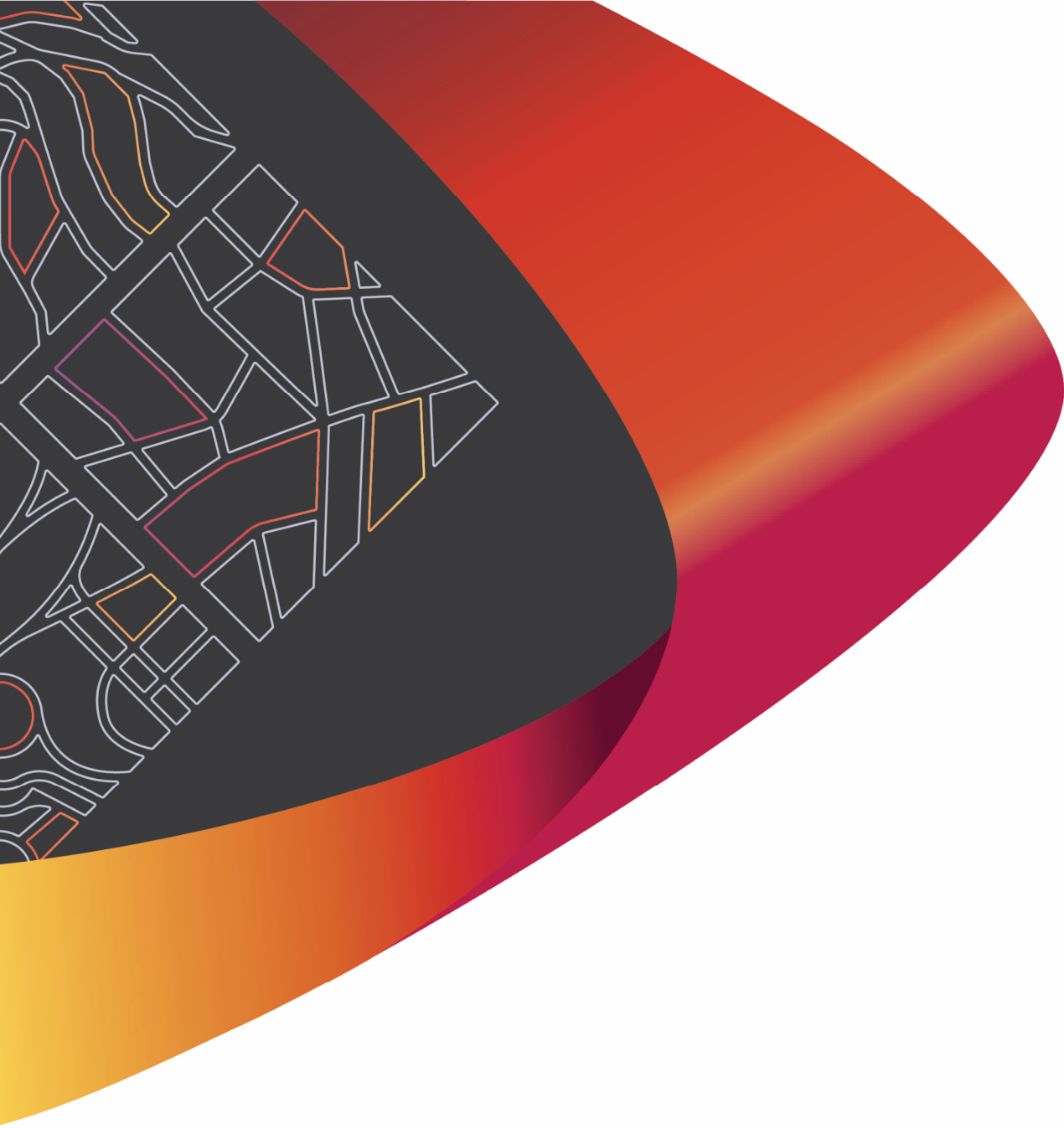


APPENDIX I

ENGINEERING SERVICES REPORT



MIRVAC

ROL13 – Precincts 5, 6 & 7 Everleigh

ENGINEERING SERVICES REPORT

Report No: MIR-1300/R2403580

Rev: 0




24 May 2024



Premise

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DOCUMENT AUTHORISATION					
Revision	Revision Date	Proposal Details			
0	24/05/24	Issue for Approval			
Prepared By		Reviewed By		Authorised By	
Nicholas Somerville		Andrew Langdon		Patrick Brady	

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1. INTRODUCTION

Premise was commissioned by Mirvac to prepare an Engineering Services Report for Precincts 5, 6 & 7, known as RoL 13, of the Everleigh development. Everleigh is located at Teviot Road, Greenbank and is part of the Priority Development Area (PDA) with EDQ being the assessing authority.

The proposed development consists of Precinct 5, Precinct 6 and Precinct 7. The deliverables of these precincts are list below with the Reconfiguration of a Lot (RoL) plan by Urbis shown in Figure 1.1.

- 354 residential lots
- A 13.4Ha super lot which will be subject to a future application for residential use.
- A 9.3Ha lot for a proposed high school.
- Delivery of a sewer pump station and associated mains (DCOP references SPS001, GM005, GM006 and RM003)
- Portion of trunk water main (DCOP reference WM005)
- Stormwater quality devices
- Neighbourhood and linear parks.

This report covers all engineering services that will be required to service the proposed development at a conceptual level for Development Approval. This report should be read in conjunction with the reports provided by Urbis (Town Planning). RoL Layouts by Urbis are included in Appendix A.



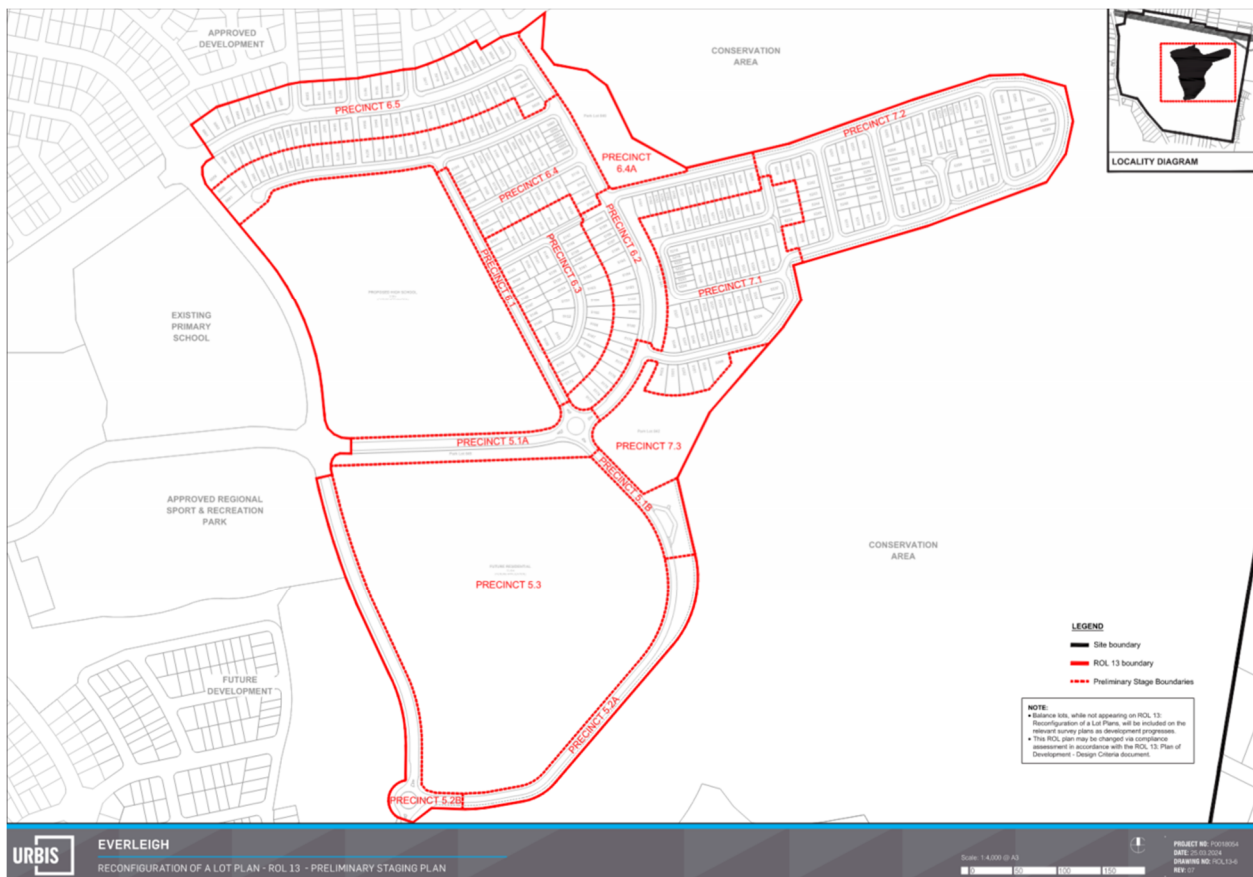


Figure 1.1: Precinct 5, Precinct 6 and Precinct 7 layout & sub-precinct split

2. SITE CHARACTERISTICS

Precincts 5, 6 and 7 have an approximate combined area of 53.4 ha and are located towards the east of the overall site. They adjoin Primary School and Central Park precincts to the west and Precincts 8 and 10 to the north.

The natural surface topography across RoL 13 includes an overland flow path running west to east, with maximum grades of up to 7% raising from this channel. The western edge of the subject area is bounded by completed earthworks and a completed road in the northern half.

Earthworks is currently being completed in the northern portions of RoL 13 to fill a shortfall of material in the approved Precincts 8 and 10. As such clearing of these borrow pits have also been completed under the Precincts 8 and 10 VCFMP.

The site is bound by conservation land to the east. The site has an active EPBC approval in place.

The proposed site location within the overall Everleigh development can be seen in Figure 2.1.





Figure 2.1: Site Location



3. DATA

Data for this report has been gathered from the following sources:

- Urbis Townplanners – Lot layout
- Economic Development Queensland (EDQ) – Greater Flagstone Priority Development Area plans and documents;
- Saunders Havill Group – Detail Survey (check);
- Premise Movement Network Infrastructure Master Plan, report number P000170/R02 (approval pending);
- Premise Sewerage Infrastructure Masterplan, report number MIR-0020/R01 (approval pending);
- Premise Water Infrastructure Masterplan, report number P000196/R01 (approval pending);
- Logan City Council – Existing services location (where applicable and relevant) and Planning Scheme 2015 development information;
- Detailed design and construction from DEV2018/999, DEV2020/1131 and DEV2022/1277
- Dial Before You Dig.
- ATP Consulting Engineers 'Traffic Noise Impact Assessment, Everleigh Green Bank, RoL 13 Application
- Engeny Everleigh Stormwater Masterplan, report number QC4060_005-REP-701-1
- Stormwater technical letter 'Everleigh RoL13 – Stormwater Quantity And Stormwater Quality Analysis' prepared by Engeny



4. SERVICES FOR DEVELOPMENT

4.1 EARTHWORKS

Earthworks will be required to facilitate the construction of the roads, allotments and parks proposed within Precincts 5, 6 and 7. The earthworks will consist of excavations, filling, permanent batters to existing surface level with maximum slope of 1 in 4 and batters between lots with a maximum slope of 1 in 2. Retaining walls will be constructed during civil works to provide level allotments. Retaining walls will be provided to lots where the height difference is 450mm or greater to a maximum height of 2.5m.

A preliminary 'as if complete' earthworks design has been carried out over the RoL 13 area. While the target for the earthworks design was to minimise the cut and fill volumes associated with the earthworks operation along with targeting a cut to fill volume balance, there were several constraints that needed to be considered which influenced levels. These constraints included:

- Interface to natural surface levels and adjoining developed precincts
- Interface to the conservation area
- Road Gradings
- Benching of allotments
- Maintaining the maximum grade across of the school site of 5%.
- Relationship between benched allotments and retaining walls
- Coordination with landscape design in linear parks and pedestrian lanes
- Stormwater drainage outlet and channel levels

The preliminary earthworks design for the site has identified that the overall earthworks cut and fill volumes result in a slight surplus of material, however this is based on concept levels through the future residential area in Precinct 5. The aim will be to reduce the cut through this area to have a slight shortfall in material.

To maintain 1 in 4 maximum batters along the conservation edge, 600mm high sandstone retaining walls have been utilised so that earthworks does not cross the boundary. This approach has been discussed with Logan City Council who stipulated the 600mm maximum height for passive surveillance. Areas where walls are required are shown on plan.

We note that due to the location of certain pad mount transformers along the conservation edge, an Energex retaining wall be required within their normal 4.8m x 5.0m to allow a flat surface for them to sit on.

Vegetation clearing will be required to allow earthworks operations to commence up to the conservation edge. Typically, a 100m bushfire buffer zone to maintenance as per the Bushfire Management Plan. Due to the conservation edge, this cannot be met. To achieve a suitable BAL rating, a 20m esplanade road reserve borders the entire edge. The additional 6m in this road reserve is to allow for interface earthworks to the natural surface.



The proposed earthworks design and extent can be seen on the Preliminary Earthworks Sketch Plans Provided in Appendix B.

4.2 EROSION & SEDIMENT CONTROL

Erosion and Sediment Control (ESC) measures will be required during all stages of development from site establishment to project completion. An Erosion and Sediment Control program will be designed and detailed during the detailed design phase.

4.3 ROADWORKS

Vehicle access to the site area will be via Anderson Drive and Ivory Parkway/Everleigh Drive through the recently completed Precinct 9 and previously completed school precinct. There will another, lower order access, through Guroman Drive once Precincts 8 and 10 are constructed which will link back up to the nearest roundabout on Anderson Drive to Teviot Road.

4.3.1 INTERNAL ROADS

The road layout has been developed in accordance with the road typologies nominated in the approval pending Movement Network Infrastructure Master Plan (MNIMP). Noting however the typologies are consistent with the existing MNIMP.

The roads servicing the Precincts 5, 6 and 7 include:

- Anderson Drive – Neighbourhood Connector 1
- Unnamed Road 103 – Neighbourhood Connector 1
- Guroman Drive – Neighbourhood Connector 2
- All other roads – Access Street (typical, park & conservation), including driveway extension.

The conservation typology of the Access Street is a new type for this application and has been included in the recently submitted MNIMP update. This road type is an Access Street pavement type within a 20m road reserve to allow for interface earthworks to the conservation area and additional bush fire management.

A Road Hierarchy Plan showing the above road typologies located within the precincts can be seen in Appendix C.

All allotments can be accessed from the proposed internal road network via direct driveway access or the dedicated driveway access reserves provided. The proposed roads will be provided with concrete kerb and channel, 1.5m minimum width concrete footpaths or shared paths and minimum 4m wide verges which accommodate necessary service corridors as required by Logan City Council. We note that certain verges are reduced to 2.2m when fronting park or open space.

Internal Road Functional plans detailing the Precinct 5, 6 and 7 internal road network can be seen in Appendix D.



4.4 NOISE ATTENUATION

A traffic noise impact assessment has been undertaken by ATP Consulting Engineers (ATP). ATP undertook traffic noise propagation modelling to consider the future traffic flows for a planning horizon of 2044. Based on the results of the traffic noise impact assessment for the ROL 13 (Precincts 6 and 7) of the Everleigh development, the following is concluded:

- Teviot Road does not affect the noise amenity at the allotments within ROL 13
- Residential dwellings fronting Anderson and Guroman Drive have to be designed as per AS3671-1989 to mitigate traffic noise ingress. Refer Figure 6.1 of the below mentioned report.
- A setback distance of 10m and 5m from the lot boundary facing Anderson and Guroman Drive, respectively, must be imposed to comply with the outdoor play area and outdoor learning area criterion for educational facilities.
- Acoustic upgrades are required for educational facilities located within 50m from the boundary facing Anderson and Guroman Drive.

ATP Engineers have stated within their Traffic Noise Impact Assessment Everleigh, Greenbank ROL10 Application report *'Provided the recommended planning and design noise control measures are implemented in the construction of Everleigh development ROL 13, road traffic noise will not impose any further constraints on the establishment of this stage of the development.'*

Refer to ATP Consulting Engineers 'Traffic Noise Impact Assessment, Everleigh Green Bank, RoL 13 Application' report attached as part of the application documentation for further information.

4.5 TRAFFIC

A Traffic Impact Assessment has been prepared which addresses the suitability of the proposed Precincts 5, 6 and 7 site layout and road typologies, and determines traffic volumes in accordance with overall site data. The Traffic Impact Assessment provides confirmation of the above items with consideration to relevant guidelines, standards, and approved documents.

The Traffic Impact Assessment can be seen in Appendix E (supplied in separate document due to size).



4.6 STORMWATER DRAINAGE

The proposed piped roofwater drainage, underground drainage and major storm overland flow for this site will be designed in accordance with EDQ Guideline 13, Logan City Council and QUDM stormwater design guidelines. It is proposed that a network of gully pits and underground pipes will be constructed to capture and convey stormwater collected from allotments and roadways towards two new bioretention basins at a discharge point in the southeastern corner of the subject site. The area is nominated as Precinct 7.3 on the reconfiguration plans. There is a portion of the RoL 13 piped network which will discharge into the existing Anderson Drive pipe network which discharges into the future wetland.

The major storm overland flows generated from the Precincts 5, 6 and 7 catchments will be contained in the road reserves and conveyed to multiple discharge points including Anderson Drive for a portion of the north western catchment where it discharges into the interim wetland/detention arrangement, and various points along the conservation boundary for the eastern catchments. The overland flows discharging directly into the conservation area will flow through riparian revegetation zones.

Refer to the Preliminary Stormwater Drainage Plans provided in Appendix F and stormwater technical letter 'Everleigh RoL13 – Stormwater Quantity And Stormwater Quality Analysis' prepared by Engeny for further details.

4.7 STORMWATER QUANTITY & QUALITY

To allow for the multiple discharge points directly into the conversation area, the majority of flows from Precincts 5, 6, 7 are not detained. In accordance with the Everleigh Stormwater Masterplan prepared by Engeny, the central wetland area is designed to hold back major flows from that receiving catchment to allow the flows generated in this subject area first. Small catchments in the north and west of the precincts flow into the wetland area for detention.

Details on the proposed Stormwater Quantity and Quality treatments proposed for this precinct are provided within the stormwater technical letter 'Everleigh RoL13 – Stormwater Quantity And Stormwater Quality Analysis' prepared by Engeny. This stormwater technical letter outlines the water quantity and quality analysis undertaken in support of the Reconfiguration of a Lot (ROL) submission for Precincts 5, 6 and 7 of the Everleigh development.



4.8 SEWER RETICULATION

All proposed residential allotments within Precincts 5, 6 and 7 will be provided with a sewer property service. Property services will be connected to a sewer reticulation pipe network located within the road reserves.

The sewer reticulation network will be designed and installed in accordance with SEQ D&C Code, Logan City Council requirements and Premise prepared whole of site sewer design master plan.

There is one (1) internal sewer catchments within the ROL 13 area, however future Precincts 3 and 4 of the Everleigh development feed into the proposed pump station located within this application. This pump station also will also service the existing primary school and 7 lots within P10.5. There is a temporary pump station servicing the school located on the southeastern side of the Ivory Parkway/Anderson Drive roundabout. This temporary station must remain operational until the proposed pump station A is commissioned.

Sewer Pump Station A and its receiving 300mm gravity main and outgoing rising main are offsetting works under the Greater Flagstone Developer Charges and Offset Plan. Their DCOP IDs are SPS001, GM005, GM005 and RM003 respectively.

Table 4.8.1 below calculates the equivalent persons that Pump Station A will service.

1. Table 4.8.1

Catchment	Unit	EP / Unit	Total EP
Proposed RoL			
Precinct 6 & 7	354 Lots	2.8 EP per Lot	992
High School	1,800 students & 190 staff	0.1 EP per Lot	199
Total			1,191
Future RoL*			
Precinct 5.3	332 Lots	2.8 EP per Lot	930
Precinct 3 & 4	917 Lots	2.8 EP per Lot	2,565
Total			3,495
Existing			
Primary School	1,400 students & 140 staff	0.1 EP per Lot	154
Precinct 10.5	7 Lots	2.8 EP per Lot	20
Total			174
TOTAL OVERALL			4,860

Note - The future residential have been included for the sizing of the SPS and downstream gravity main systems. These future lots will be completed as part of a future ROL approval.*

PUMP STATION A

Pump Station A (SPS001) is positioned in Precinct 5 of the RoL. This pump station services the largest catchment within the Everleigh development and considered offsetable under the DCOP. The rising main



is proposed to head north from the pump station, then west along the proposed new neighbourhood collector road, on the opposite side of the road to the school, where it will tunnel bore under the existing roundabout. From here, it will run parallel to the existing temporary 63mm rising main but just internal to the future southern sports park lot, within an easement. The rising main will discharge into an existing discharge manhole on Ivory Parkway (east to drain) where it gravity feeds into the regional pump station.

The demand on the SPS A is summarised in the table 4.8.2 below

2. Table 4.8.2

Category	Unit	EP / Unit	Total EP	Total ADWF	Total PWWF
Residential	1,610 Lots	2.8 EP per Lot	4,861	11.25 L/s	56.26 L/s
School	3,200 students & 330 staff	0.1 EP per pupil			

Note, A residential lot average day weather flow (ADWF) of 200L/EP/Day and peak wet weather flow (PWWF) of 1000L/EP/Day were adopted in accordance with the Logan Water Alliance Desired Standards of Service (DSS) April 2014

A summary of the wet well sizing is shown in the table below. The required operational storage of the wet well was calculated as 162.03m³ and a wet well diameter of 2m was adopted. The preliminary calculated depth of the wet well is 9.48m.

3. Table 4.8.3

Wet Well Details	Value
Capacity (PWWF) (L/s)	56.26
Operating Storage (m ³)	4.22
Wet Well diameter (m)	2.0
Operating Depth (m)	1.34
Surface Level (m)	34.27
Incoming Invert Level (m)	27.53
Alarm RL (m)	27.38
Standby RL (m)	27.08
Pump TWL RL (m)	26.93
Pump BWL RL (m)	25.59
Floor Level RL (m)	25.19
Wet Well Depth (m)	9.48
Emergency Storage Time	4 hours at ADWF of 11.25L/s
Total Emergency Storage Volume Required (m ³)	162.03
Emergency Storage in Wet Well (Above Alarm Level) (m ³)	21.65
Additional Emergency Storage Required (m ³)	140.39

A summary of the SRM sizing calculations is shown in table 4.8.4 below. An DN250 PE100 DR11 pipe will have a suitable velocity of 1.74m/s with a PWWF of 56.26L/s. The duty point of the pump station was



calculated as 56.26L/s at 24.42m. Preliminary design plans for the Sewage Pump Station and rising main are attached with the Preliminary Sewer Reticulation Plans in Appendix H.

4. Table 4.8.4

	Value
PWWF	56.26 L/s
Length of SRM	560
Pipe Type	PE100 DR11
Nominal Size	DN250
Internal Diameter (mm)	203
Area (m²)	0.032
Velocity (m/s)	1.74
C value	130
Friction Head (m)	8.31
Low point (Pump BWL) (m)	25.59
High point (m)	41.70
Static Head Requirement (m)	16.11
Total Pump Head (m)	24.42
Pump Duty Point	56.26 L/s at 24.42m

The detailed design submission for pumping infrastructure and the receiving system shall be accompanied by the Odour Impact Assessment Report. This Impact Assessment shall address the odour impacts at the air discharge of associated gravity mains at the SPS location, the operation of the SPS, at the rising main discharge point to the downstream gravity network, and gas release valve arrangements.

As mentioned, the system will be discharging into an existing system which has already taken these loads into the account.

The sewer reticulation system details described above are shown on the Preliminary Sewer Reticulation Plans in Appendix H.

4.9 WATER RETICULATION

All proposed allotments in Precincts 5, 6 and 7 will be provided with a potable water service connection. A water reticulation pipe network will be provided in Precincts 5, 6 and 7 to provide service connections to each allotment. The water reticulation network will be designed and installed in accordance with the SEQ D&C Code, Logan City Council requirements and the recently resubmitted Water Infrastructure Masterplan prepared by Premise.

In the ultimate, fully developed, scenarios Precincts 5, 6 & 7 are serviced from a low-level connection on Greenbank Road. Due to how the site has been delivered, this connection will not occur until during or after the construction of these precincts, without a significant clearing and bulk earthworks operation occurring on top of what is required for the subject area. As such, to minimise the environmental exposure of the site and to ensure delivery of key pieces of infrastructure, such as the school lot and SPS, temporary pressure



reducing valves are proposed in similar locations to the boundary valves. The PRVs will be set to have minimal impact/pressure affect when the connection points switch.

The Anderson Drive extension will carry a portion of the 250mm main which is covered by the DCOP. ID number WM005.

The details described above are shown on the Preliminary Water Reticulation Plans in Appendix K



5. CONCLUSION

Based on the information collected and preliminary investigations carried out it has been established that the proposed development can be adequately serviced.

All service and infrastructure layouts are generally in accordance with the relevant approved infrastructure master plans, EDQ requirements, and other relevant and appropriate design standards and guidelines.



APPENDICES

APPENDIX A

MASTERPLAN LAYOUT



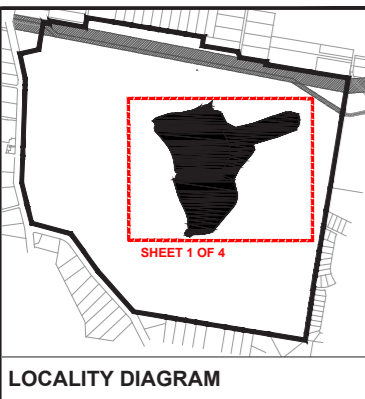
Everleigh

ROL 13: RECONFIGURATION OF A LOT PLANS

TEVIOT ROAD, EVERLEIGH

APRIL 2024





LOCALITY DIAGRAM

LEGEND

GENERAL

- ROL 13 Boundary
- Proposed Lot Boundaries
- Proposed Road Carriageways
- Proposed High School
- Future Residential
- Major Linear Park
- Neighbourhood Park
- Pedestrian Link
- Conservation Area
- Drainage Reserve
- Additional Verge for Bushfire Buffer

RESIDENTIAL - STANDARD LOTS

HOUSE (ATTACHED)

- Front Loaded Terrace
- Potential Attached Dwelling (refer to House (Attached) Design Criteria which prevails to the extent of any inconsistency with this plan)

HOUSE (DETACHED)

- Villa
- Premium Villa
- Courtyard
- Premium Courtyard
- Traditional
- Premium Traditional

MULTIPLE RESIDENTIAL

- Potential Duplex Dwelling

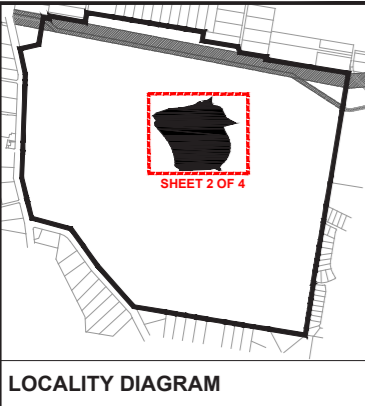
ROL 13 - YIELD SUMMARY

LOT TYPE	INDICATIVE LOT FRONTAGE	TOTAL	
		LOTS	%
Front Loaded Terrace	7.5m wide	23 lots	6.5%
Rear Loaded Terrace	7.5m wide	0 lots	0%
Villa	10m wide	49 lots	13.8%
Premium Villa	12.5m wide	113 lots	31.9%
Courtyard	14m wide	85 lots	24.0%
Premium Courtyard	16m wide	72 lots	20.3%
Traditional	18m wide	10 lots	2.8%
Premium Traditional	20m wide	2 lots	0.6%
TOTAL RESIDENTIAL LOTS		354 lots	100%
DENSITY (NET RESIDENTIAL DENSITY)		17.14 dw/ha	

NOTE:

- Balance lots, while not appearing on ROL 13: Reconfiguration of a Lot Plans, will be included on the relevant survey plans as development progresses.
- This ROL plan may be changed via compliance assessment in accordance with the ROL 13: Plan of Development - Design Criteria document.





LOCALITY DIAGRAM

LEGEND

- GENERAL**
- ROL 13 Boundary
 - Proposed Lot Boundaries
 - Proposed Road Carriageways
 - Proposed High School
 - Future Residential
 - Major Linear Park
 - Neighbourhood Park
 - Local Park / Pedestrian Link
 - Conservation Area
 - Drainage Reserve
 - Additional Verge for Bushfire Buffer

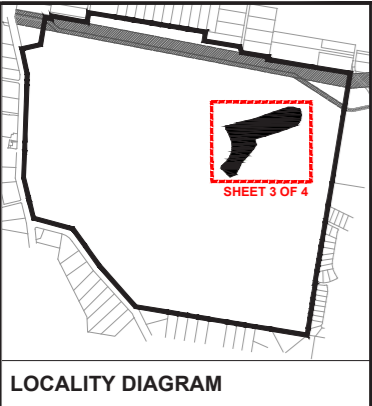
RESIDENTIAL - STANDARD LOTS

- HOUSE (ATTACHED)**
- Front Loaded Terrace
 - Potential Attached Dwelling (refer to House (Attached) Design Criteria which prevails to the extent of any inconsistency with this plan)
- HOUSE (DETACHED)**
- Villa
 - Premium Villa
 - Courtyard
 - Premium Courtyard
 - Traditional
 - Premium Traditional
- MULTIPLE RESIDENTIAL**
- Potential Duplex Dwelling

NOTE:

- Balance lots, while not appearing on ROL 13: Reconfiguration of a Lot Plans, will be included on the relevant survey plans as development progresses.
- This ROL plan may be changed via compliance assessment in accordance with the ROL 13: Plan of Development - Design Criteria document.





LOCALITY DIAGRAM

LEGEND

GENERAL

- ROL 13 Boundary
- Proposed Lot Boundaries
- Proposed Road Carriageways
- Proposed High School
- Future Residential
- Major Linear Park
- Neighbourhood Park
- Local Park / Pedestrian Link
- Conservation Area
- Drainage Reserve
- Additional Verge for Bushfire Buffer

RESIDENTIAL - STANDARD LOTS

HOUSE (ATTACHED)

- Front Loaded Terrace
- Potential Attached Dwelling (refer to House (Attached) Design Criteria which prevails to the extent of any inconsistency with this plan)

HOUSE (DETACHED)

- Villa
- Premium Villa
- Courtyard
- Premium Courtyard
- Traditional
- Premium Traditional

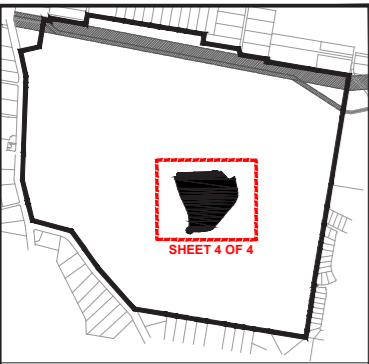
MULTIPLE RESIDENTIAL

- Potential Duplex Dwelling

NOTE:

- Balance lots, while not appearing on ROL 13: Reconfiguration of a Lot Plans, will be included on the relevant survey plans as development progresses.
- This ROL plan may be changed via compliance assessment in accordance with the ROL 13: Plan of Development - Design Criteria document.





LOCALITY DIAGRAM

LEGEND

GENERAL

- ROL 13 Boundary
- Proposed Lot Boundaries
- Proposed Road Carriageways
- Proposed High School
- Future Residential
- Major Linear Park
- Neighbourhood Park
- Local Park / Pedestrian Link
- Conservation Area
- Drainage Reserve
- Additional Verge for Bushfire Buffer

RESIDENTIAL - STANDARD LOTS

- HOUSE (ATTACHED)**
- Front Loaded Terrace
 - Potential Attached Dwelling (refer to House (Attached) Design Criteria which prevails to the extent of any inconsistency with this plan)

HOUSE (DETACHED)

- Villa
- Premium Villa
- Courtyard
- Premium Courtyard
- Traditional
- Premium Traditional

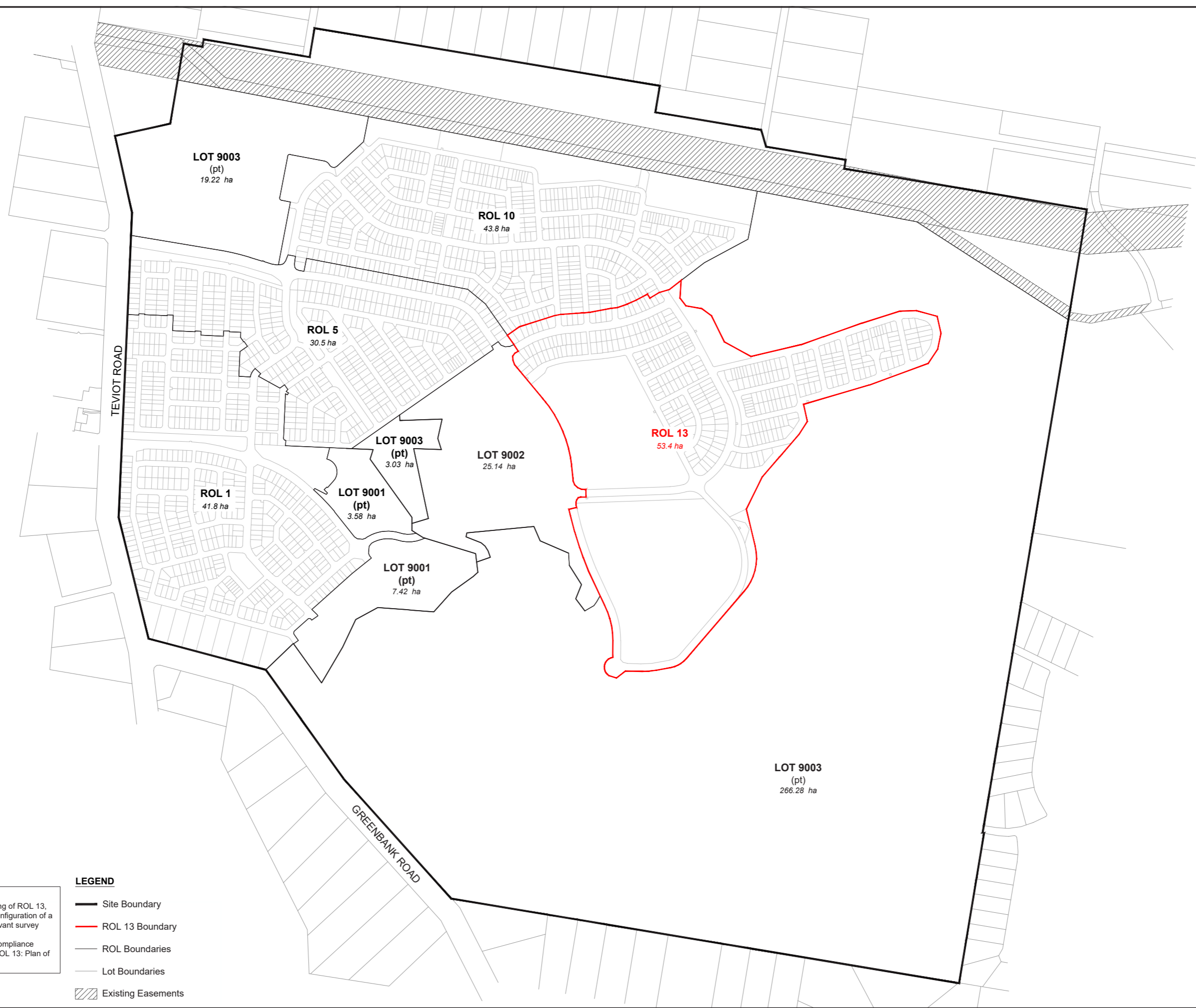
MULTIPLE RESIDENTIAL

- Potential Duplex Dwelling

NOTE:

- Balance lots, while not appearing on ROL 13: Reconfiguration of a Lot Plans, will be included on the relevant survey plans as development progresses.
- This ROL plan may be changed via compliance assessment in accordance with the ROL 13: Plan of Development - Design Criteria document.



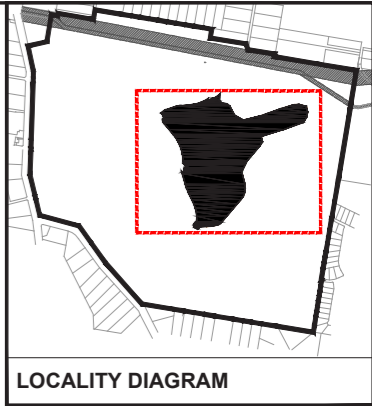
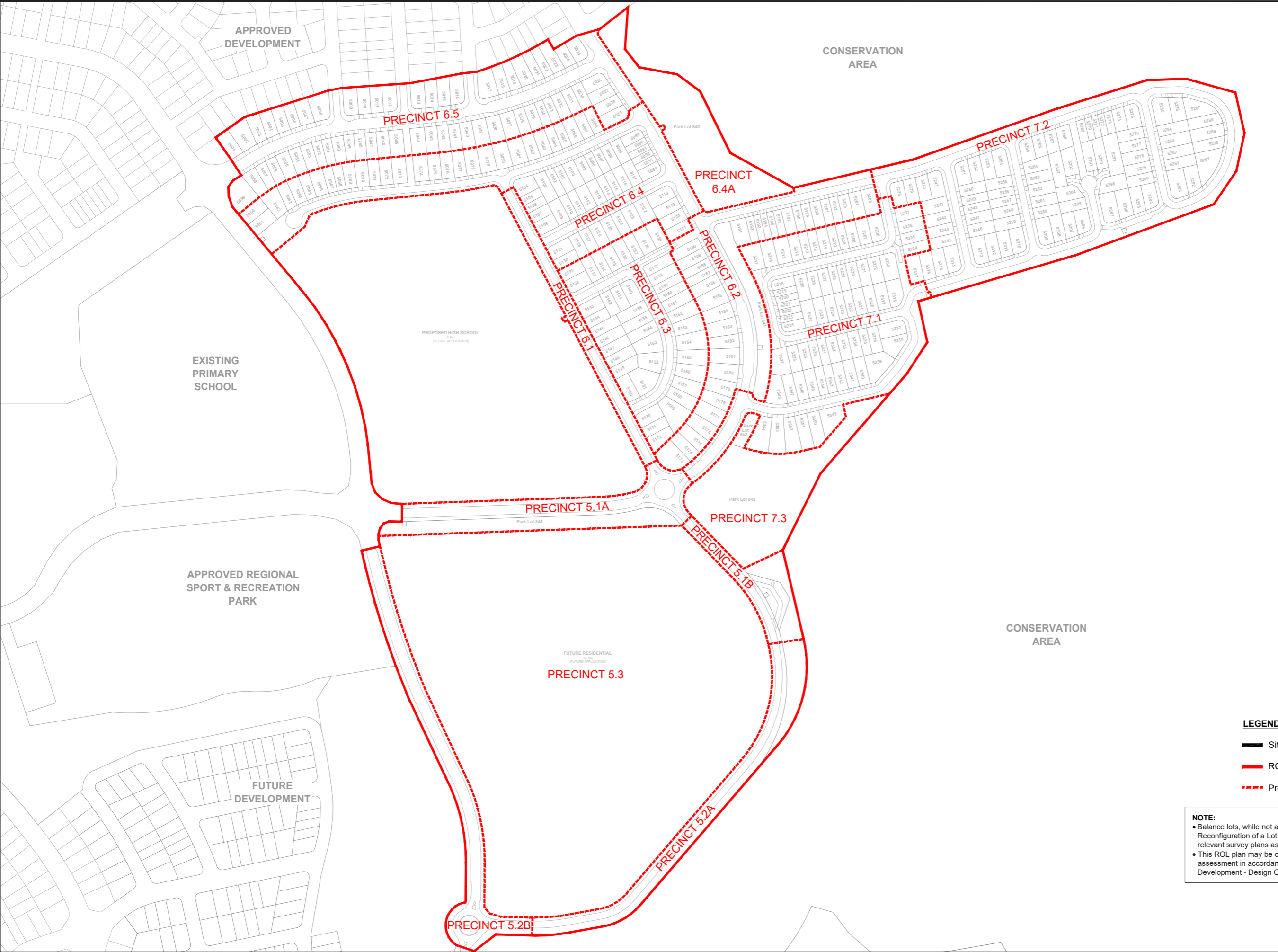


NOTE:

- Balance lots for the progressive staging of ROL 13, while not appearing on ROL 13: Reconfiguration of a Lot Plans, will be included on the relevant survey plans as development progresses.
- This ROL plan may be changed via compliance assessment in accordance with the ROL 13: Plan of Development - Design Criteria.

- LEGEND**
- Site Boundary
 - ROL 13 Boundary
 - ROL Boundaries
 - Lot Boundaries
 - ▨ Existing Easements





LEGEND

- Site boundary
- ROL 13 boundary
- - - Preliminary Stage Boundaries

NOTE:

- Balance lots, while not appearing on ROL 13: Reconfiguration of a Lot Plans, will be included on the relevant survey plans as development progresses.
- This ROL plan may be changed via compliance assessment in accordance with the ROL 13: Plan of Development - Design Criteria document.

APPENDIX B

PRELIMINARY EARTHWORKS PLANS



LEGEND - PROPOSED

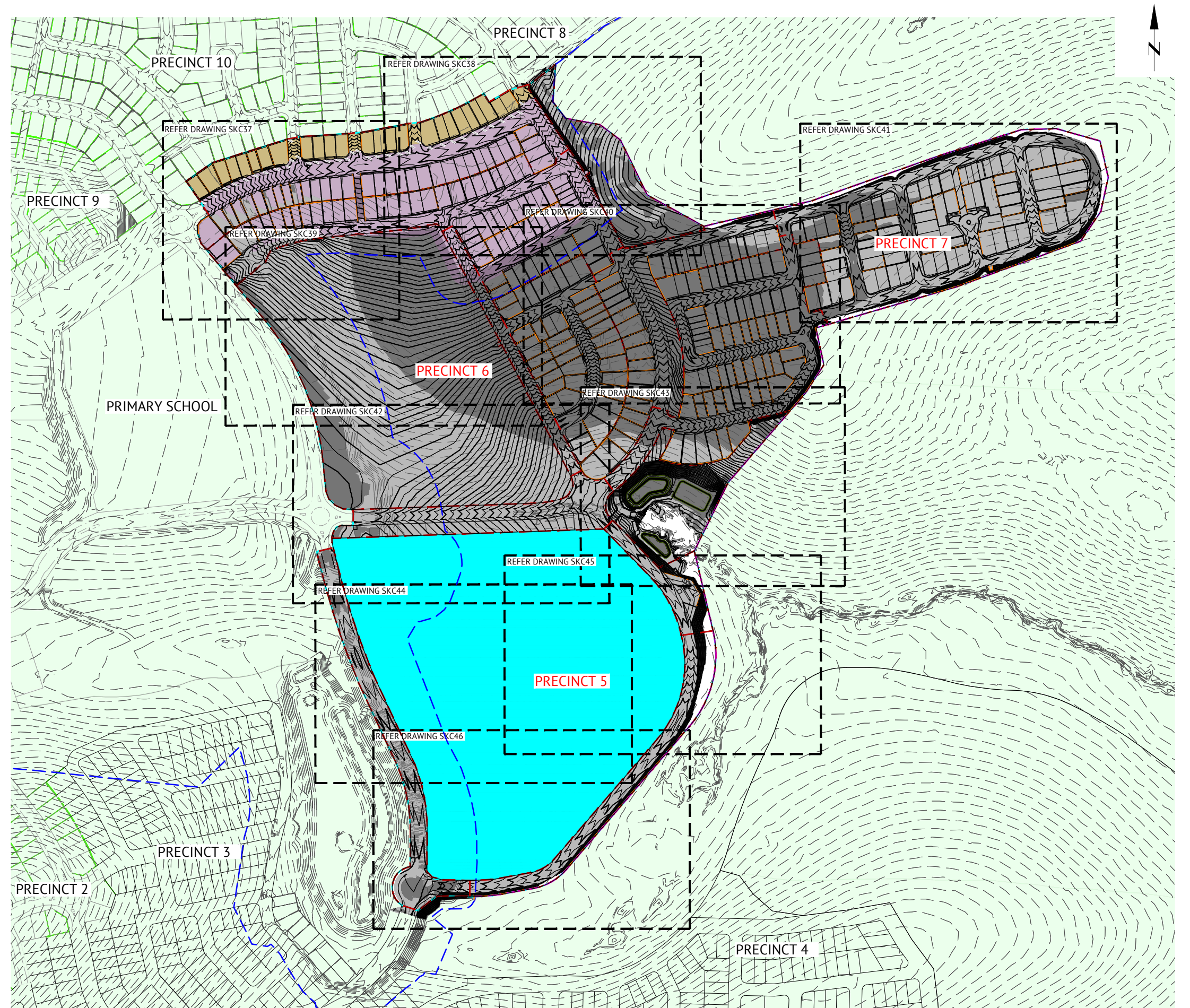
- EXTENT OF CUT
- EXTENT OF FILL
- PROPOSED BORROW AREA. FINAL EXTENT TO BE CONFIRMED DURING DETAILED DESIGN
- BORROW AREA EXTENT FOR PRECINCTS 8 AND 10 EARTHWORKS. FURTHER EARTHWORKS TO BE DONE TO GET TO FINISHED SURFACE LEVEL
- PROPOSED FUTURE RESIDENTIAL PRECINCT 5.3
- 12.0- FINISHED MAJOR CONTOURS (0.50m)
- FINISHED MINOR CONTOURS (0.25m)
- RETAINING WALL
- VEGETATION CLEARING LINE
- ROL BOUNDARY
- PRECINCT BOUNDARY

LEGEND - EXISTING

- EARTHWORKS TO BE DONE AS PART OF PRECINCTS 8, 9 AND 10. FOR DETAILS, REFER TO APPROVED DRAWINGS DEV2022/1277 DATED 11 NOVEMBER 2022 FOR PRECINCTS 8 AND 10 AND APPROVED DRAWINGS DEV2020/1160 DATED 26 AUGUST 2021 FOR PRECINCT 9
- 12.0- EXISTING CONTOURS (0.50m)
- RETAINING WALL
- EXISTING VEGETATION CLEARING LINE

ROL13 EARTHWORKS VOLUMES		
	CUT	FILL
ROL13 EARTHWORKS	407,025m ³	390,543m ³
TOTAL VOLUMES	407,025m³	390,543m³

NOTE:
 1. BULK EARTHWORKS INCLUDES ROAD BOXING.
 2. ROAD BOXING DEPTHS FOR PRECINCTS 6 AND 7 ARE 335mm FOR ACCESS STREETS, OTHERWISE 450mm. NO BOXING ALLOWANCE FOR PRECINCT 5.3.

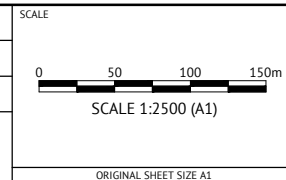


PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
22/05/2024	3	UPDATED BASIN LAYOUT AND ADDED PMT PADS	KK	NS
08/03/2024	2	UPDATED LAYOUT AND EARTHWORKS	KK	NS
25/10/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS

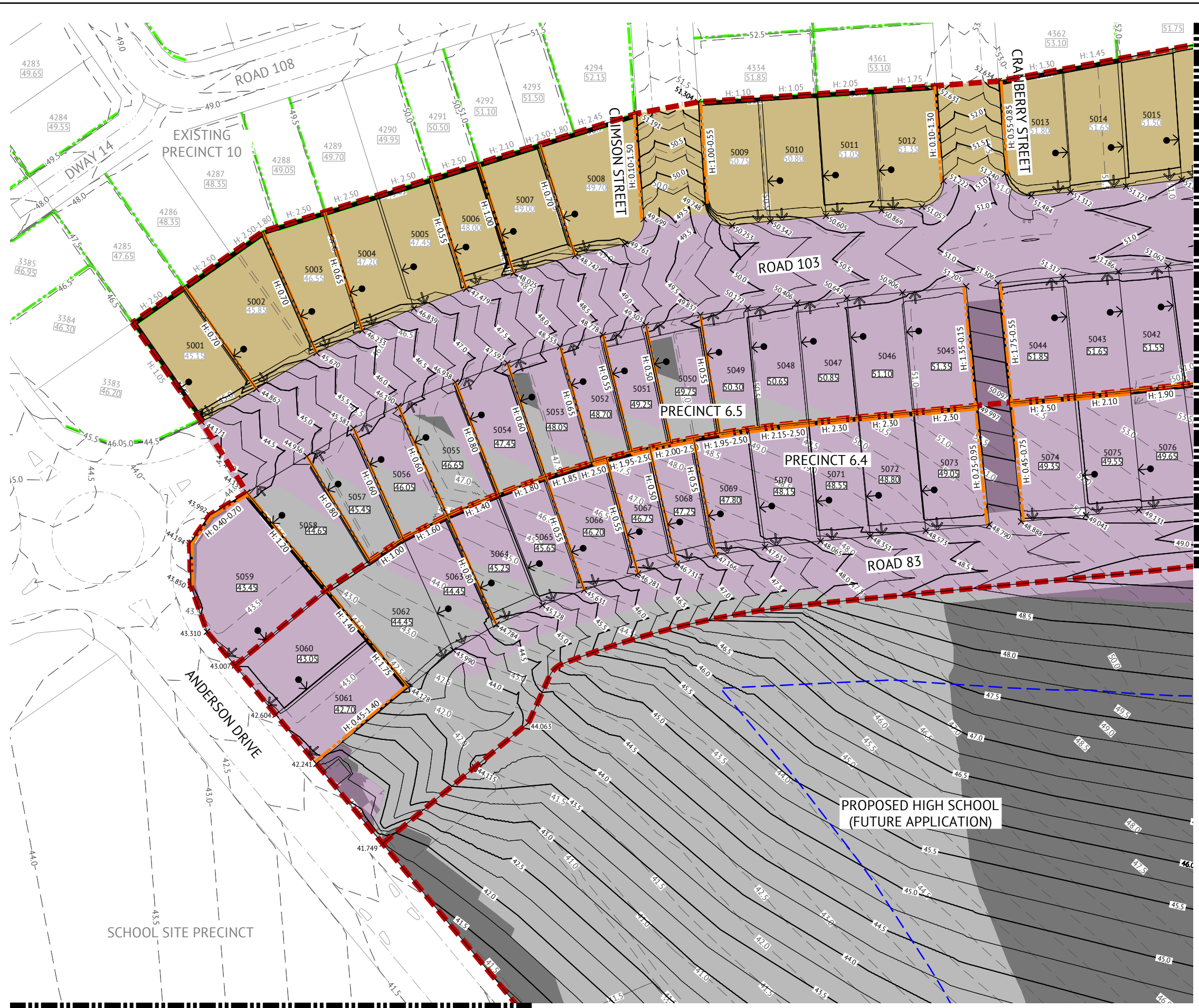
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NICK SOMERVILLE
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 PROJECT
EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT
 LOCATION
TEVIOT ROAD, GREENBANK
 SHEET TITLE
OVERALL PRELIMINARY EARTHWORKS LAYOUT PLAN

JOB CODE
MIR-1300
 SHEET NUMBER
SKC36
 REV
3

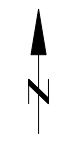


LEGEND - PROPOSED

- EXTENT OF CUT
- EXTENT OF FILL
- PROPOSED BORROW AREA. FINAL EXTENT TO BE CONFIRMED DURING DETAILED DESIGN
- BORROW AREA EXTENT FOR PRECINCTS 8 AND 10 EARTHWORKS. FURTHER EARTHWORKS TO BE DONE TO GET TO FINISHED SURFACE LEVEL
- PROPOSED FUTURE RESIDENTIAL PRECINCT 5.3
- 12.0 FINISHED MAJOR CONTOURS (0.50m)
- FINISHED MINOR CONTOURS (0.25m)
- RETAINING WALL
- VEGETATION CLEARING LINE
- PROPOSED FUTURE DRIVEWAY LOCATION
- ZERO LOT BOUNDARY
- 52.00 PAD LEVEL
- SPOT LEVEL
- EASEMENT
- TREE TO RETAIN
- PRECINCT BOUNDARY

LEGEND - EXISTING

- EARTHWORKS TO BE DONE AS PART OF PRECINCTS 8, 9 AND 10. FOR DETAILS, REFER TO APPROVED DRAWINGS DEV2022/1277 DATED 11 NOVEMBER 2022 FOR PRECINCTS 8 AND 10 AND APPROVED DRAWINGS DEV2020/1160 DATED 26 AUGUST 2021 FOR PRECINCT 9
- 12.0 EXISTING CONTOURS (0.50m)
- RETAINING WALL
- EXISTING VEGETATION CLEARING LINE



JOINS SHEET 2

JOINS SHEET 3

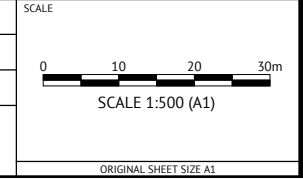
PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REVISIONS
22/05/2024	4	ADDED PMT PADS	KK NS
08/05/2024	3	UPDATED LAYOUT AND EARTHWORKS	KK NS
13/12/2023	2	UPDATED PRECINCT BOUNDARIES AND PRECINCT NUMBERS	KK NS
25/10/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK NS



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EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT
 LOCATION
TEVIOT ROAD, GREENBANK
 SHEET TITLE
PRELIMINARY EARTHWORKS LAYOUT PLAN - SHEET 1

JOB CODE MIR-1300	
SHEET NUMBER SKC37	REV 4

NOTES
REFER SKC37 FOR NOTES AND LEGEND



JOINS SHEET 1

JOINS SHEET 3

JOINS SHEET 4

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REVISIONS
22/05/2024	4	ADDED PMT PADS, ADDED EARTHWORKS TO PARK LOT 840	KK NS
08/05/2024	3	UPDATED LAYOUT AND EARTHWORKS	KK NS
13/12/2023	2	UPDATED PRECINCT BOUNDARIES AND PRECINCT NUMBERS	KK NS
25/10/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK NS

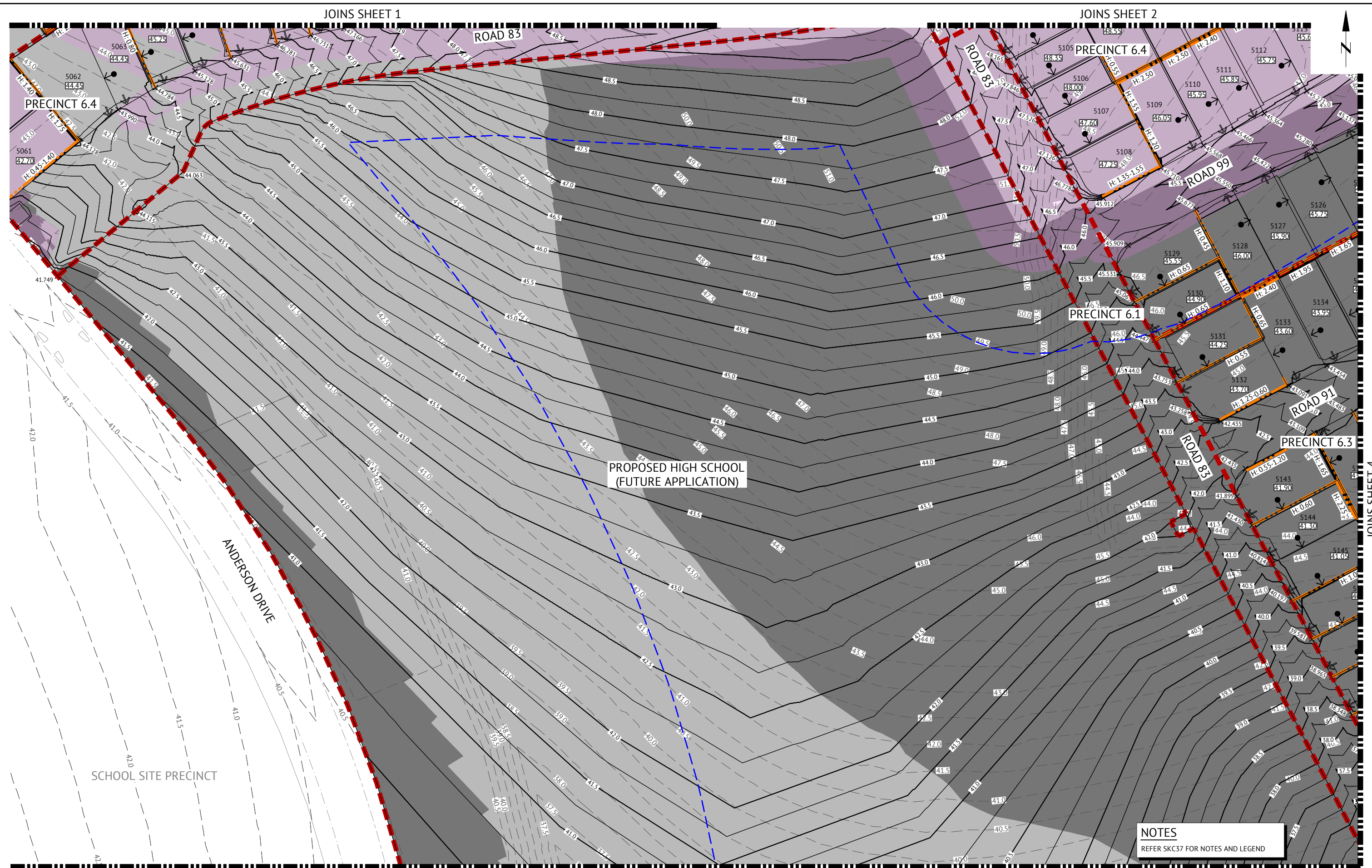
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NICK SOMERVILLE
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PATRICK BRADY RPEQ 7112

SCALE
0 10 20 30m
SCALE 1:500 (A1)
ORIGINAL SHEET SIZE A1

CLIENT
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PROJECT
EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT
LOCATION
TEVIOT ROAD, GREENBANK
SHEET TITLE
PRELIMINARY EARTHWORKS LAYOUT PLAN - SHEET 2

JOB CODE
MIR-1300
SHEET NUMBER
SKC38
REV
4



PROPOSED HIGH SCHOOL
(FUTURE APPLICATION)

NOTES
REFER SKC37 FOR NOTES AND LEGEND

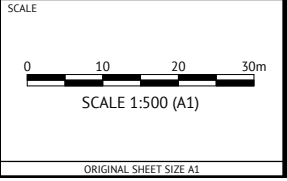
PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
22/05/2024	4	ADDED PMT PADS	KK	NS
08/05/2024	3	UPDATED LAYOUT AND EARTHWORKS	KK	NS
13/12/2023	2	UPDATED PRECINCT BOUNDARIES AND PRECINCT NUMBERS	KK	NS
25/10/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS



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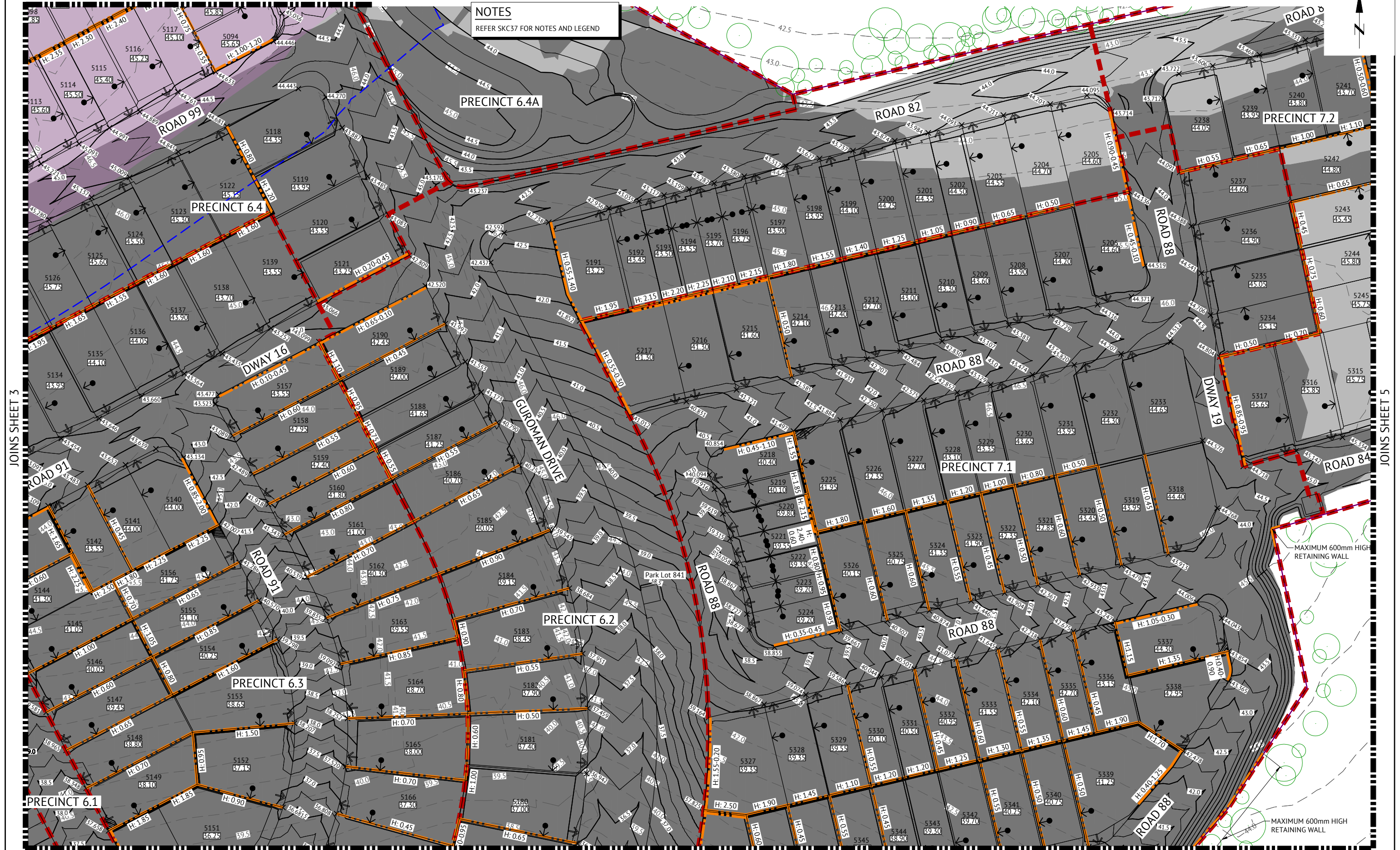
CLIENT
MIRVAC QLD PTY LTD
PROJECT
EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT
LOCATION
TEVIOT ROAD, GREENBANK
SHEET TITLE
PRELIMINARY EARTHWORKS LAYOUT PLAN - SHEET 3

JOB CODE
MIR-1300
SHEET NUMBER
SKC39
REV
4

NOTES
REFER SKC37 FOR NOTES AND LEGEND

JOINS SHEET 3

JOINS SHEET 5

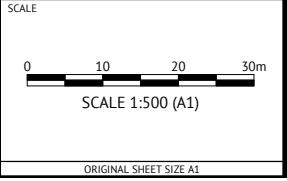


PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REVISIONS
22/05/2024	4	ADDED PMT PADS, ADDED EARTHWORKS TO PARK LOT 840	KK NS
08/05/2024	3	UPDATED LAYOUT AND EARTHWORKS	KK NS
13/12/2023	2	UPDATED PRECINCT BOUNDARIES AND PRECINCT NUMBERS	KK NS
25/10/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK NS

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EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT
 LOCATION
TEVIOT ROAD, GREENBANK
 SHEET TITLE
PRELIMINARY EARTHWORKS LAYOUT PLAN - SHEET 4

JOB CODE
MIR-1300

SHEET NUMBER	REV
SKC40	4



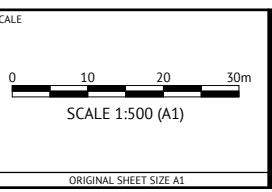
NOTES
REFER SKC37 FOR NOTES AND LEGEND

PRELIMINARY - NOT FOR CONSTRUCTION

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22/05/2024	4	ADDED PMT PADS	KK NS
08/05/2024	3	UPDATED LAYOUT AND EARTHWORKS	KK NS
13/12/2023	2	UPDATED PRECINCT BOUNDARIES AND PRECINCT NUMBERS	KK NS
25/10/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK NS

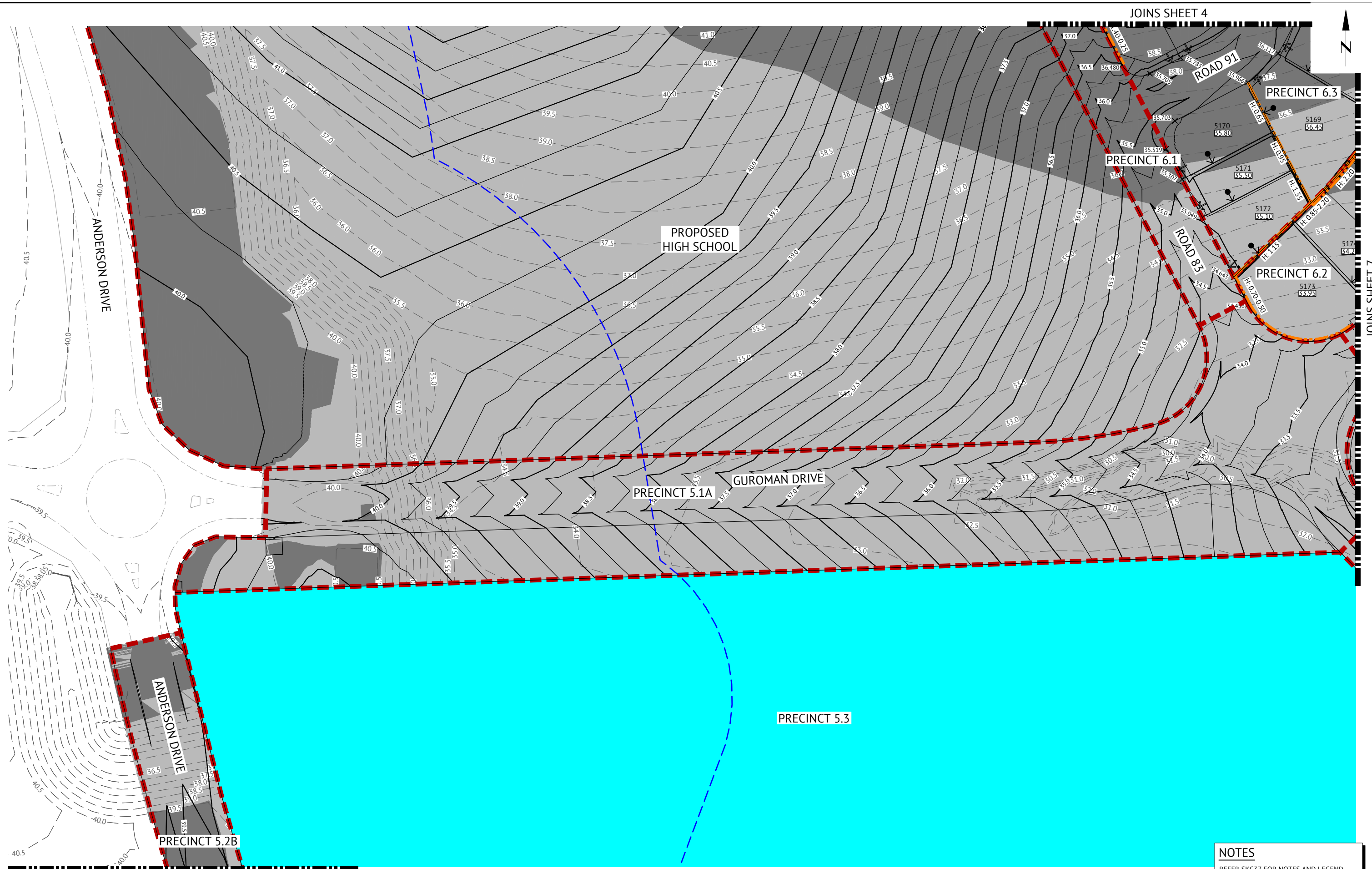
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LOCATION
TEVIOT ROAD, GREENBANK
SHEET TITLE
PRELIMINARY EARTHWORKS LAYOUT PLAN - SHEET 5

JOB CODE
MIR-1300
SHEET NUMBER
SKC41
REV
4



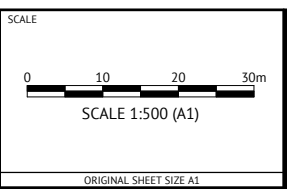
NOTES
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PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
22/05/2024	4	ADDED PMT PADS	KK	NS
08/05/2024	3	UPDATED LAYOUT AND EARTHWORKS	KK	NS
13/12/2023	2	UPDATED PRECINCT BOUNDARIES AND PRECINCT NUMBERS	KK	NS
25/10/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS

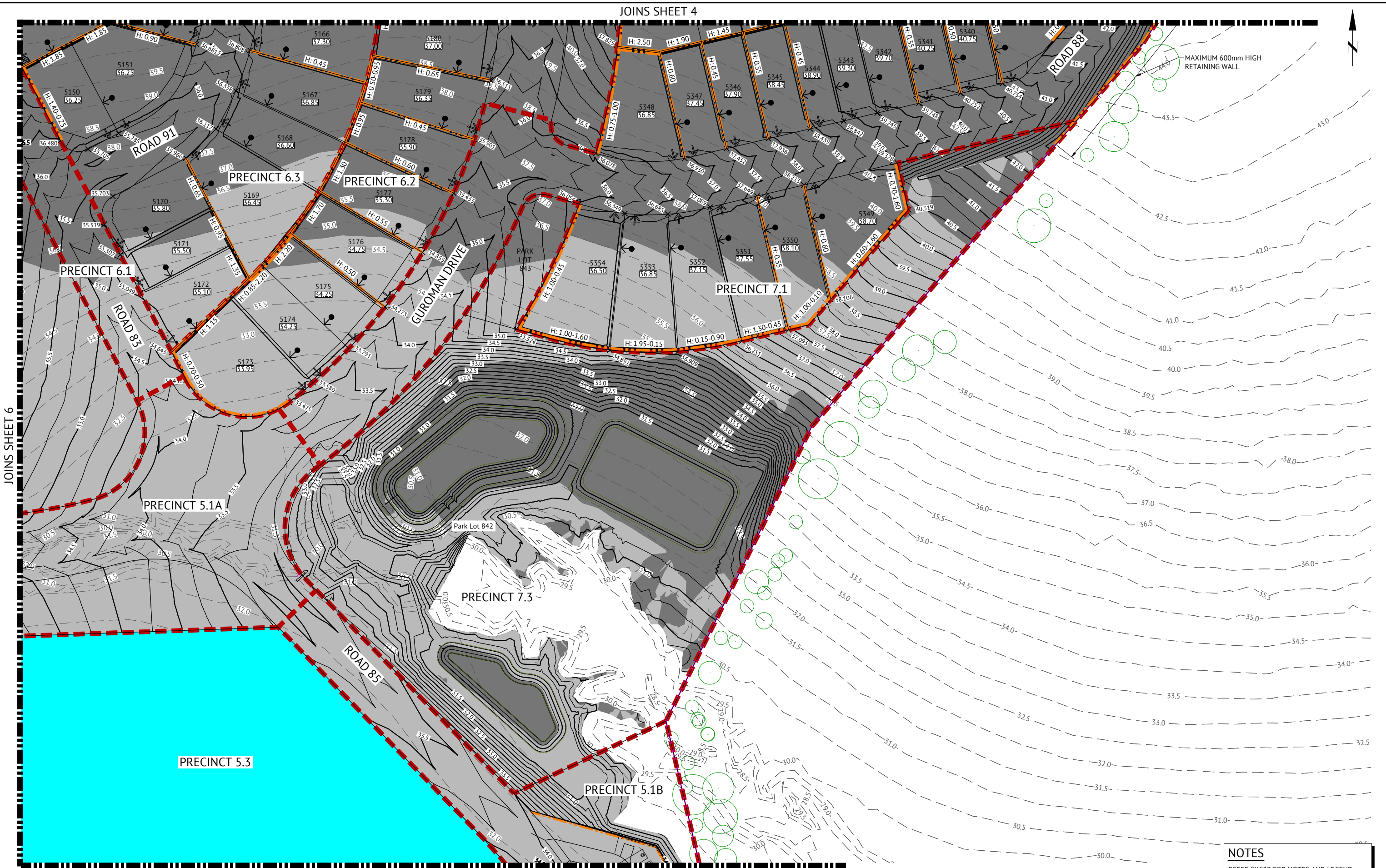
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LOCATION
TEVIOT ROAD, GREENBANK
SHEET TITLE
PRELIMINARY EARTHWORKS LAYOUT PLAN - SHEET 6

JOB CODE
MIR-1300
SHEET NUMBER
SKC42
REV
4



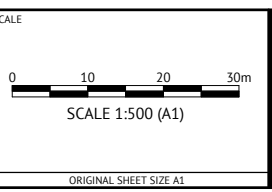
NOTES
REFER SKC37 FOR NOTES AND LEGEND

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REVISIONS	REC	APP
22/05/2024	4	AMENDED BASIN LAYOUT		KK	NS
08/05/2024	3	UPDATED LAYOUT AND EARTHWORKS		KK	NS
13/12/2023	2	UPDATED LAYOUT AND EARTHWORKS		KK	NS
25/10/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION		KK	NS

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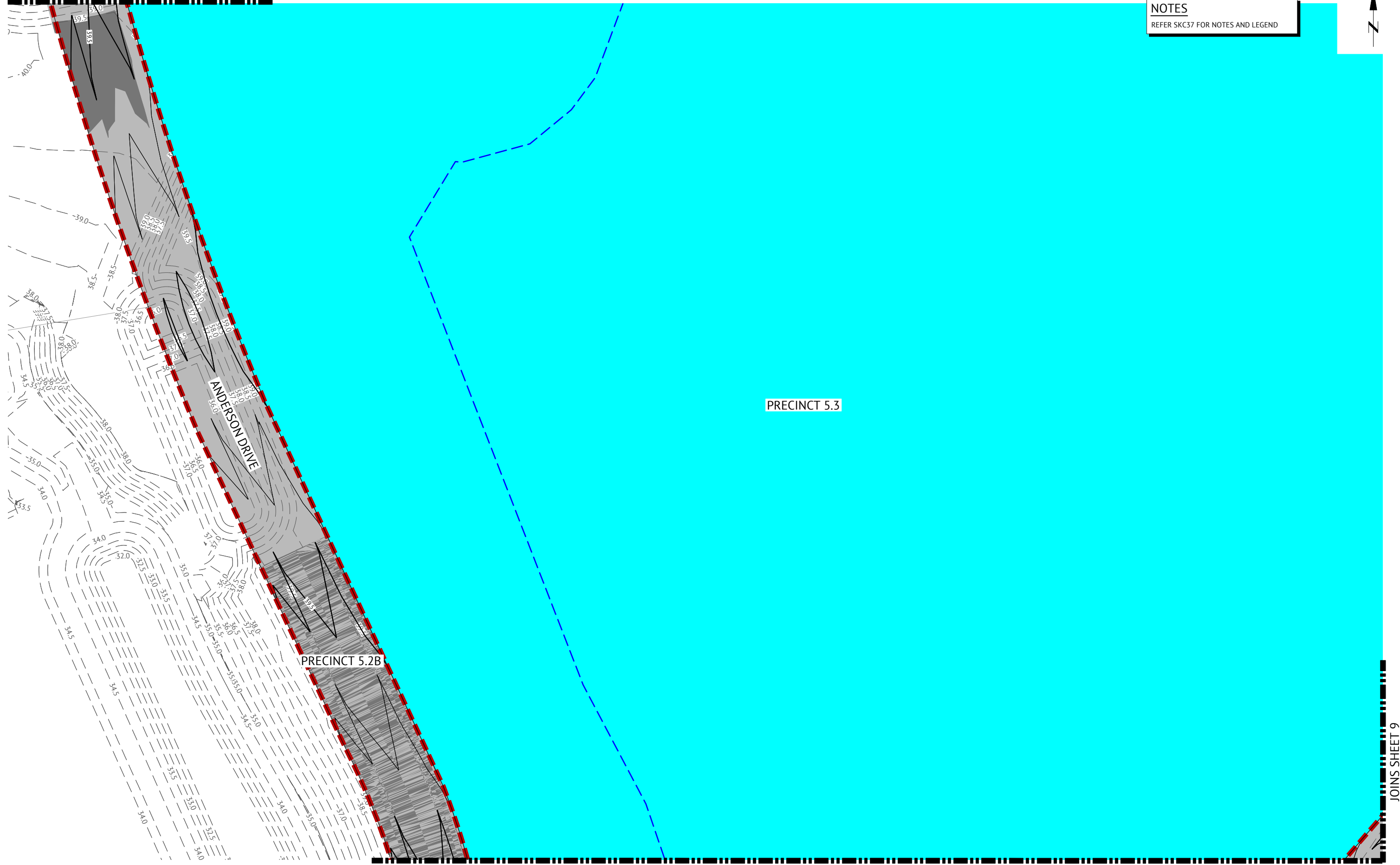


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LOCATION
TEVIOT ROAD, GREENBANK
SHEET TITLE
PRELIMINARY EARTHWORKS LAYOUT PLAN - SHEET 7

JOB CODE
MIR-1300

SHEET NUMBER	REV
SKC43	4

NOTES
REFER SKC37 FOR NOTES AND LEGEND



PRECINCT 5.3

PRECINCT 5.2B

ANDERSON DRIVE

PRELIMINARY - NOT FOR CONSTRUCTION

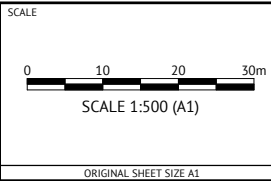
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08/05/2024	3	UPDATED LAYOUT AND EARTHWORKS	KK	NS
13/12/2023	2	UPDATED PRECINCT BOUNDARIES AND PRECINCT NUMBERS	KK	NS
25/10/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS



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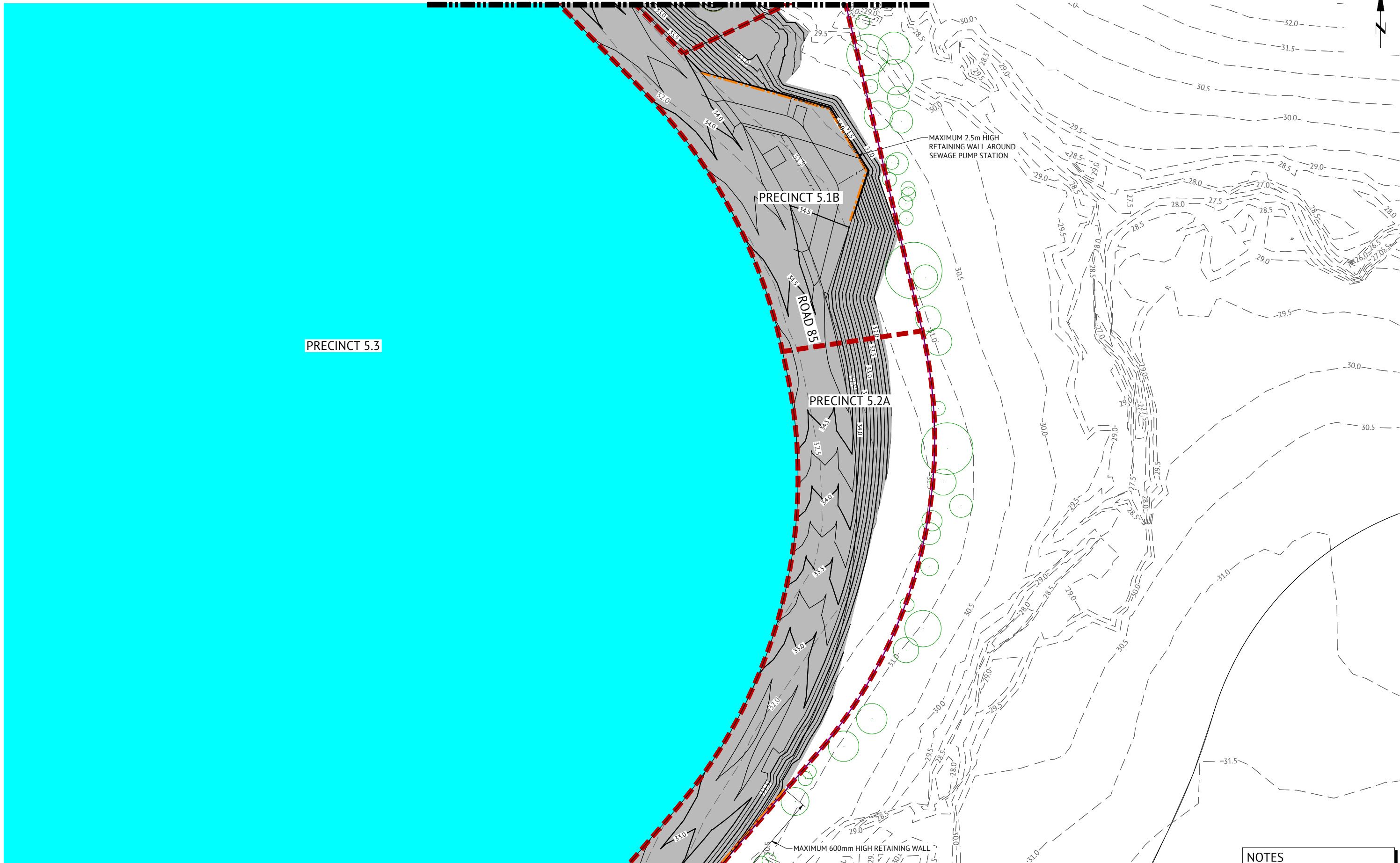
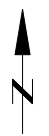
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LOCATION
TEVIOT ROAD, GREENBANK
SHEET TITLE
PRELIMINARY EARTHWORKS LAYOUT PLAN - SHEET 8

JOB CODE
MIR-1300
SHEET NUMBER
SKC44
REV
3



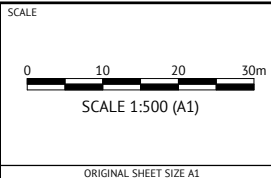
NOTES
REFER SKC37 FOR NOTES AND LEGEND

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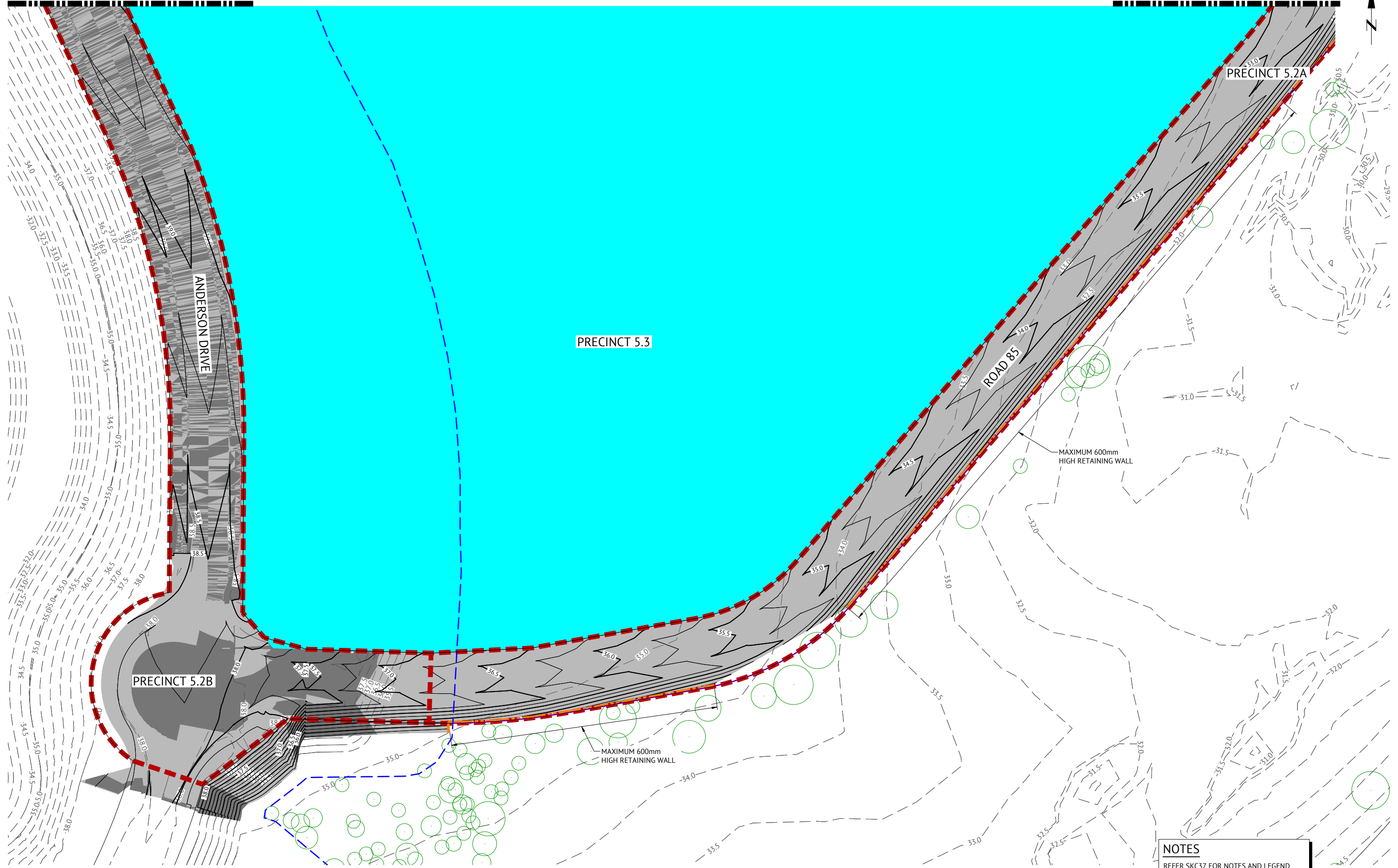
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LOCATION
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SHEET TITLE
PRELIMINARY EARTHWORKS LAYOUT PLAN - SHEET 9

JOB CODE
MIR-1300
SHEET NUMBER
SKC45
REV
3

DATE	REV	DESCRIPTION	REC	APP
08/05/2024	3	UPDATED LAYOUT AND EARTHWORKS	KK	NS
15/12/2023	2	UPDATED PRECINCT BOUNDARIES AND PRECINCT NUMBERS	KK	NS
25/10/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS



NOTES
REFER SKC37 FOR NOTES AND LEGEND

PRELIMINARY - NOT FOR CONSTRUCTION

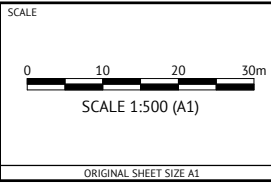
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08/05/2024	3	UPDATED LAYOUT AND EARTHWORKS	KK	NS
15/12/2023	2	UPDATED PRECINCT BOUNDARIES AND PRECINCT NUMBERS	KK	NS
25/10/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS



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PROJECT
EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT

LOCATION
TEVIOT ROAD, GREENBANK

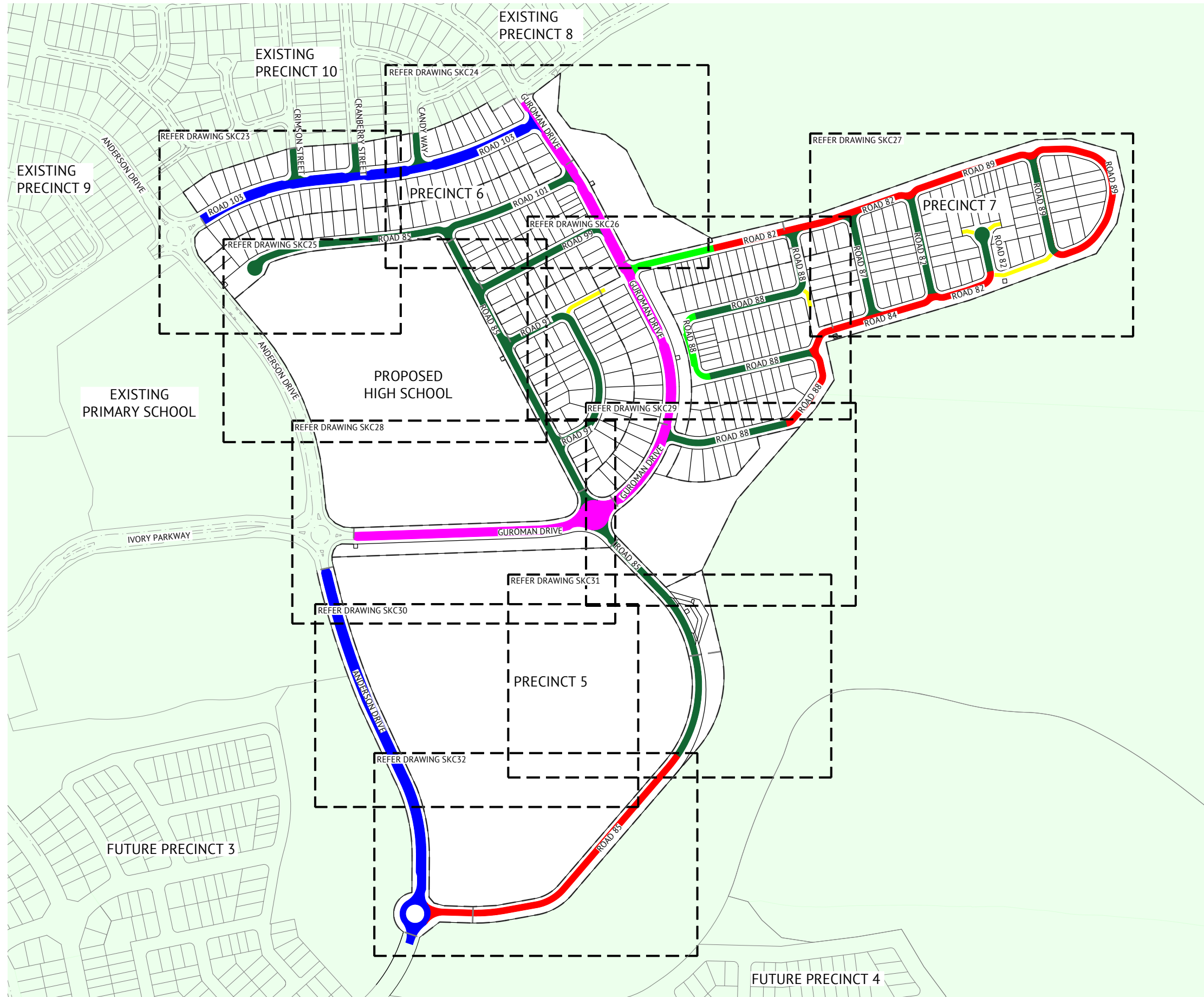
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PRELIMINARY EARTHWORKS LAYOUT PLAN - SHEET 10

JOB CODE MIR-1300	
SHEET NUMBER SKC46	REV 3

APPENDIX C

ROAD HEIRARCHY PLAN





LEGEND - ROAD HEIRARCHY

- NEIGHBOURHOOD CONNECTOR 1
- NEIGHBOURHOOD CONNECTOR 2
- ACCESS STREET (TYPICAL)
- ACCESS STREET (PARK)
- ACCESS STREET (CONSERVATION)
- DRIVEWAY



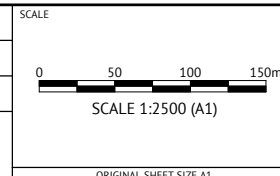
PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REVISIONS
21/03/2024	2	UPDATED LOT LAYOUT	KK NS
28/09/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK NS
			REC APP



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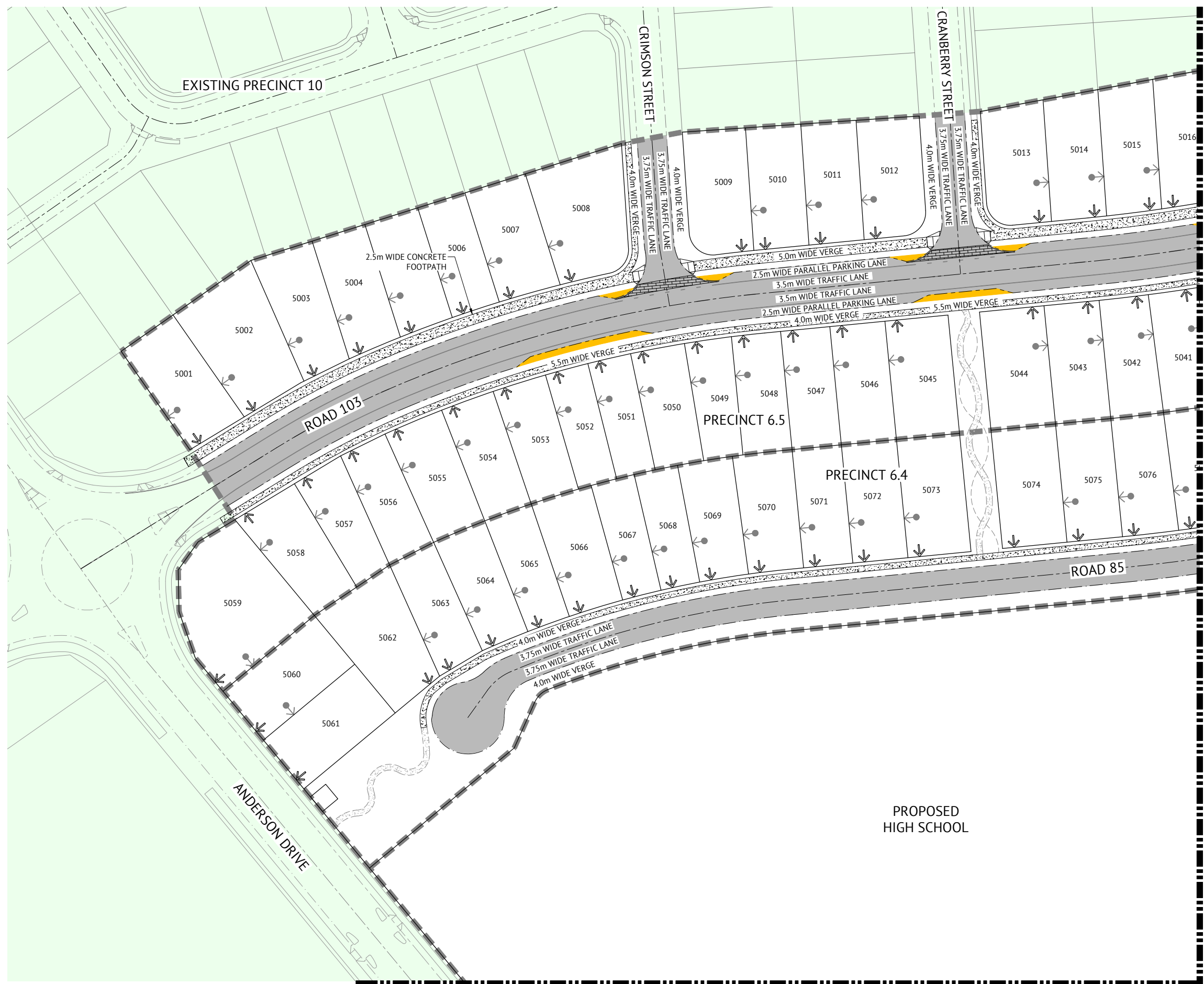
CLIENT
MIRVAC QLD PTY LTD
 PROJECT
EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT
 LOCATION
TEVIOT ROAD, GREENBANK
 SHEET TITLE
ROAD HEIRARCHY PLAN

JOB CODE
MIR-1300
 SHEET NUMBER
SKC22
 REV
2

APPENDIX D

INTERNAL ROAD FUNCTIONAL PLANS





LEGEND - PROPOSED

	PROPOSED IPWEA STD TYPE 'B1' KERB & CHANNEL. REFER IPWEA STD DWG RS-080.
	PROPOSED IPWEA STD TYPE 'B2' KERB ONLY. REFER IPWEA STD DWG RS-080.
	PROPOSED IPWEA TYPE 'M3' KERB & CHANNEL. REFER IPWEA STD DWG RS-080.
	PROPOSED IPWEA STD TYPE 'ER1' EDGE RESTRAINT. REFER IPWEA STD DWG RS-080.
	PROPOSED IPWEA INVERT. REFER IPWEA STD DWG RS-080.
	IPWEA STD TYPE 'SM5' KERB ONLY. REFER IPWEA STD DWG RS-080.
	PROPOSED FUTURE DRIVEWAY LOCATION
	ZERO LOT BOUNDARY
	PROPOSED 1.5m WIDE GREEN KERB BUILD-OUT
	PROPOSED 1.5m WIDE (U.N.O.) CONCRETE FOOTPATH.
	FOOTPATH ALIGNMENT BY LANDSCAPE
	PROPOSED KERB RAMP. REFER IPWEA STD DWG RS-090.
	PROPOSED THRESHOLD TREATMENT
	PROPOSED NEW AC PAVEMENT
	PROPOSED PMT SITE LOCATION
	PRECINCT BOUNDARY

JOINS SHEET 3

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
22/05/2024	3	ADDED LANDSCAPE FOOTPATH AND PMT LOCATIONS	KK	NS
21/05/2024	2	UPDATED LOT LAYOUT	KK	NS
28/09/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS

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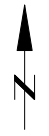
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ANDREW LANGDON
 PROJECT MANAGER
NICK SOMERVILLE
 ENGINEERING CERTIFICATION
 PATRICK BRADY RPEQ 7112

SCALE

 SCALE 1:500 (A1)
 ORIGINAL SHEET SIZE A1

CLIENT
MIRVAC QLD PTY LTD
 PROJECT
EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT
 LOCATION
TEVIOT ROAD, GREENBANK
 SHEET TITLE
ROAD FUNCTIONAL LAYOUT - SHEET 1

JOB CODE
MIR-1300
 SHEET NUMBER
SKC23
 REV
3



NOTE:
REFER SKC23 FOR LEGEND.



JOINS SHEET 1

JOINS SHEET 3

JOINS SHEET 4

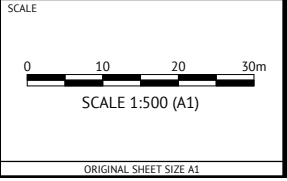
PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
22/05/2024	3	ADDED LANDSCAPE FOOTPATH AND PMT LOCATIONS	KK	NS
21/03/2024	2	UPDATED LOT LAYOUT	KK	NS
28/09/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS



BRISBANE OFFICE
 LEVEL 11, 300 ADELAIDE STREET
 BRISBANE, QLD 4000
 PH: (07) 3253 2222
 WEB: www.premise.com.au

DESIGNED
KLYNT KIWANG
 CHECKED
ANDREW LANGDON
 PROJECT MANAGER
NICK SOMERVILLE
 ENGINEERING CERTIFICATION
 PATRICK BRADY RPEQ 7112



CLIENT
MIRVAC QLD PTY LTD

PROJECT
EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT

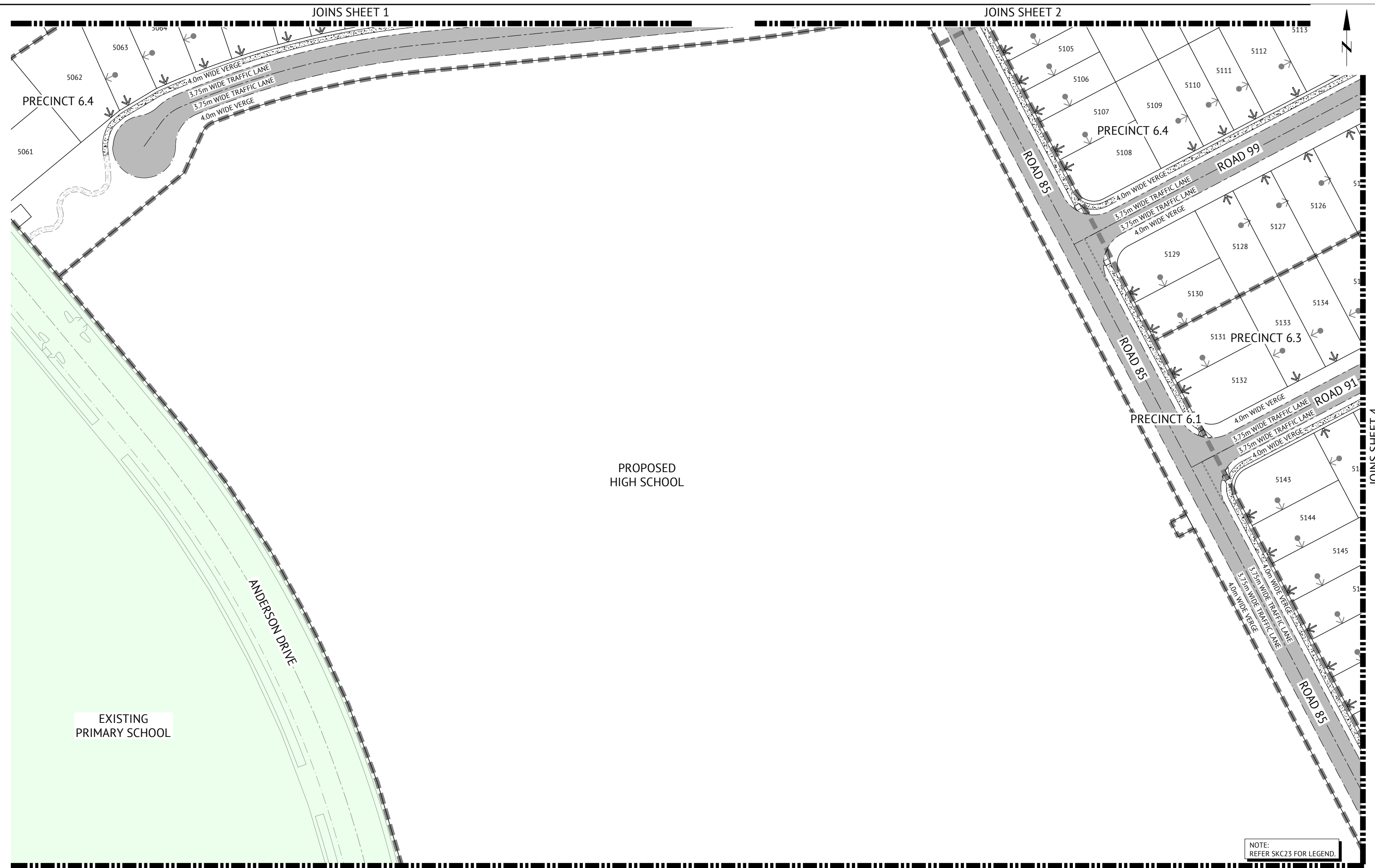
LOCATION
TEVIOT ROAD, GREENBANK

SHEET TITLE
ROAD FUNCTIONAL LAYOUT - SHEET 2

JOB CODE
MIR-1300

SHEET NUMBER
SKC24

REV
3



NOTE:
REFER SKC23 FOR LEGEND.

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
22/05/2024	3	ADDED LANDSCAPE FOOTPATH AND PMT LOCATIONS	KK	NS
21/05/2024	2	UPDATED LOT LAYOUT	KK	NS
28/09/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS

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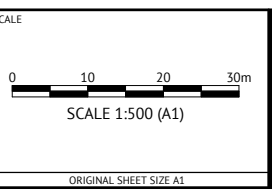
DESIGNED
KLYNT KIWANG

CHECKED
ANDREW LANGDON

PROJECT MANAGER
NICK SOMERVILLE

ENGINEERING CERTIFICATION

PATRICK BRADY RPEQ 7112



CLIENT
MIRVAC QLD PTY LTD

PROJECT
EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT

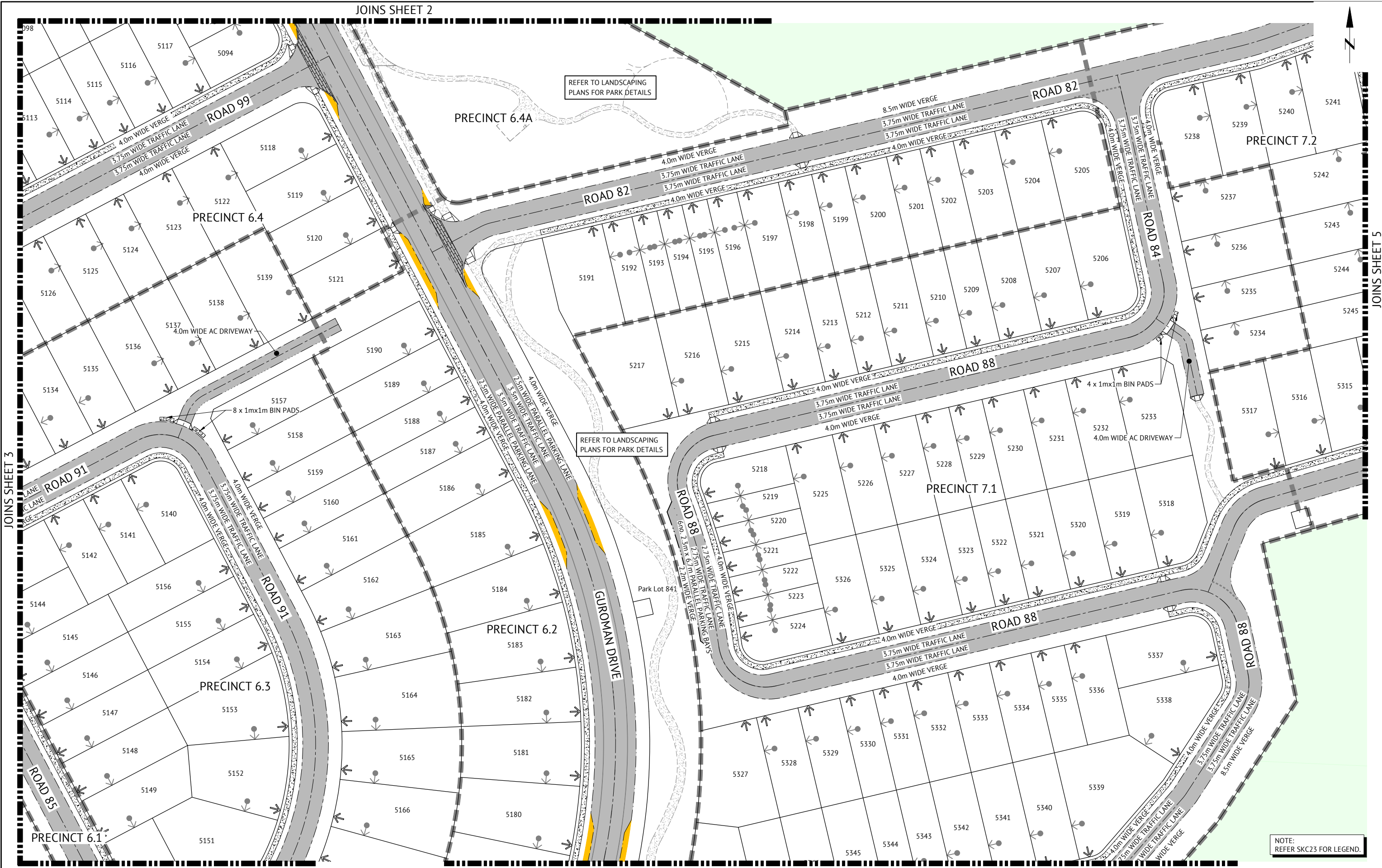
LOCATION
TEVIOT ROAD, GREENBANK

SHEET TITLE
ROAD FUNCTIONAL LAYOUT - SHEET 3

JOB CODE
MIR-1300

SHEET NUMBER
SKC25

REV
3



JOINS SHEET 3

JOINS SHEET 5

JOINS SHEET 6

JOINS SHEET 7

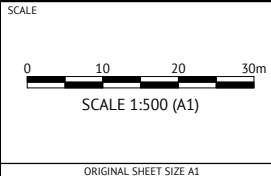
PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
22/05/2024	3	ADDED LANDSCAPE FOOTPATH AND PMT LOCATIONS	KK	NS
21/03/2024	2	UPDATED LOT LAYOUT	KK	NS
28/09/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS



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DESIGNED
KLYNT KIWANG
 CHECKED
ANDREW LANGDON
 PROJECT MANAGER
NICK SOMERVILLE
 ENGINEERING CERTIFICATION
 PATRICK BRADY RPEQ 7112



CLIENT
MIRVAC QLD PTY LTD

PROJECT
EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT

LOCATION
TEVIOT ROAD, GREENBANK

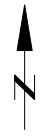
SHEET TITLE
ROAD FUNCTIONAL LAYOUT - SHEET 4

JOB CODE
MIR-1300

SHEET NUMBER
SKC26

REV
3

NOTE: REFER SKC23 FOR LEGEND.



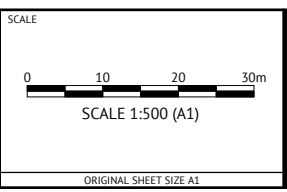
NOTE:
REFER SKC23 FOR LEGEND.

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
22/05/2024	3	ADDED LANDSCAPE FOOTPATH AND PMT LOCATIONS	KK	NS
21/03/2024	2	UPDATED LOT LAYOUT	KK	NS
28/09/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS

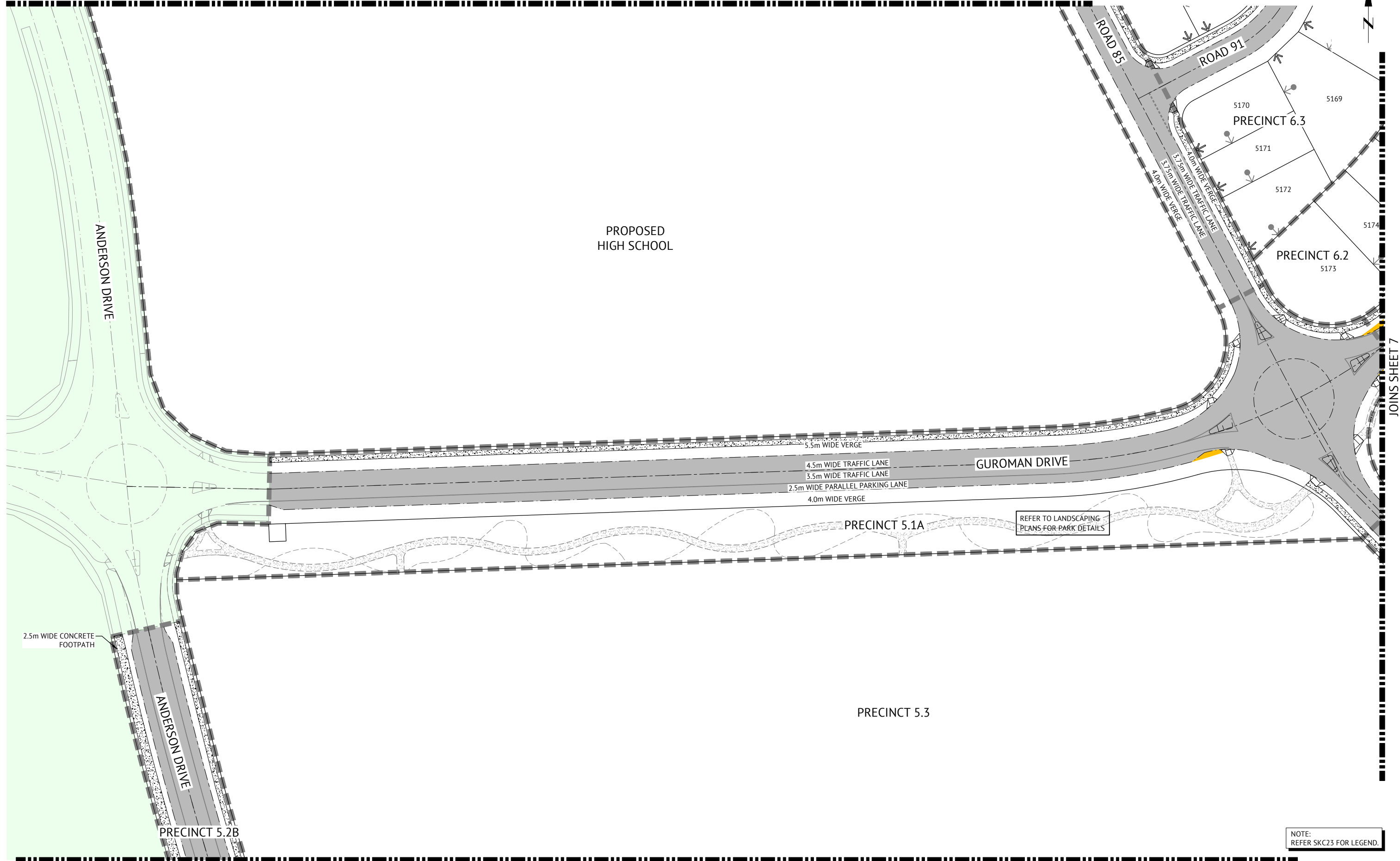
Premise
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 BRISBANE, QLD 4000
 PH: (07) 3253 2222
 WEB: www.premise.com.au

DESIGNED
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 CHECKED
ANDREW LANGDON
 PROJECT MANAGER
NICK SOMERVILLE
 ENGINEERING CERTIFICATION
 PATRICK BRADY RPEQ 7112



CLIENT
MIRVAC QLD PTY LTD
 PROJECT
EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT
 LOCATION
TEVIOT ROAD, GREENBANK
 SHEET TITLE
ROAD FUNCTIONAL LAYOUT - SHEET 5

JOB CODE
MIR-1300
 SHEET NUMBER
SKC27
 REV
3



JOINS SHEET 7

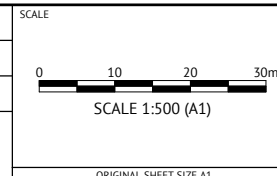
PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
22/05/2024	3	ADDED LANDSCAPE FOOTPATH AND PMT LOCATIONS	KK	NS
21/05/2024	2	UPDATED LOT LAYOUT	KK	NS
28/09/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS



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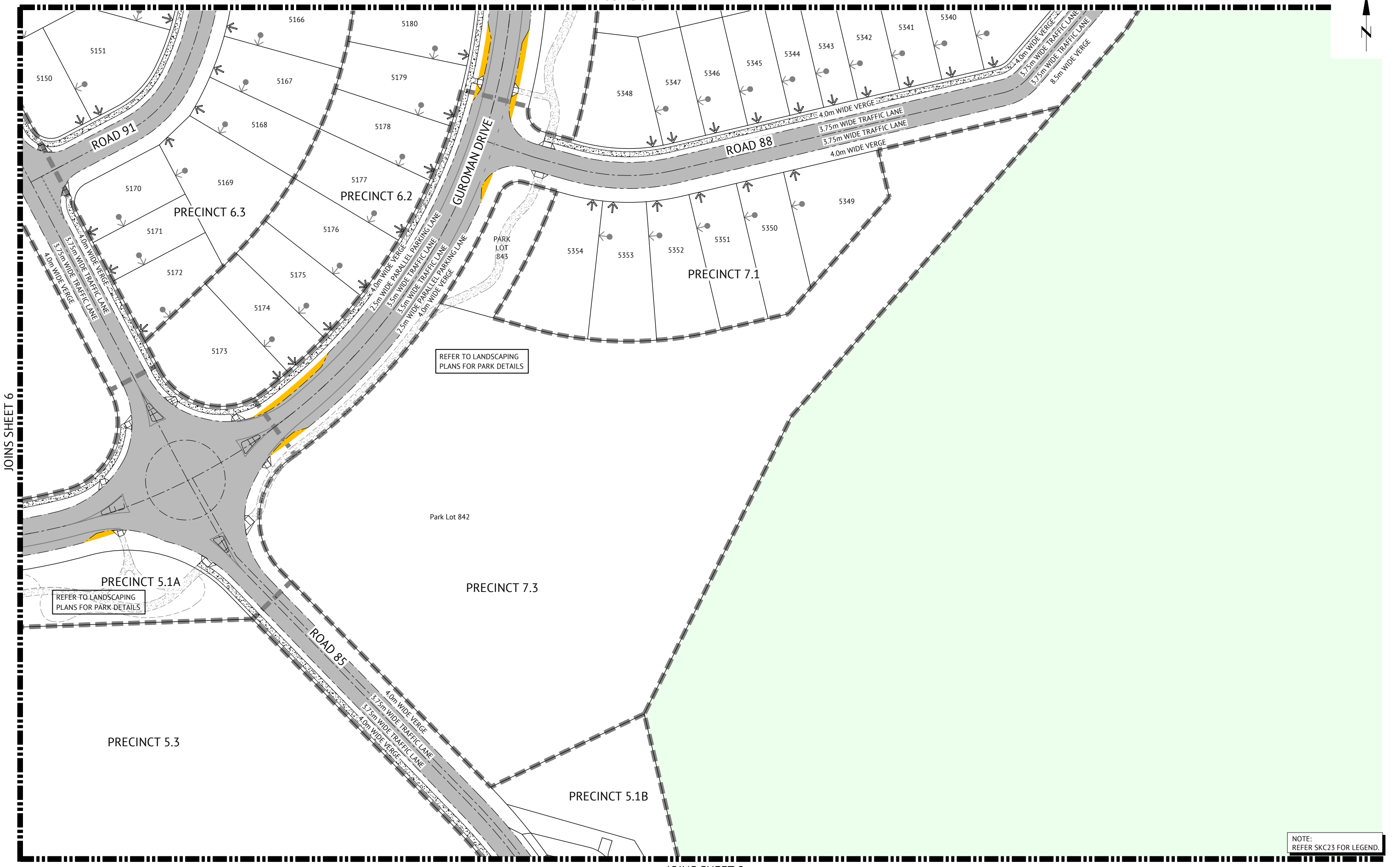
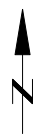
DESIGNED
KLYNT KIWANG
 CHECKED
ANDREW LANGDON
 PROJECT MANAGER
NICK SOMERVILLE
 ENGINEERING CERTIFICATION
 PATRICK BRADY RPEQ 7112



CLIENT
MIRVAC QLD PTY LTD
 PROJECT
EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT
 LOCATION
TEVIOT ROAD, GREENBANK
 SHEET TITLE
ROAD FUNCTIONAL LAYOUT - SHEET 6

JOB CODE
MIR-1300
 SHEET NUMBER
SKC28
 REV
3

NOTE:
 REFER SKC23 FOR LEGEND.



JOINS SHEET 6

JOINS SHEET 9

NOTE:
REFER SKC23 FOR LEGEND.

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
22/05/2024	3	ADDED LANDSCAPE FOOTPATH	KK	NS
21/05/2024	2	UPDATED LOT LAYOUT	KK	NS
28/09/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS



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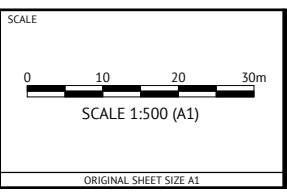
DESIGNED
KLYNT KIWANG

CHECKED
ANDREW LANGDON

PROJECT MANAGER
NICK SOMERVILLE

ENGINEERING CERTIFICATION

PATRICK BRADY RPEQ 7112



CLIENT
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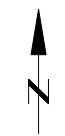
PROJECT
EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT

LOCATION
TEVIOT ROAD, GREENBANK

SHEET TITLE
ROAD FUNCTIONAL LAYOUT - SHEET 7

JOB CODE
MIR-1300

SHEET NUMBER	REV
SKC29	3



PRECINCT 5.2B

2.5m WIDE CONCRETE FOOTPATH

ANDERSON DRIVE

2.5m WIDE PARALLEL PARKING LANE
3.75m WIDE TRAFFIC LANE
2.5m WIDE PARALLEL PARKING LANE
2.5m WIDE VERGE

PRECINCT 5.3

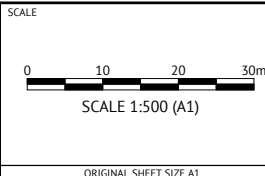
NOTE:
REFER SKC23 FOR LEGEND.

PRELIMINARY - NOT FOR CONSTRUCTION



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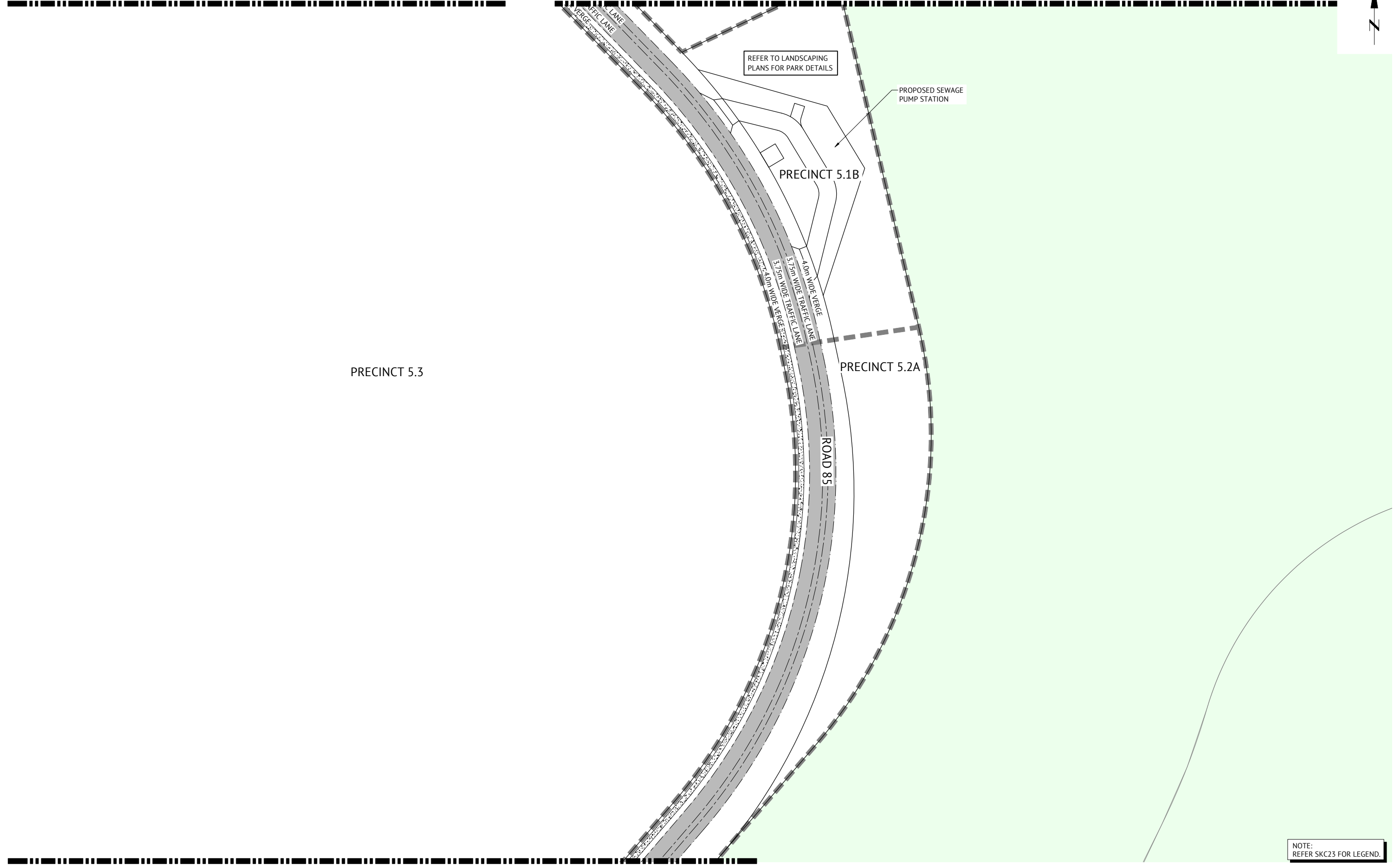
DESIGNED
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ANDREW LANGDON
PROJECT MANAGER
NICK SOMERVILLE
ENGINEERING CERTIFICATION
PATRICK BRADY RPEQ 7112



CLIENT
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PROJECT
EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT
LOCATION
TEVIOT ROAD, GREENBANK
SHEET TITLE
ROAD FUNCTIONAL LAYOUT - SHEET 8

JOB CODE
MIR-1300
SHEET NUMBER
SKC30
REV
2

DATE	REV	DESCRIPTION	REC	APP
21/03/2024	2	UPDATED LOT LAYOUT	KK	NS
28/09/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS



NOTE: REFER SKC23 FOR LEGEND.

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
21/03/2024	2	UPDATED LOT LAYOUT	KK	NS
28/09/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS



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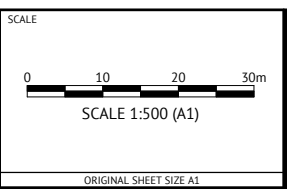
DESIGNED
KLYNT KIWANG

CHECKED
ANDREW LANGDON

PROJECT MANAGER
NICK SOMERVILLE

ENGINEERING CERTIFICATION

PATRICK BRADY RPEQ 7112



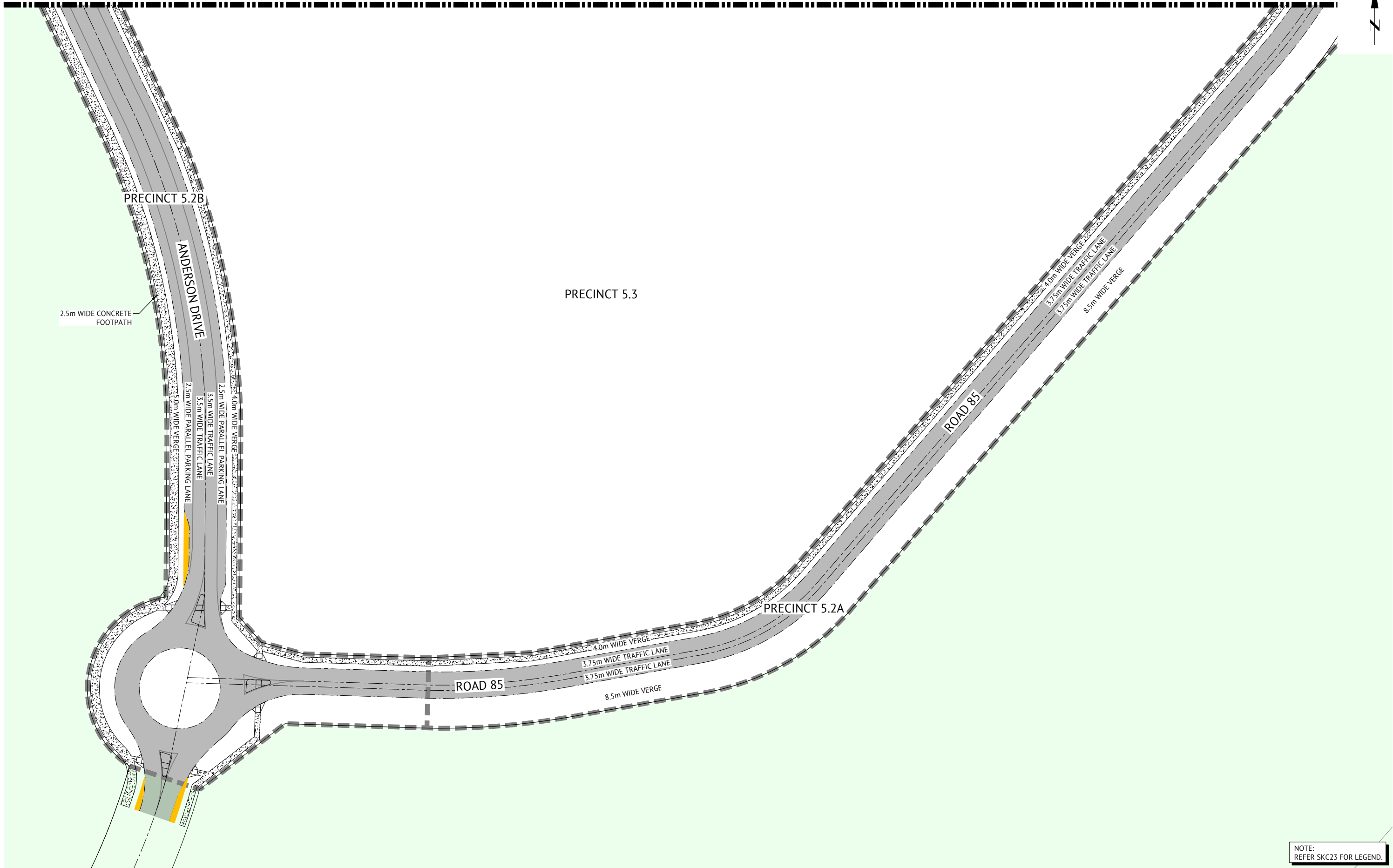
CLIENT
MIRVAC QLD PTY LTD

PROJECT
EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT

LOCATION
TEVIOT ROAD, GREENBANK

SHEET TITLE
ROAD FUNCTIONAL LAYOUT - SHEET 9

JOB CODE		MIR-1300
SHEET NUMBER	REV	
SKC31	2	



NOTE:
REFER SKC23 FOR LEGEND.

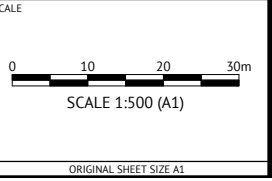
PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
21/03/2024	2	UPDATED LOT LAYOUT	KK	NS
28/09/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS



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NICK SOMERVILLE
ENGINEERING CERTIFICATION
PATRICK BRADY RPEQ 7112



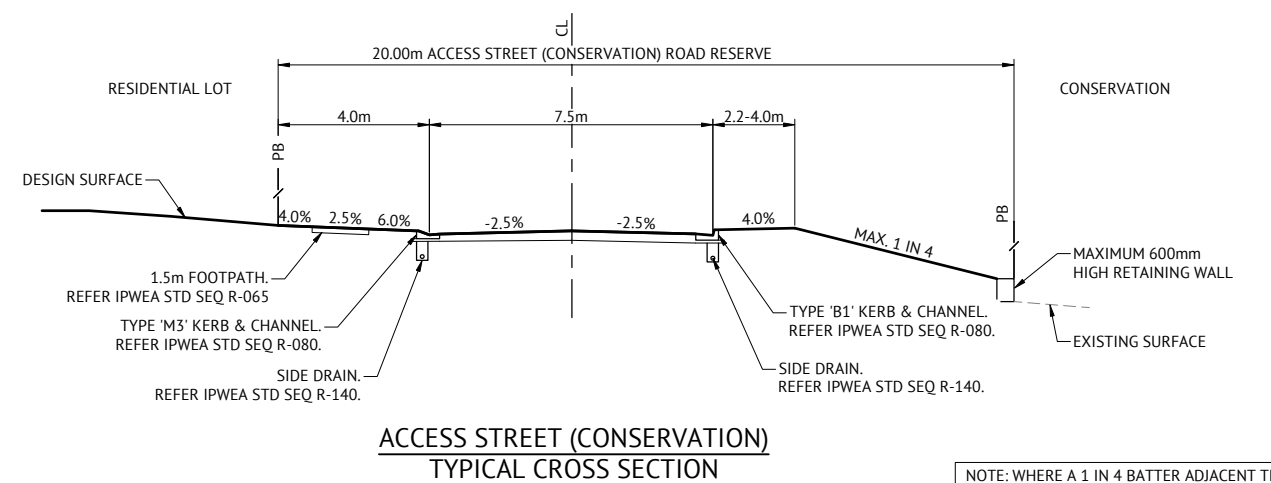
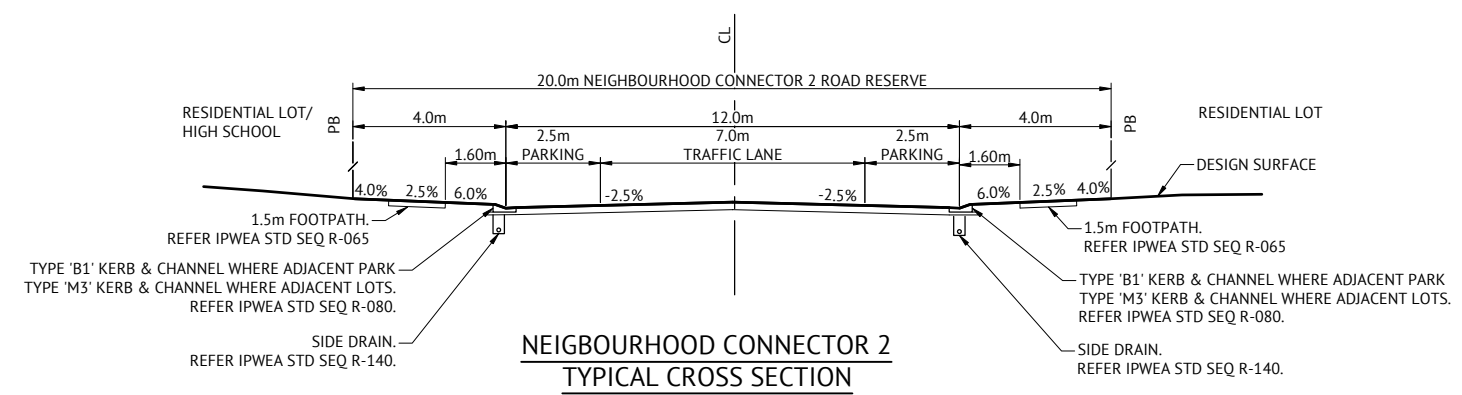
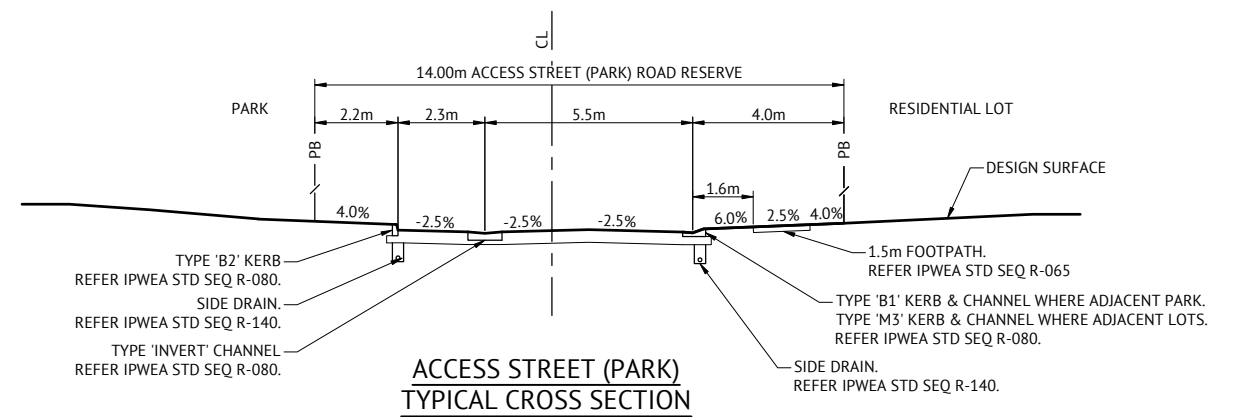
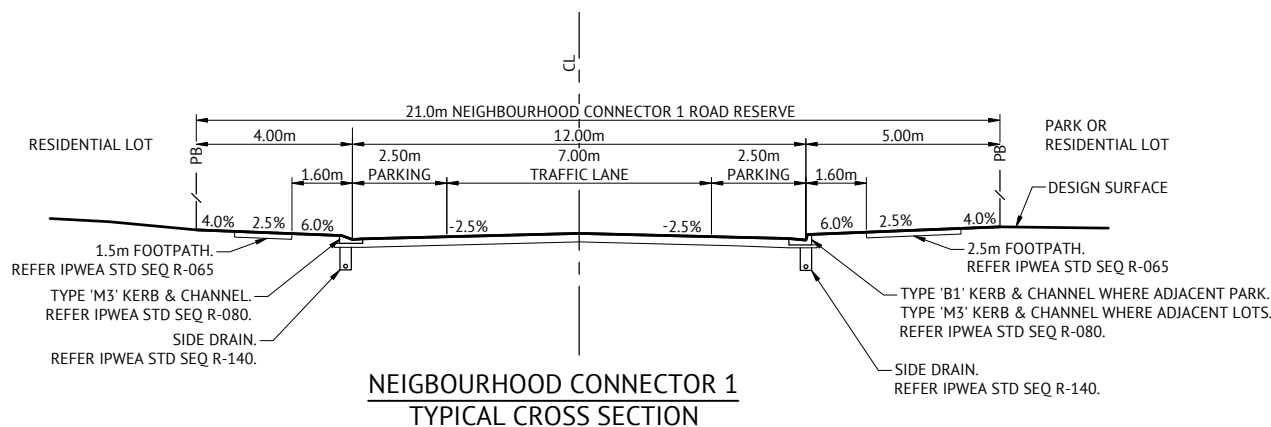
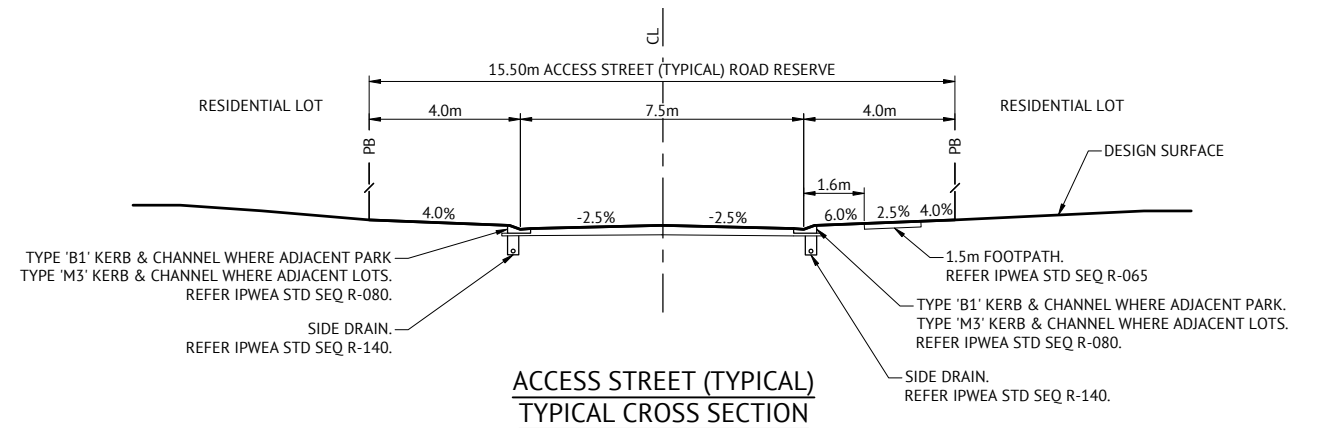
CLIENT
MIRVAC QLD PTY LTD

PROJECT
EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT

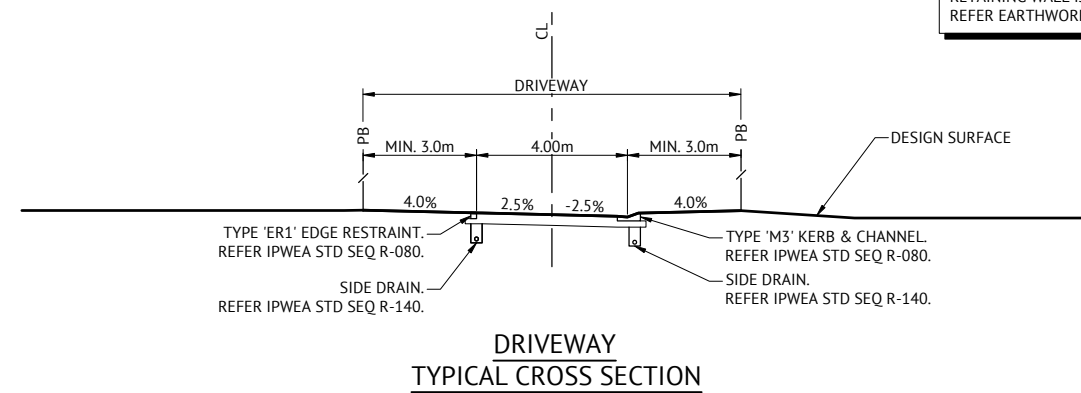
LOCATION
TEVIOT ROAD, GREENBANK

SHEET TITLE
ROAD FUNCTIONAL LAYOUT - SHEET 10

JOB CODE MIR-1300	
SHEET NUMBER SKC32	REV 2



NOTE: WHERE A 1 IN 4 BATTER ADJACENT THE CONSERVATION AREA CANNOT BE ACHIEVED A RETAINING WALL IS TO BE CONSTRUCTED. REFER EARTHWORKS PLANS FOR DETAILS.



PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
04/12/2023	2	AMENDED CROSS SECTIONS TO MATCH MWH MINIP	KK	NS
28/09/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS

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CHECKED
ANDREW LANGDON

PROJECT MANAGER
NICK SOMERVILLE

ENGINEERING CERTIFICATION

PATRICK BRADY RPEQ 7112

SCALE

SCALE 1:100 (A1)

ORIGINAL SHEET SIZE A1

CLIENT
MIRVAC QLD PTY LTD

PROJECT
EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT

LOCATION
TEVIOT ROAD, GREENBANK

SHEET TITLE
TYPICAL ROAD CROSS SECTIONS

JOB CODE
MIR-1300

SHEET NUMBER
SKC33

REV
2

APPENDIX E

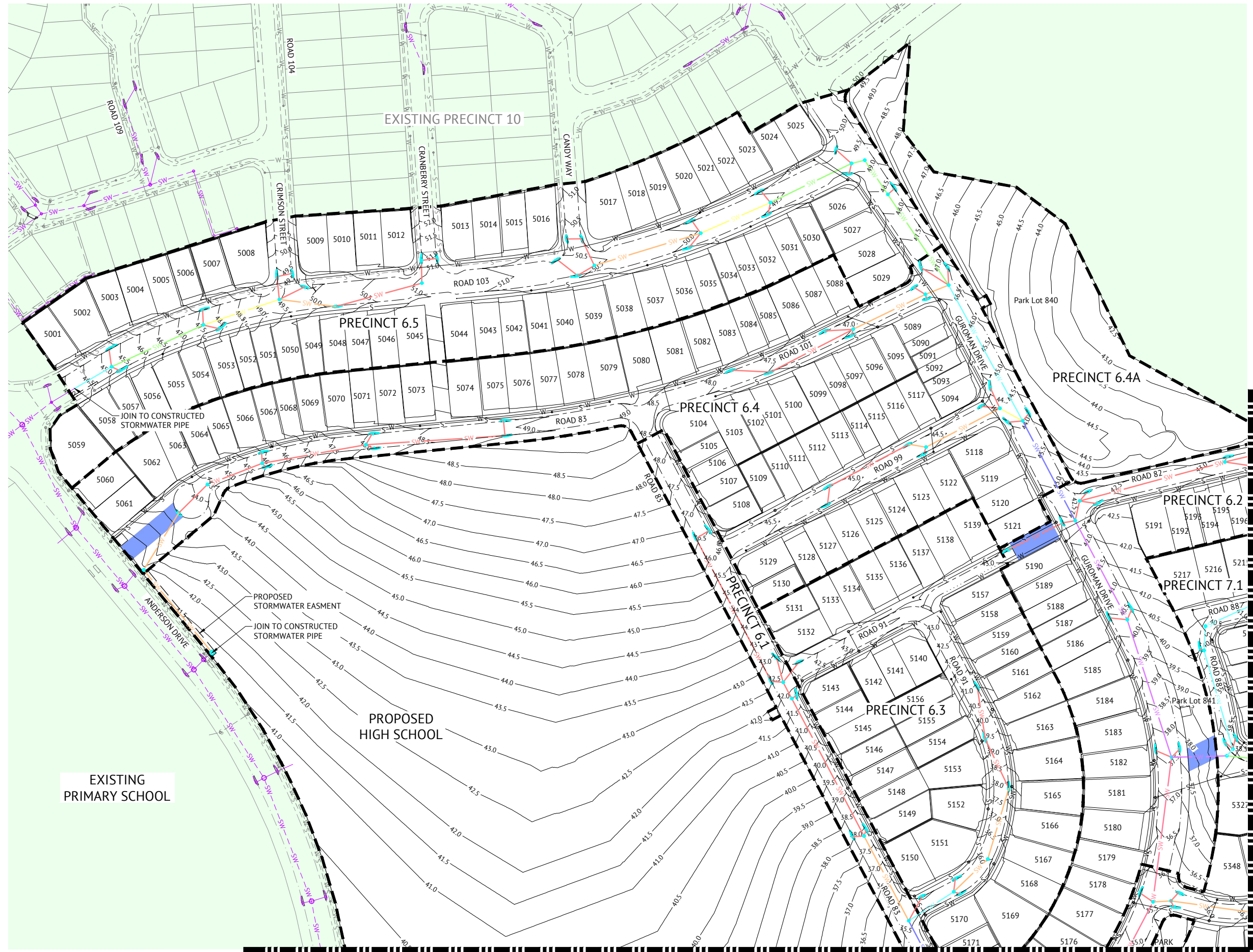
TRAFFIC IMPACT ASSESSMENT – **supplied in separate document**



APPENDIX F

PRELIMINARY STORMWATER DRAINAGE PLANS





LEGEND - PROPOSED

- SW — DN375 STORMWATER
- SW — DN450 STORMWATER
- SW — DN525 STORMWATER
- SW — DN600 STORMWATER
- SW — DN675 STORMWATER
- SW — DN750 STORMWATER
- SW — DN825 STORMWATER
- SW — DN900 STORMWATER
- SW — DN1050 STORMWATER
- SW — DN1200 STORMWATER
- SW — 900x450 BOX CULVERT
- OVERLAND FLOW PATH
- 12.0 — FINISHED CONTOURS (0.50m)
- - - - - PROPOSED IPWEA STD TYPE 'B1' KERB & CHANNEL. REFER IPWEA STD DWG RS-080.
- - - - - PROPOSED IPWEA STD TYPE 'B2' KERB ONLY. REFER IPWEA STD DWG RS-080.
- - - - - PROPOSED IPWEA TYPE 'M3' KERB & CHANNEL. REFER IPWEA STD DWG RS-080.
- - - - - PROPOSED IPWEA STD TYPE 'ER1' EDGE RESTRAINT. REFER IPWEA STD DWG RS-080.
- - - - - PROPOSED IPWEA INVERT. REFER IPWEA STD DWG RS-080.
- - - - - IPWEA STD TYPE 'SMS' KERB ONLY. REFER IPWEA STD DWG RS-080.
- S — GRAVITY SEWER
- RM — SEWER RISING MAIN
- W — WATER
- - - - - PRECINCT BOUNDARY

LEGEND - EXISTING

- - - - - SW - - - - - STORMWATER
- - - - - S - - - - - GRAVITY SEWER
- - - - - RM - - - - - SEWER RISING MAIN
- - - - - W - - - - - WATER
- - - - - E - - - - - ELECTRICAL
- - - - - T - - - - - TELSTRA
- - - - - G - - - - - GAS

JOINS SHEET 3

JOINS SHEET 2

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REVISIONS
22/05/2024	3	ADDED BOX CULVERT TO LEGEND	KK NS
14/03/2024	2	UPDATED TO PRECINCT NUMBERS AND LAYOUT	KK NS
10/02/2022	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK NS

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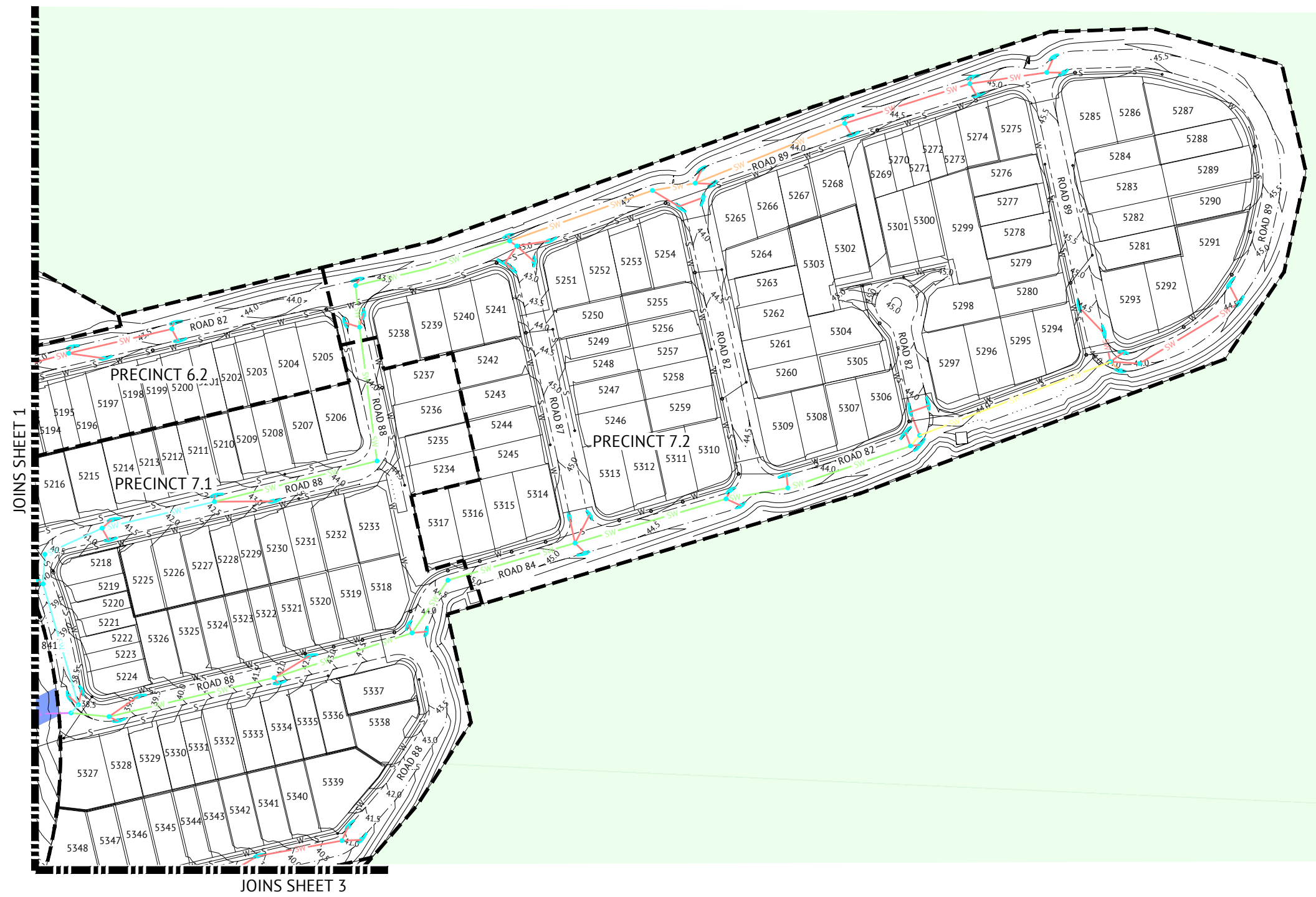
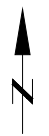
DESIGNED
 KLYNT KIWANG
 CHECKED
 ANDREW LANGDON
 PROJECT MANAGER
 NICK SOMERVILLE
 ENGINEERING CERTIFICATION
 PATRICK BRADY RPEQ 7112

SCALE

 SCALE 1:1000 (A1)
 ORIGINAL SHEET SIZE A1

CLIENT
 MIRVAC QLD PTY LTD
 PROJECT
 EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT
 LOCATION
 TEVIOT ROAD, GREENBANK
 SHEET TITLE
 PRELIMINARY STORMWATER LAYOUT PLAN - SHEET 1

JOB CODE
 MIR-1300
 SHEET NUMBER
 SKC47
 REV
 3



LEGEND - PROPOSED

- SW — DN375 STORMWATER
- SW — DN450 STORMWATER
- SW — DN525 STORMWATER
- SW — DN600 STORMWATER
- SW — DN675 STORMWATER
- SW — DN750 STORMWATER
- SW — DN825 STORMWATER
- SW — DN900 STORMWATER
- SW — DN1050 STORMWATER
- SW — DN1200 STORMWATER
- SW — 900x450 BOX CULVERT
- OVERLAND FLOW PATH
- 12.0 — FINISHED CONTOURS (0.50m)
- - - - - PROPOSED IPWEA STD TYPE 'B1' KERB & CHANNEL. REFER IPWEA STD DWG RS-080.
- - - - - PROPOSED IPWEA STD TYPE 'B2' KERB ONLY. REFER IPWEA STD DWG RS-080.
- - - - - PROPOSED IPWEA TYPE 'M3' KERB & CHANNEL. REFER IPWEA STD DWG RS-080.
- - - - - PROPOSED IPWEA STD TYPE 'ER1' EDGE RESTRAINT. REFER IPWEA STD DWG RS-080.
- - - - - PROPOSED IPWEA INVERT. REFER IPWEA STD DWG RS-080.
- - - - - IPWEA STD TYPE 'SM5' KERB ONLY. REFER IPWEA STD DWG RS-080.
- S — GRAVITY SEWER
- RM — SEWER RISING MAIN
- W — WATER
- - - - - PRECINCT BOUNDARY

LEGEND - EXISTING

- - - - - SW - - - - - STORMWATER
- - - - - S - - - - - GRAVITY SEWER
- - - - - RM - - - - - SEWER RISING MAIN
- - - - - W - - - - - WATER
- - - - - E - - - - - ELECTRICAL
- - - - - T - - - - - TELSTRA
- - - - - G - - - - - GAS

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
22/05/2024	3	ADDED BOX CULVERT TO LEGEND	KK	NS
14/05/2024	2	UPDATED TO PRECINCT NUMBERS AND LAYOUT	KK	NS
10/02/2022	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS

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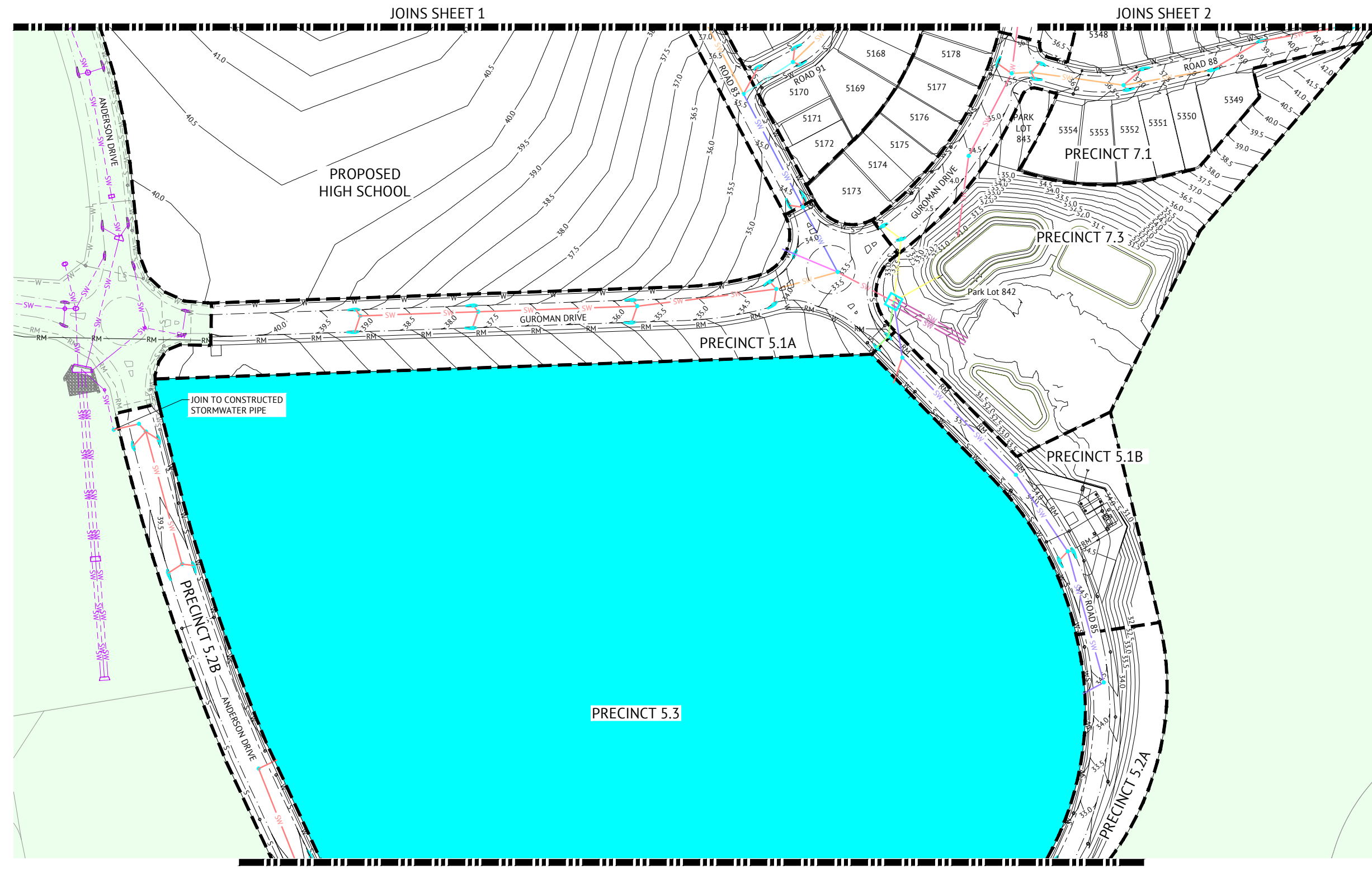
DESIGNED
KLYNT KIWANG
 CHECKED
ANDREW LANGDON
 PROJECT MANAGER
NICK SOMERVILLE
 ENGINEERING CERTIFICATION
 PATRICK BRADY RPEQ 7112

SCALE

 SCALE 1:1000 (A1)
 ORIGINAL SHEET SIZE A1

CLIENT
MIRVAC QLD PTY LTD
 PROJECT
EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT
 LOCATION
TEVIOT ROAD, GREENBANK
 SHEET TITLE
PRELIMINARY STORMWATER LAYOUT PLAN - SHEET 2

JOB CODE
MIR-1300
 SHEET NUMBER
SKC48
 REV
3



LEGEND - PROPOSED

- SW — DN375 STORMWATER
- SW — DN450 STORMWATER
- SW — DN525 STORMWATER
- SW — DN600 STORMWATER
- SW — DN675 STORMWATER
- SW — DN750 STORMWATER
- SW — DN825 STORMWATER
- SW — DN900 STORMWATER
- SW — DN1050 STORMWATER
- SW — DN1200 STORMWATER
- SW — 900x450 BOX CULVERT
- OVERLAND FLOW PATH
- 12.0 — FINISHED CONTOURS (0.50m)
- - - - - PROPOSED IPWEA STD TYPE 'B1' KERB & CHANNEL. REFER IPWEA STD DWG RS-080.
- - - - - PROPOSED IPWEA STD TYPE 'B2' KERB ONLY. REFER IPWEA STD DWG RS-080.
- - - - - PROPOSED IPWEA TYPE 'M3' KERB & CHANNEL. REFER IPWEA STD DWG RS-080.
- - - - - PROPOSED IPWEA STD TYPE 'ER1' EDGE RESTRAINT. REFER IPWEA STD DWG RS-080.
- - - - - PROPOSED IPWEA INVERT. REFER IPWEA STD DWG RS-080.
- - - - - IPWEA STD TYPE 'SMS' KERB ONLY. REFER IPWEA STD DWG RS-080.
- S — GRAVITY SEWER
- RM — SEWER RISING MAIN
- W — WATER
- - - - - PRECINCT BOUNDARY

LEGEND - EXISTING

- - - - - SW - - - - - STORMWATER
- - - - - S - - - - - GRAVITY SEWER
- - - - - RM - - - - - SEWER RISING MAIN
- - - - - W - - - - - WATER
- - - - - E - - - - - ELECTRICAL
- - - - - T - - - - - TELSTRA
- - - - - G - - - - - GAS

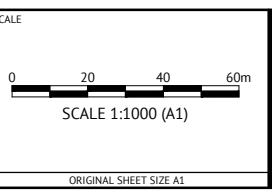
PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
22/05/2024	3	ADDED BOX CULVERT TO LEGEND, AMENDED STORMWATER LAYOUT	KK	NS
14/03/2024	2	UPDATED TO PRECINCT NUMBERS AND LAYOUT	KK	NS
10/02/2022	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS



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 WEB: www.premise.com.au

DESIGNED
KLYNT KIWANG
 CHECKED
ANDREW LANGDON
 PROJECT MANAGER
NICK SOMERVILLE
 ENGINEERING CERTIFICATION
 PATRICK BRADY RPEQ 7112



CLIENT
MIRVAC QLD PTY LTD

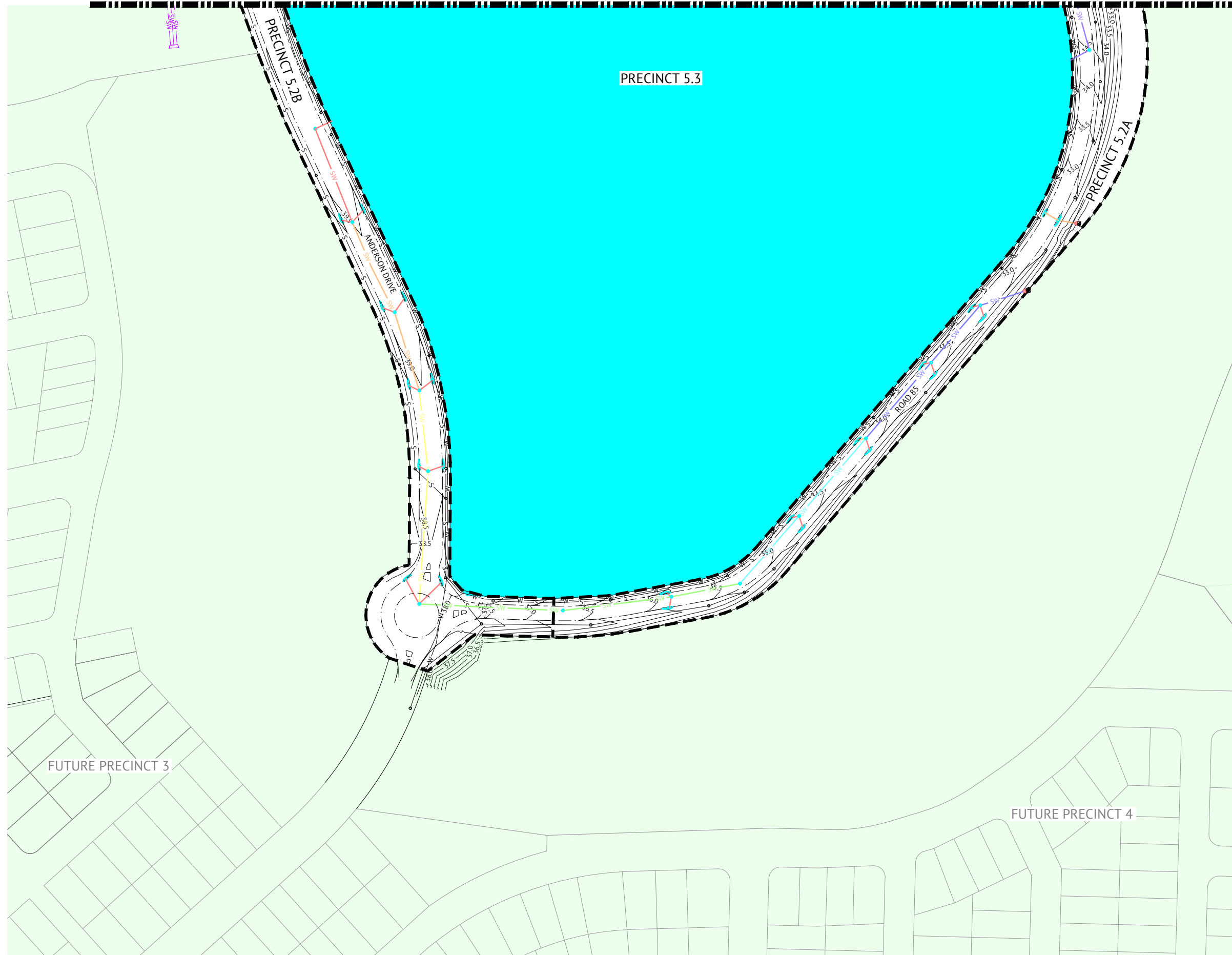
PROJECT
EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT

LOCATION
TEVIOT ROAD, GREENBANK

SHEET TITLE
PRELIMINARY STORMWATER LAYOUT PLAN - SHEET 3

JOB CODE
MIR-1300

SHEET NUMBER	REV
SKC49	3



LEGEND - PROPOSED

- SW — DN375 STORMWATER
- SW — DN450 STORMWATER
- SW — DN525 STORMWATER
- SW — DN600 STORMWATER
- SW — DN675 STORMWATER
- SW — DN750 STORMWATER
- SW — DN825 STORMWATER
- SW — DN900 STORMWATER
- SW — DN1050 STORMWATER
- SW — DN1200 STORMWATER
- SW — 900x450 BOX CULVERT
- OVERLAND FLOW PATH
- 12.0 FINISHED CONTOURS (0.50m)
- PROPOSED IPWEA STD TYPE 'B1' KERB & CHANNEL. REFER IPWEA STD DWG RS-080.
- PROPOSED IPWEA STD TYPE 'B2' KERB ONLY. REFER IPWEA STD DWG RS-080.
- PROPOSED IPWEA TYPE 'M3' KERB & CHANNEL. REFER IPWEA STD DWG RS-080.
- PROPOSED IPWEA STD TYPE 'ER1' EDGE RESTRAINT. REFER IPWEA STD DWG RS-080.
- PROPOSED IPWEA INVERT. REFER IPWEA STD DWG RS-080.
- IPWEA STD TYPE 'SM5' KERB ONLY. REFER IPWEA STD DWG RS-080.
- S — GRAVITY SEWER
- RM — SEWER RISING MAIN
- W — WATER
- PRECINCT BOUNDARY

LEGEND - EXISTING

- - - SW - - - STORMWATER
- - - S - - - GRAVITY SEWER
- - - RM - - - SEWER RISING MAIN
- - - W - - - WATER
- - - E - - - ELECTRICAL
- - - T - - - TELSTRA
- - - G - - - GAS

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
22/05/2024	3	ADDED BOX CULVERT TO LEGEND	KK	NS
14/03/2024	2	UPDATED TO PRECINCT NUMBERS AND LAYOUT	KK	NS
10/02/2022	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS

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NICK SOMERVILLE
 ENGINEERING CERTIFICATION
 PATRICK BRADY RPEQ 7112

SCALE

 SCALE 1:1000 (A1)
 ORIGINAL SHEET SIZE A1

CLIENT
MIRVAC QLD PTY LTD
 PROJECT
EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT
 LOCATION
TEVIOT ROAD, GREENBANK
 SHEET TITLE
PRELIMINARY STORMWATER LAYOUT PLAN - SHEET 4

JOB CODE
MIR-1300
 SHEET NUMBER
SKC50
 REV
3

APPENDIX G

PRELIMINARY SEWER RETICULATION PLANS

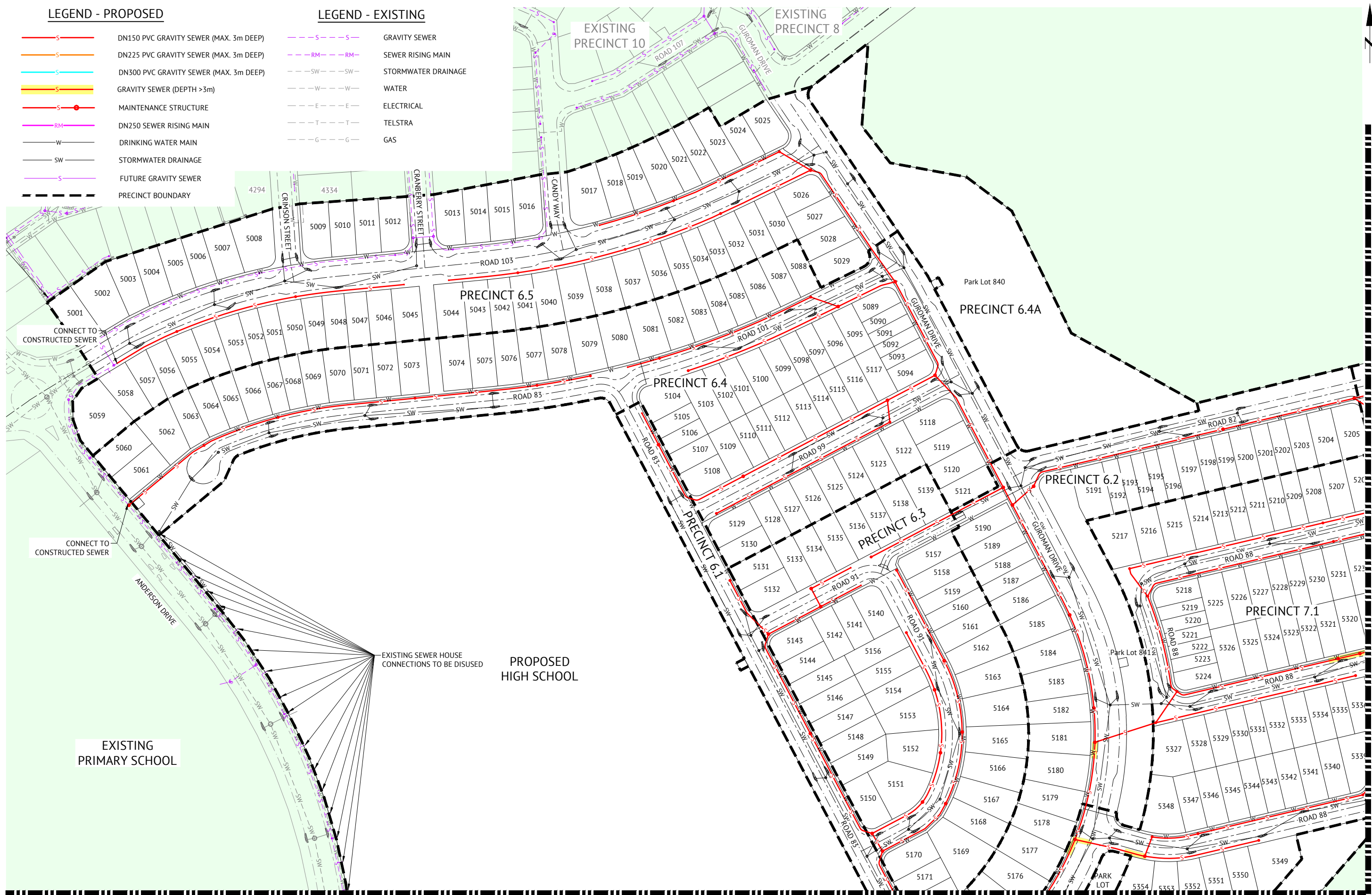


LEGEND - PROPOSED

- S—S— DN150 PVC GRAVITY SEWER (MAX. 3m DEEP)
- S—S— DN225 PVC GRAVITY SEWER (MAX. 3m DEEP)
- S—S— DN300 PVC GRAVITY SEWER (MAX. 3m DEEP)
- S—S— GRAVITY SEWER (DEPTH >3m)
- S—●— MAINTENANCE STRUCTURE
- RM—RM— DN250 SEWER RISING MAIN
- W—W— DRINKING WATER MAIN
- SW—SW— STORMWATER DRAINAGE
- S—S— FUTURE GRAVITY SEWER
- PRECINCT BOUNDARY

LEGEND - EXISTING

- - -S- - -S- - - GRAVITY SEWER
- - -RM- - -RM- - - SEWER RISING MAIN
- - -SW- - -SW- - - STORMWATER DRAINAGE
- - -W- - -W- - - WATER
- - -E- - -E- - - ELECTRICAL
- - -T- - -T- - - TELSTRA
- - -G- - -G- - - GAS



JOINS SHEET 3

JOINS SHEET 2

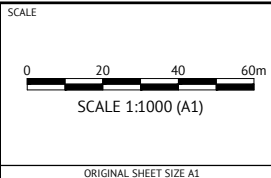
PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	KK	NS
14/03/2024	2	UPDATED TO PRECINCT NUMBERS AND LAYOUT	KK	NS
29/09/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS
			REC	APP



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CLIENT
MIRVAC QLD PTY LTD

PROJECT
EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT

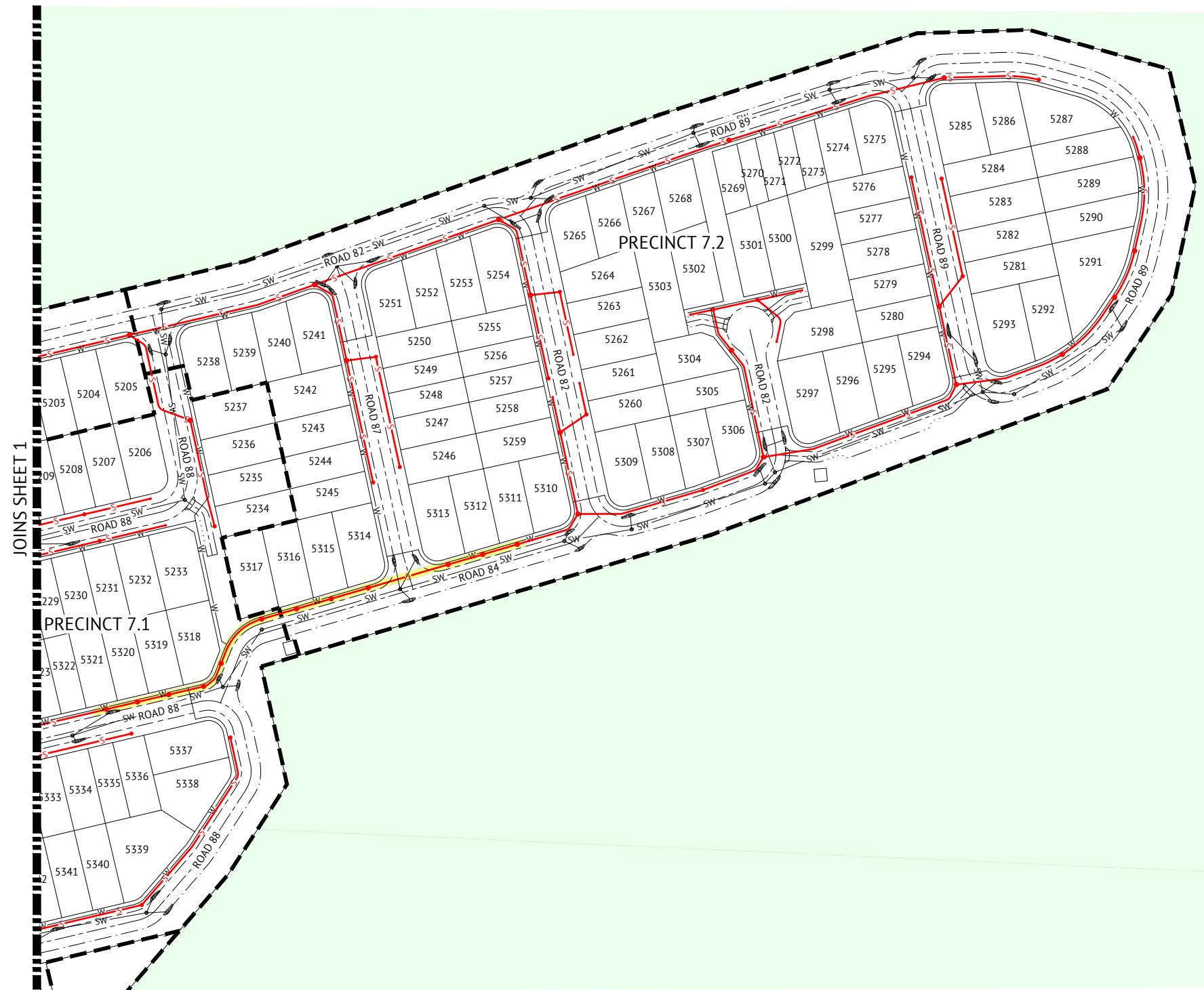
LOCATION
TEVIOT ROAD, GREENBANK

SHEET TITLE
PRELIMINARY SEWER LAYOUT PLAN - SHEET 1

JOB CODE
MIR-1300

SHEET NUMBER
SKC51

REV
2



NOTE:
 PROPOSED SEWER WITHIN PRECINCT 7.2 TO CROSS ABOVE STORMWATER DRAINAGE TO MINIMISE LENGTH OF SEWER MAIN OVER 3m DEEP AND NUMBER OF MAINTENANCE STRUCTURES FOR HOUSE CONNECTIONS

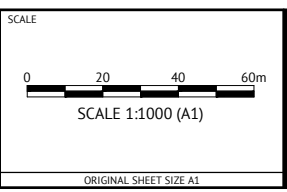
LEGEND - PROPOSED		LEGEND - EXISTING	
	DN150 PVC GRAVITY SEWER (MAX. 3m DEEP)		GRAVITY SEWER
	DN225 PVC GRAVITY SEWER (MAX. 3m DEEP)		SEWER RISING MAIN
	DN300 PVC GRAVITY SEWER (MAX. 3m DEEP)		STORMWATER DRAINAGE
	GRAVITY SEWER (DEPTH >3m)		WATER
	MAINTENANCE STRUCTURE		ELECTRICAL
	DN250 SEWER RISING MAIN		TELSTRA
	DRINKING WATER MAIN		GAS
	STORMWATER DRAINAGE		
	FUTURE GRAVITY SEWER		
	PRECINCT BOUNDARY		

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
14/03/2024	2	UPDATED TO PRECINCT NUMBERS AND LAYOUT	KK	NS
29/09/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS

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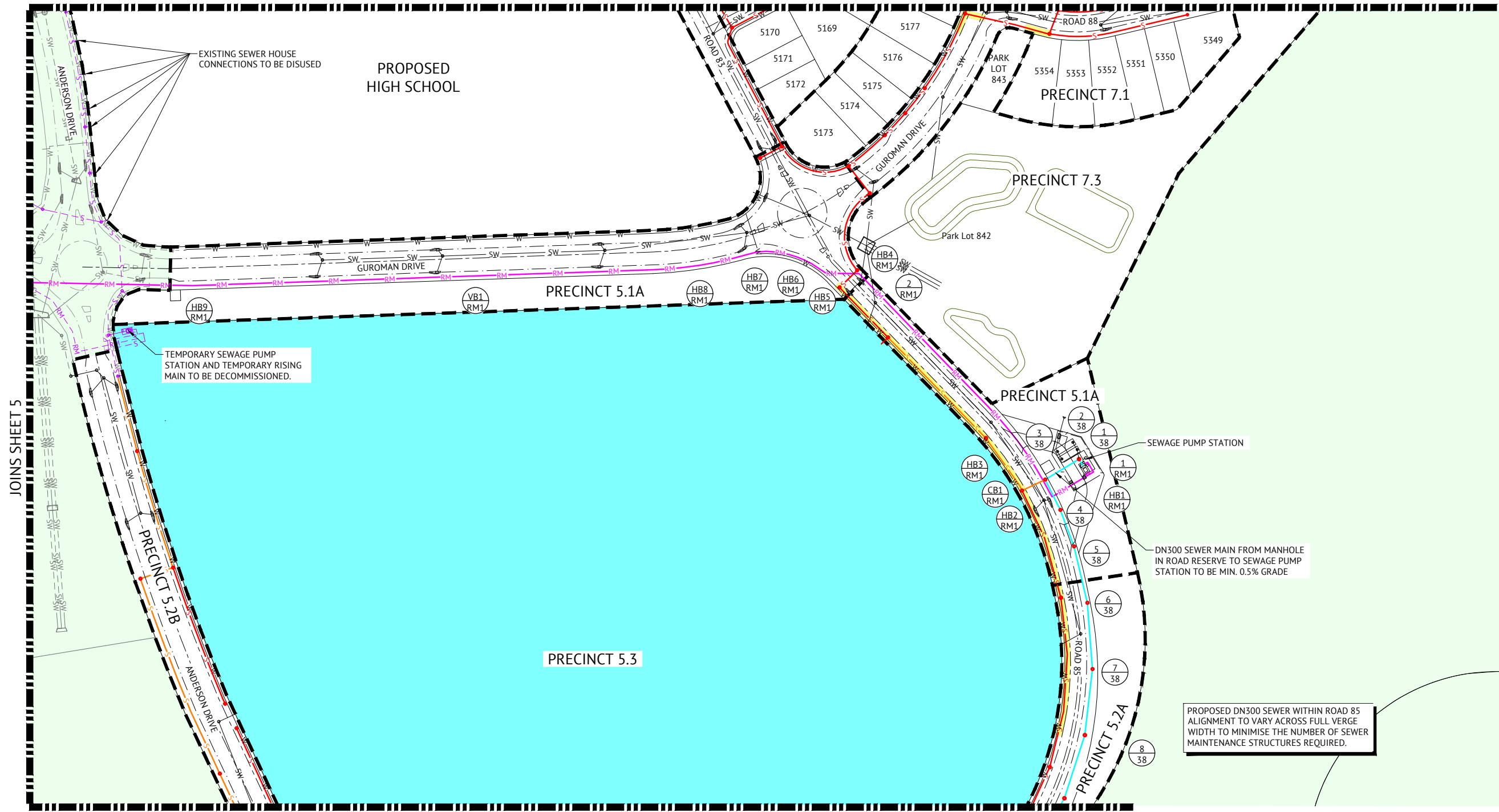
CLIENT
MIRVAC QLD PTY LTD

PROJECT
EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT

LOCATION
TEVIOT ROAD, GREENBANK

SHEET TITLE
PRELIMINARY SEWER LAYOUT PLAN - SHEET 2

JOB CODE		MIR-1300
SHEET NUMBER	REV	
SKC52	2	



LEGEND - PROPOSED

- S— DN150 PVC GRAVITY SEWER (MAX. 3m DEEP)
- S— DN225 PVC GRAVITY SEWER (MAX. 3m DEEP)
- S— DN300 PVC GRAVITY SEWER (MAX. 3m DEEP)
- S— GRAVITY SEWER (DEPTH >3m)
- S—● MAINTENANCE STRUCTURE
- RM— DN250 SEWER RISING MAIN
- W— DRINKING WATER MAIN
- SW— STORMWATER DRAINAGE
- S— FUTURE GRAVITY SEWER
- PRECINCT BOUNDARY

LEGEND - EXISTING

- - - S - - - S GRAVITY SEWER
- - - RM - - - RM SEWER RISING MAIN
- - - SW - - - SW STORMWATER DRAINAGE
- - - W - - - W WATER
- - - E - - - E ELECTRICAL
- - - T - - - T TELSTRA
- - - G - - - G GAS

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
22/05/2024	3	AMENDED STORMWATER LAYOUT	KK	NS
14/03/2024	2	UPDATED TO PRECINCT NUMBERS AND LAYOUT	KK	NS
29/09/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS

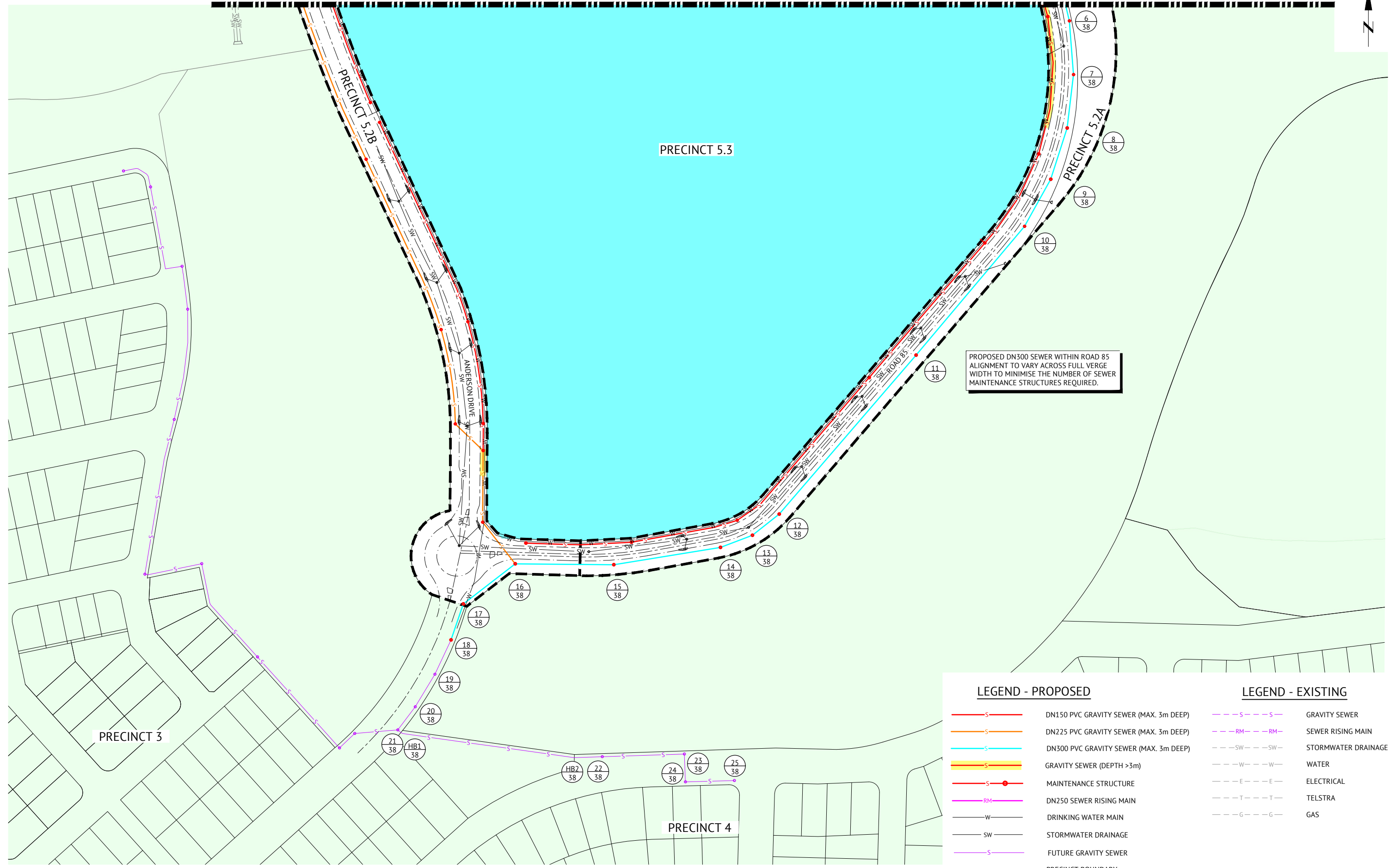
Premise
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 PATRICK BRADY RPEQ 7112

SCALE
 0 20 40 60m
 SCALE 1:1000 (A1)
 ORIGINAL SHEET SIZE A1

CLIENT
MIRVAC QLD PTY LTD
 PROJECT
EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT
 LOCATION
TEVIOT ROAD, GREENBANK
 SHEET TITLE
PRELIMINARY SEWER LAYOUT PLAN - SHEET 3

JOB CODE
MIR-1300
 SHEET NUMBER
SKC53
 REV
3



PROPOSED DN300 SEWER WITHIN ROAD 85 ALIGNMENT TO VARY ACROSS FULL VERGE WIDTH TO MINIMISE THE NUMBER OF SEWER MAINTENANCE STRUCTURES REQUIRED.

LEGEND - PROPOSED

- S—S— DN150 PVC GRAVITY SEWER (MAX. 3m DEEP)
- S—S— DN225 PVC GRAVITY SEWER (MAX. 3m DEEP)
- S—S— DN300 PVC GRAVITY SEWER (MAX. 3m DEEP)
- S—S— GRAVITY SEWER (DEPTH >3m)
- S—●— MAINTENANCE STRUCTURE
- RM—RM— DN250 SEWER RISING MAIN
- W—W— DRINKING WATER MAIN
- SW—SW— STORMWATER DRAINAGE
- S—S— FUTURE GRAVITY SEWER
- PRECINCT BOUNDARY

LEGEND - EXISTING

- - - S - - - S - - - GRAVITY SEWER
- - - RM - - - RM - - - SEWER RISING MAIN
- - - SW - - - SW - - - STORMWATER DRAINAGE
- - - W - - - W - - - WATER
- - - E - - - E - - - ELECTRICAL
- - - T - - - T - - - TELSTRA
- - - G - - - G - - - GAS

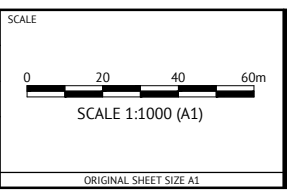
PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
14/03/2024	2	UPDATED TO PRECINCT NUMBERS AND LAYOUT	KK	NS
29/09/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS



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 ENGINEERING CERTIFICATION
 PATRICK BRADY RPEQ 7112



CLIENT
MIRVAC QLD PTY LTD

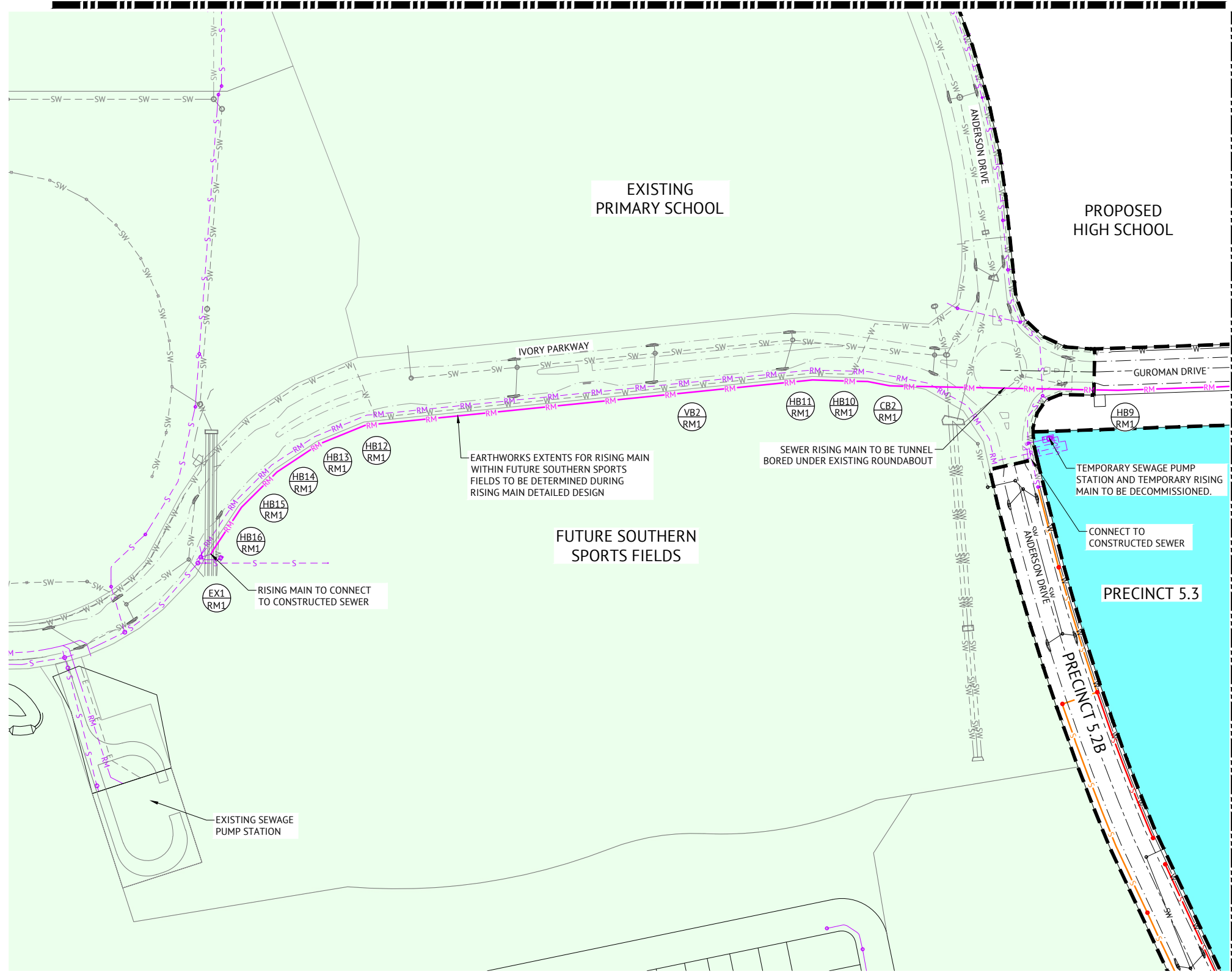
PROJECT
EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT

LOCATION
TEVIOT ROAD, GREENBANK

SHEET TITLE
PRELIMINARY SEWER LAYOUT PLAN - SHEET 4

JOB CODE
MIR-1300

SHEET NUMBER	REV
SKC54	2



JOINS SHEET 3

LEGEND - PROPOSED

- S— DN150 PVC GRAVITY SEWER (MAX. 3m DEEP)
- S— DN225 PVC GRAVITY SEWER (MAX. 3m DEEP)
- S— DN300 PVC GRAVITY SEWER (MAX. 3m DEEP)
- S— GRAVITY SEWER (DEPTH >3m)
- S—● MAINTENANCE STRUCTURE
- RM— DN250 SEWER RISING MAIN
- W— DRINKING WATER MAIN
- SW— STORMWATER DRAINAGE
- S— FUTURE GRAVITY SEWER
- PRECINCT BOUNDARY

LEGEND - EXISTING

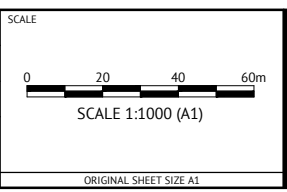
- - - S - - - S - - - GRAVITY SEWER
- - - RM - - - RM - - - SEWER RISING MAIN
- - - SW - - - SW - - - STORMWATER DRAINAGE
- - - W - - - W - - - WATER
- - - E - - - E - - - ELECTRICAL
- - - T - - - T - - - TELSTRA
- - - G - - - G - - - GAS

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
14/03/2024	2	UPDATED TO PRECINCT NUMBERS AND LAYOUT	KK	NS
29/09/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS

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 ENGINEERING CERTIFICATION
 PATRICK BRADY RPEQ 7112



CLIENT
MIRVAC QLD PTY LTD

PROJECT
EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT

LOCATION
TEVIOT ROAD, GREENBANK

SHEET TITLE
PRELIMINARY SEWER LAYOUT PLAN - SHEET 5

JOB CODE MIR-1300	
SHEET NUMBER SKC55	REV 2

MAINTENANCE HOLE / SHAFT NO.	1/38	2/38	3/38	4/38	5/38	6/38	7/38	8/38	9/38	10/38	11/38	12/38	13/38	14/38	15/38	16/38	17/38
MH / MS COVER TYPE	B	B	B	B	B	B	B	B	B	B	B	B	B	B	B	B	B
MH / MS TYPE	WW	B	A	A	A	A	A	A	A	A	A	A	A	A	A	A	A
MH DROP TYPE																	
LINE NO.																	
PROPERTY CONNECTION DEPTH																	
PROPERTY CONNECTION INVERT LEVEL																	
PROPERTY CONNECTION TYPE																	
LOT NO.																	

LEGEND
 RR DENOTES ROAD RESERVE
 PP DENOTES PRIVATE PROPERTY

MANHOLE TYPES	
A	CONCRETE MANHOLE 1.05Ø
B	CONCRETE MANHOLE 1.20Ø
C	CONCRETE MANHOLE 1.50Ø
J	TYPE 'J' 1 MAINTENANCE SHAFT (DN300 SHAFT)
TE	TEMPORARY END
LRB	HORIZONTAL BEND (3m HORIZ. RADIUS)
WW	SEWAGE PUMP STATION WET WELL

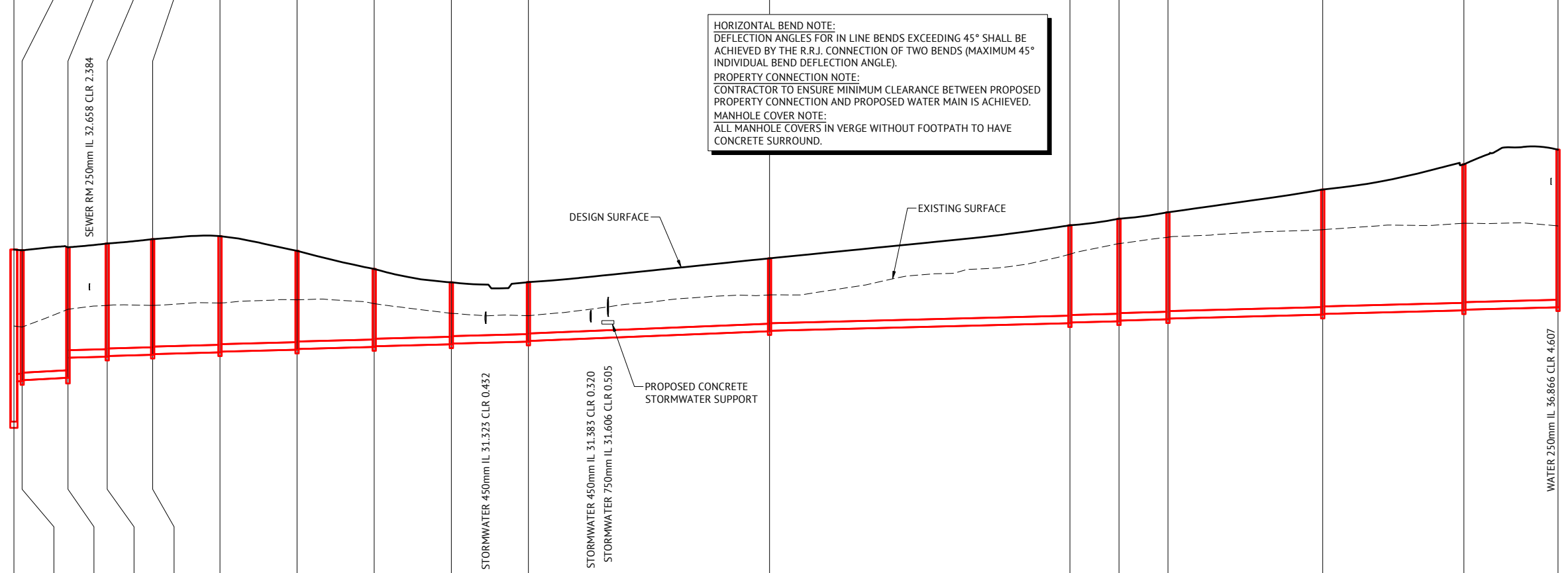
LID TYPES	
B	CLASS B NON TRAFFICABLE CAST IRON
BD	CLASS B NON TRAFFICABLE BOLT DOWN
D	CLASS D TRAFFICABLE CAST IRON

MAINTENANCE STRUCTURE DROP TYPES	
V	FALL THROUGH MH
W	OBLIQUE 45° BACKDROP
X	INTERNAL DROP
Y	EXTERNAL DROP
VORT	INTERNAL VORTEX DROP
Z	MAINTENANCE SHAFT DROP

PROPERTY CONNECTION TYPES	
A	TYPE A - STD
B	TYPE B - SLOPE UP
D	TYPE D - VERTICAL

NOTES:
 1. EMBEDMENT TYPE 3 SHALL USE CRUSHED ROCK NOMINAL 5-7mm (SINGLE SIZED).
 2. DUCTILE IRON PIPES SHALL HAVE MIN. 1300 MICRON POLYURETHANE INTERNAL LINING.

HORIZONTAL BEND NOTE:
 DEFLECTION ANGLES FOR IN LINE BENDS EXCEEDING 45° SHALL BE ACHIEVED BY THE R.R.J. CONNECTION OF TWO BENDS (MAXIMUM 45° INDIVIDUAL BEND DEFLECTION ANGLE).
PROPERTY CONNECTION NOTE:
 CONTRACTOR TO ENSURE MINIMUM CLEARANCE BETWEEN PROPOSED PROPERTY CONNECTION AND PROPOSED WATER MAIN IS ACHIEVED.
MANHOLE COVER NOTE:
 ALL MANHOLE COVERS IN VERGE WITHOUT FOOTPATH TO HAVE CONCRETE SURROUND.



DATUM RL	20.000																																
PROPERTY DESCRIPTION	RR																																
PIPE SIZE (mm), CLASS	DN300 uPVC SN8																																
GRADE (1 IN X)	200	200	400	400	400	400	400	400	400	400	250	400	400	400	400	400	400																
LENGTH	3.300	18.300	15.674	18.156	26.880	30.805	30.805	30.805	30.805	96.289	120.000	19.577	19.577	61.813	56.380	37.583																	
EMBEDMENT TYPE	TYPE 3																																
DEPTH OF INVERT BELOW FSL	6.869	5.269	5.224	5.184	5.212	4.408	4.519	4.489	4.620	4.590	4.643	4.613	3.950	3.920	3.118	3.088	2.479	2.449	2.378	2.348	2.913	2.893	3.912	3.882	4.094	4.064	4.277	4.247	4.999	4.969	5.833	5.803	6.293
INVERT LEVEL (IL)	27.401	29.001	29.017	29.057	29.149	29.953	29.992	30.022	30.067	30.097	30.164	30.194	30.271	30.301	30.378	30.408	30.485	30.515	30.592	30.622	31.008	31.028	31.328	31.358	31.406	31.436	31.485	31.515	31.670	31.700	31.841	31.871	31.965
FINISHED SURFACE LEVEL (FSL)	34.269	34.241	34.360	34.511	34.687	34.807	34.221	33.496	32.964	33.921	35.239	35.501	35.763	36.669	37.674	38.258																	
EXISTING SURFACE LEVEL (ESL)	31.218	31.176	31.886	32.040	32.039	32.136	32.262	32.110	31.722	32.459	34.085	34.508	34.764	35.064	35.322	35.216																	
CHAINAGE (CH)	0.000	3.300	21.600	37.274	55.430	82.310	113.114	143.919	174.724	205.529	301.817	421.817	441.394	460.971	522.784	579.164	616.747																

LINE 38 (CONTROL LINE TO FUTURE PRECINCT 4)

PRELIMINARY - NOT FOR CONSTRUCTION

21/05/2024	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS
DATE	REV	DESCRIPTION	REC	APP

Premise
 BRISBANE OFFICE
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DESIGNED
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 CHECKED
ANDREW LANGDON
 PROJECT MANAGER
NICK SOMERVILLE
 PROJECT DIRECTOR
PATRICK BRADY RPEQ 7112

SCALE
 HORIZONTAL 1:500 (A1)
 VERTICAL 1:50 (A1)
 ORIGINAL SHEET SIZE A1

CLIENT
MIRVAC QLD PTY LTD
 PROJECT
EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT
 LOCATION
TEVIOT ROAD, GREENBANK
 SHEET TITLE
PRELIMINARY SEWER GRAVITY MAIN LONG SECTIONS - SHEET 1

JOB CODE
MIR-1300
 SHEET NUMBER
SKC66
 REV
1

MAINTENANCE HOLE / SHAFT NO.	17/38	18/38	19/38	20/38	21/38	HB1/38	HB2/38	22/38	23/38	24/38	25/38
MH / MS COVER TYPE	B	B	B	B	B			B	B	B	B
MH / MS TYPE	A	A	A	A	A	LRB	LRB	A	A	A	A
MH DROP TYPE											
LINE NO.											
PROPERTY CONNECTION DEPTH											
PROPERTY CONNECTION INVERT LEVEL											
PROPERTY CONNECTION TYPE											
LOT NO.											

LEGEND
 RR DENOTES ROAD RESERVE
 PP DENOTES PRIVATE PROPERTY

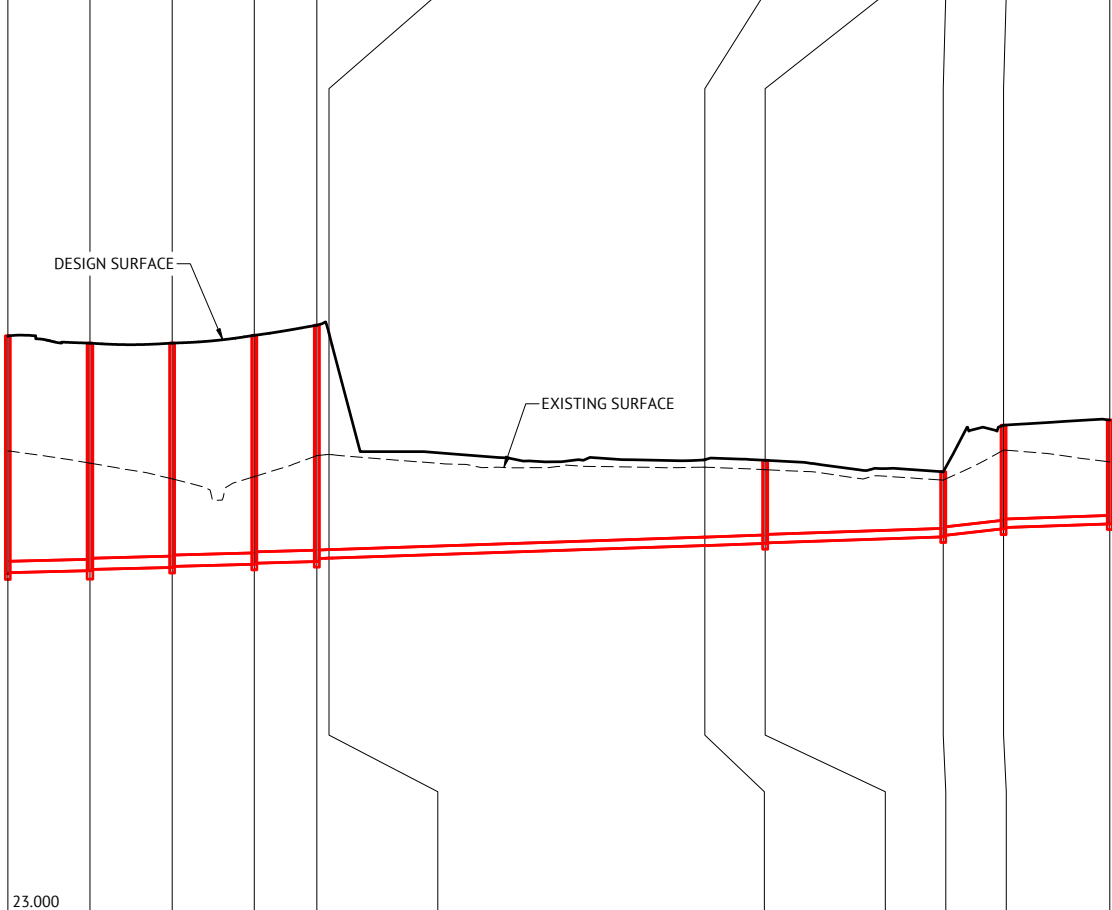
MANHOLE TYPES	
A	CONCRETE MANHOLE 1.05Ø
B	CONCRETE MANHOLE 1.20Ø
C	CONCRETE MANHOLE 1.50Ø
J	TYPE 'J' 1 MAINTENANCE SHAFT (DN300 SHAFT)
TE	TEMPORARY END
LRB	HORIZONTAL BEND (3m HORIZ. RADIUS)
WW	SEWAGE PUMP STATION WET WELL

LID TYPES	
B	CLASS B NON TRAFFICABLE CAST IRON
BD	CLASS B NON TRAFFICABLE BOLT DOWN
D	CLASS D TRAFFICABLE CAST IRON

MAINTENANCE STRUCTURE DROP TYPES	
V	FALL THROUGH MH
W	OBLIQUE 45° BACKDROP
X	INTERNAL DROP
Y	EXTERNAL DROP
VORT	INTERNAL VORTEX DROP
Z	MAINTENANCE SHAFT DROP

PROPERTY CONNECTION TYPES	
A	TYPE A - STD
B	TYPE B - SLOPE UP
D	TYPE D - VERTICAL

NOTES:
 1. EMBEDMENT TYPE 3 SHALL USE CRUSHED ROCK NOMINAL 5-7mm (SINGLE SIZED).
 2. DUCTILE IRON PIPES SHALL HAVE MIN. 1300 MICRON POLYURETHANE INTERNAL LINING.



HORIZONTAL BEND NOTE:
 DEFLECTION ANGLES FOR IN LINE BENDS EXCEEDING 45° SHALL BE ACHIEVED BY THE R.R.J. CONNECTION OF TWO BENDS (MAXIMUM 45° INDIVIDUAL BEND DEFLECTION ANGLE).
PROPERTY CONNECTION NOTE:
 CONTRACTOR TO ENSURE MINIMUM CLEARANCE BETWEEN PROPOSED PROPERTY CONNECTION AND PROPOSED WATER MAIN IS ACHIEVED.
MANHOLE COVER NOTE:
 ALL MANHOLE COVERS IN VERGE WITHOUT FOOTPATH TO HAVE CONCRETE SURROUND.

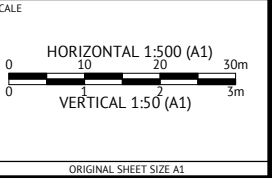
DATUM RL	23.000													
PROPERTY DESCRIPTION							RR							
PIPE SIZE (mm), CLASS	DN300 uPVC SN8						DN225 uPVC SN8							
GRADE (1 IN X)	400	400	400	400	300	300	300	300	300	300	300	95	300	
LENGTH	21.738	21.738	21.738	16.571	2.363	0.822	0.822	98.400	0.258	0.258	15.696	47.088	15.973	28.115
EMBEDMENT TYPE	TYPE 3													
DEPTH OF INVERT BELOW FSL	6.293	6.263	6.017	5.987	5.933	5.903	6.055	6.025	6.253	6.173	6.235	5.951	5.629	2.747
INVERT LEVEL (IL)	31.965	31.995	32.049	32.079	32.134	32.164	32.218	32.248	32.289	32.369	32.377	32.380	32.383	33.284
FINISHED SURFACE LEVEL (FSL)	38.258	38.066	38.067	38.273	38.542	38.612	38.351	38.012	34.978	34.985	34.994	34.967	34.663	35.897
EXISTING SURFACE LEVEL (ESL)	35.216	34.893	34.478	34.537	35.089	35.116	35.121	35.116	34.787	34.787	34.786	34.720	34.442	35.237
CHAINAGE (CH)	616.747	638.485	660.223	681.962	698.533	700.896	701.717	702.539	800.939	801.196	801.454	817.150	864.238	880.210

LINE 38 (CONTROL LINE TO FUTURE PRECINCT 4)

PRELIMINARY - NOT FOR CONSTRUCTION			
21/05/2024	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK NS
DATE	REV	DESCRIPTION	REC APP

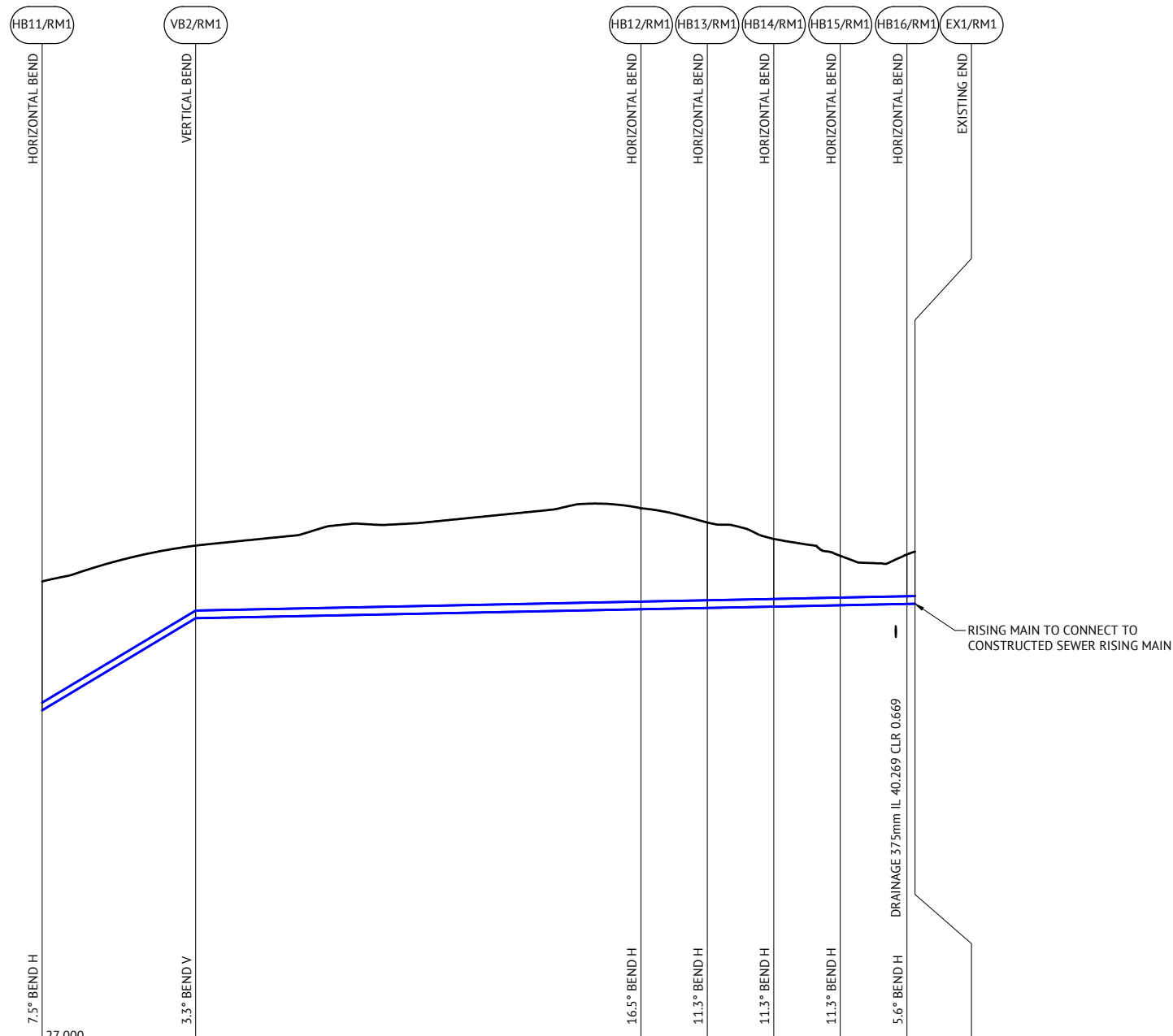
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 CHECKED
 ANDREW LANGDON
 PROJECT MANAGER
 NICK SOMERVILLE
 PROJECT DIRECTOR
 PATRICK BRADY RPEQ 7112



CLIENT	MIRVAC QLD PTY LTD
PROJECT	EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT
LOCATION	TEVIOT ROAD, GREENBANK
SHEET TITLE	PRELIMINARY SEWER GRAVITY MAIN LONG SECTIONS - SHEET 2

JOB CODE	MIR-1300
SHEET NUMBER	SKC67
REV	1



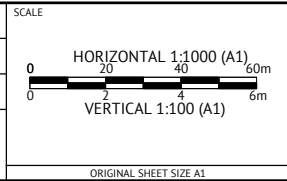
DATUM R.L.	27.000								
PROPERTY DESCRIPTION		PARK							
PIPE SIZE (mm), CLASS		DN250 PE100 SDR11							
GRADE (1 IN X)		16.7	500	500	500	500	500	500	
LENGTH		49.995	144.924	21.580	21.649	21.649	21.724	2.595	
EMBEDMENT TYPE		TYPE A							
DEPTH TO INVERT	4.191			3.278	2.778	2.193	1.611	1.613	1.698
INVERT LEVEL	37.893		40.893	41.183	41.226	41.269	41.312	41.356	41.361
FINISHED SURFACE LEVEL	42.084		43.254	44.460	44.004	43.462	42.923	42.969	43.059
CHAINAGE	604.004		653.999	798.924	820.504	842.153	863.802	885.526	888.120

PRELIMINARY - NOT FOR CONSTRUCTION



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CLIENT
MIRVAC QLD PTY LTD
 PROJECT
EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT
 LOCATION
TEVIOT ROAD, GREENBANK
 SHEET TITLE
PRELIMINARY SEWER RISING MAIN LONG SECTIONS - SHEET 2

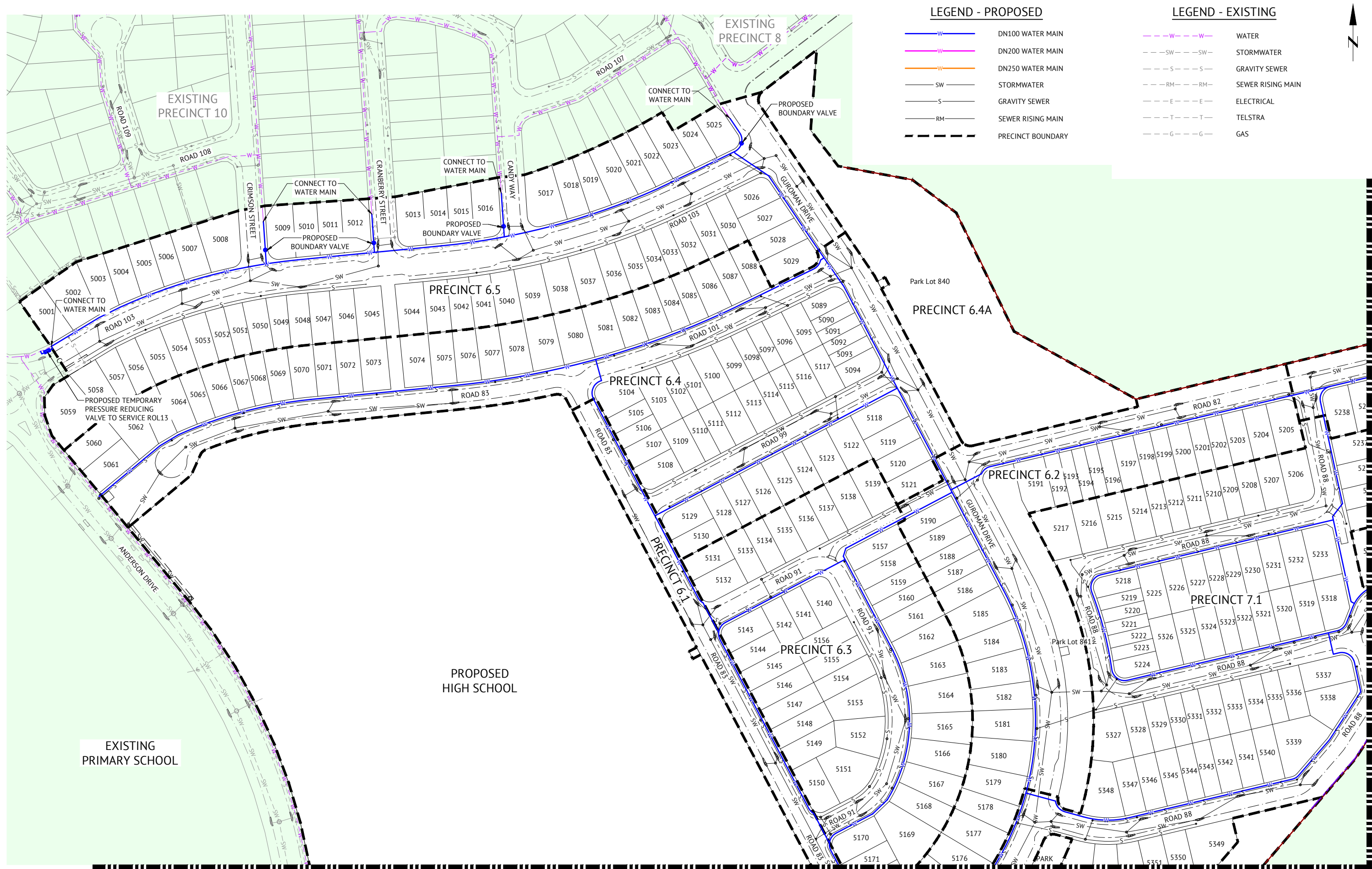
JOB CODE
MIR-1300
 SHEET NUMBER
SKC69
 REV
1

21/05/2024	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS
DATE	REV	DESCRIPTION	REC	APP

APPENDIX H

PRELIMINARY WATER RETICULATION PLANS



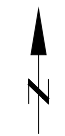


LEGEND - PROPOSED

- W— DN100 WATER MAIN
- W— DN200 WATER MAIN
- W— DN250 WATER MAIN
- SW— STORMWATER
- S— GRAVITY SEWER
- RM— SEWER RISING MAIN
- - - - - PRECINCT BOUNDARY

LEGEND - EXISTING

- - - - - WATER
- - - - - SW - STORMWATER
- - - - - S - GRAVITY SEWER
- - - - - RM - SEWER RISING MAIN
- - - - - E - ELECTRICAL
- - - - - T - TELSTRA
- - - - - G - GAS



JOINS SHEET 3

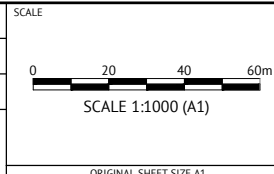
PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	KK	NS
14/03/2024	2	UPDATED TO PRECINCT NUMBERS AND LAYOUT	KK	NS
29/09/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS
			REC	APP

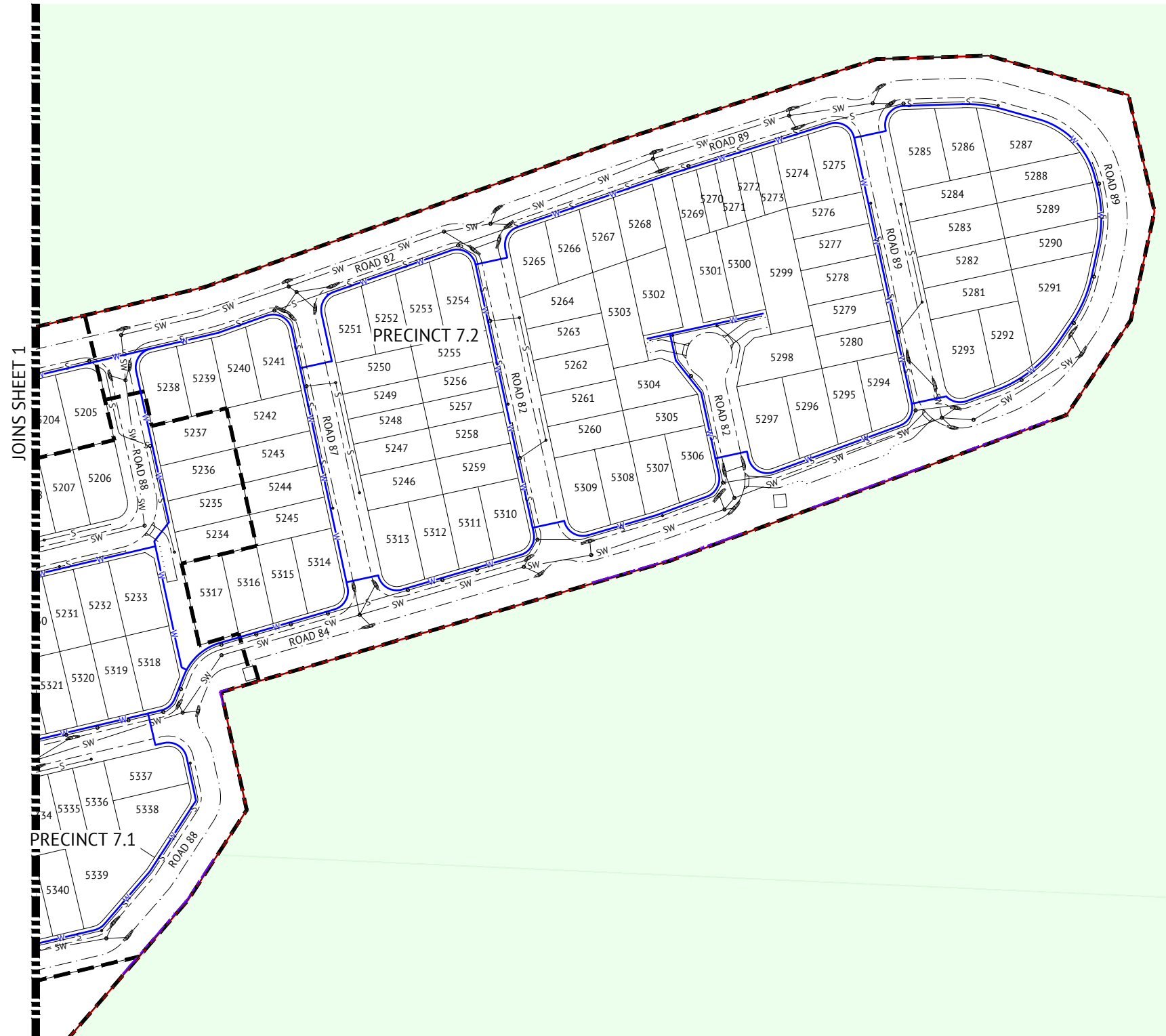


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CLIENT	MIRVAC QLD PTY LTD	JOB CODE	MIR-1300
PROJECT	EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT	SHEET NUMBER	SKC56
LOCATION	TEVIOT ROAD, GREENBANK	REV	2
SHEET TITLE	PRELIMINARY WATER LAYOUT PLAN - SHEET 1		



LEGEND - PROPOSED

- W— DN100 WATER MAIN
- W— DN200 WATER MAIN
- W— DN250 WATER MAIN
- SW— STORMWATER
- S— GRAVITY SEWER
- RM— SEWER RISING MAIN
- - - - - PRECINCT BOUNDARY

LEGEND - EXISTING

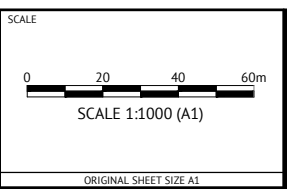
- - - - - W WATER
- - - - - SW STORMWATER
- - - - - S GRAVITY SEWER
- - - - - RM SEWER RISING MAIN
- - - - - E ELECTRICAL
- - - - - T TELSTRA
- - - - - G GAS

PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
14/03/2024	2	UPDATED TO PRECINCT NUMBERS AND LAYOUT	KK	NS
29/09/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS

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CLIENT
MIRVAC QLD PTY LTD
 PROJECT
EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT
 LOCATION
TEVIOT ROAD, GREENBANK
 SHEET TITLE
PRELIMINARY WATER LAYOUT PLAN - SHEET 2

JOB CODE MIR-1300	
SHEET NUMBER SKC57	REV 2

LEGEND - PROPOSED

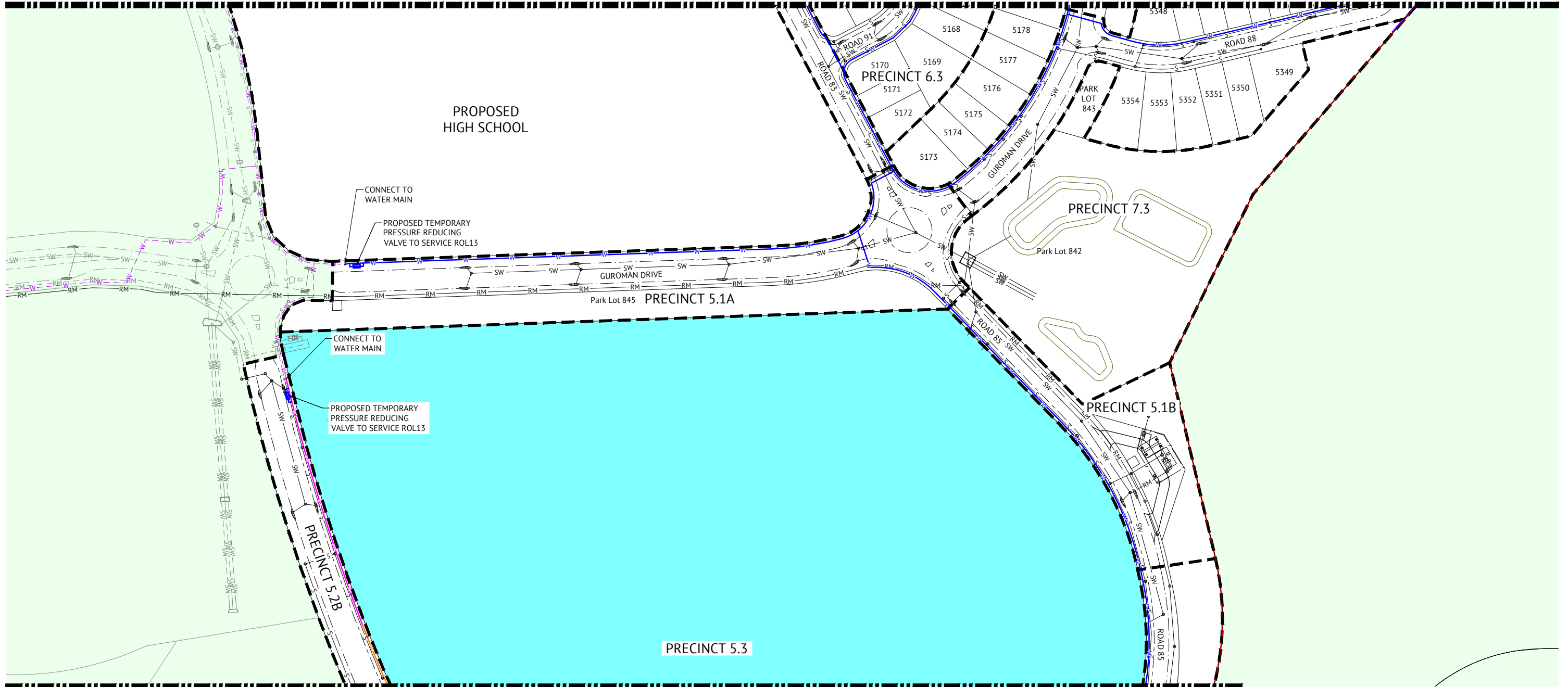
- W— DN100 WATER MAIN
- W— DN200 WATER MAIN
- W— DN250 WATER MAIN
- SW— STORMWATER
- S— GRAVITY SEWER
- RM— SEWER RISING MAIN
- — — — — PRECINCT BOUNDARY

LEGEND - EXISTING

- - - - - W - - - - - WATER
- - - - - SW - - - - - STORMWATER
- - - - - S - - - - - GRAVITY SEWER
- - - - - RM - - - - - SEWER RISING MAIN
- - - - - E - - - - - ELECTRICAL
- - - - - T - - - - - TELSTRA
- - - - - G - - - - - GAS



JOINS SHEET 1



JOINS SHEET 4

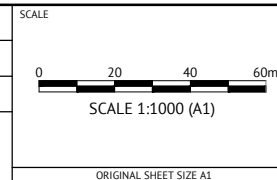
PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
22/05/2024	3	AMENDED STORMWATER LAYOUT	KK	NS
14/03/2024	2	UPDATED TO PRECINCT NUMBERS AND LAYOUT	KK	NS
29/09/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS



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CLIENT
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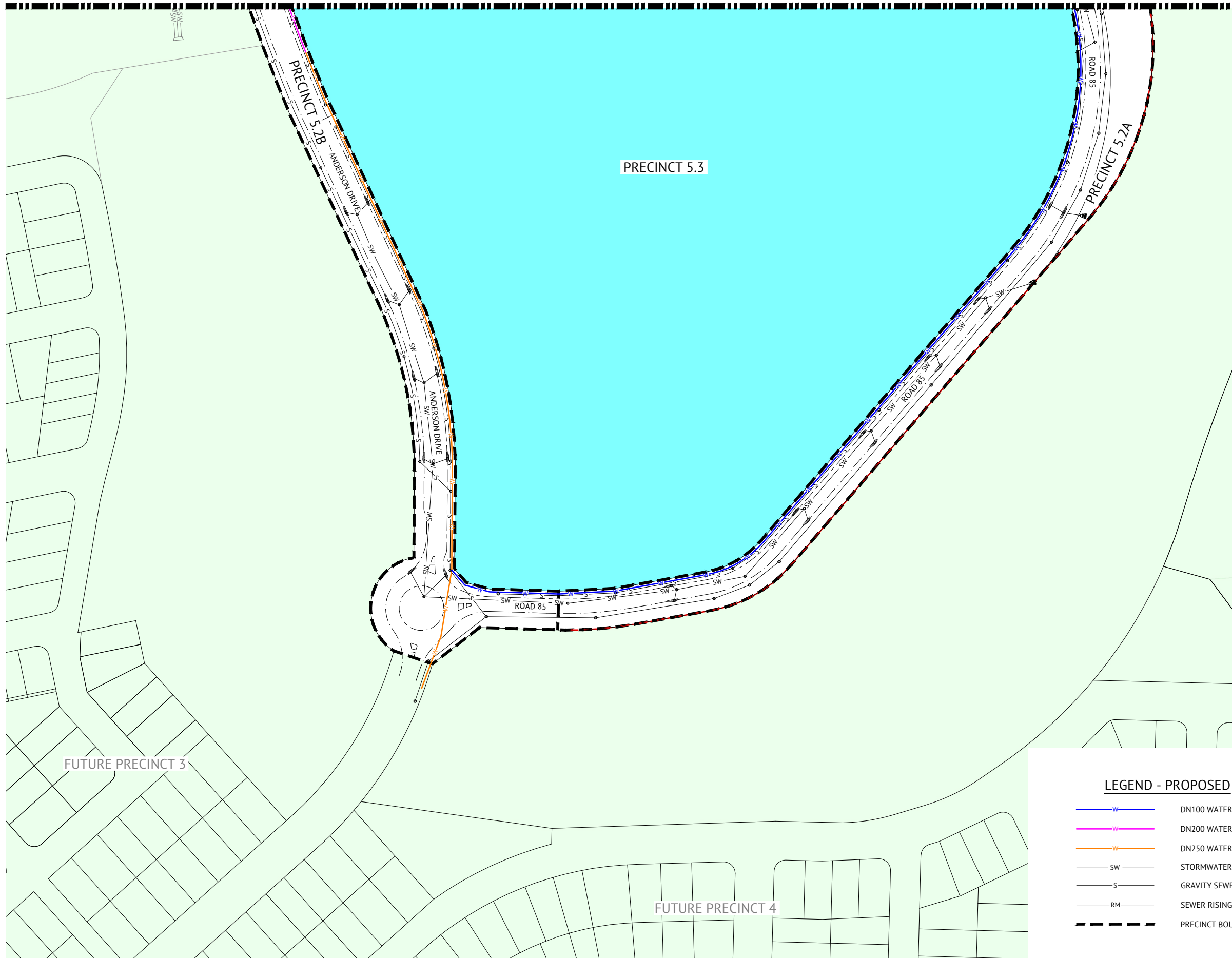
PROJECT
EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT

LOCATION
TEVIOT ROAD, GREENBANK

SHEET TITLE
PRELIMINARY WATER LAYOUT PLAN - SHEET 3

JOB CODE
MIR-1300

SHEET NUMBER	REV
SKC58	3



LEGEND - PROPOSED

- W— DN100 WATER MAIN
- W— DN200 WATER MAIN
- W— DN250 WATER MAIN
- SW— STORMWATER
- S— GRAVITY SEWER
- RM— SEWER RISING MAIN
- - - - - PRECINCT BOUNDARY

LEGEND - EXISTING

- - - - - WATER
- - - - - SW - - - - - STORMWATER
- - - - - S - - - - - GRAVITY SEWER
- - - - - RM - - - - - SEWER RISING MAIN
- - - - - E - - - - - ELECTRICAL
- - - - - T - - - - - TELSTRA
- - - - - G - - - - - GAS

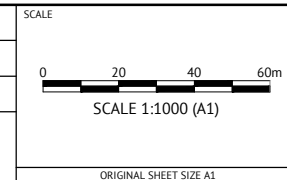
PRELIMINARY - NOT FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
14/03/2024	2	UPDATED TO PRECINCT NUMBERS AND LAYOUT	KK	NS
29/09/2023	1	PRELIMINARY - NOT FOR CONSTRUCTION	KK	NS



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CLIENT **MIRVAC QLD PTY LTD**
 PROJECT **EVERLEIGH ROL13 SUBDIVISION DEVELOPMENT**
 LOCATION **TEVIOT ROAD, GREENBANK**
 SHEET TITLE **PRELIMINARY WATER LAYOUT PLAN - SHEET 4**

JOB CODE		MIR-1300
SHEET NUMBER	REV	
SKC59	2	

