.5m setback
2nd storey - 2m setback
3rd storey - 3m setback
4th to 6th storey - 3m setback

Unit 22	227.24
Unit Area	43.72
Unit Balcony	270.96 m ²
Unit 23	231.77
Unit Area	81.46
Unit Balcony	313.23 m ²
Unit 24	229.63
Unit Area	275.64 m ²
Unit Balcony	193.31
Unit 25	5.11
Unit Area	34.34
Unit Balcony	232.76 m ²
1,292.24 m²	



RC+ Design
1212835
info@rcplusdesign.com.au
042197117

CLIENT: TBC
LOCATION: LOT 12 #67 SHORE STREET EAST, CLEVELAND QLD

DRAWING NAME: FIFTH FLOOR (Typical, Sub-Penthouse)
DESIGNER:

ISSUE

G3	08/AUG/2024	Preliminary Dwgs	VT
G2	26/JUL/2024	Preliminary Dwgs	VT
G1	23/JUL/2024	Preliminary Dwgs	VT

Refer to signed contract documents for final selections and inclusions



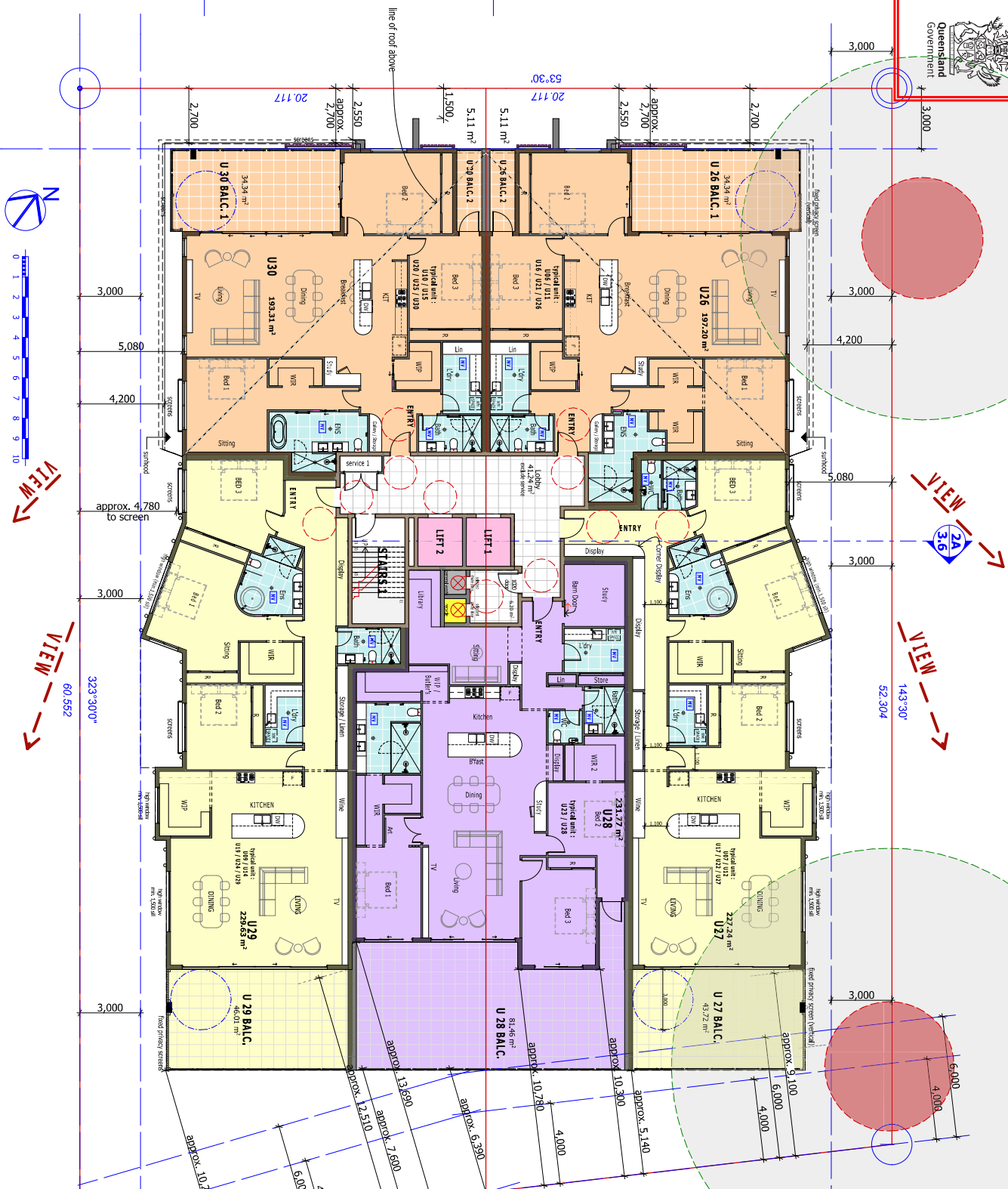
SCALE: 1:200 @A3 PAPER

JOB NUMBER	DRAWING	REVISION
	26	G3

MV : Mechanical Ventilation required
1.650mm diameter circulation area
3.000mm diameter circulation area



SHORE STREET EAST



SIDE BOUNDARY SETBACK:
1st storey - 1.5m setback
2nd storey - 2m setback
3rd storey - 3m setback
4th to 6th storey - 3m setback

Area 06 Sixth Floor (Penthouse)	
Unit 26	197.20
Unit Balcony	5.11
Unit Balcony	34.34
236.65 m²	
Unit 27	227.24
Unit Balcony	43.72
270.96 m²	
Unit 28	231.77
Unit Balcony	81.46
313.23 m²	
Unit 29	229.63
Unit Balcony	46.01
275.64 m²	
Unit 30	193.31
Unit Balcony	34.34
232.76 m²	
1,329.24 m²	

MV : Mechanical Ventilation required
 1.650mm diameter circulation area
 3.000mm diameter circulation area

1934/Leveah Number
1212835
Email: info@rcplusdesign.com.au
Phone: 0421197117

CLIENT
TBC
LOCATION
LOT 12 #67 SHORE STREET EAST, CLEVELAND QLD

DRAWING NAME
SIXTH FLOOR (Typical, Penthouse)
DESIGNER

ISSUE	DATE	DESCRIPTION	BY	CHK
G3	08/AUG/2024	Preliminary Dwg	VT	
G2	26/JUL/2024	Preliminary Dwg	VT	
G1	23/JUL/2024	Preliminary Dwg	VT	

Refer to signed contract documents for final selections and inclusions



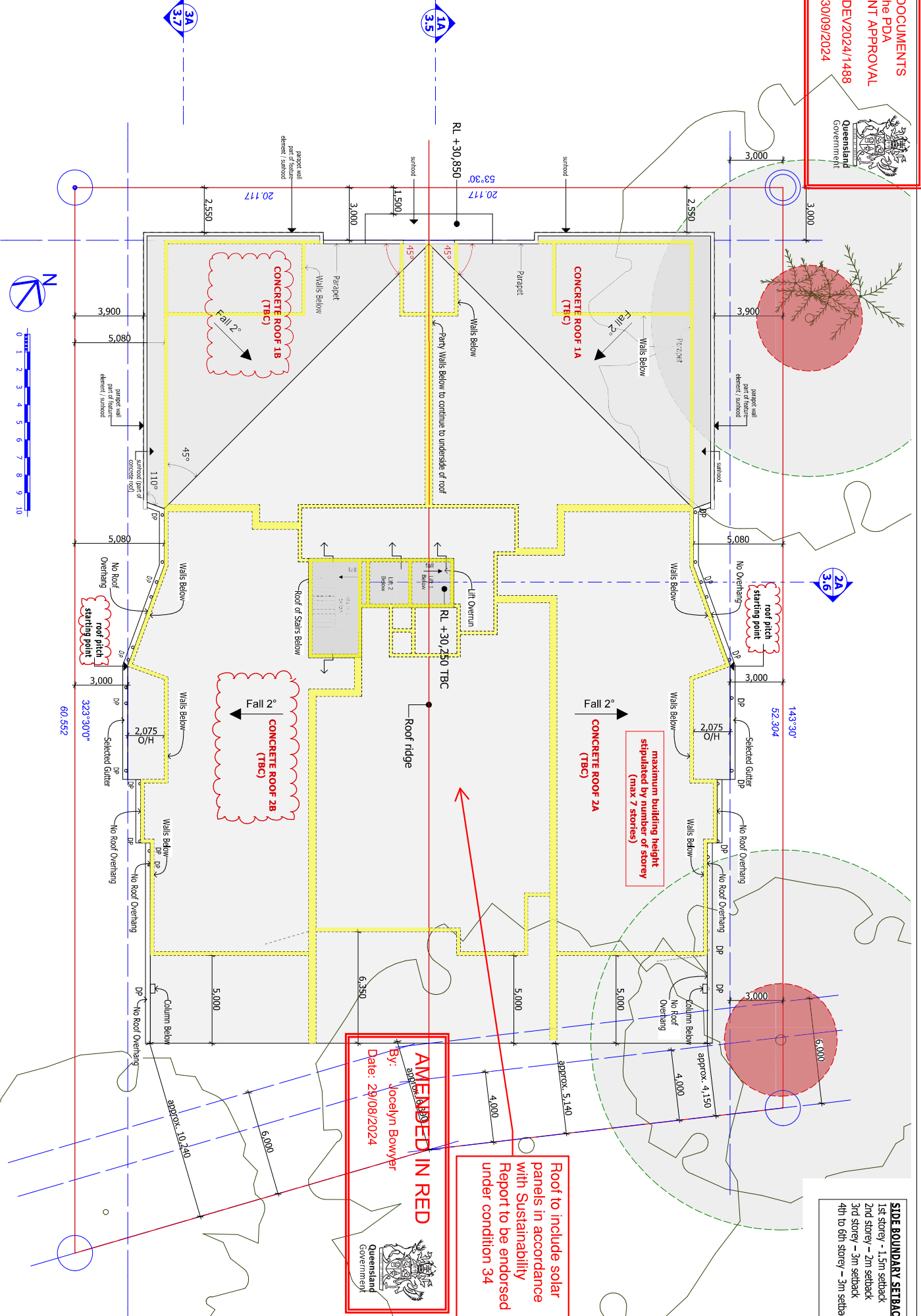
SCALE
1:200
@A3
PAPER

JOB NUMBER	DRAWING	REVISION
	2.7	G3



SHORE STREET EAST

Edge of Blummen 2.89 2.88 2.91 2.88 2.94 2.84 2.76 2.70 2.65 2.61



SIDE BOUNDARY SETBACK:
 1st storey - 1.5m setback
 2nd storey - 2m setback
 3rd storey - 3m setback
 4th to 6th storey - 3m setback

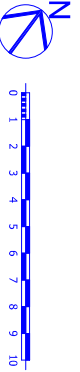
Roof to include solar panels in accordance with Sustainability Report to be endorsed under condition 34

AMENDED IN RED
 By: Jocelyn Bowyer
 Date: 29/08/2024



1934/Leveah Number
 1212835
 Email: info@rcplusdesign.com.au
 Phone: 042197117

CLIENT
 TBC
LOCATION
 LOT 12 #67 SHORE STREET EAST, CLEVELAND QLD



DRAWING NAME
 Roof Plan
DESIGNER

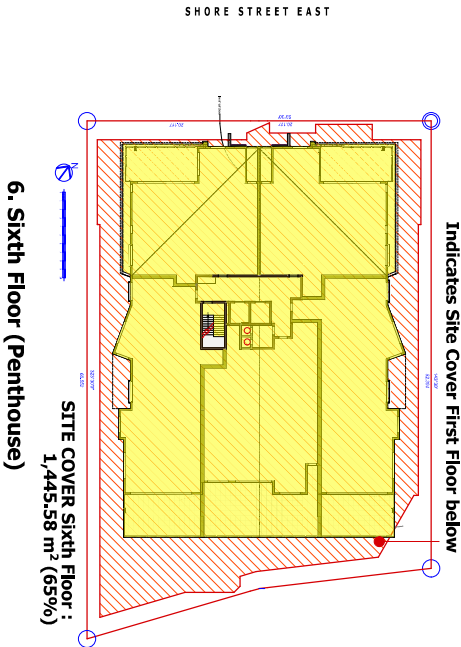
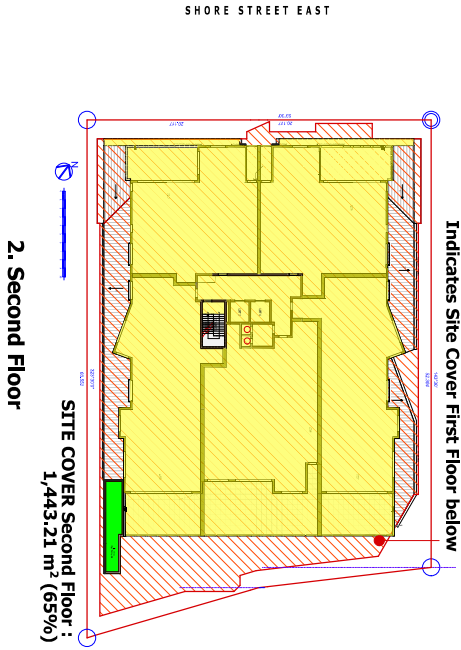
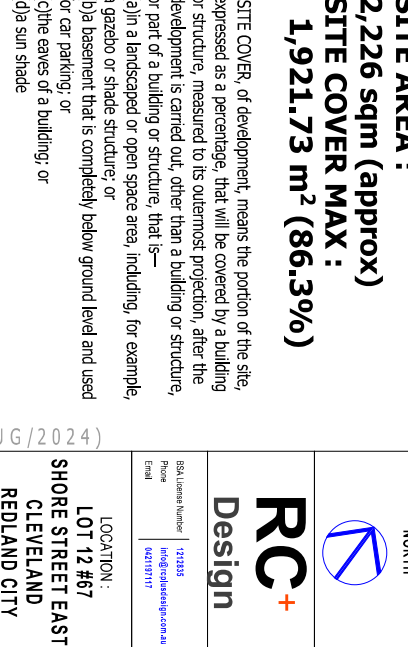
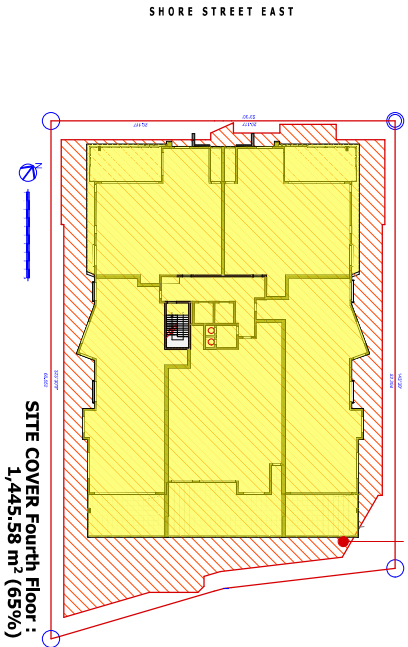
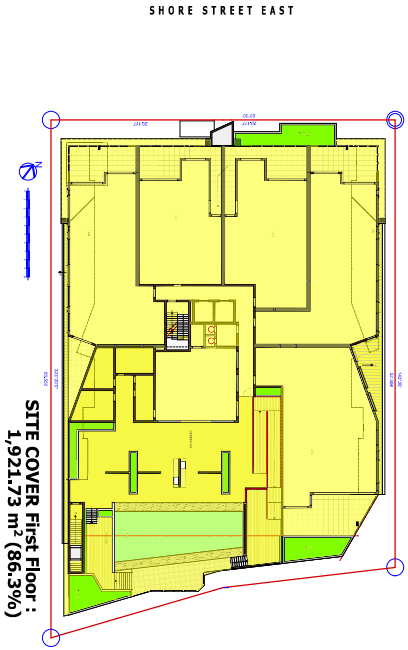
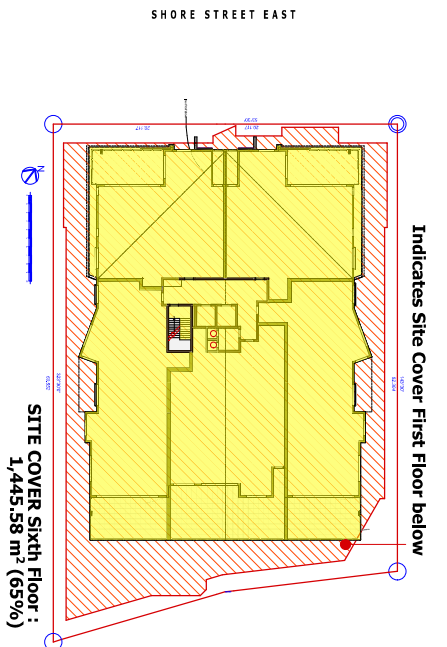
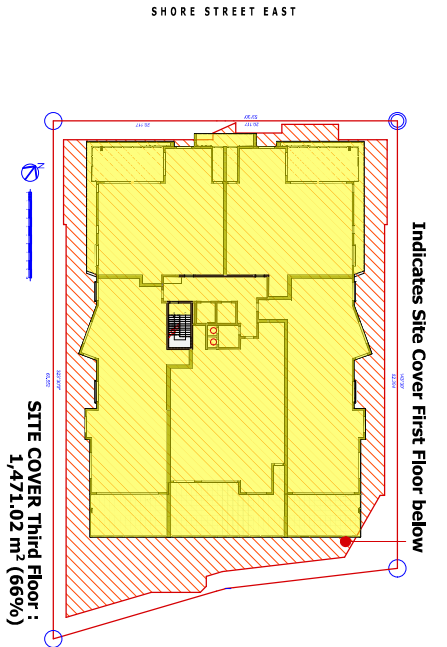
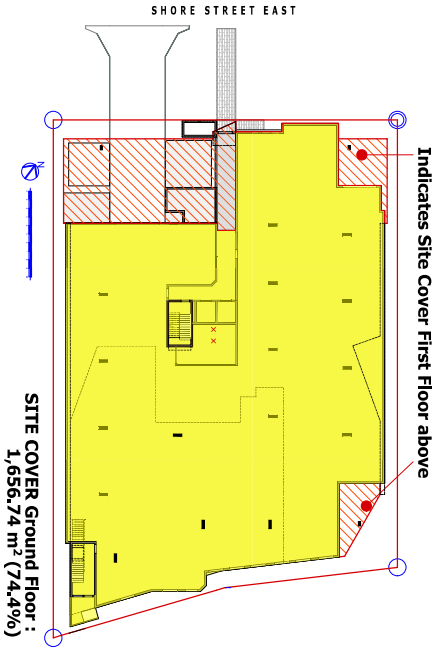
ISSUE	DATE	DESCRIPTION	STATUS
G3	08/AUG/2024	Preliminary Dwg	VT
G2	26/JUL/2024	Preliminary Dwg	VT
G1	23/JUL/2024	Preliminary Dwg	VT

Refer to signed contract documents for final selections and inclusions



SCALE
 1:200
 @A3
 PAPER

JOB NUMBER	DRAWING	REVISION
	2.8	G3



SITE AREA : 2,226 sqm (approx)
SITE COVER MAX : 1,921.73 m² (86.3%)

SITE COVER, of development, means the portion of the site, expressed as a percentage, that will be covered by a building or structure, measured to its outermost projection, after the development is carried out, other than a building or structure, or part of a building or structure, that is—
 (a) in a landscaped or open space area, including, for example, a gazebo or shade structure; or
 (b) a basement that is completely below ground level and used for car parking; or
 (c) the eaves of a building; or
 (d) a sun shade

PLANS AND DOCUMENTS REFERRED TO IN THE PDA DEVELOPMENT APPROVAL

Approval no: DEV2024/1488
 Date: 30/09/2024

PRELIMINARY ISSUE - REV G3 (08/AUG/2024)

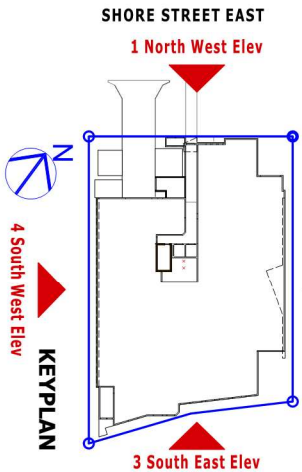
 BSA License Number: 2171833 Phone: info@rcdesign.com.au Email: 64718117	LOCATION: LOT 12 #67 SHORE STREET EAST CLEVELAND REDLAND CITY QLD
	CLIENT: TBC
DRAWING NAME: SITE COVER	ISSUE: G3 08/AUG/2024 Prelim Dwg G2 28/JUL/2024 Prelim Dwg E3 06/JUL/2024 Prelim Dwg F2 28/JUN/2024 Prelim Dwg
SCALE : 1:625 @A3 JOB NO : #Pjn DRAWING : 2.9	Refer to special contract documents for final selections and inclusions.
ISSUE : G3 © COPYRIGHT - REPRODUCTION PROHIBITED. UNLESS OTHERWISE STATED BY EAST LOT 12 #67 SHORE STREET CLEVELAND. ISSUE G3 REV 08/AUG/2024. VORZUGENDE VERZÖGERUNG BEI VERÄNDERUNGEN. <small>Form: SHDW015 IN: BIRDS, Druck: Brian Birkhead 15/04/24</small>	



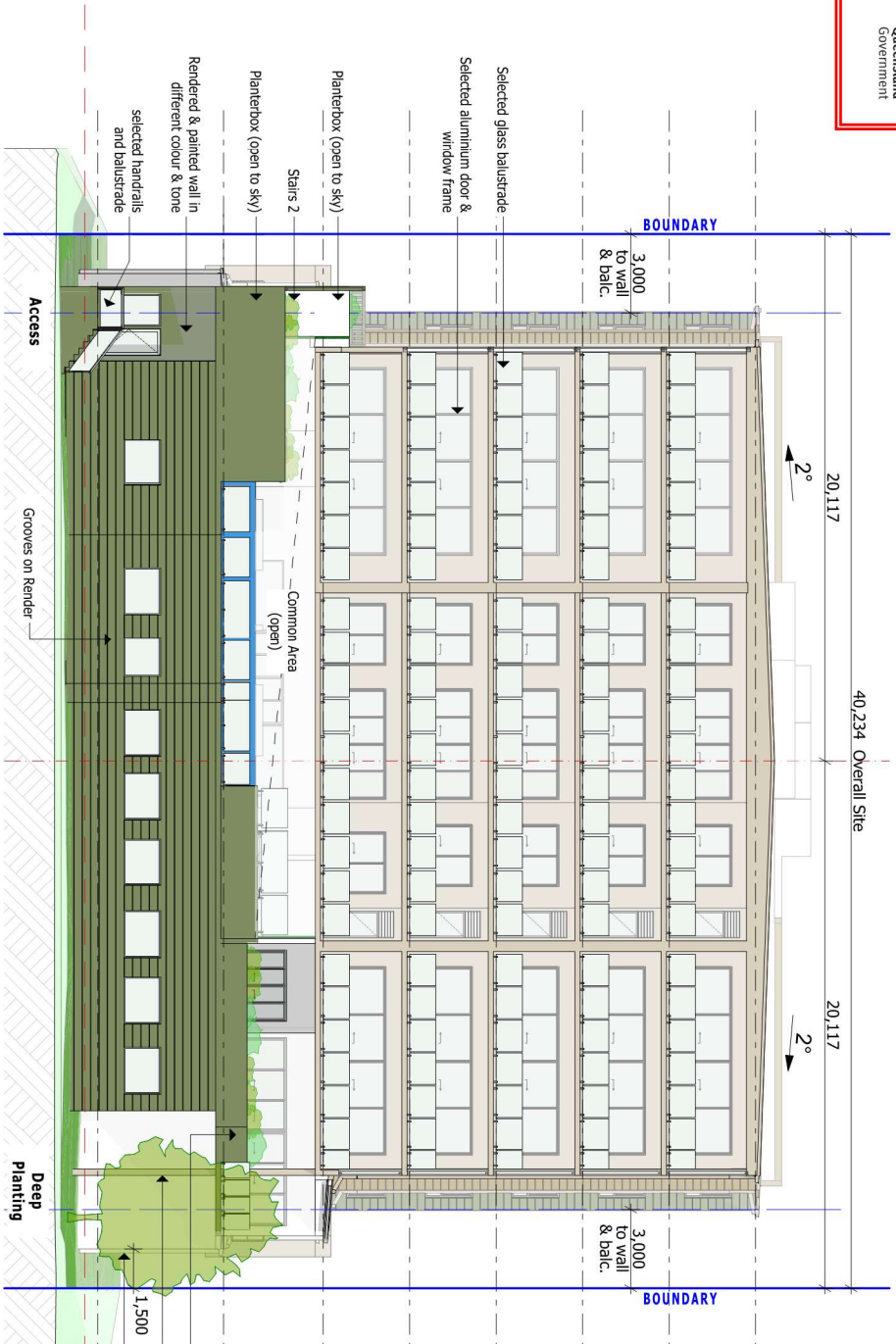
.1 SITE ELEVATION : NORTH WEST ELEVATION 1:200

COLOUR SCHEDULE - TBC

	1. Main Colour - Colorbond Paperbark or similar		2. Screening - Colorbond Surfinit or similar
	3. Aluminum Powdercoated Doors & Windows Frame - Dulux Pearl White or similar		4. Feature Tiled Area - Selected Travertine in beige tone / similar
	5. Feature Colour A - Colorbond Sandbank or similar		6. Feature Colour B / Shear Walls - Colorbond Pale Eucalyptus or similar
	7. Selected Glass Balustrade		

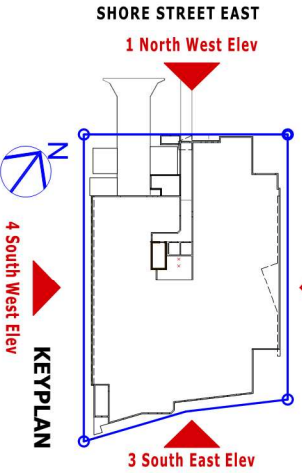


NOTE.
The finished floor level of the habitable Ground Floor areas and all critical infrastructure have been designed to be at or above 3.46m AHD to achieve a minimum 300mm freeboard above the flood level



.3 SITE ELEVATION : SOUTH EAST ELEVATION 1:200

- COLOUR SCHEDULE - TBC**
- 1. Main Colour - Colorbond Paperbark or similar
 - 2. Screening - Colorbond Surfistrit or similar
 - 3. Aluminum Powdercoated Doors & Windows Frame - Dulux Pearl White or similar
 - 3. Ground Floor Walls / Secondary Colour - Dulux Pearl White or similar
 - 4. Feature Tiled Area - Selected Travertine in beige tone / similar
 - 4. Feature Colour B / Shear Walls - Colorbond Pale Eucalyptus or similar
 - 5. Feature Colour A - Colorbond Sandbank or similar
 - 7. Selected Glass Balustrade



NOTE:
 the finished floor level of the habitable Ground Floor areas and all critical infrastructure have been designed to be at or above 3.46m AHD to achieve a minimum 300mm freeboard above the flood level



60.552 Overall Length Side Boundary

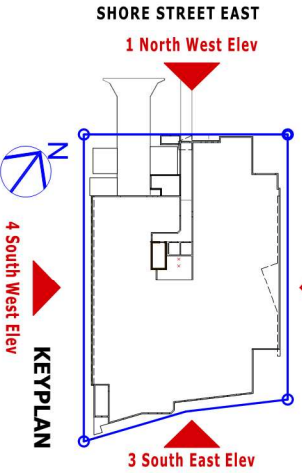


.4 SITE ELEVATION : SOUTH WEST ELEVATION 1:200

- COLOUR SCHEDULE - TBC**
- 1. Main Colour - Colorbond Paperbark or similar
 - 2. Screening - Colorbond Surfinit or similar
 - 3. Aluminum Powdercoated Doors & Windows Frame - Dulux Pearl White or similar
 - 3. Ground Floor Walls / Secondary Colour - Dulux Pearl White or similar
 - 4. Feature Tiled Area - Selected Travertine in beige tone / similar
 - 4. Feature Colour A - Colorbond Sandbank or similar
 - 5. Feature Colour B / Shear Walls - Colorbond Pale Eucalyptus or similar
 - 6. Feature Colour C - Selected Travertine in beige tone / similar
 - 6. Feature Colour B / Shear Walls - Colorbond Pale Eucalyptus or similar
 - 7. Selected Glass Balustrade

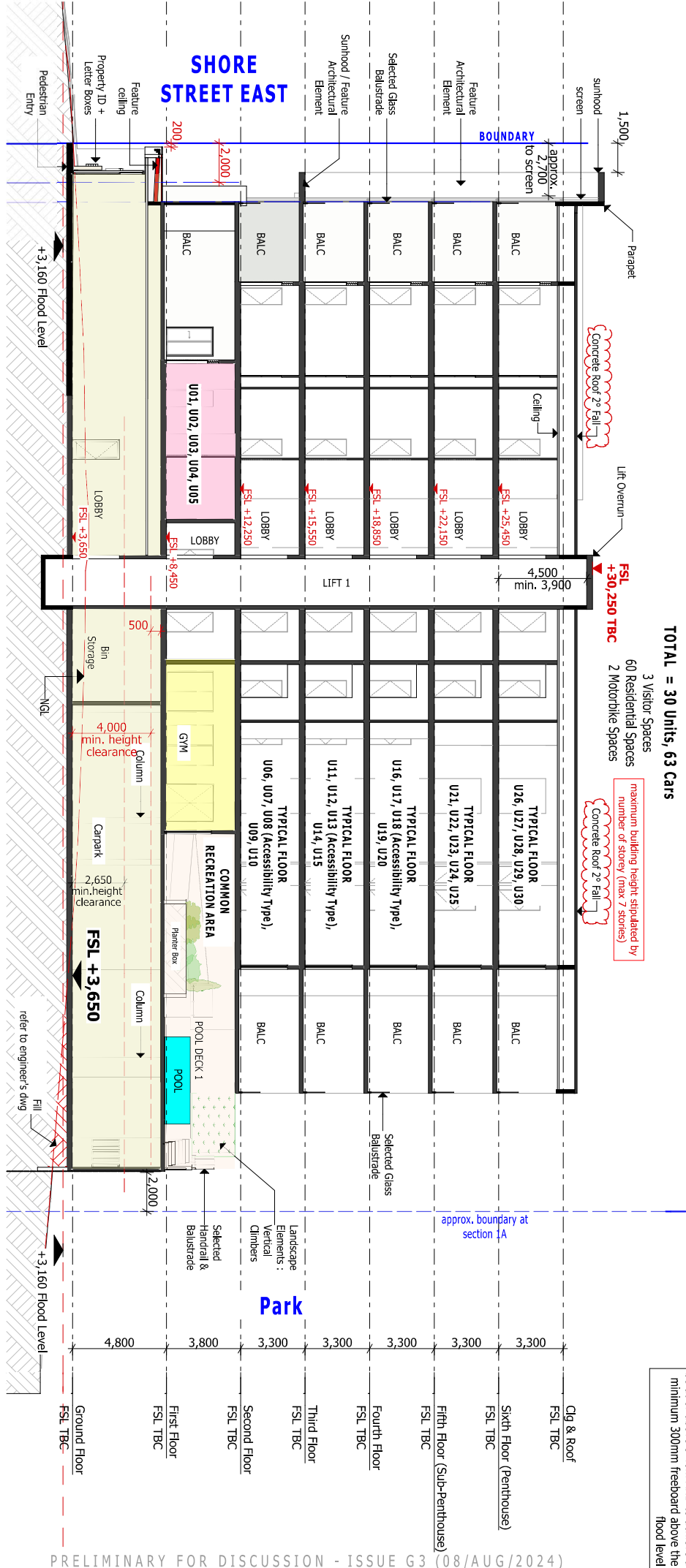


NOTE:
 the finished floor level of the habitable Ground Floor areas and all critical infrastructure have been designed to be at or above 3.46m AHD to achieve a minimum 300mm freeboard above the flood level





reference for feature ceiling



TOTAL = 30 Units, 63 Cars

- 3 Visitor Spaces
- 60 Residential Spaces
- 2 Motorbike Spaces

maximum building height stipulated by number of storey (max 7 storeys)

NOTE: the finished floor level of the habitable Ground Floor areas and all critical infrastructure have been designed to be at or above 3.46m AHD to achieve a minimum 300mm freeboard above the flood level

RC+
Design

1881 Levea Number
1212835
Email: info@rcdesign.com.au
Phone: 042197177

CLIENT
TBC
LOCATION
LOT 12 #67 SHORE STREET EAST, CLEVELAND QLD

DRAWING NAME
SECTION 1A
DESIGNER

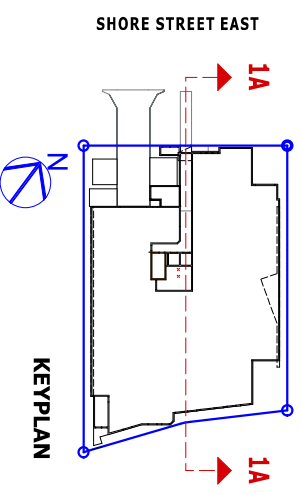
ISSUE	DATE	DESCRIPTION
G3	08/AUG/2024	Preliminary Dwg
G2	26/JUL/2024	Preliminary Dwg
G1	23/JUL/2024	Preliminary Dwg
VT		
VT		



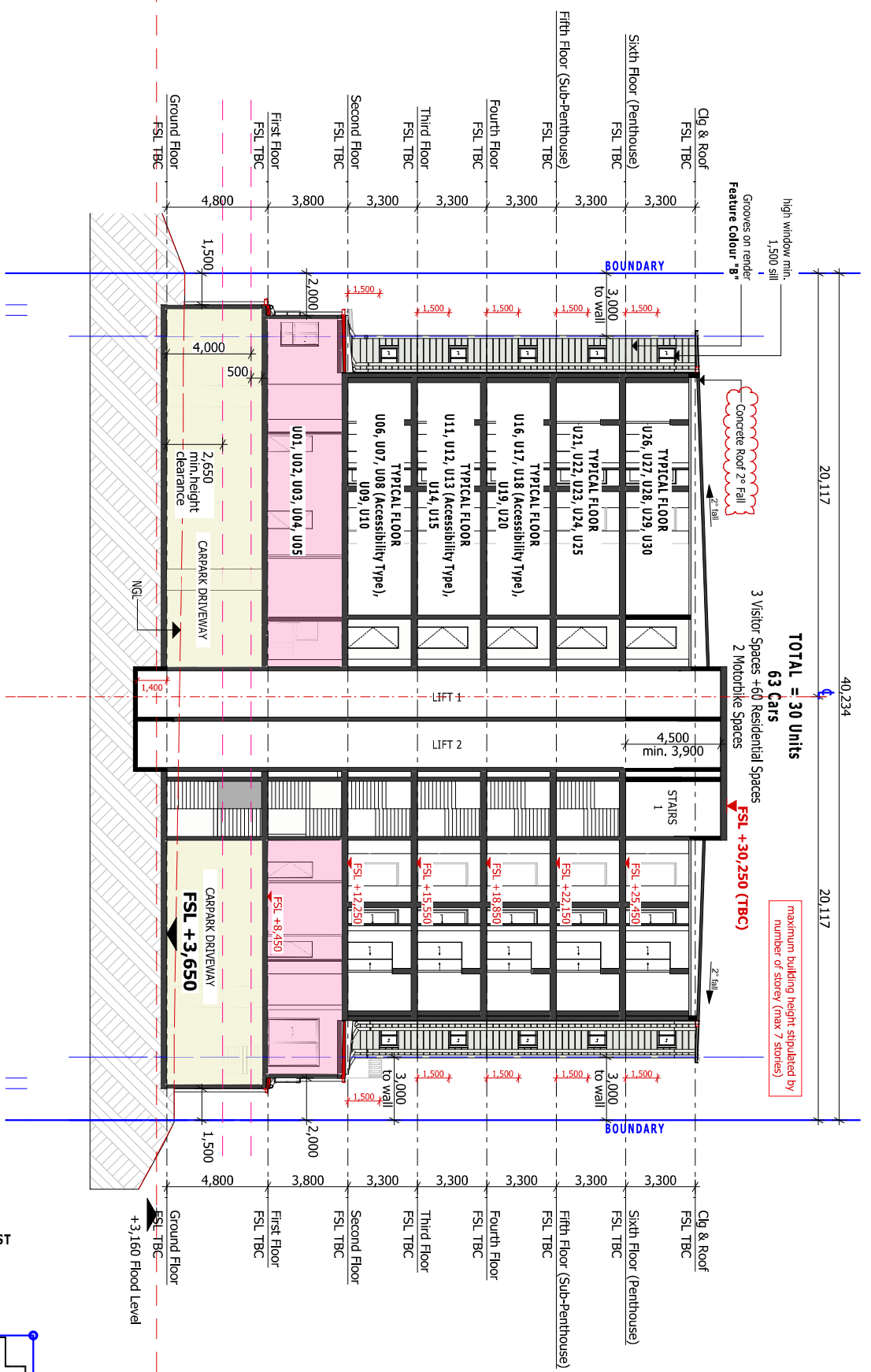
SCALE
1:200 @A3 PAPER

JOB NUMBER	DRAWING	REVISION
	3.5	G3

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL
Approval no: DEV/2024/1488
Date: 30/09/2024



NOTE 1:
The finished floor level of the habitable Ground Floor areas and all critical infrastructure have been designed to be at or above 3.46m AHD to achieve a minimum 300mm freeboard above the flood level

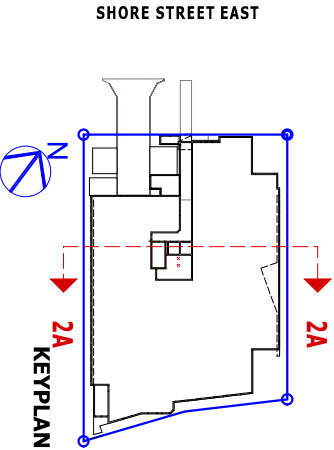


TOTAL = 30 Units
63 Cars
3 Visitor Spaces +60 Residential Spaces
2 Motorbike Spaces

FSL +30,250 (TBC)
maximum building height stipulated by number of storey (max 7 storeys)

2A SECTION 2A

1:200



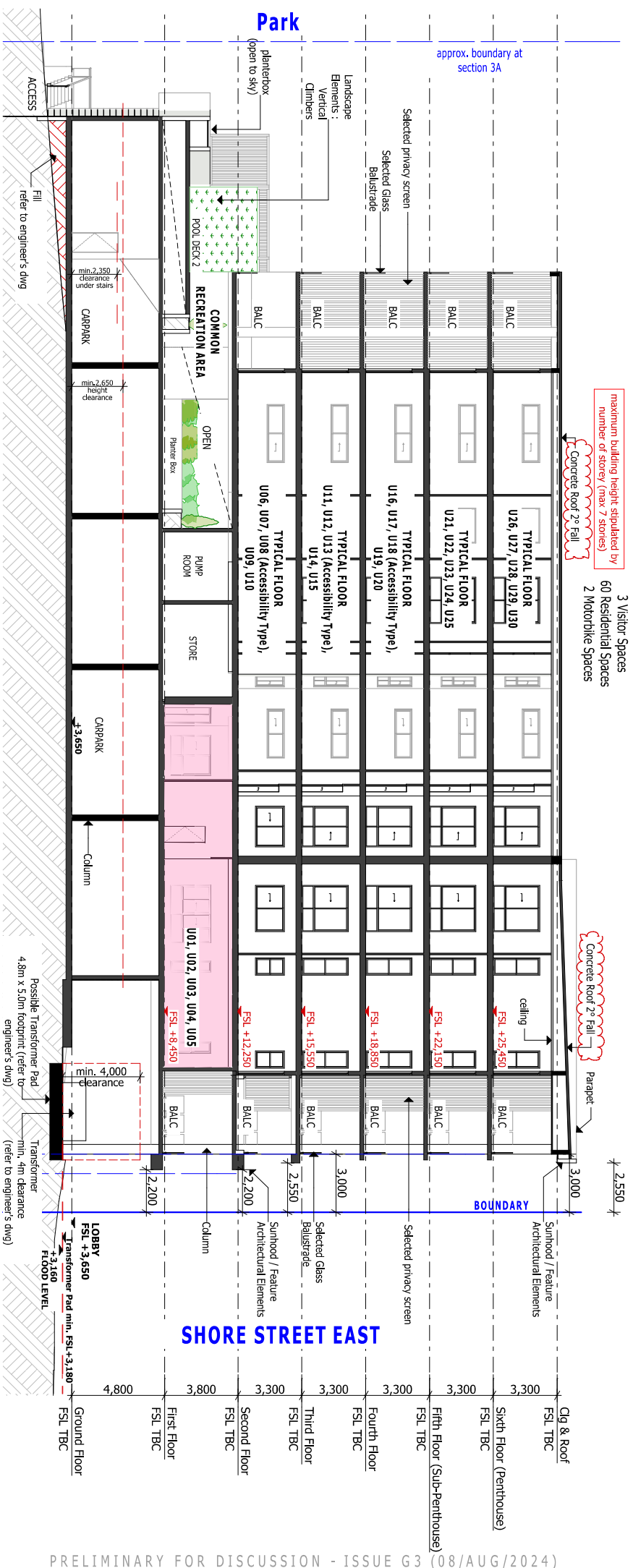
PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2024/1488
Date: 30/09/2024

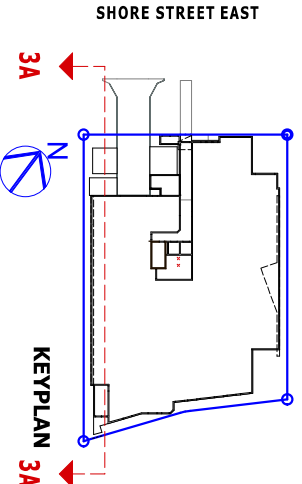
NOTE:
the finished floor level of the habitable Ground Floor areas and all critical infrastructure have been designed to be at or above 3.46m AHD to achieve a minimum 300mm freeboard above the flood level

TOTAL = 30 Units, 63 Cars

maximum building height stipulated by number of storey (max 7 storeys)
2 Motorbike Spaces
3 Visitor Spaces



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL
Approval no.: DEV2024/1488
Date: 30/09/2024

RC+ Design
193/Levins Number
1212835
Email: info@rcplusdesign.com.au
Phone: 042197117

CLIENT
TBC
LOCATION
LOT 12 #67 SHORE STREET EAST, CLEVELAND QLD

DRAWING NAME
SECTIONS 3A
DESIGNER

ISSUE	DATE	DESCRIPTION	BY	CHKD
G3	08/AUG/2024	Preliminary Dwgs	VT	
G2	26/JUL/2024	Preliminary Dwgs	VT	
G1	23/JUL/2024	Preliminary Dwgs	VT	

Refer to signed contract documents for final selections and inclusions

NORTH



SCALE
1:200 @A3 PAPER

JOB NUMBER	DRAWING	REVISION
	3.7	G3