

Flourish

STAGES 5-10 PRELIMINARY ENGINEERING DRAWINGS 37502-ALL

SCHEDULE OF DRAWINGS

NUMBER	REV. NO.	TITLE
GENERAL		
37502-ALL-000	D	COVER SHEET
37502-ALL-005	C	ROAD HIERARCHY STAGING PLAN & GENERAL NOTES
EARTHWORKS: EXISTING FEATURES & DEMOLITION		
37502-ALL-020	B	PLAN SHEET 01
37502-ALL-021	B	PLAN SHEET 02
EARTHWORKS: BULK EARTHWORKS CUT FILL		
37502-ALL-040	B	PLAN SHEET 01
37502-ALL-041	B	PLAN SHEET 02
37502-ALL-042	C	PLAN SHEET 03
37502-ALL-043	C	PLAN SHEET 04
37502-ALL-044	C	PLAN SHEET 05
EARTHWORKS: BULK EARTHWORK SECTIONS		
37502-ALL-050	C	EARTHWORKS SECTION KEY PLAN
37502-ALL-051	C	EARTHWORKS SECTIONS SHEET 01
37502-ALL-052	C	EARTHWORKS SECTIONS SHEET 02
37502-ALL-053	C	EARTHWORKS SECTIONS SHEET 03
37502-ALL-054	C	EARTHWORKS SECTIONS SHEET 04
EARTHWORKS: RETAINING WALL & DETAIL GRADING		
37502-ALL-060	B	PLAN SHEET 01
37502-ALL-061	C	PLAN SHEET 02
37502-ALL-062	C	PLAN SHEET 03
37502-ALL-063	C	PLAN SHEET 04
37502-ALL-064	C	PLAN SHEET 05
37502-ALL-065	C	PLAN SHEET 06
37502-ALL-070	B	DETAILS SHEET 01
37502-ALL-071	A	DETAILS SHEET 02
ROADS: ROADWORKS & STORMWATER PLANS		
37502-ALL-100	B	PLAN SHEET 01
37502-ALL-101	C	PLAN SHEET 02
37502-ALL-102	D	PLAN SHEET 03
37502-ALL-103	C	PLAN SHEET 04
37502-ALL-104	C	PLAN SHEET 05
37502-ALL-120	A	DETAILS SHEET 01
WATER & SEWER PLANS		
37502-ALL-500	B	SEWER & WATER SHEET 01
37502-ALL-501	D	SEWER & WATER SHEET 02
37502-ALL-502	C	SEWER & WATER SHEET 03
37502-ALL-503	C	SEWER & WATER SHEET 04
37502-ALL-504	C	SEWER & WATER SHEET 05



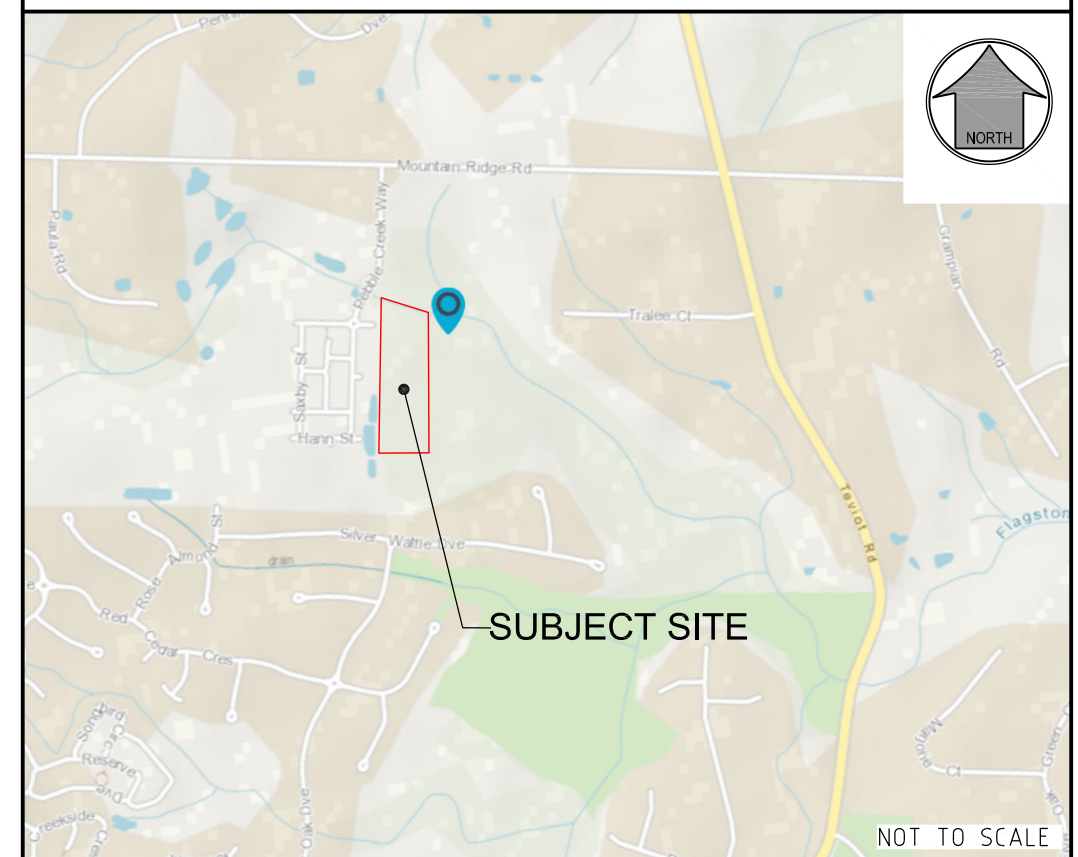
CLIENT



SUB-CONSULTANTS

SAUNDERS HAVILL
SLR
PETER EUSTACE & ASSOCIATES

LOCALITY PLAN



R. P. DESCRIPTION
176-228 MOUNTAIN RIDGE ROAD
SOUTH MACLEAN
LOCAL AUTHORITY-GOLD COAST CITY COUNCIL

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/17

Date: 19 September 2024



DRAWING NUMBER
37502-ALL-000

AMEND.
D



1. **EXISTING SERVICES - EXTERNAL WORKS**
THE LOCATIONS OF ALL EXISTING SERVICES WITHIN THE WORK AREA SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION COMMENCING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE RELEVANT AUTHORITIES & TO ENSURE THAT THE EXISTING SERVICES ARE NOT DAMAGED OR DISTURBED IN ANY WAY BY THE CONTRACT WORKS.
2. **EXISTING STRUCTURES**
ALL EXISTING STRUCTURES & ASSOCIATED INFRASTRUCTURE TO BE REMOVED & DISPOSED OF OFF SITE.
3. **EXISTING DAMS**
EXISTING DAMS TO BE DEWATERED. ALL SILT & DEBRIS ARE TO BE REMOVED & LAWFULLY DISPOSED OF TO A TIP OFF SITE, OR INCORPORATED INTO THE SITE EARTHWORKS AT THE DIRECTION OF THE GEOTECHNICAL ENGINEER. REPLACEMENT FILL IS TO BE LOCATED & COMPACTED IN ACCORDANCE WITH LOCAL COUNCIL'S SPECIFICATIONS.

CONTRACTOR TO MAKE ALL NECESSARY ALLOWANCES FOR LOCATION AND PROTECTION OF EXISTING SERVICES DURING WORKS.

EXISTING PROPERTY LINE
 EXISTING KERB
 EXISTING SEWER
 EXISTING WATER
 EXISTING RISING MAIN
 EXISTING STORMWATER
 EXISTING GAS
 EXISTING UNDERGROUND ELECTRICITY
 EXISTING TELSTRA
 EXISTING CONTOURS
 SITE BOUNDARY
 STAGE BOUNDARY
 EXISTING WIRE MESH FENCE
 EXISTING BARBED WIRE FENCE
 EXISTING TREES

NOTE: TREE CLEARING IS INDICATIVE ONLY AND SUBJECT TO ITS OWN SPECIFIC DOCUMENTATION (BY OTHERS) AND APPROVAL.

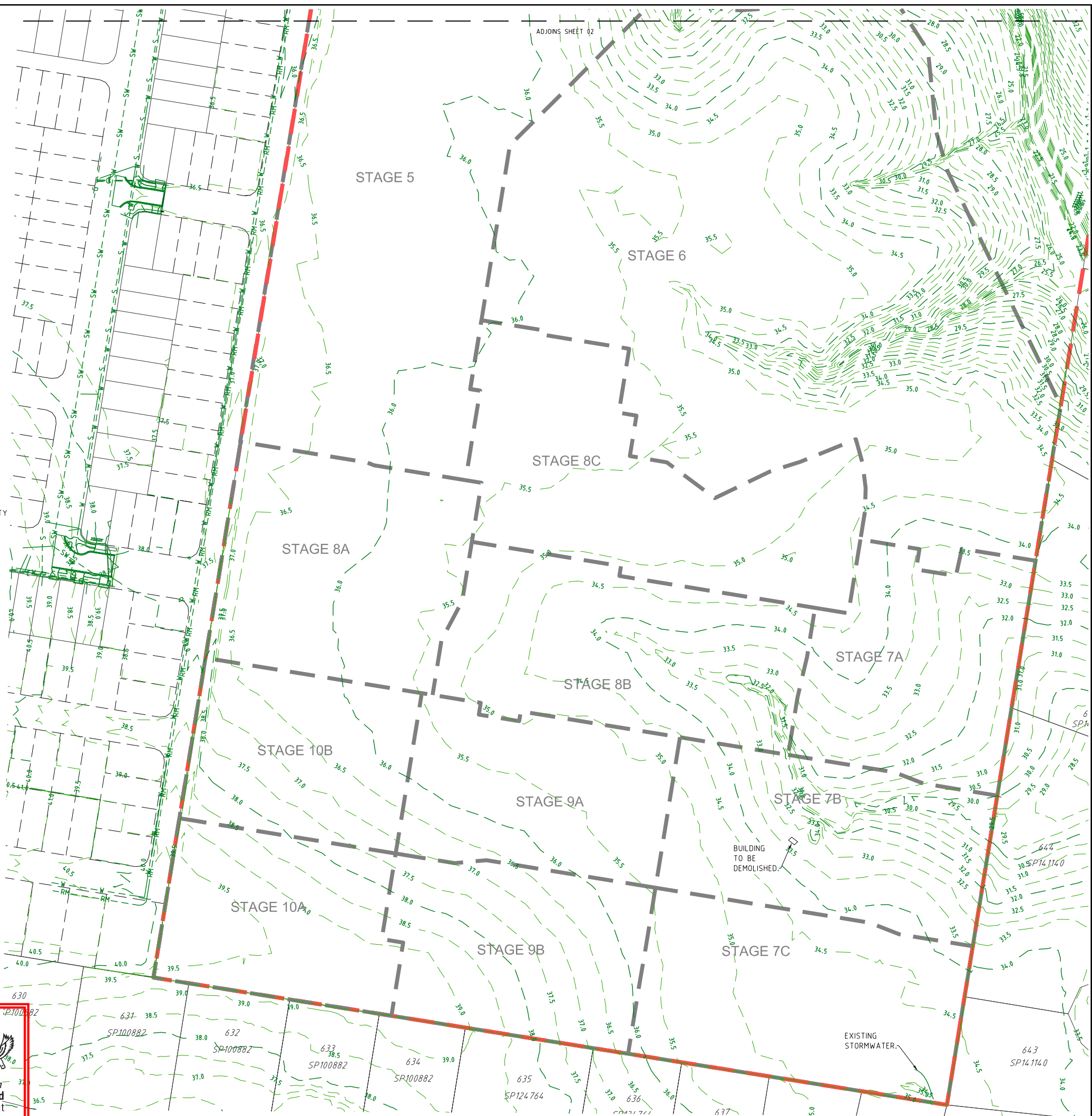
SHEET 02

SHEET 01



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/17
Date: 19 September 2024



PROJECT	NAME
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100	100

Flourish

R. P. DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

C L I E N T



0 10 20 30 40 50m
Scale 1:1000 - A1 (1:2000 - A3)

B	02-04-24	STAGE BOUNDARY UPDATED	RK
A	05-12-23	CLIENT ISSUE	GB
REV	DATE	DESCRIPTION	INT

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SAUNDERS HAVILL
SLR
PETER EUSTACE & ASSOCIATES

D R A W I N G T I T L E

EXISTING FEATURES
AND DEMOLITION
PLAN
SHEET 01

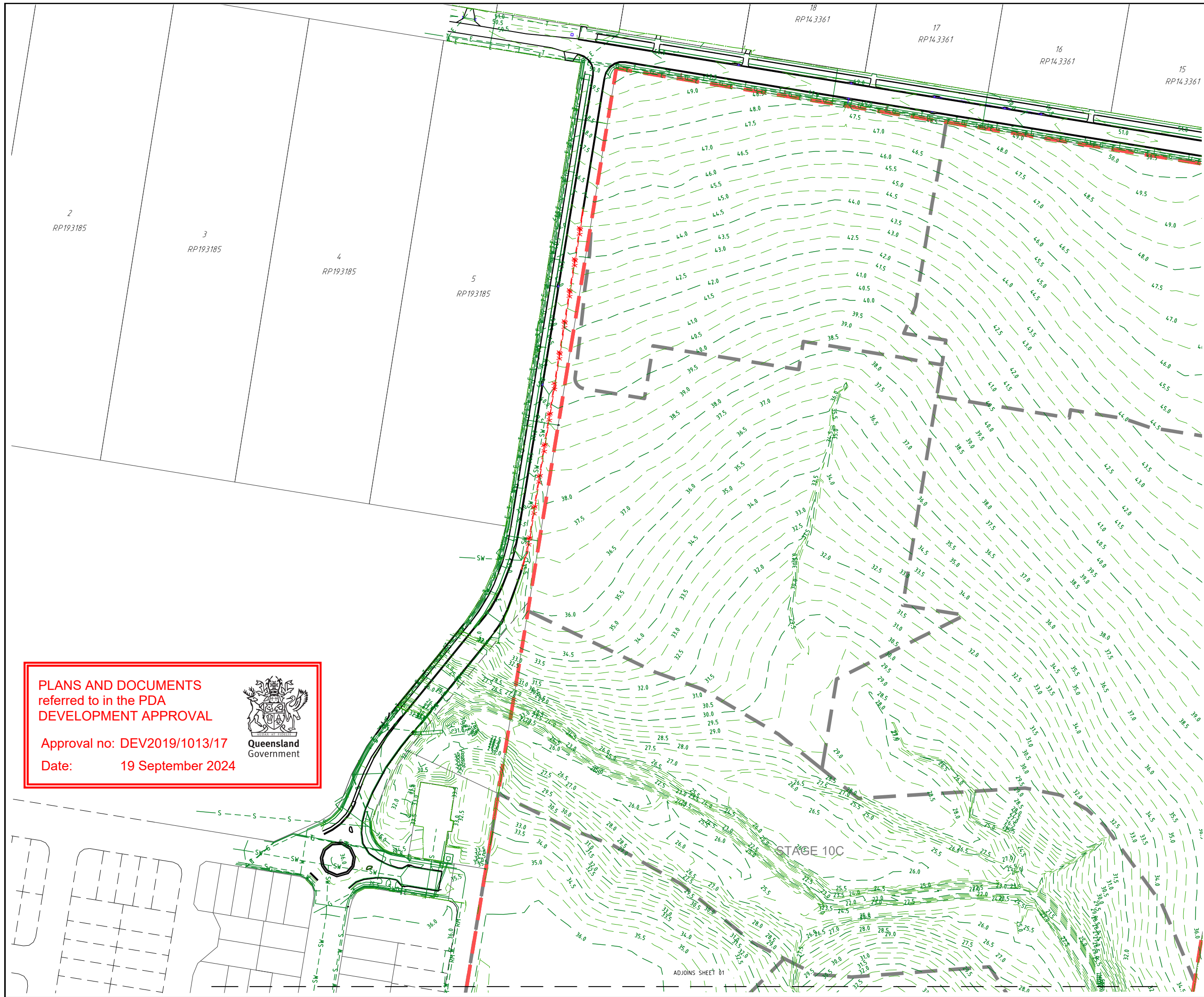


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DESIGNED GW	DRAWN GB
APPROVED <i>M.K. mbe</i>	RPEQ4706 DATE 05-12-23
DRAWING NUMBER 37502-ALL-020	REV B



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/17

Date: 19 September 2024



PROJECT NAME

Flourish

R. P. DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

CEDAR WOODS
DEVELOPING TOMORROW TODAY

NORTH

0 10 20 30 40 50m
Scale 1:1000 - A1 (1:2000 - A3)

B	02-04-24	STAGE BOUNDARY UPDATED	RK
A	05-12-23	CLIENT ISSUE	GB
REV	DATE	DESCRIPTION	INT

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DRAWING TITLE

EXISTING FEATURES
AND DEMOLITION
PLAN
SHEET 02

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urbansolutions
Civil Engineering
Project Coordination

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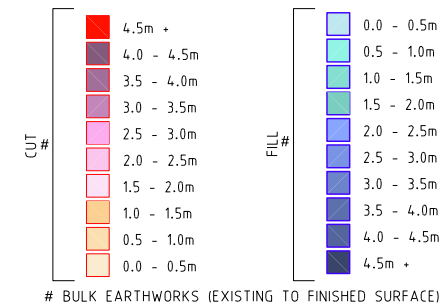
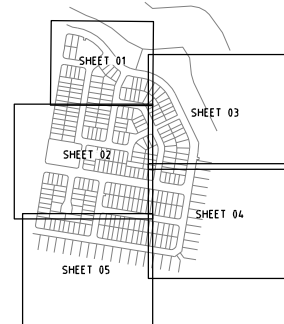
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37502-ALL-021			B

LEGEND

- EXISTING PROPERTY LINE
— EXISTING KERB (INVERT)
- - - FUTURE KERB (INVERT)
- - - FUTURE PROPERTY LINE
- - - SITE BOUNDARY
- - - STAGE BOUNDARY
- - - LIMIT OF EARTHWORKS BOUNDARY
— PROPOSED PROPERTY LINE
— PROPOSED KERB (INVERT)
- - -0.5 CUT CONTOUR
— 0.0 INTERFACE CONTOUR
— 0.5 FILL CONTOUR

SHEET LAYOUT



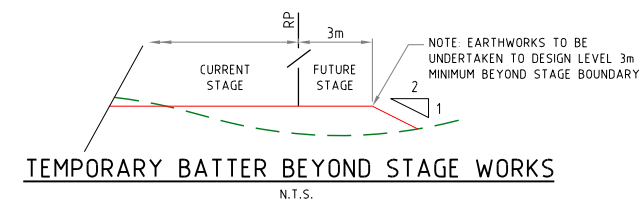
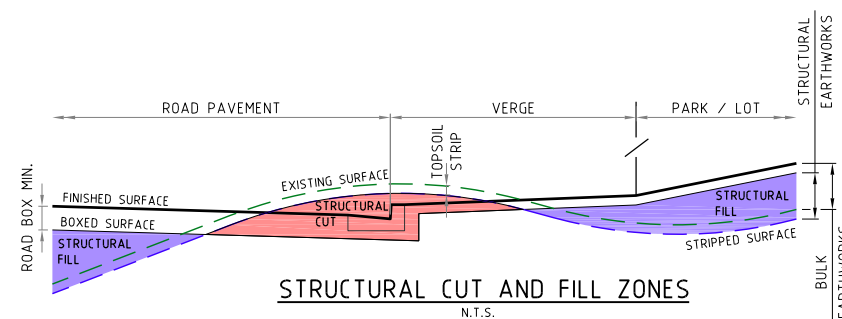
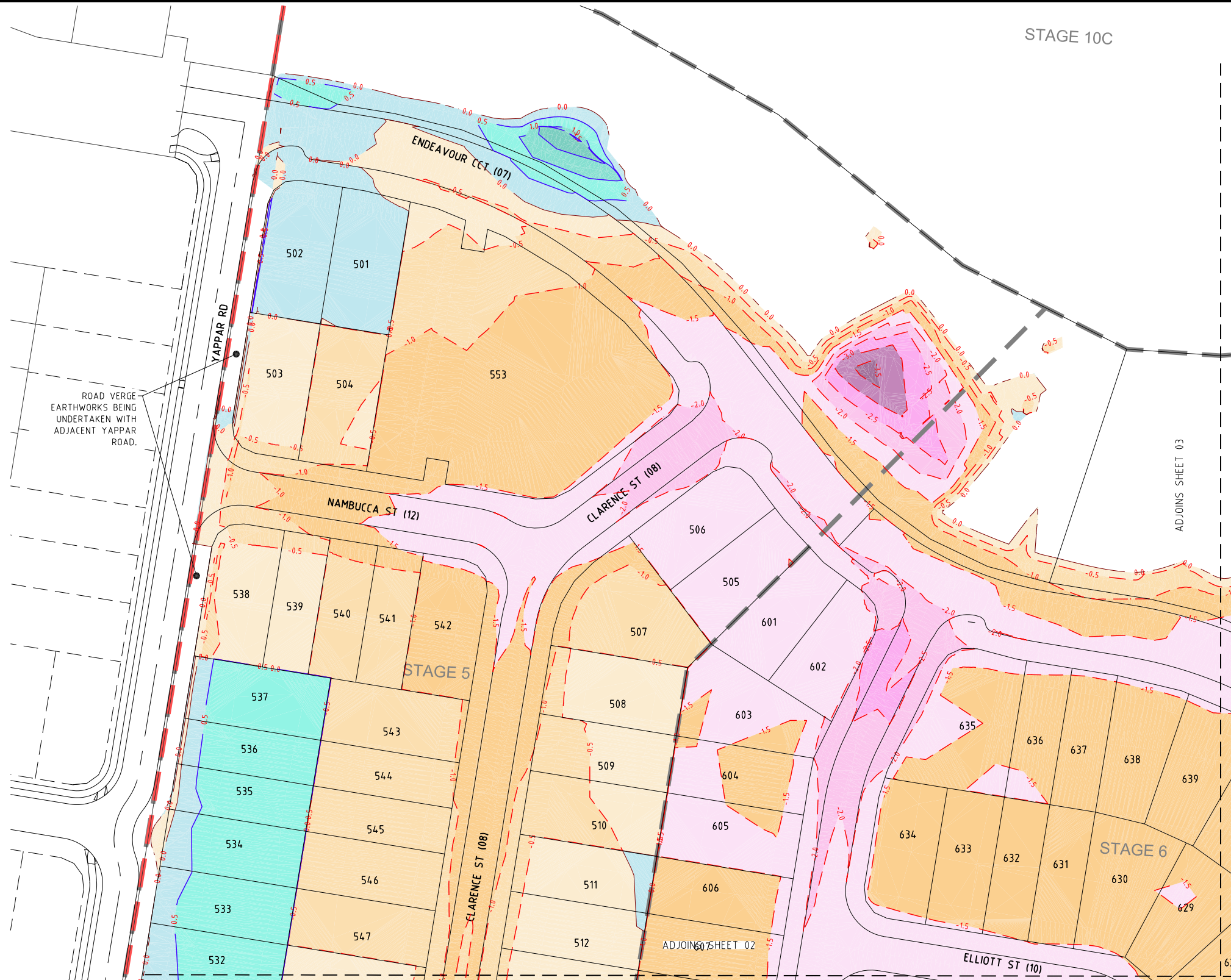
NOTE:

CONTRACTOR TO MAKE ALL NECESSARY ALLOWANCES FOR EXISTING SERVICES DURING ALL WORKS.

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/17

Date: 19 September 2024



PROJECT NAME

Flourish

R. P. DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

B	27-03-24	CUT FILL UPDATED	RK
A	05-12-23	CLIENT ISSUE	GB
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PETER EUSTACE & ASSOCIATES

DRAWING TITLE

EARTHWORKS
CUT TO FILL
PLAN
SHEET 01

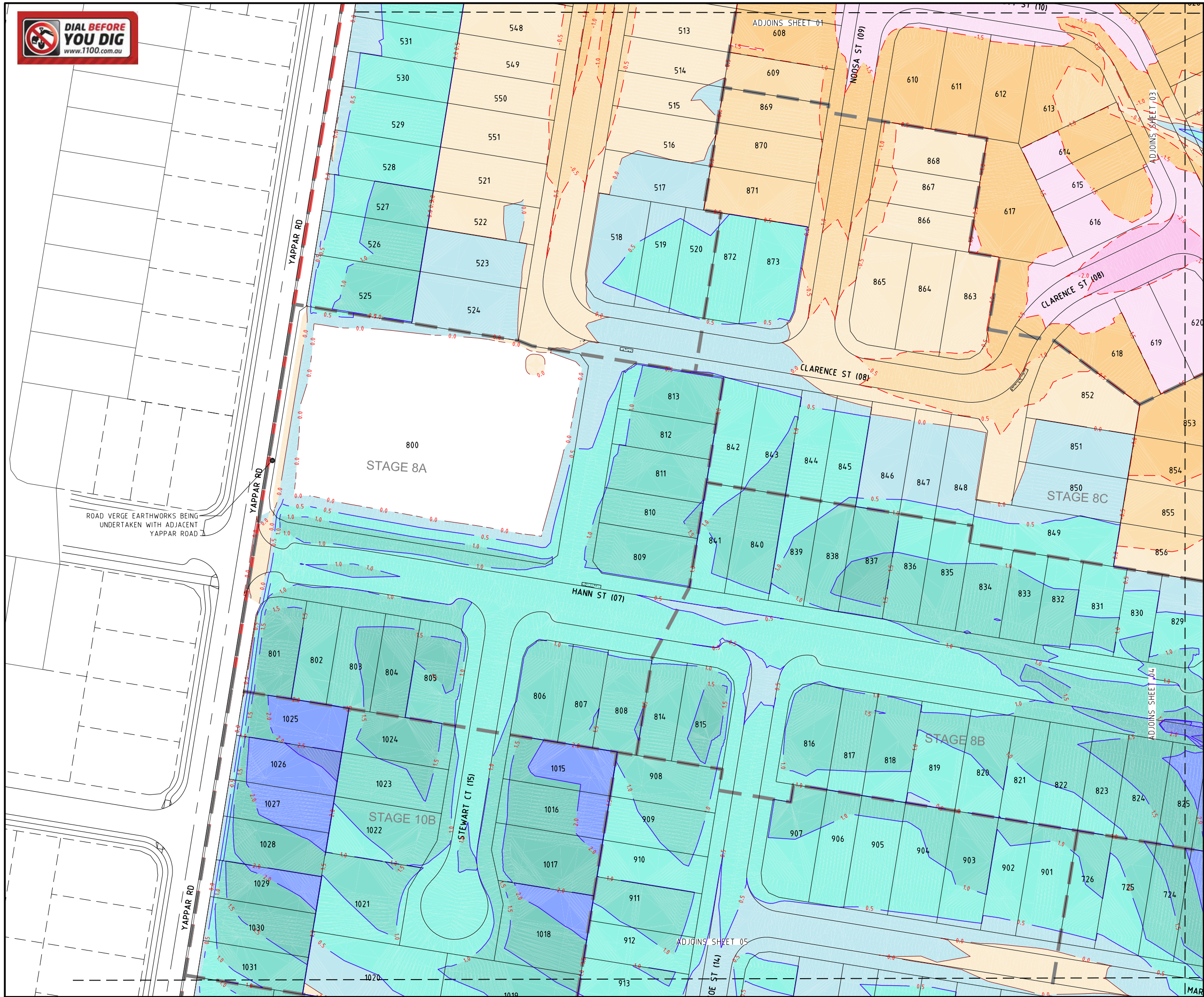


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APPROVED	RK	REVIEWED	GB
DRAWING NUMBER	37502-ALL-040	DATE	05-12-23
REV	B		



PROJECT NAME

Flourish

R. P. DESCRIPTION

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LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

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B	27-03-24	CUT FILL UPDATED	RK
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DRAWING TITLE

EARTHWORKS
CUT TO FILL
PLAN
SHEET 02



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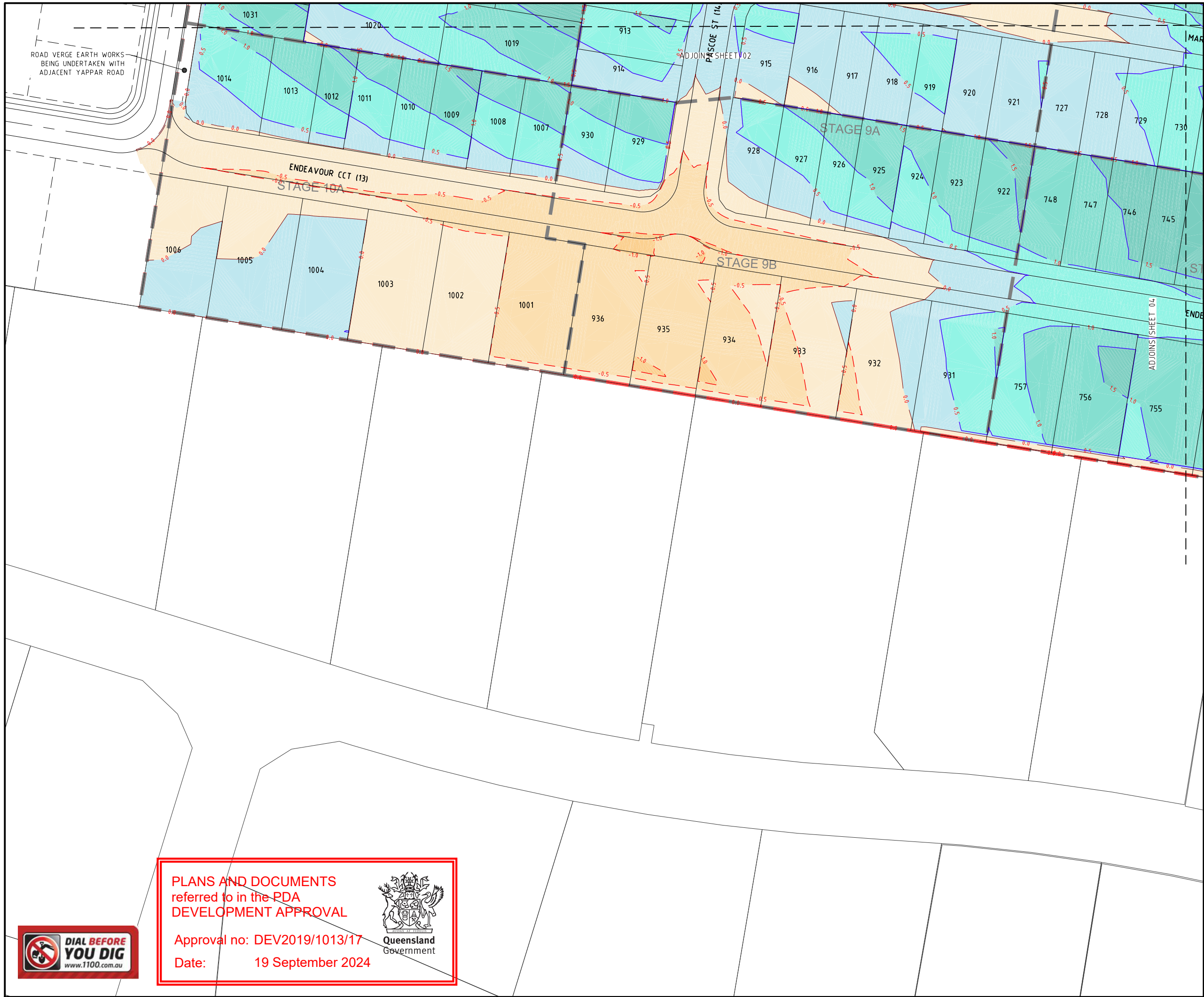
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DRAWING NUMBER

37502-ALL-041

REV

B




PROJECT NAME


Flourish

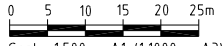
R. P. DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

**CEDAR WOODS**
DEVELOPING TOMORROW TODAY


NORTH


0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

C	12-06-24	EARTHWORKS DESIGN UPDATED	GB
B	27-03-24	CUT FILL UPDATED	RK
A	05-12-23	CLIENT ISSUE	GB
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DRAWING TITLE


EARTHWORKS
CUT TO FILL
PLAN
SHEET 05

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37502-ALL-044			C



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DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/17
Date: 19 September 2024



\\autocad client\375- cedar woods properties\02 - mountain ridge road\Overall engineering drawings\preliminary\Current\37502-ALL-050.dwg, EARTHWORKS SECTION KEY PLAN, 7/8/2024, 3:46:37 PM, 1:2

LEGEND

- EXISTING KERB (INVERT)
- EXISTING PROPERTY LINE
- EXISTING CONTOURS
- FUTURE KERB (INVERT)
- FUTURE PROPERTY LINE
- PROPOSED KERB (INVERT)
- PROPOSED PROPERTY LINE
- PROPOSED RETAINING WALL
- PROPOSED BOURDER WALL
- DESIGN CONTOURS
- SITE BOUNDARY
- STAGE BOUNDARY



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PROJECT NAME

Flourish

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Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT



0 10 20 30 40 50m
Scale 1:1000 - A1 (1:2000 - A3)

C	12-06-24	LOT LAYOUT UPDATED	GB
B	27-03-24	COUNTOURS UPDATED	RK
A	05-12-23	CLIENT ISSUE	GB
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DRAWING TITLE

BULK EARTHWORKS
SECTION
KEY PLAN



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APPROVED	AK	REQ	4706
DRAWING NUMBER	37502-ALL-050		
REV	C		

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DEVELOPMENT APPROVAL



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PLANS AND DOCUMENTS
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DEVELOPMENT APPROVAL



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PLANS AND DOCUMENTS
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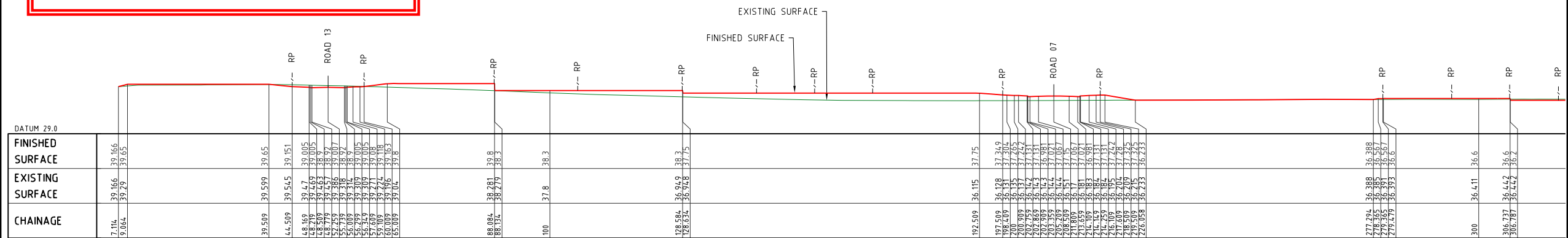


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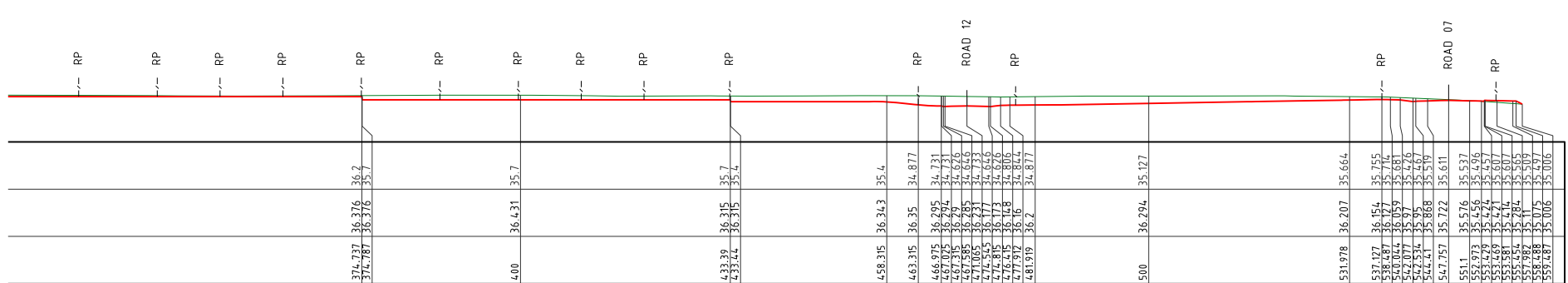
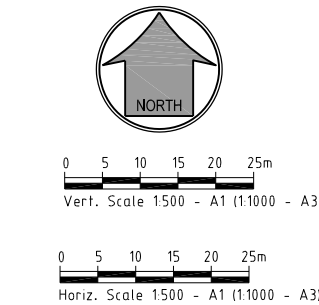
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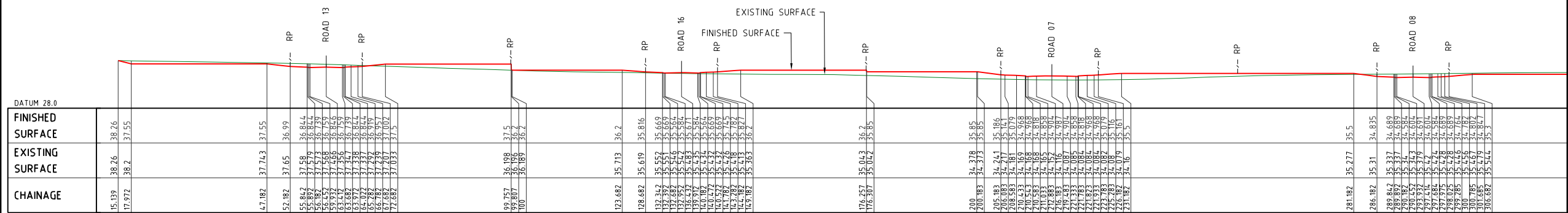
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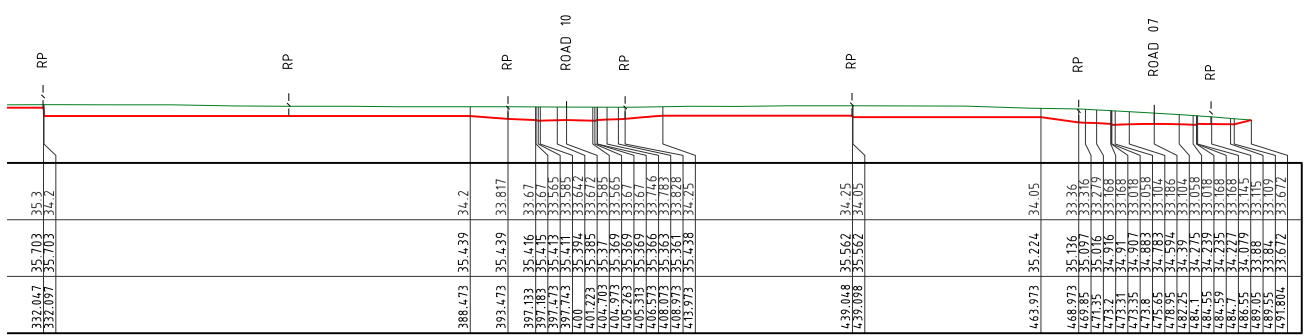
Horizontal scale 1:500
Vertical scale 1:500



Horizontal scale 1:500
Vertical scale 1:500



Horizontal scale 1:500
Vertical scale 1:500



Horizontal scale 1:500
Vertical scale 1:500

Flourish

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ



**CEDAR
WOODS**
DEVELOPING TOMORROW TODAY



0 5 10 15 20 25m
Vert. Scale 1:500 - A1 (1:1000 - A3)

5 10 15 20 25m
Horiz. Scale 1:500 - A1 (1:1000 - A3)

C	12-06-24	SECTIONS UPDATED	GB
B	02-04-24	SECTIONS UPDATED	RK
A	05-12-23	CLIENT ISSUE	GB
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PETER EUSTACE & ASSOCIATES

RAWING TITLE

BULK EARTHWORKS
SECTIONS
SHEET 01

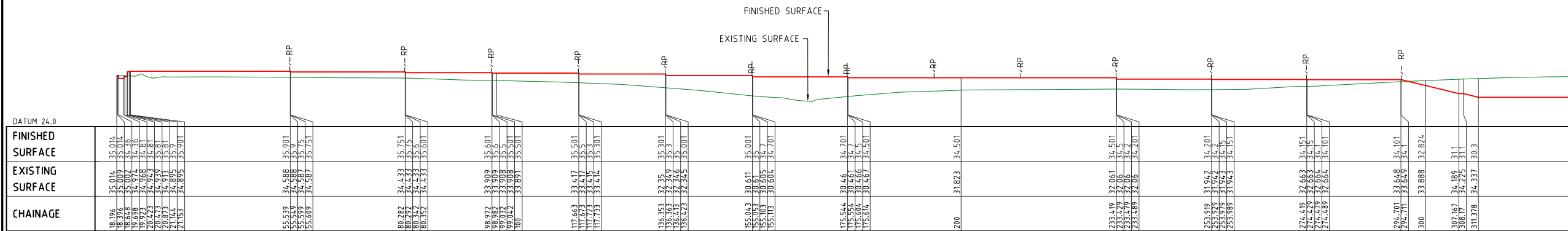


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DESIGNED GW	DRAWN GB	
APPROVED <i>W.K. m...</i>	RPEQ4706	DATE 05-12-23

DRAWING NUMBER
37502-ALL-051

C



SECTION E

Horizontal scale 1:500
Vertical scale 1:500

DATUM 25.0

CHAINAGE	EXISTING SURFACE	FINISHED SURFACE
22.704	37.103	37.103
27.7	36.788	37.6
52.776	36.489	37.6
52.876	36.489	36.7
78.201	36.116	36.2
83.201	36.075	35.776
86.861	36.045	35.63
87.701	36.045	35.5
88.701	36.045	35.5
89.701	36.045	35.5
90.951	36.017	35.632
92.701	35.971	35.525
94.701	35.968	35.63
96.701	35.968	35.63
98.701	35.931	35.788
99.701	35.931	35.788
99.952	35.947	36.268
100	35.918	36.3
200	35.688	35.3
212.851	35.625	35.3
215.901	35.625	35.18
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286.202	35.625	35.18</

SECTION F

Horizontal scale 1:500
Vertical scale 1:500

ROAD 07

RP

RP

CONT. SECTION F

Horizontal scale 1:500
Vertical scale 1:500

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/17

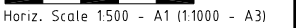
Date: 19 September 2024

Queensland Government

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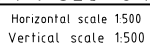
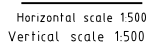
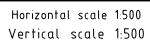
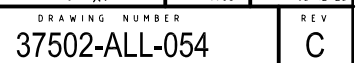
Queensland
Government

DESIGNED	GW	DRAWN	GB
APPROVED	<i>M.K. [signature]</i>	RPEQ4706	DATE 05-12-23
DRAWING NUMBER			REV
37502-ALL-053			C



SAUNDERS HAVILL
SLR
PETER EUSTACE & ASSOCIATES

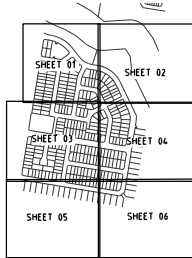
BULK EARTHWORKS
SECTIONS
SHEET 04



LEGEND

- EXISTING KERB (INVERT)
- EXISTING PROPERTY LINE
- 1.0 EXISTING CONTOURS
- EXISTING RETAINING WALL
- EXISTING BOULDER WALL
- PROPOSED KERB (INVERT)
- PROPOSED PROPERTY LINE
- 1.0 DESIGN CONTOURS
- PROPOSED CONCRETE SLEEPER RETAINING WALL (QPRO SMOKEY SLEEPER OR APPROVED EQUIVALENT)
- STANDARD ENERGEX RETAINING WALL
- PROPOSED BOULDER WALL
- PL50.4 NOMINAL LOT PAD LEVEL
- RH1.0 INDICATIVE WALL HEIGHT
- DETAIL PAD FALL DIRECTION (CONTRACTOR TO ENSURE LOTS FALL TO ROAD AT 1:100 MIN. REFER DRG. 072)

SHEET LAYOUT



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/17

Date: 19 September 2024



PROJECT NAME

Flourish

R. P. DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

REV	DATE	DESCRIPTION	INT
B	27-03-24	CONTOURS UPDATED	RK
A	05-12-23	CLIENT ISSUE	GB

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ASSOCIATED CONSULTANTS

SAUNDERS HAVILL
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PETER EUSTACE & ASSOCIATES

DRAWING TITLE

RETAINING WALL
AND DETAIL GRADING PLAN
SHEET 01

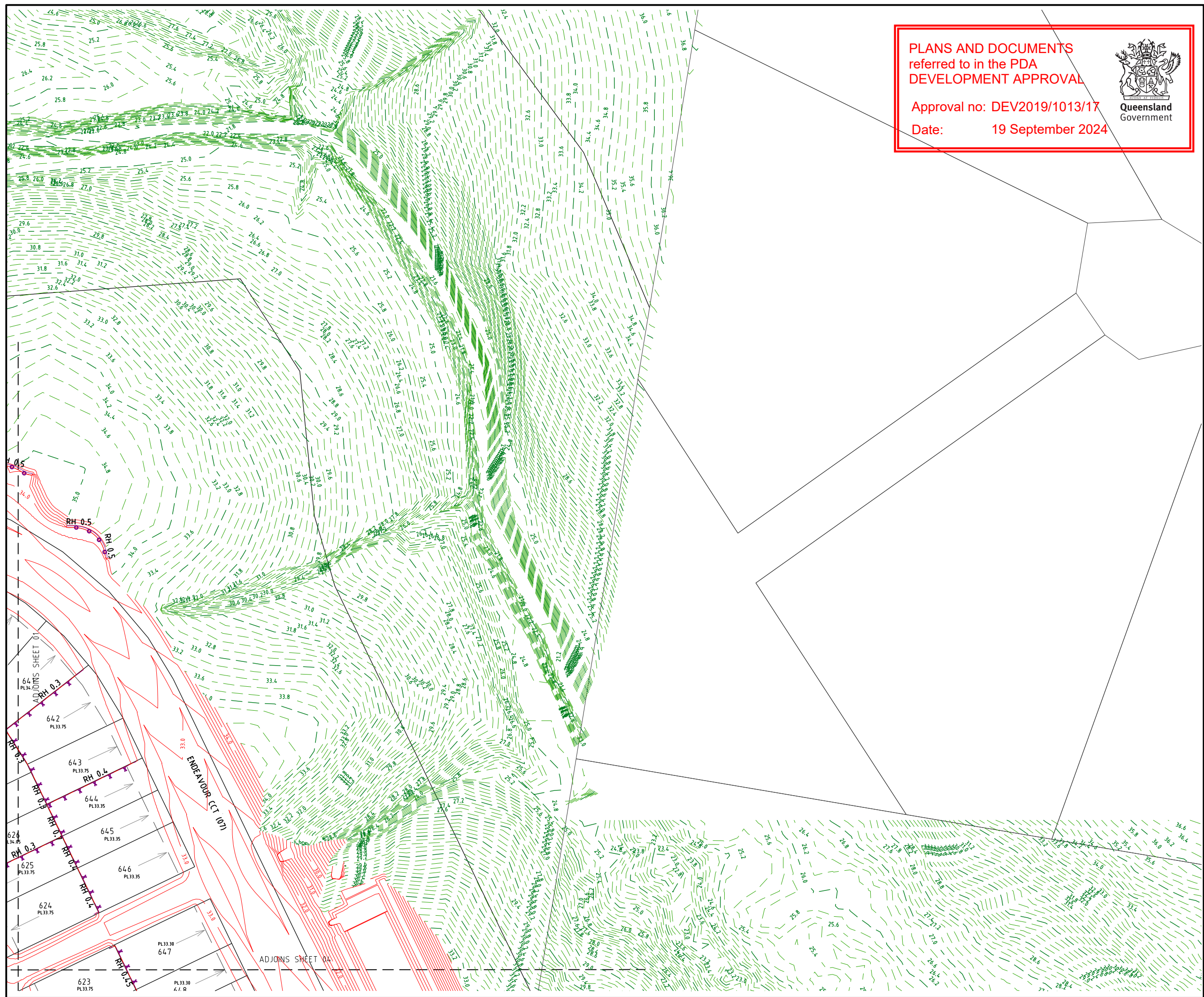


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DESIGNED	GW	DRAWN	GB
APPROVED	AK	REQ	4706
DRAWING NUMBER	37502-ALL-060		
REV	B		



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Date: 19 September 2024



PROJECT NAME

R. P. DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

C	12-06-24	LOTS 623 & 612 UPDATED	GB
B	27-03-24	CONTOURS UPDATED	RK
A	05-12-23	CLIENT ISSUE	GB
REV	DATE	DESCRIPTION	INT

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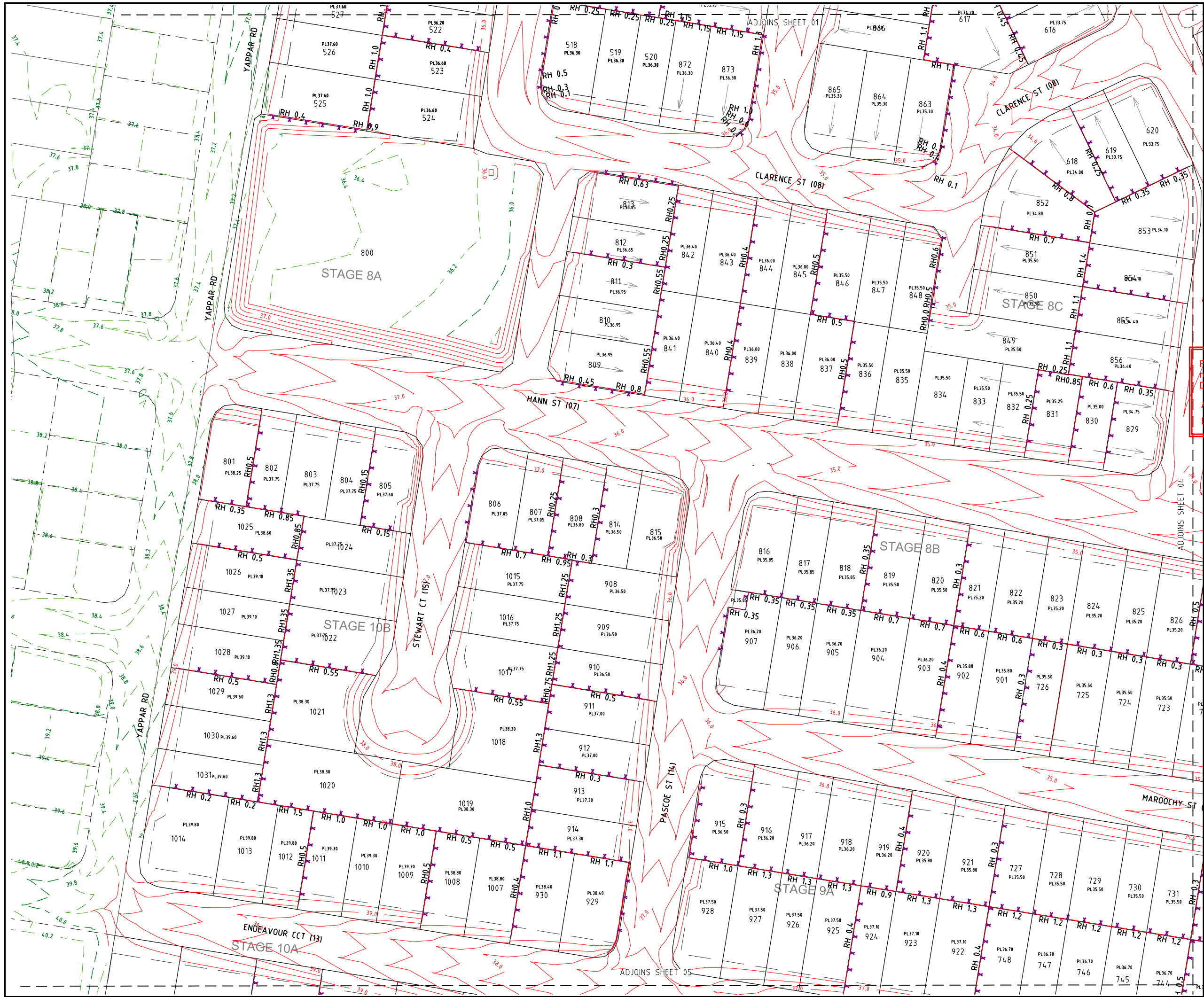
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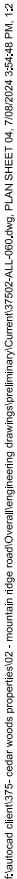
RETAINING WALL
AND DETAIL GRADING PLAN
SHEET 02



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Southport QLD 4215

DESIGNED GW	DRAWN GB	
APPROVED <i>AK</i>	RPEQ 4706	DATE 05-12-23
DRAWING NUMBER 37502-ALL-061		REV C





SECTION LOT 712
Horizontal scale 1:500
Vertical scale 1:500

SECTION LOT 713
Horizontal scale 1:500
Vertical scale 1:500

SECTION LOT 714
Horizontal scale 1:500
Vertical scale 1:500

SECTION LOT 736
Horizontal scale 1:500
Vertical scale 1:500

Approval no: DEV2019/1013/17
Date: 19 September 2024






PROJECT NAME


Flourish

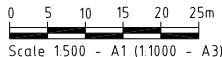
R. P. DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

CEDAR WOODS
DEVELOPING TOMORROW TODAY


NORTH


Scale 1:500 - A1 (1:1000 - A3)

C	12-06-24	LOT LAYOUT UPDATED	GB
B	27-03-24	CONTOURS UPDATED	RK
A	05-12-23	CLIENT ISSUE	GB
REV	DATE	DESCRIPTION	INT


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DRAWING TITLE


RETAINING WALL
AND DETAIL GRADING PLAN
SHEET 05

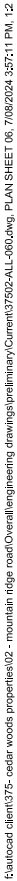
MORTONS
urbansolutions
Civil Engineering
Project Coordination

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DESIGNED	GW	DRAWN	GB
APPROVED		PER 4706	DATE 05-12-23
DRAWING NUMBER			REV
37502-ALL-064			C



DATUM 29.0			
FINISHED SURFACE			
EXISTING SURFACE	34.602	35.9	
CHAINAGE	0		

Horizontal scale 1:500
Vertical scale 1:500

DATUM 28.0			
FINISHED SURFACE			
EXISTING SURFACE	34.364	35.6	
CHAINAGE	0	27.891	33.955 35.6

Horizontal scale 1:500
Vertical scale 1:500



DESIGNED	GW	DRAWN	GB
APPROVED	<i>M.K. note</i>	RREQ 4706	DATE 05-12-23
DRAWING NUMBER			REV
37502-ALL-065			C

NOTES.

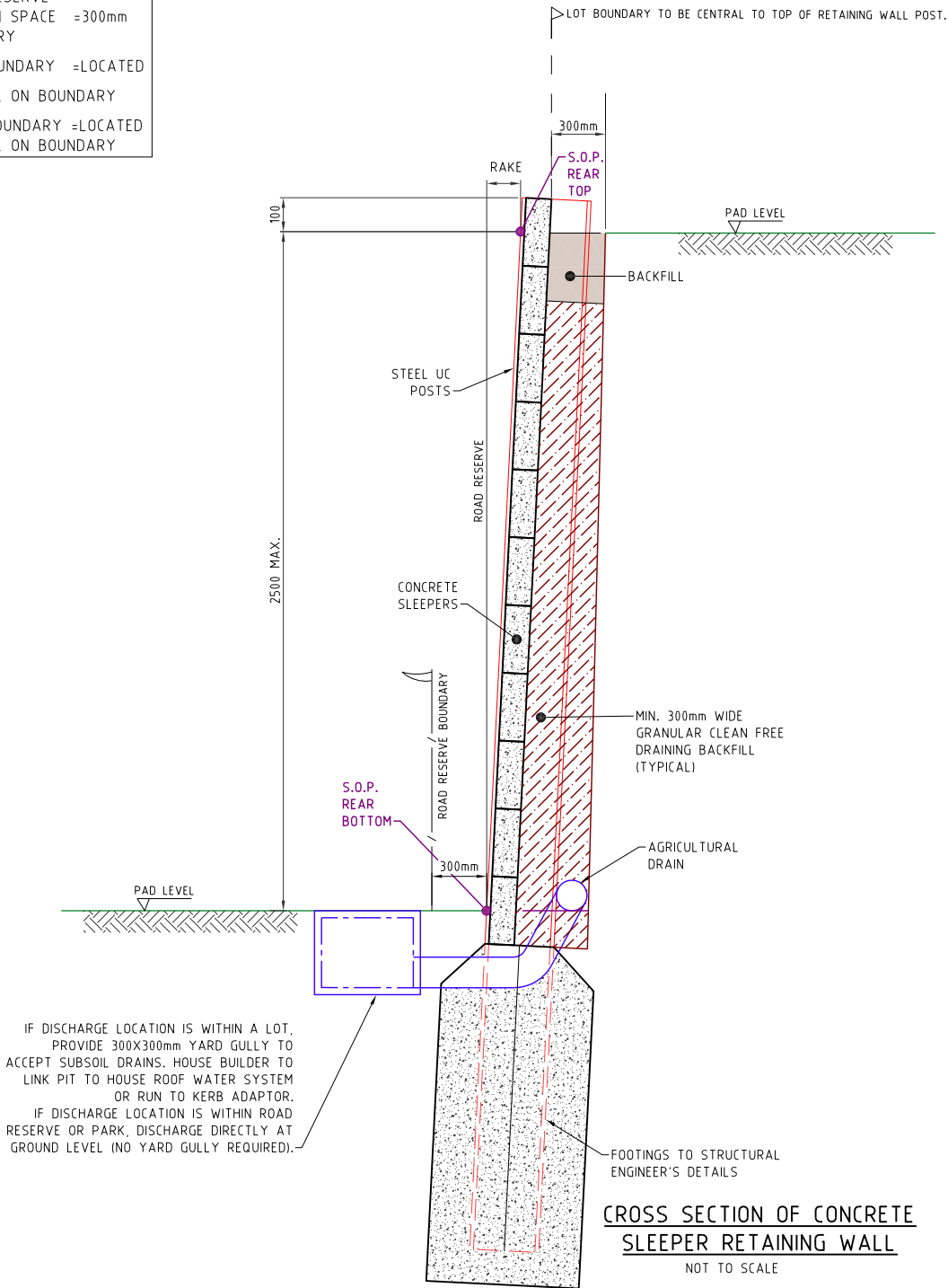
1. RETAINING WALL DETAILS ARE INDICATIVE ONLY.
2. CONTRACTOR TO ARRANGE FOR DESIGN & CONSTRUCTION OF WALLS BY RPEQ STRUCTURAL ENGINEER. CONTRACTOR TO PROVIDE STRUCTURAL CERTIFICATION OF DESIGN & FINAL CONSTRUCTION.
3. ALLOW FOR 5KPa LOADING TO WALLS EXCEPT ADJACENT TO ROADS WHICH REQUIRE A 10KPa LOADING.
4. CONTRACTOR TO CONFIRM LOCATION OF LOT BOUNDARY PRIOR TO COMMENCING WALL CONSTRUCTION.
5. THE BUILDING ON THE HIGHER SIDE OF THE RETAINING WALL MUST MAINTAIN AN OFFSET OR APPROPRIATE FOUNDATION STRUCTURES (EG. PIERS) IN ORDER TO ENSURE THE ENTIRE DEPTH OF THE RETAINING WALL IS FREE FROM THE ZONE OF INFLUENCE OF THE BUILDING/OVERBURDEN LOAD UNLESS OTHERWISE SPECIFIED BY STRUCTURAL ENGINEER.
6. STRUCTURAL ENGINEER TO DESIGN SLAB & PIER.
7. AGRICULTURAL DRAIN TO DISCHARGE TO 300x300mm STORMWATER PIT. HOUSE BUILDER TO CONNECT 300x300mm STORMWATER PIT TO ROOFWATER SYSTEM.
8. RETAINING WALL DESIGN TO ALLOW FOR ALL SERVICES (ADJACENT OR BELOW) & HAVE NO IMPACT.
9. SANDSTONE & PROPRIETARY RETAINING WALLS TO BE DESIGNED & CONSTRUCTED TO HAVE VERTICAL FACE UNLESS OTHERWISE AGREED BY THE SUPERINTENDENT.
10. ANY WALL GREATER THAN 0.9M HIGH TO INSTALL A FALL BARRIER AT THE TOP OF WALL. THE FALL BARRIER IS TO BE MAINTAINED UNTIL THE END OF THE MAINTENANCE PERIOD OR THE ASSOCIATED LOT IS SOLD BY THE DEVELOPER.
11. REFER TO LANDSCAPE ARCHITECT FOR RETAINING WALL COLOUR & FINISH.
12. SETBACKS- REFER TABLE
13. WHERE RETAINING WALLS ARE LOCATED WITHIN 2m OF A PMT SITE THE RETAINING WALL IS TO BE DESIGNED & CONSTRUCTED TO ALLOW EXCAVATION OF THE FULL PMT SITE TO A DEPTH OF 1.3m.

BOULDER WALL SPECIFIC NOTES

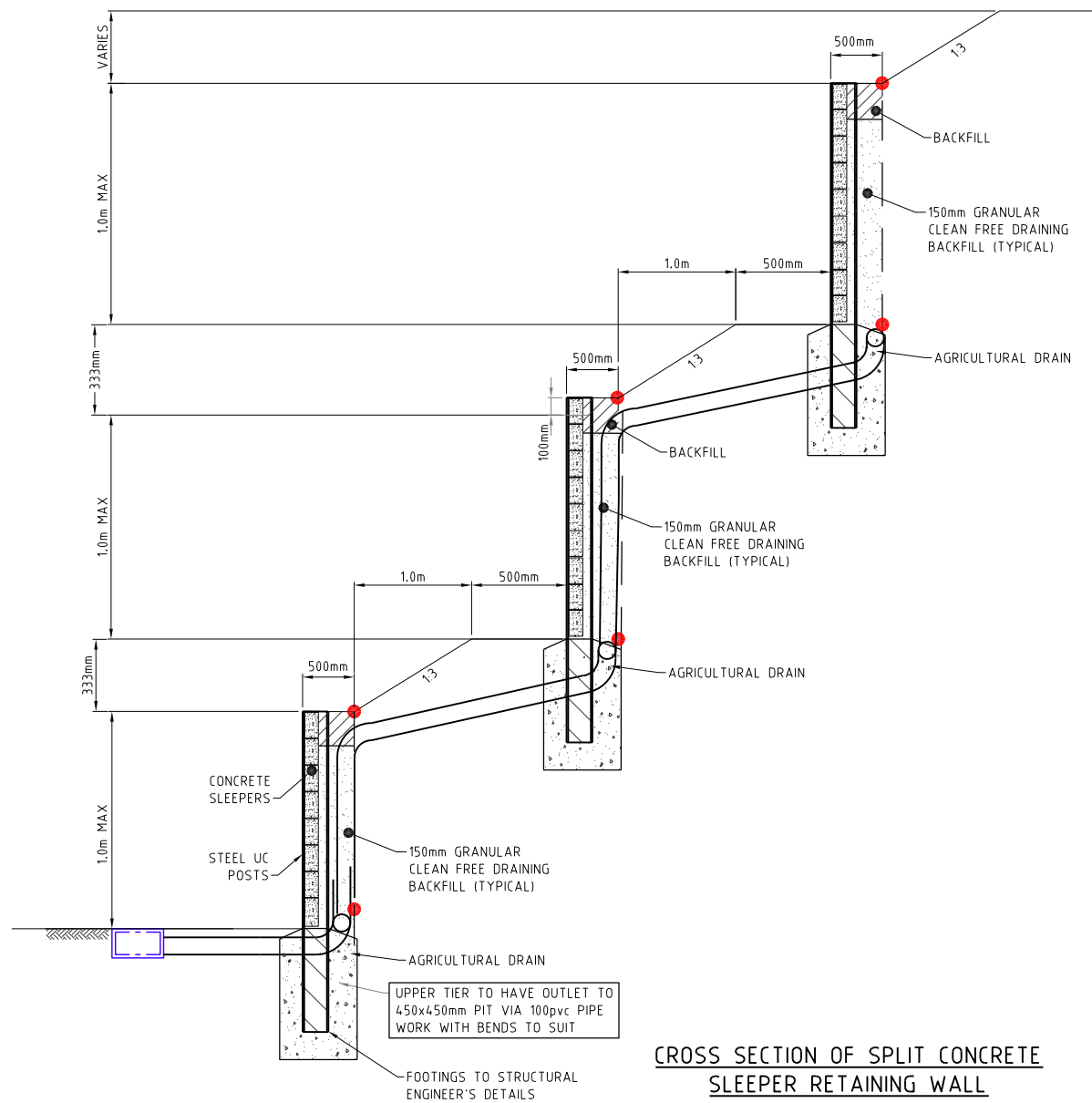
1. BOULDER WALL INDICATIVE ONLY. CONTRACTOR TO CONSTRUCT TO STRUCTURAL ENGINEERS SPECIFICATION
2. BOTTOM ROW OF BOULDERS TO BE KEYED INTO NATURAL GROUND 0.2m (MINIMUM)
3. CONCRETE FOOTING IF DIRECTED BY STRUCTURAL ENGINEER.
4. BOTTOM ROW OF BOULDERS TO BE LAID HORIZONTAL OR TO SLOPE INTO THE FACE OF THE BATTER

SETBACKS.

ROAD RESERVE
OR OPEN SPACE =300mm
BOUNDARY
SIDE BOUNDARY =LOCATED
CENTRAL ON BOUNDARY
REAR BOUNDARY =LOCATED
CENTRAL ON BOUNDARY



CROSS SECTION OF CONCRETE
SLEEPER RETAINING WALL
NOT TO SCALE



CROSS SECTION OF SPLIT CONCRETE
SLEEPER RETAINING WALL
NOT TO SCALE

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/17

Date: 19 September 2024



Queensland
Government

PROJECT NAME

Flourish

R. P. DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT



B	14-06-24	DETAILS ADDED & BOUDER WALL DETAILS MOVED	GB
A	05-12-23	CLIENT ISSUE	GB
REV	DATE	DESCRIPTION	INT

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ASSOCIATED CONSULTANTS

SAUNDERS HAVILL
SLR
PETER EUSTACE & ASSOCIATES

DRAWING TITLE

RETAINING WALL
DETAILS
SHEET 01



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DESIGNED GW	DRAWN GB
APPROVED <i>AKM</i>	RPEQ4706 DATE 05-12-23
DRAWING NUMBER	REV
37502-ALL-070	B

NOTES:

1. RETAINING WALL DETAILS ARE INDICATIVE ONLY.
2. CONTRACTOR TO ARRANGE FOR DESIGN & CONSTRUCTION OF WALLS BY RPEQ STRUCTURAL ENGINEER. CONTRACTOR TO PROVIDE STRUCTURAL CERTIFICATION OF DESIGN & FINAL CONSTRUCTION.
3. ALLOW FOR 5KPa LOADING TO WALLS EXCEPT ADJACENT TO ROADS WHICH REQUIRE A 10kPa LOADING.
4. CONTRACTOR TO CONFIRM LOCATION OF LOT BOUNDARY PRIOR TO COMMENCING WALL CONSTRUCTION.
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11. REFER TO LANDSCAPE ARCHITECT FOR RETAINING WALL COLOUR & FINISH.
12. SETBACKS- REFER TABLE
13. WHERE RETAINING WALLS ARE LOCATED WITHIN 2m OF A PMT SITE THE RETAINING WALL IS TO BE DESIGNED & CONSTRUCTED TO ALLOW EXCAVATION OF THE FULL PMT SITE TO A DEPTH OF 1.3m.

BOULDER WALL SPECIFIC NOTES

1. BOULDER WALL INDICATIVE ONLY. CONTRACTOR TO CONSTRUCT TO STRUCTURAL ENGINEERS SPECIFICATION
2. BOTTOM ROW OF BOULDERS TO BE KEYED INTO NATURAL GROUND 0.2m (MINIMUM)
3. CONCRETE FOOTING IF DIRECTED BY STRUCTURAL ENGINEER.
4. BOTTOM ROW OF BOULDERS TO BE LAID HORIZONTAL OR TO SLOPE INTO THE FACE OF THE BATTER

SETBACKS:

ROAD RESERVE
OR OPEN SPACE
BOUNDARY =300mm

SIDE BOUNDARY =LOCATED
CENTRAL ON BOUNDARY

REAR BOUNDARY =LOCATED
CENTRAL ON BOUNDARY

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/17

Date: 19 September 2024



PROJECT NAME

Flourish

R. P. DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT



A	14-06-24	CLIENT ISSUE	GB
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DRAWING TITLE

RETAINING WALL
DETAILS
SHEET 02



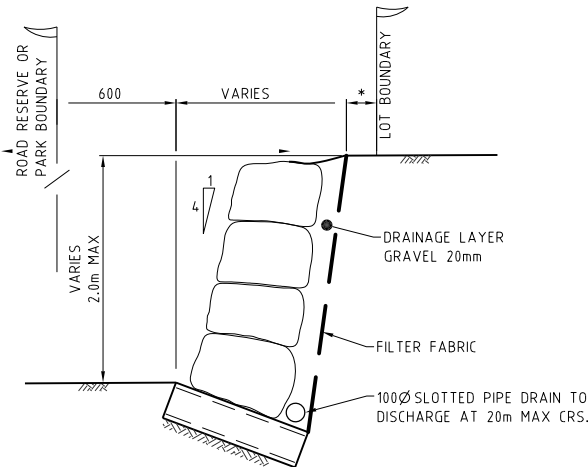
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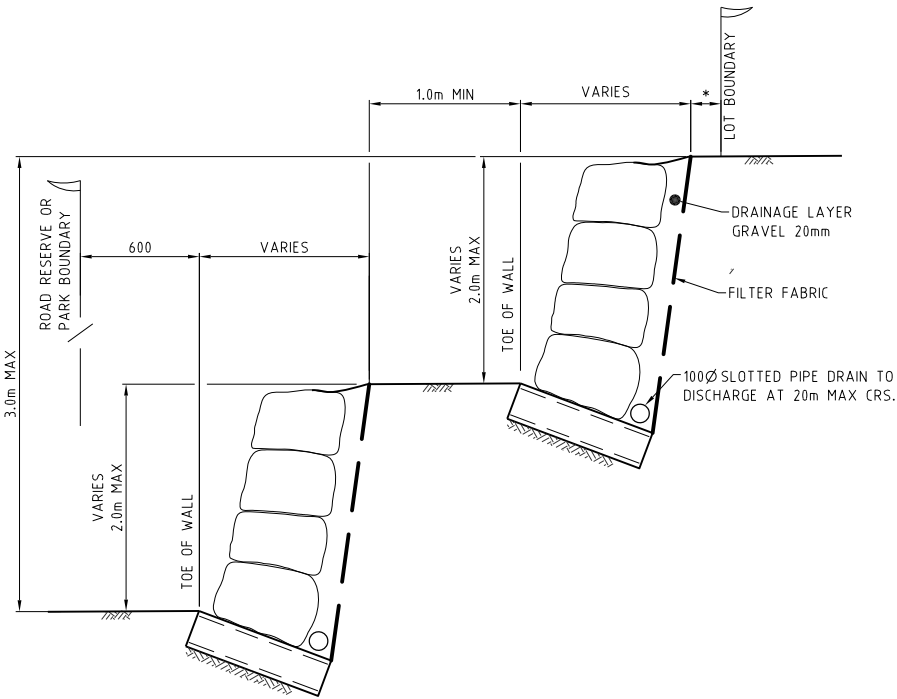
DESIGNED	GW	DRAWN	GB
APPROVED	<i>A.K.M.</i>	RPEQ4706	DATE 05-12-23

DRAWING NUMBER	REV
37502-ALL-071	A



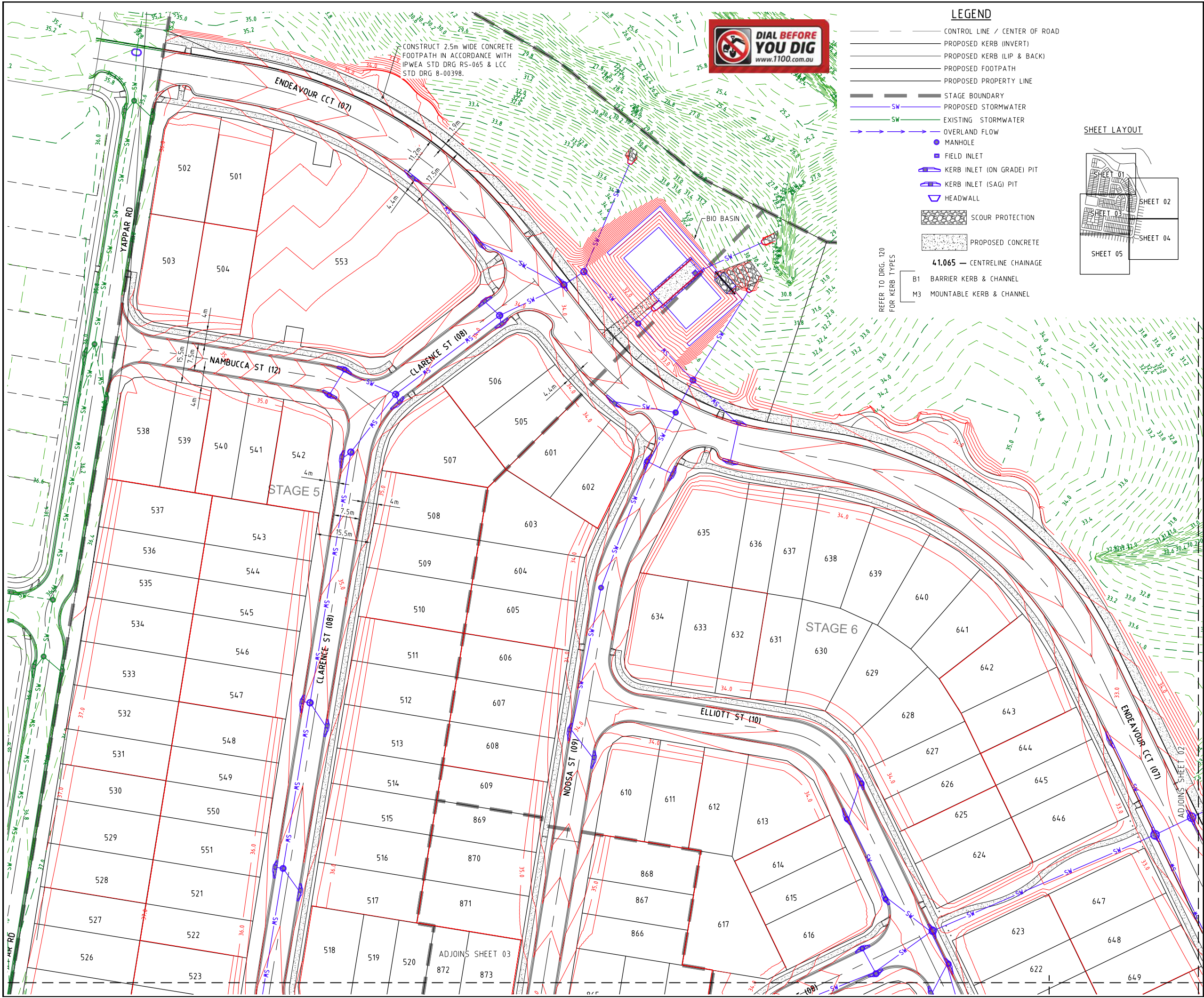
TYPICAL SECTION BOULDER WALL

NOT TO SCALE



TYPICAL STEPPED BOULDER WALL DETAIL

NOT TO SCALE



PROJECT NAME


Flourish

R. P. DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ


CLIENT



CEDAR WOODS
DEVELOPING TOMORROW TODAY



NORTH



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/17
Date: 19 September 2024



B	27-03-24	CONTOURS UPDATED	RK
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SAUNDERS HAVILL
SLR
PETER EUSTACE & ASSOCIATES

DRAWING TITLE

ROADWORKS
& DRAINAGE LAYOUT
PLAN
SHEET 01



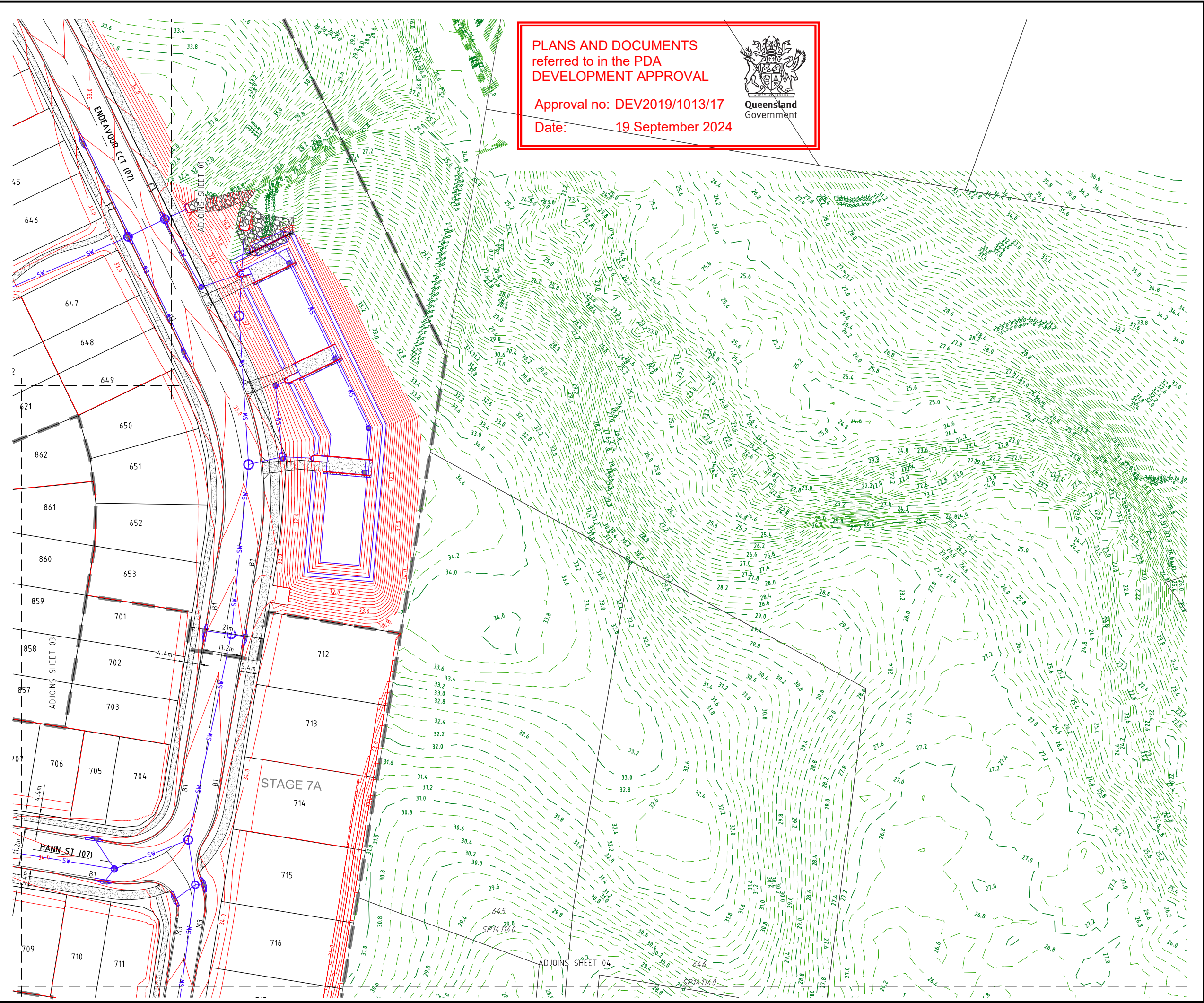
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urbansolutions
Civil Engineering
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Southport QLD 4215

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APPROVED	AK	REQ	4706
DRAWING NUMBER	37502-ALL-100		
REV	B		



PLANS AND DOCUMENTS
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DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/17

Date: 19 September 2024



PROJECT NAME

Flourish

R. P. DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

C	12-06-24	LOT LAYOUT UPDATED	GB
B	27-03-24	CONTOURS UPDATED	RK
A	05-12-23	CLIENT ISSUE	GB
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DRAWING TITLE

ROADWORKS
& DRAINAGE LAYOUT
PLAN
SHEET 02



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Southport QLD 4215

DESIGNED GW DRAWN GB

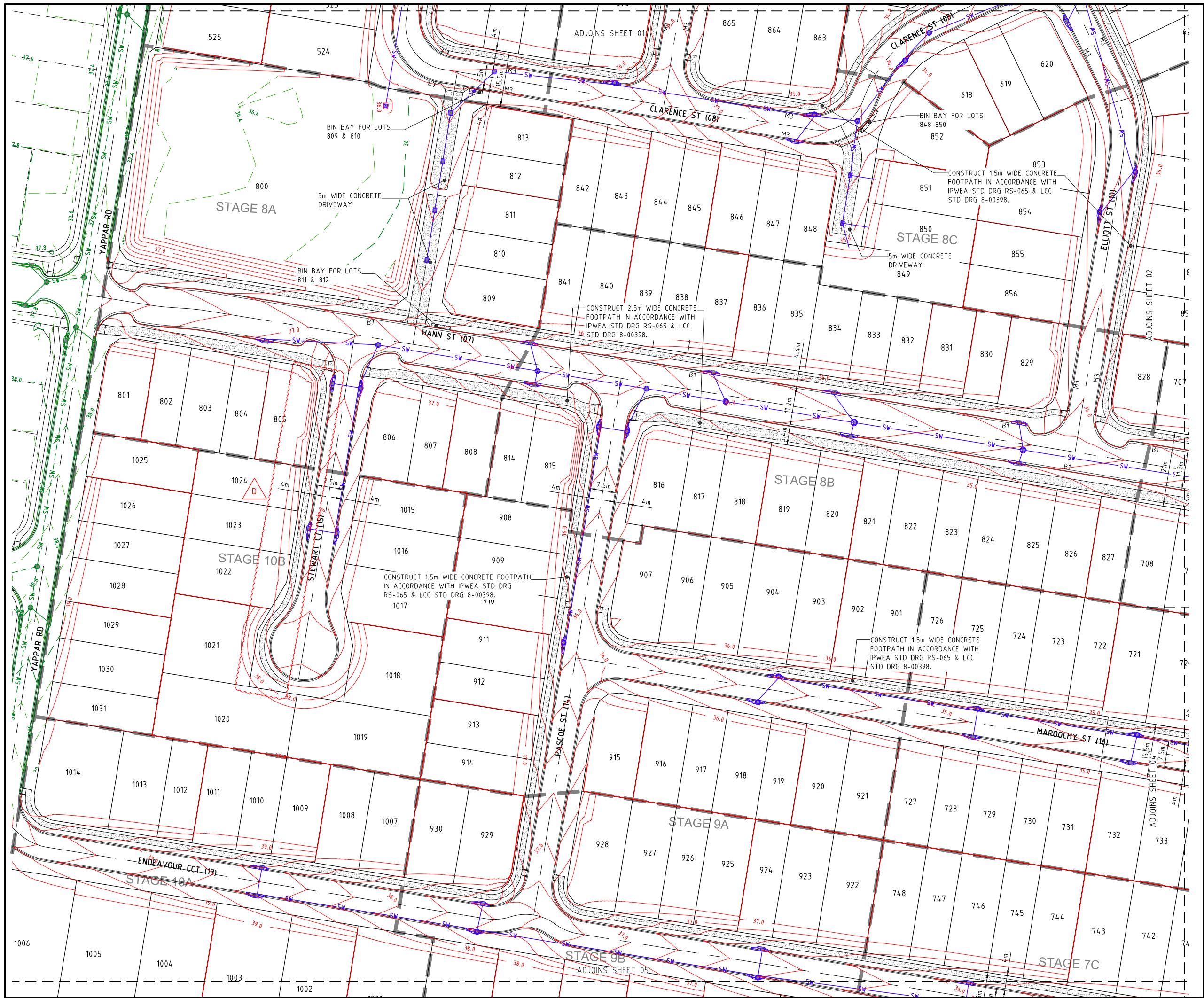
APPROVED *AK* RPEQ4706 DATE 05-12-23

DRAWING NUMBER

37502-ALL-101

REV

C




PROJECT NAME


Flourish

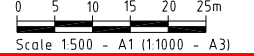
R. P. DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

**CEDAR WOODS**
DEVELOPING TOMORROW TODAY


NORTH


0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/17
Date: 19 September 2024

D	01-08-24	FOOTPATH ADDED	RK
C	12-06-24	LOT LAYOUT UPDATED	GB
B	27-03-24	CONTOURS UPDATED	RK
A	05-12-23	CLIENT ISSUE	GB
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SLR
PETER EUSTACE & ASSOCIATES

DRAWING TITLE

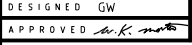
ROADWORKS & DRAINAGE LAYOUT PLAN
PLAN
SHEET 03

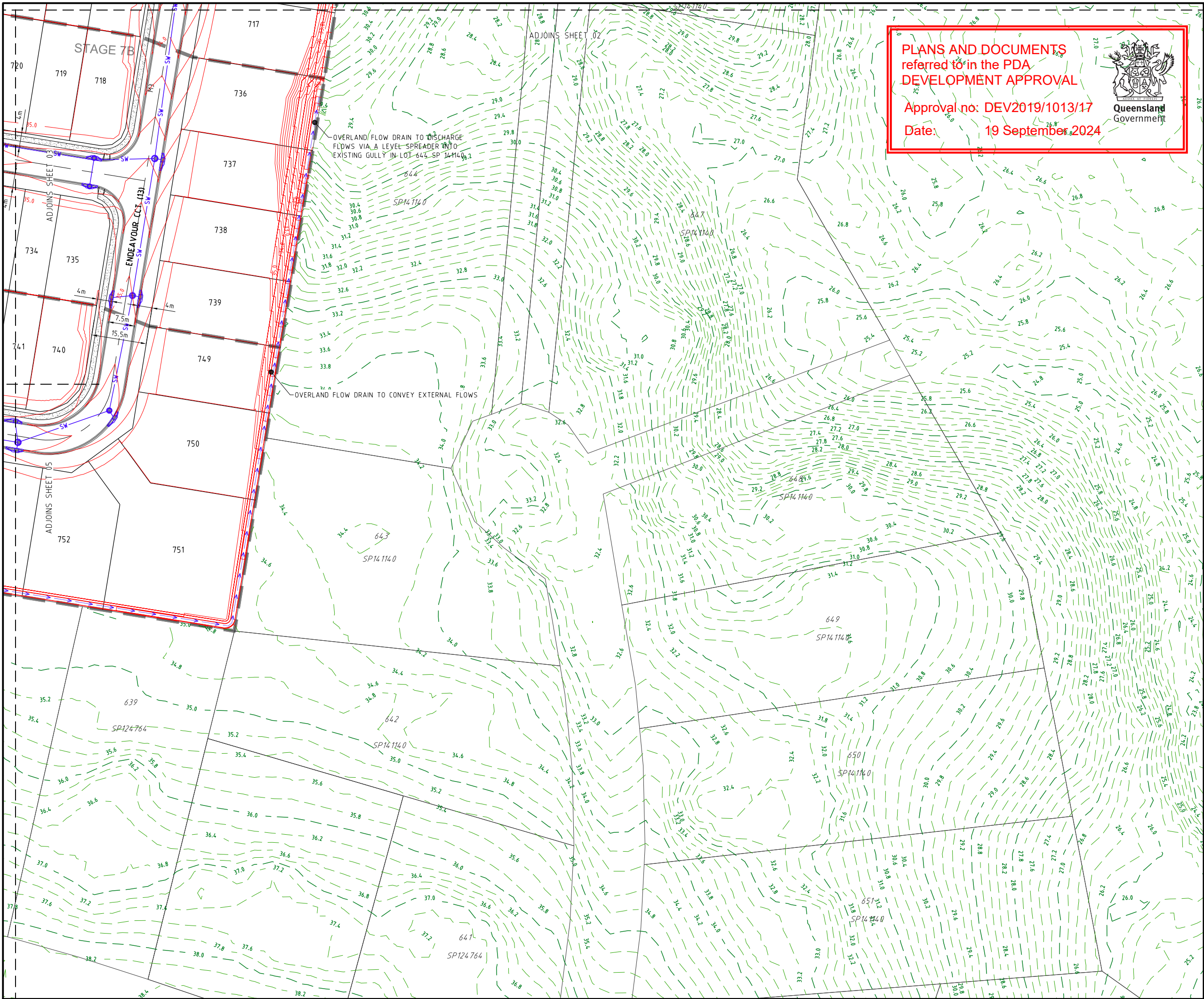
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PROJECT NAME


Flourish

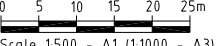
R. P. DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

**CEDAR WOODS**
DEVELOPING TOMORROW TODAY


NORTH


0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

C	12-06-24	LAYOUT UPDATED	GB
B	27-03-24	CONTOURS UPDATED	RK
A	05-12-23	CLIENT ISSUE	GB
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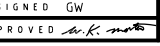
ROADWORKS
& DRAINAGE LAYOUT
PLAN
SHEET 04

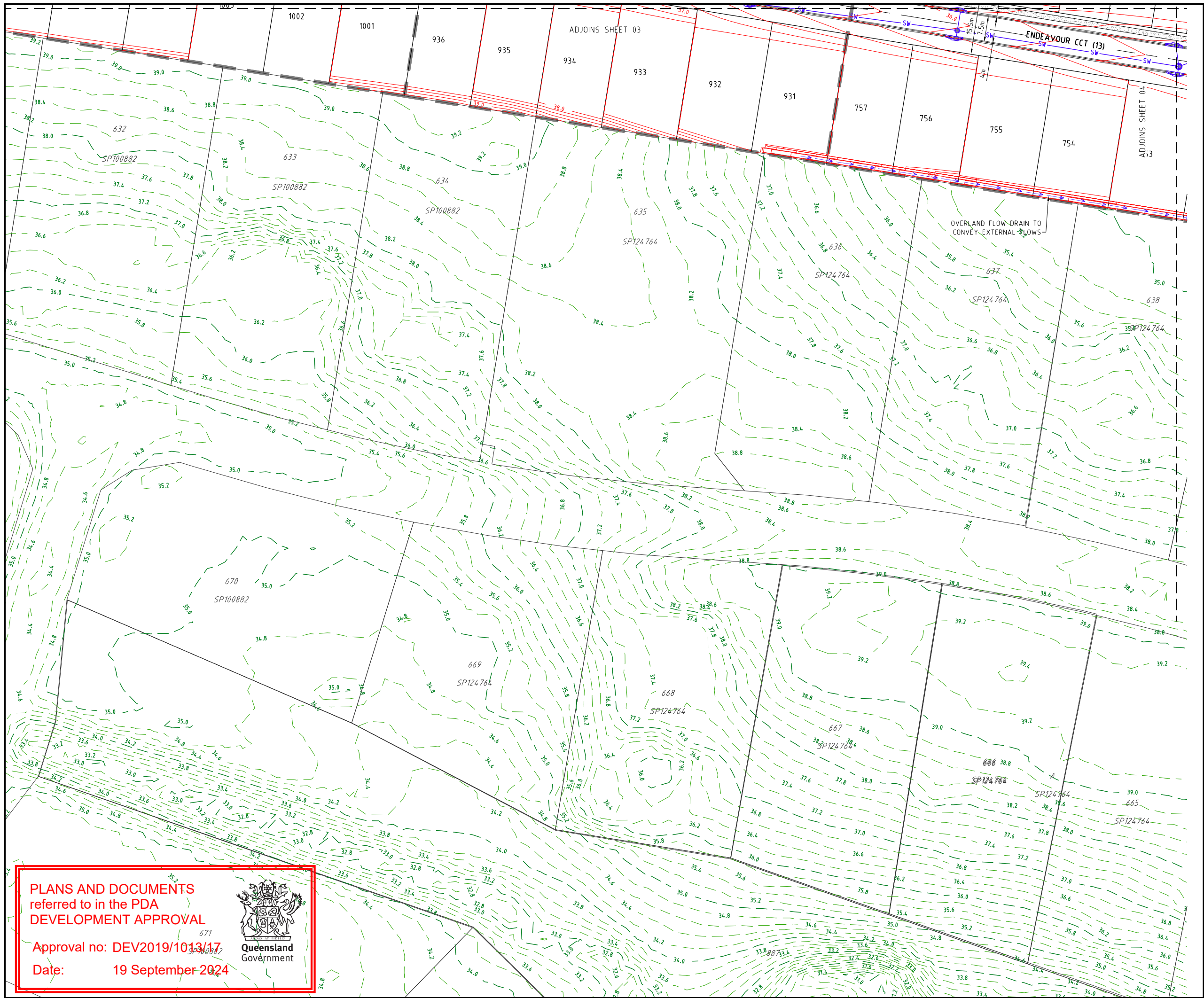
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DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/17

Date: 19 September 2024



PROJECT NAME

Flourish

R. P. DESCRIPTION
Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

CEAR WOODS
DEVELOPING TOMORROW TODAY

0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

C	12-06-24	LAYOUT UPDATED	GB
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ROADWORKS
& DRAINAGE LAYOUT
PLAN
LAYOUT 05

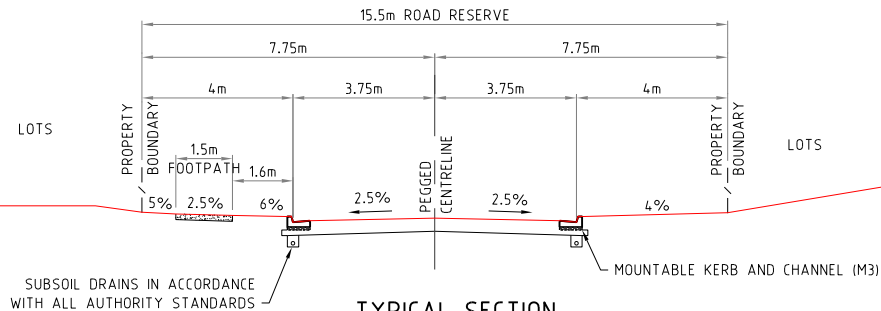
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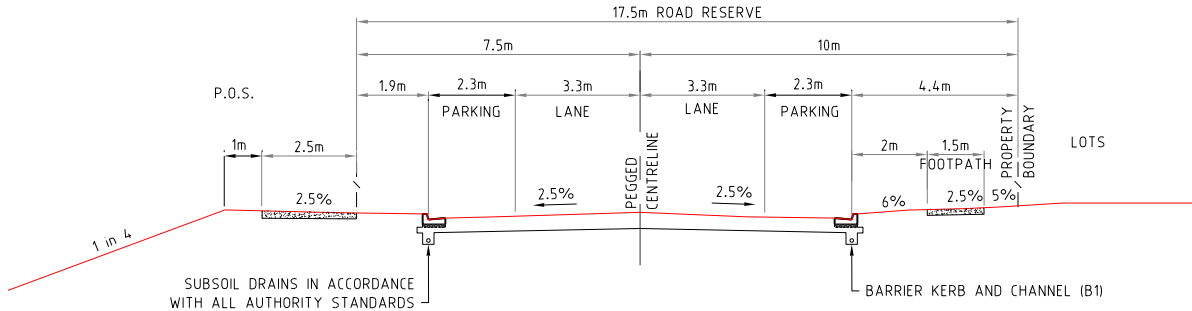
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DRAWING NUMBER		REV	
37502-ALL-104		C	



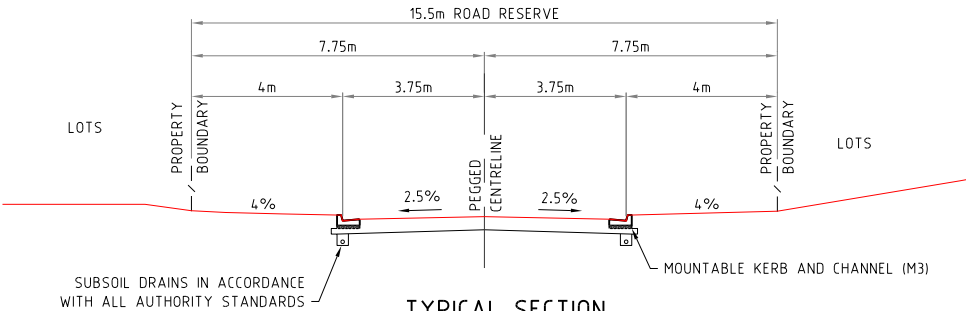
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7.5m ROAD-15.5m ROAD RESERVE
NEIGHBORHOOD ACCESS-NOT APPLICABLE TO ROAD 15

SCALE 1:100 - A1 (1:200 - A3)



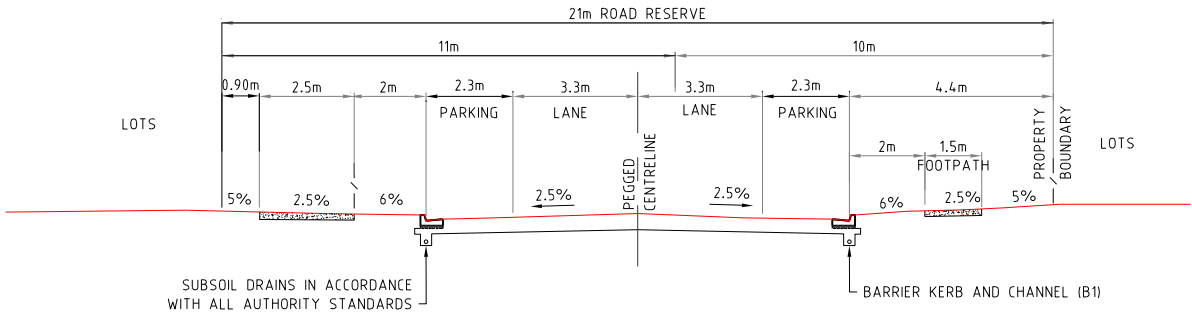
TYPICAL SECTION
11.2m ROAD-17.5m ROAD RESERVE
NEIGHBORHOOD CONNECTOR FRONTING PARK

SCALE 1:100 - A1 (1:200 - A3)



TYPICAL SECTION
7.5m ROAD-15.5m ROAD RESERVE
NEIGHBORHOOD ACCESS FOR ROAD 15

SCALE 1:100 - A1 (1:200 - A3)



TYPICAL SECTION
11.2m ROAD-21.0m ROAD RESERVE
NEIGHBORHOOD CONNECTOR

SCALE 1:100 - A1 (1:200 - A3)

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/17

Date: 19 September 2024



PROJECT NAME

Flourish

R. P. DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT



0 0.1 0.2 0.3 0.4 0.5m

Scale 1:10 - A1 (1:20 - A3)

0 0.2 0.4 0.6 0.8 1.0m

Scale 1:20 - A1 (1:40 - A3)

0 2 4 6 8 10m

Scale 1:200 - A1 (1:400 - A3)

0 10 20 30 40 50m

Scale 1:1000 - A1 (1:2000 - A3)

B	02-04-24	LANEWAY DETAIL DELETED	RK
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DRAWING TITLE

ROADWORKS
TYPICAL SECTIONS
SHEET 01

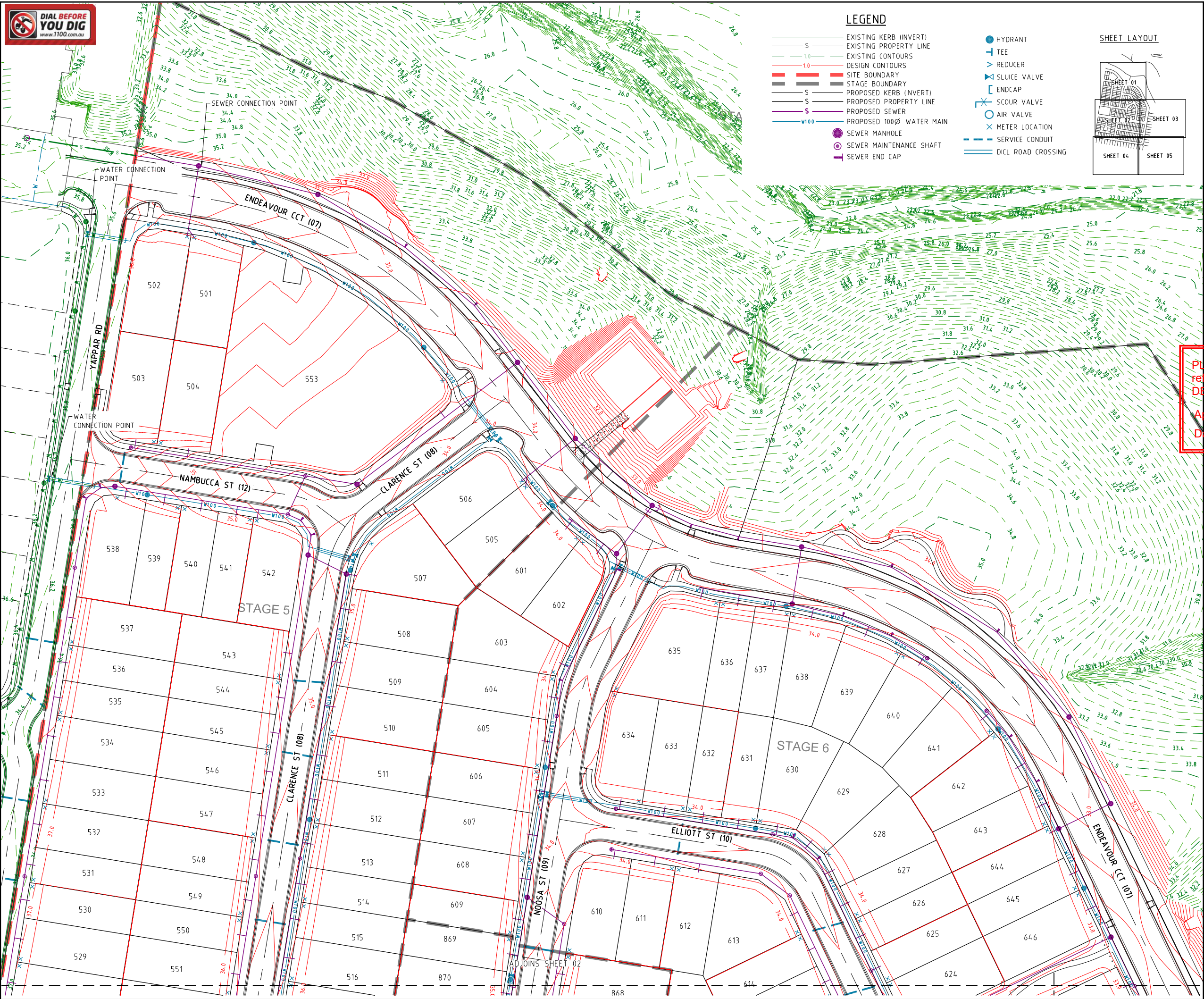


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APPROVED *AK* RPEQ4706 DATE 05-12-23

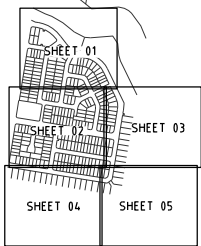
DRAWING NUMBER 37502-ALL-120 REV A



LEGEND

- EXISTING KERB (INVERT)
- EXISTING PROPERTY LINE
- EXISTING CONTOURS
- DESIGN CONTOURS
- SITE BOUNDARY
- STAGE BOUNDARY
- PROPOSED KERB (INVERT)
- PROPOSED PROPERTY LINE
- PROPOSED SEWER
- PROPOSED 100Ø WATER MAIN
- SEWER MANHOLE
- SEWER MAINTENANCE SHAFT
- SEWER END CAP
- HYDRANT
- TEE
- REDUCER
- SLUICE VALVE
- ENDCAP
- SCOUR VALVE
- AIR VALVE
- METER LOCATION
- SERVICE CONDUIT
- DICL ROAD CROSSING

SHEET LAYOUT



PROJECT NAME

Flourish

R. P. DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/17
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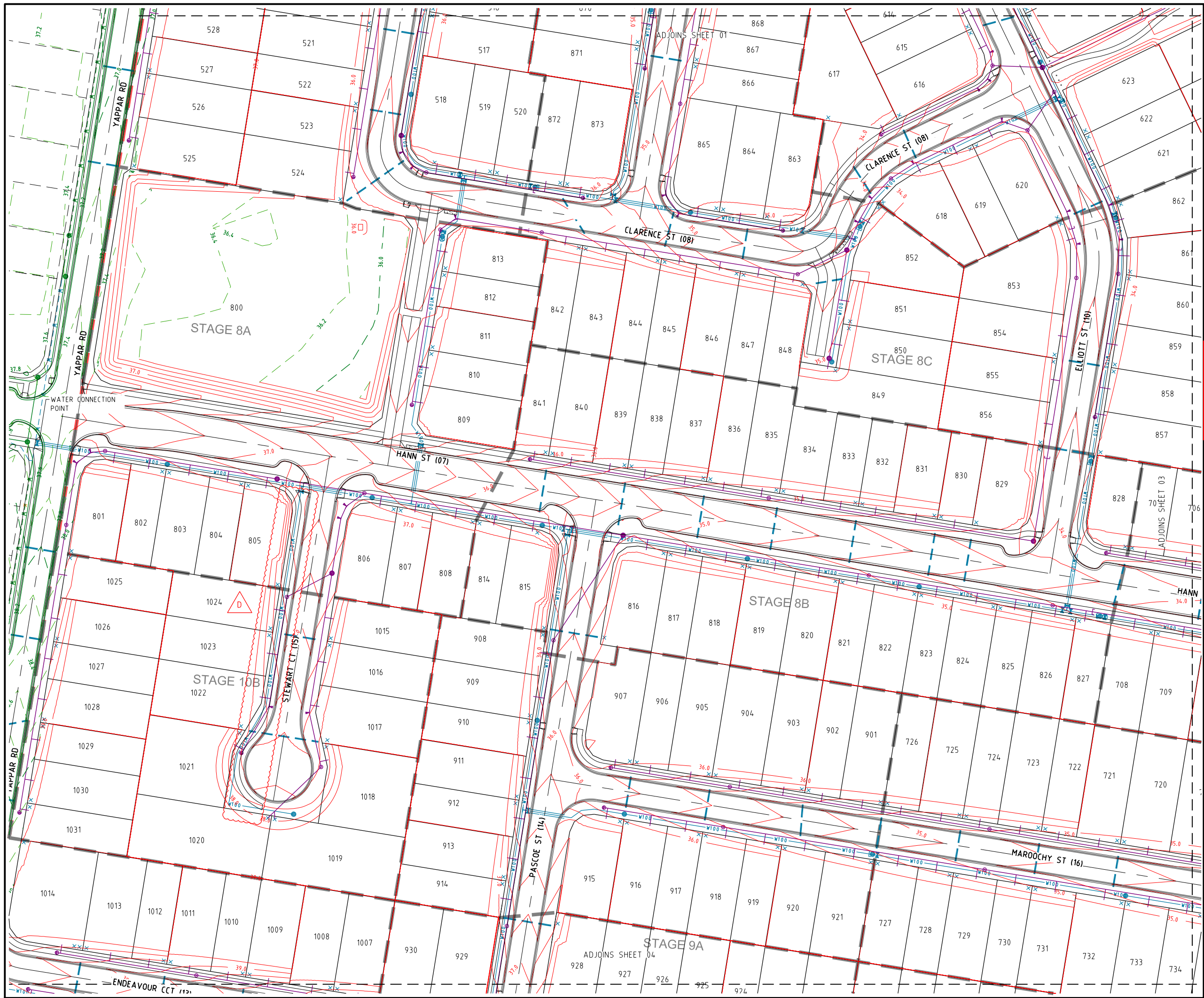
SEWER & WATER
RETICULATION PLAN
SHEET 01



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37502-ALL-500	B




PROJECT NAME


Flourish

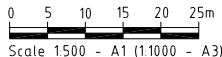
R. P. DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

**CEDAR WOODS**
DEVELOPING TOMORROW TODAY



NORTH


0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/17

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D	07-08-24	FOOTPATH ADDED	RK
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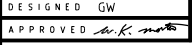
SEWER & WATER
RETICULATION PLAN
SHEET 02

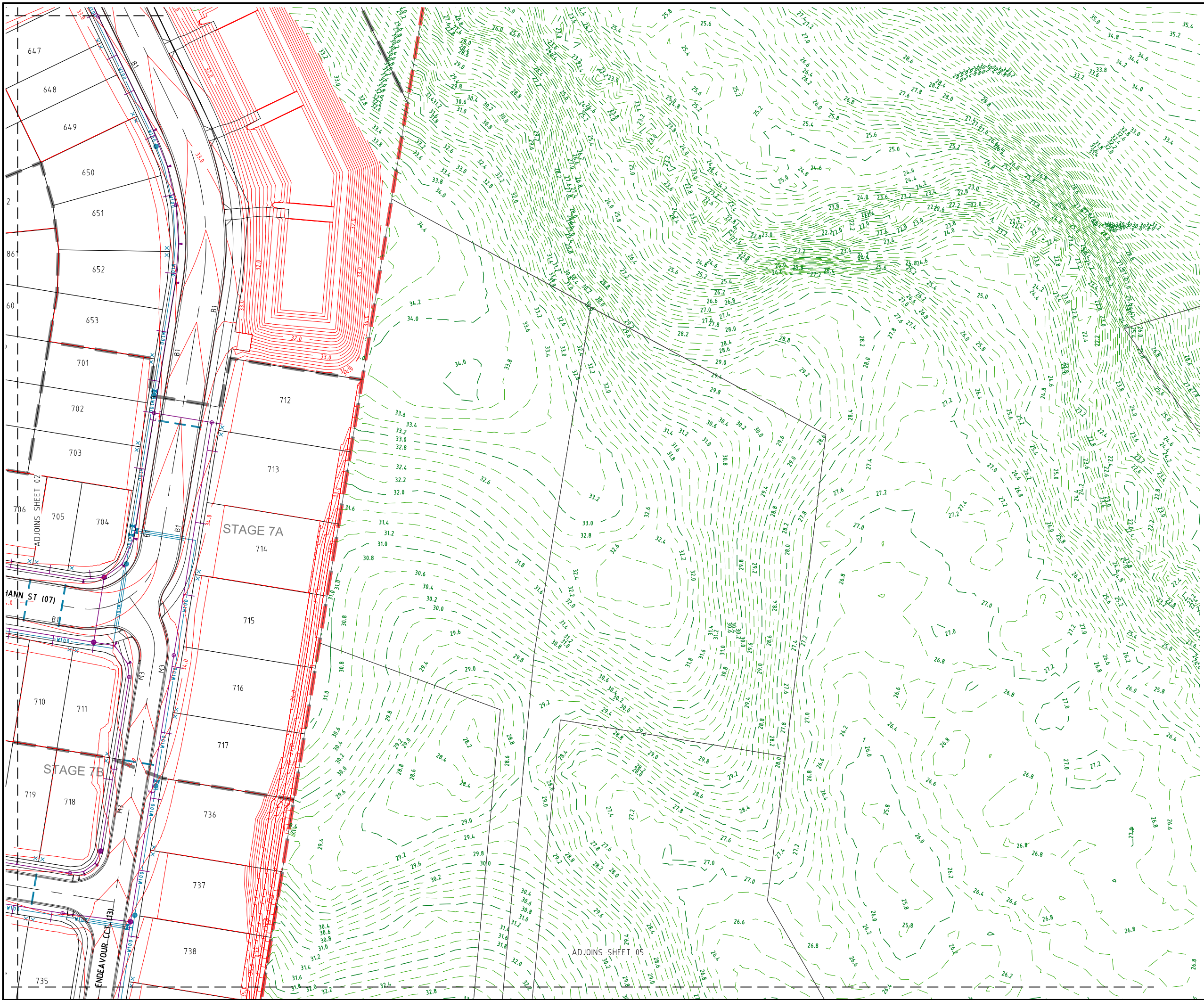
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PROJECT NAME

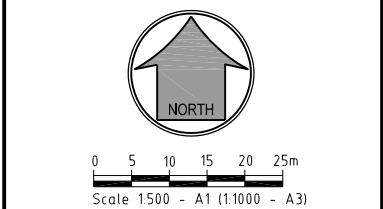
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LOCALITY OF SOUTH MACLEAN
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CEDAR WOODS
DEVELOPING TOMORROW TODAY



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SEWER & WATER
RETICULATION
PLAN
SHEET 03



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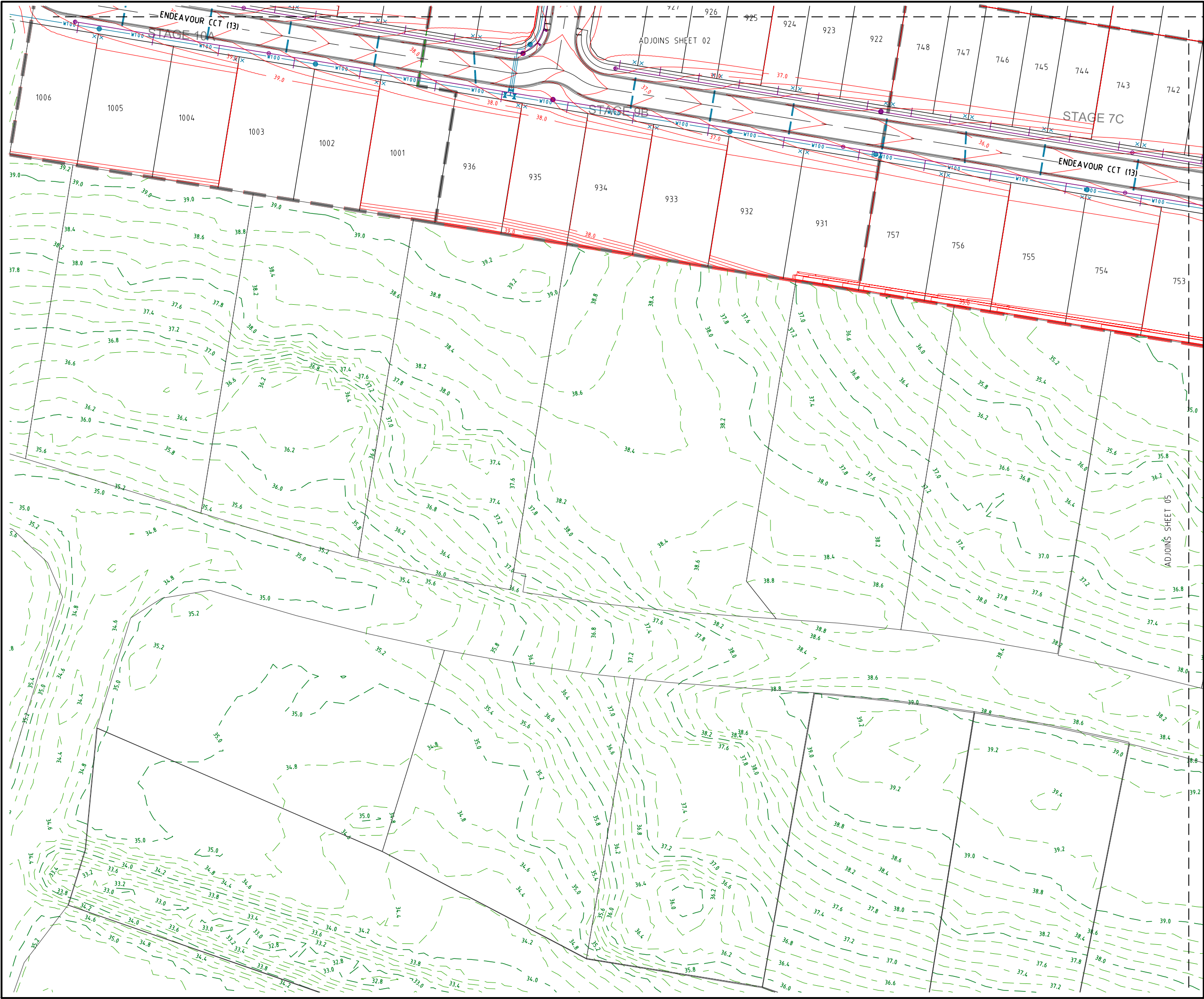
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DATE		05-12-23	

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37502-ALL-502	C



PROJECT NAME


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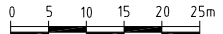
R. P. DESCRIPTION

Lot 30 SP309195
MOUNTAIN RIDGE ROAD
LOCALITY OF SOUTH MACLEAN
LOCAL AUTHORITY-EDQ

CLIENT

**CEDAR WOODS**
DEVELOPING TOMORROW TODAY


NORTH


0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2019/1013/17

Date: 19 September 2024


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DRAWING TITLE

SEWER & WATER
RETICULATION PLAN
SHEET 04

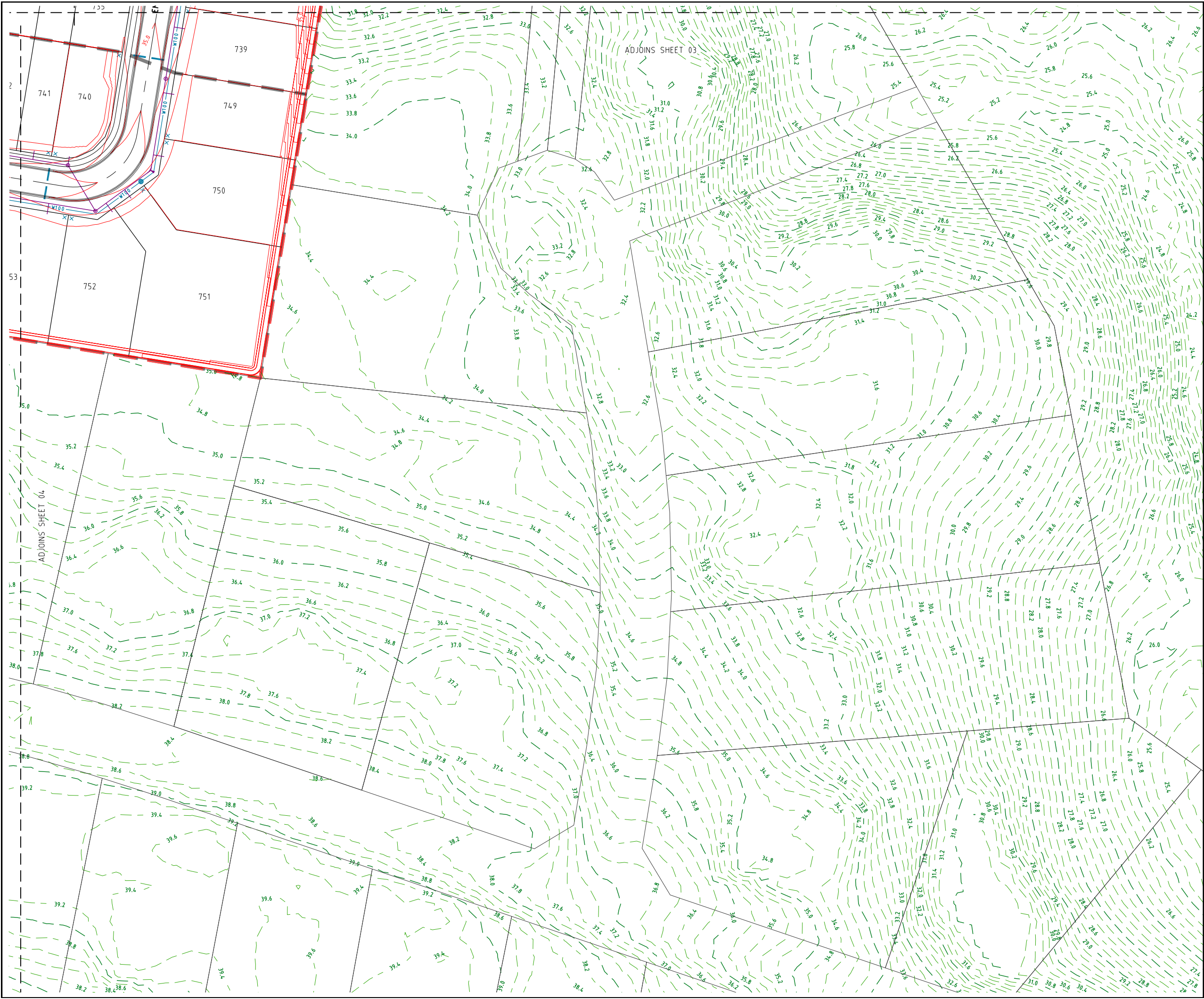
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37502-ALL-503			C



PROJECT NAME


Flourish

R. P. DESCRIPTION
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LOCAL AUTHORITY-EDQ

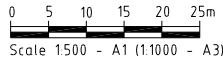
CLIENT



CEDAR WOODS
DEVELOPING TOMORROW TODAY



NORTH



0 5 10 15 20 25m
Scale 1:500 - A1 (1:1000 - A3)

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**SEWER & WATER
RETICULATION
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SHEET 05**



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