

Reference: IM:KG CO/CV 22292A

17 November 2023

RCP Pty Ltd
Level 15
120 Edward Street
BRISBANE QLD 4000

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: **DEV2020/1124/4**

Date: **18 July 2024**



RE: MINOR CHANGE APPLICATION FOR 12-18 THOMPSON STREET BOWEN HILLS- PDA REF DEV2020/1124 ENGINEERING SERVICES ASSESSMENT

To whom it may concern,

Robert Bird Group (**RBG**) on behalf of RCP have reviewed the development proposed for 12-18 Thompson Street, Bowen Hills for compliance to Economic Development Queensland (**EDQ**) guidelines and Engineering Documentation previously approved for the Development Application DEV2020/1124 for the site.

Site Description

Table 1: Site Description

Site Address	12-18 Thompson Street, Fortitude Valley
RP Detail	Lot 1 on RP121293 & Lot 4 on SP312302
Site Area	Approximately 1,629 m2

Approved Engineering Plans and Documents

- "Site Layout Plan", Post Development Drainage and Services (Stage 1), prepared by Inertia, 8858, SK002, Rev. C, 23 March 2020
- "Preliminary External Road Layout Plan (Stage 1)", prepared by Inertia, 8858, SK014, Rev. D.16 April 2021 (Amended in Red 17 December 2021)
- "Preliminary Earthworks Layout Plan (Stage 1), prepared by Inertia, 8858, SK010, Rev. E, 19 April 2021.
- "Road Widening Plan – 12-18 Thompson Street", prepared by Brisbane City Council, RC16029, Issue 1, 18 September 2019
- Tech Memo regarding Thompson St, Bowen Hills, Response to EDQ Further Issues Letter", prepared by Cardno, QTT19083, 4 February 2021



Proposed Development Changes

The proposed development changes predominately consist of the following:

- Column alterations and façade amendments.
- Basement reconfigurations.
- Ground Floor Layout changes.
- Landscape revisions.
- Vehicle parking arrangements.

Erosion and Sediment Control Plan

An Erosion and Sediment Control Plan has been developed for the Site in accordance with the following requirements:-

- State Planning Scheme Policy 2017 Design Objectives Appendix 2 Table A.
- Healthy Land and Water Technical Note: Complying with SPP -Sediment Management on Construction Sites.
- Brisbane City Council (BCC) Infrastructure Design Planning Scheme Policy Section 7 Stormwater Drainage Part 11 Erosion and Sediment Control.
- International Erosion Control Association (IECA) Best Practice Erosion and Sediment Control.
- Economic Development Queensland (EDQ) Development Approval (DA) Conditions.

According to BCC's Erosion Hazard Assessment - June 2014 form, the proposed development is located in a "medium" risk site for erosion potential. Refer attached for a copy of the completed form and Erosion and Sediment Control Plan.

Earthworks

The proposed basement will require excavation of soils to achieve required levels. Proposed changes result to the Approved "Preliminary Earthworks Layout Plan (Stage 1), prepared by Inertia, 8858, SK010, Rev. E, 19 April 2021.

A revised Earthworks Drawing is attached for the updated scheme "22292-RBG-ZZ-XX-DR-CV-82001 rev P02".

Acid Sulphate Soils

The Geotechnical Report indicates that Acid Sulphate Soils (ASS) are unlikely to be encountered on site and an acid sulphate management plan will not be required. Should ASS be encountered during excavation an ASS Management Plan shall be prepared.

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Retaining Walls

Retaining walls greater than one metre in height will be part of the building structure and will be designed by RBG Structural Engineers as part of the building design.

Stormwater Quality

As the proposal consists an urban purpose that involves a premise less than 2,500 m² in size, stormwater management design objective are not required under Queensland Government State Planning Policy (SPP) July 2017. As the proposed development will consist of mainly roof areas and minimal landscaped areas, the pollutants generated from the proposed development will be minimal.

Lawful Point of Discharge

The lawful point of discharge for the minor and major storm events for the proposed development is as follows:

Minor and major storms are proposed to be discharged into the existing stormwater gully pit located at the corner of Thompson Street and Murray Street. The lawful point of discharge point could be revised depending on coordination with the Hydraulic consultant.

Stormwater Management - Quantity

Stormwater discharge for the site will be generally in accordance with the Approved Drawing "Site Layout Plan, Post Development Drainage and Services (Stage 1)", drawing number, 8858, SK002 rev C, prepared by Inertia, dated 23 March 2020

Further Investigation Required

The location and depth of the upstream stormwater from the adjacent building are required to be identified and diverted away from the proposed basement excavation. A services locator has been engaged to locate the existing services including this stormwater line. Information from the service locator shall be used to design a new stormwater line diverting the upstream stormwater away from the basement excavation. This will be included in the stormwater detailed design plans required to be submitted to EDQ for approval.

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Conclusion

Based on the information discussed above, it is considered that the proposed changes are generally in accordance with the previous engineering assessment for the approved scheme for the site.

The proposed amendments to the scheme do not affect the flood impact assessment previously completed for the development.

Minor amendments to the treatment train for the stormwater quality and quantity for the development have been adopted due to level and layout changes. Adopted changes have been assessed to be compliant to EDQ and SPP Guidelines.

Yours faithfully

ROBERT BIRD GROUP PTY LTD



Ian McCubbin
Civil Infrastructure Manager

Enc

22292-RBG-ZZ-XX-DR-CV-81001 rev (P02)– Erosion and Sediment Control Plan

22292-RBG-ZZ-XX-DR-CV-82001 rev (P02)– Bulk Earthworks Plan

22292-RBG-ZZ-XX-DR-CV-87001 rev (P02)– Stormwater Drainage Plan

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LOT 31
RP 9382

LOT 4
RP 312302

LOT 1
RP 50734

LOT 1
RP 121293

- LEGEND**
- EXISTING LOT BOUNDARY
 - EXISTING BUILDING
 - - - 3.00 EXISTING CONTOURS MAJOR
 - - - 3.50 EXISTING CONTOURS MINOR
 - - - EXISTING FENCE
 - XXXXXX EXISTING RETAINING WALL
 - PROPOSED SITE BOUNDARY
 - PROPOSED BATTER
 - PROPOSED PAD OUTLINE
 - BEL 00.00** PROPOSED PAD LEVEL
 - PROPOSED SEDIMENT FENCE
 - - - - - PROPOSED CATCH DRAIN
 - PROPOSED INLET PROTECTION ON GRADE
 - PROPOSED INLET PROTECTION SAG
 - PROPOSED ROCK PAD CONSTRUCTION EXIT
 - PROPOSED SUMP PIT

NOTE:
ESC NOTES AND DETAILS REFER TO DRAWING
22292-RBG-ZZ-XX-DR-CV-81101.

NOTE:
NOTE BEL LEVELS ARE APPROXIMATE SUBJECT
TO FINAL STRUCTURAL DESIGN.

NOTE:
ESC FOR INTERIM PARK TO BE CONFIRMED.

Streetscape works on Murray Street and Thompson Street to be in accordance with Condition 24 and the approved plans.

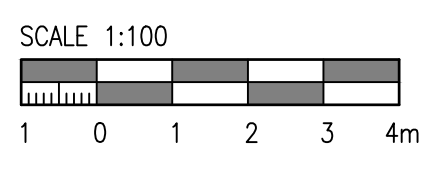
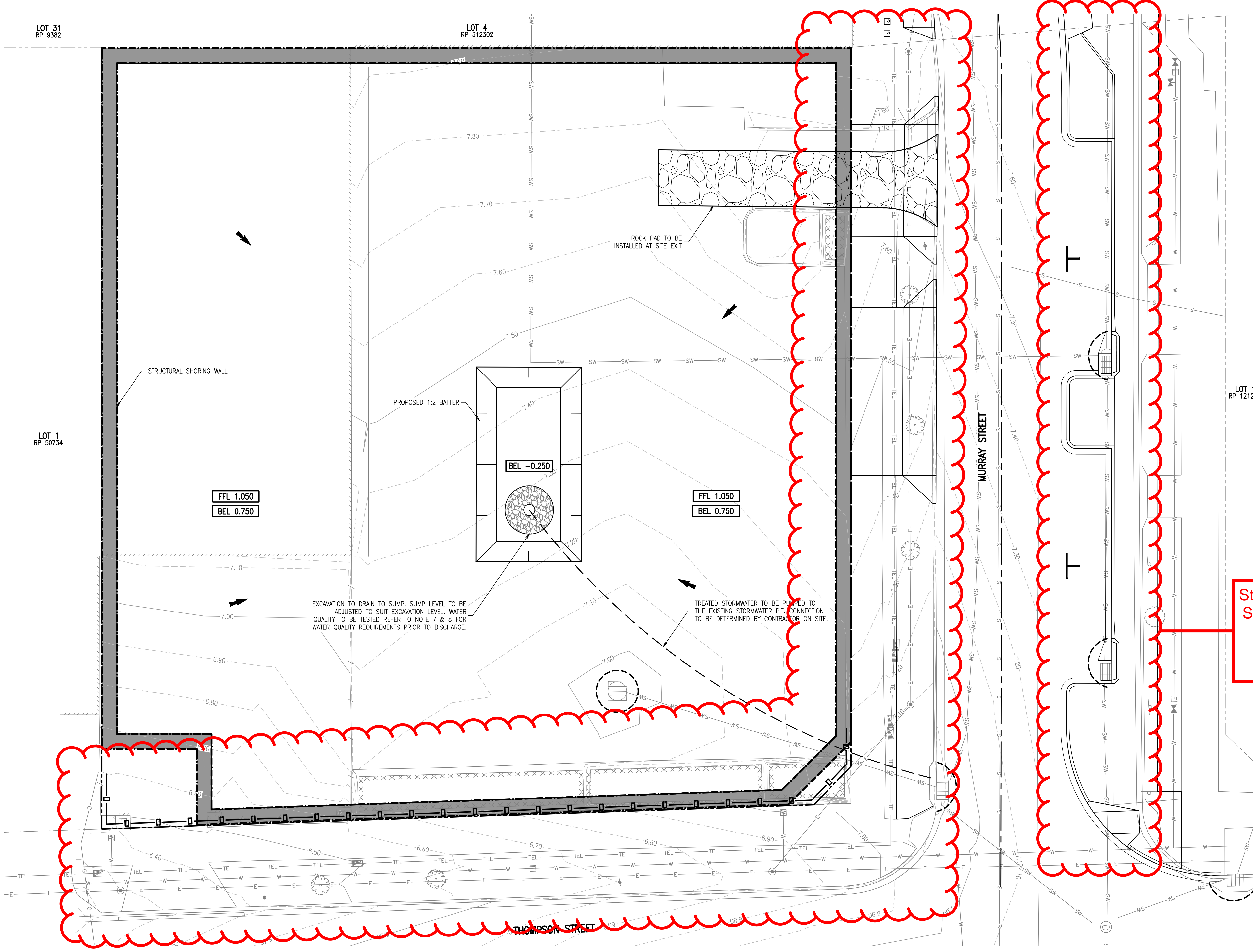
AMENDED IN RED

By: Chessa Lao
Date: 17 May 2024



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Date: 18 July 2024



Rev	Revision Description	By	App	Date
P01	PRELIMINARY	LC	IM	07.12.22
P02	PRELIMINARY	LC	IM	17.11.23

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Structural, Civil & Construction
Engineering Consultant

RobertBirdGroup
Member of the Surbana Jurong Group

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ACN 010 580 248

Client
GANBROS GANBOYS & GANSONS PTY LTD

Title
EROSION AND SEDIMENT CONTROL PLAN

Project
BOWEN HILLS HEALTH QUATER

Date
NOV 2023
Scale of A1
1:100

Drawn
L.CHEN
Designer
A.WILSS

Design Checker
R.ATHERTON
Approved
I.McCUBBIN

NOT FOR CONSTRUCTION

Drawing Number
22292-RBG-ZZ-XX-DR-CV-81001

Revision
P02

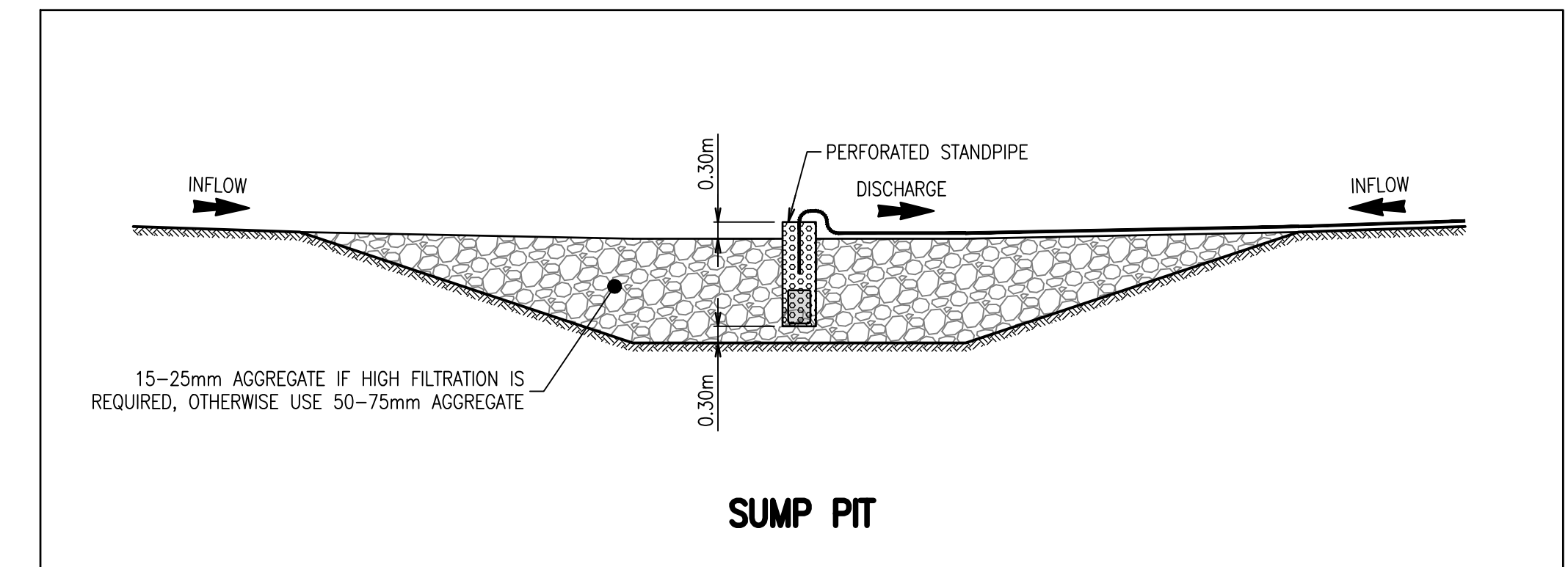
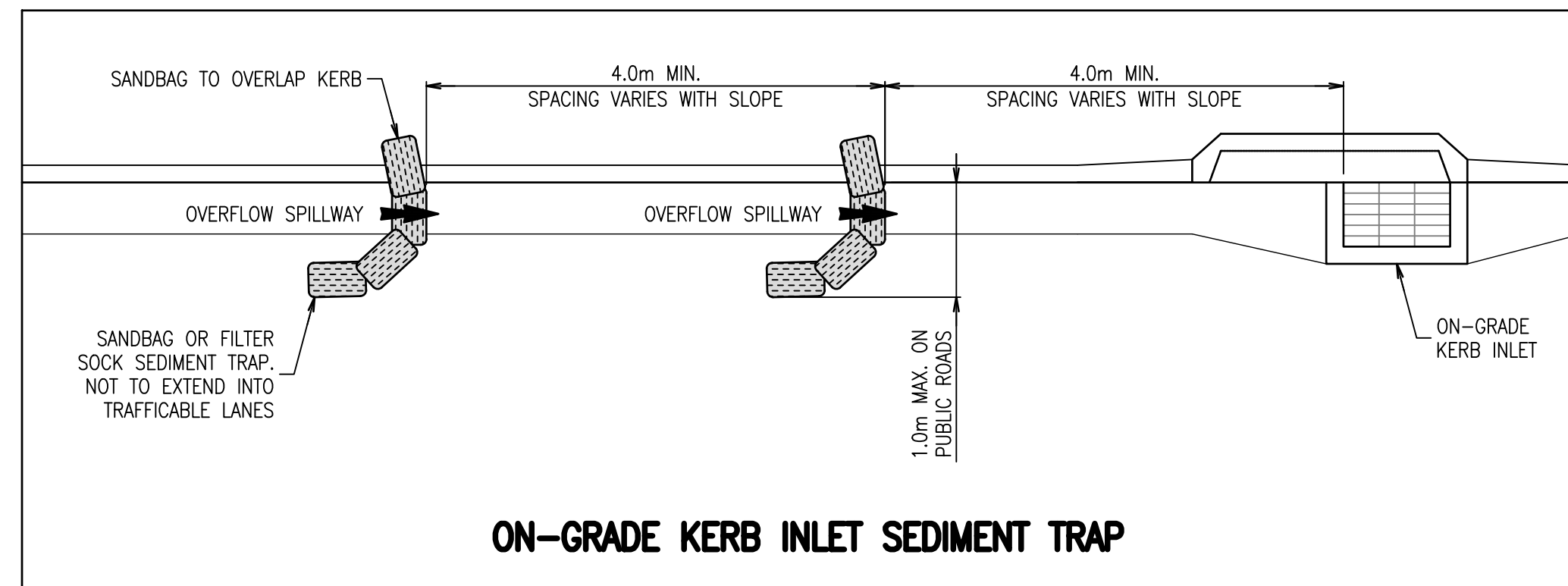
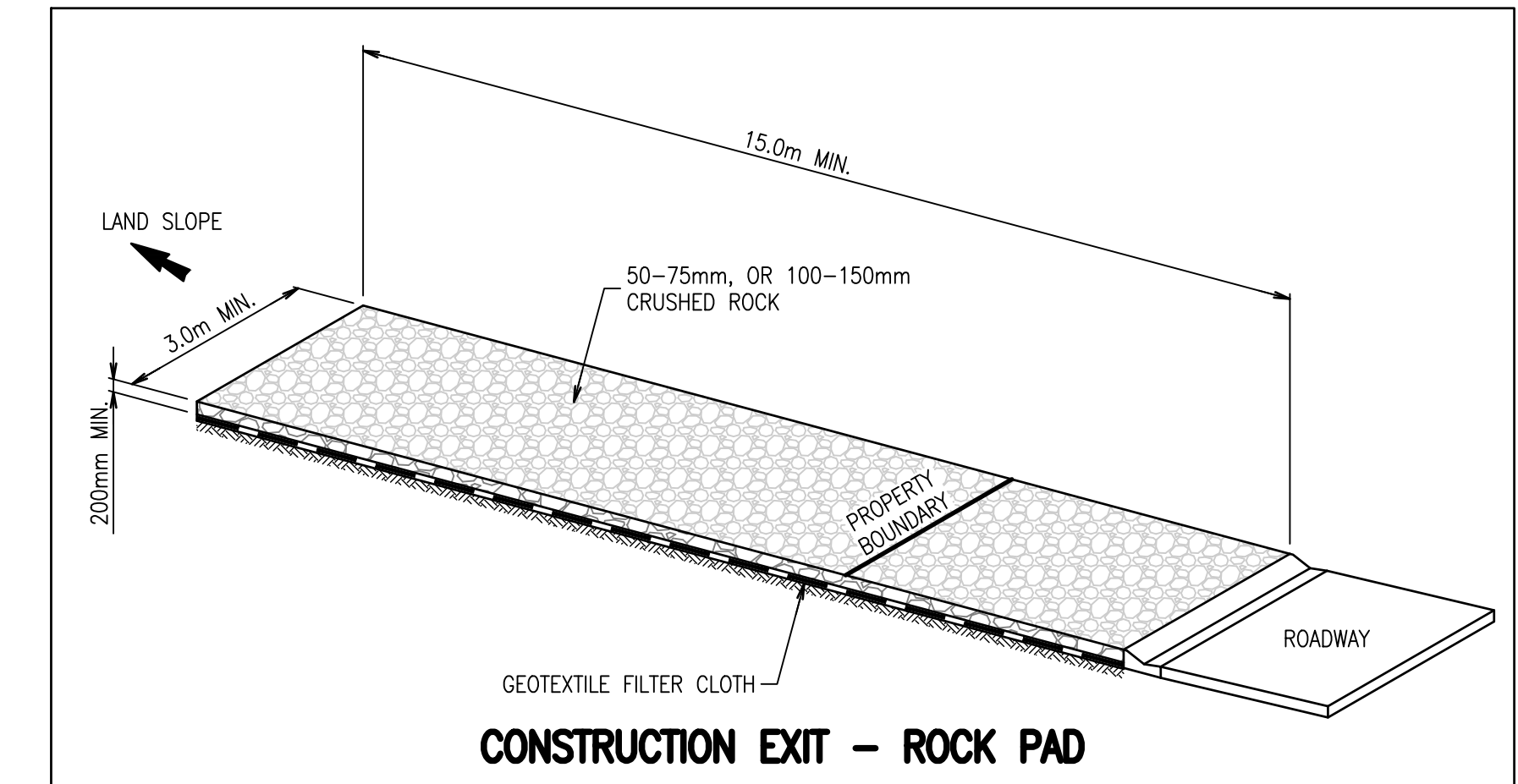
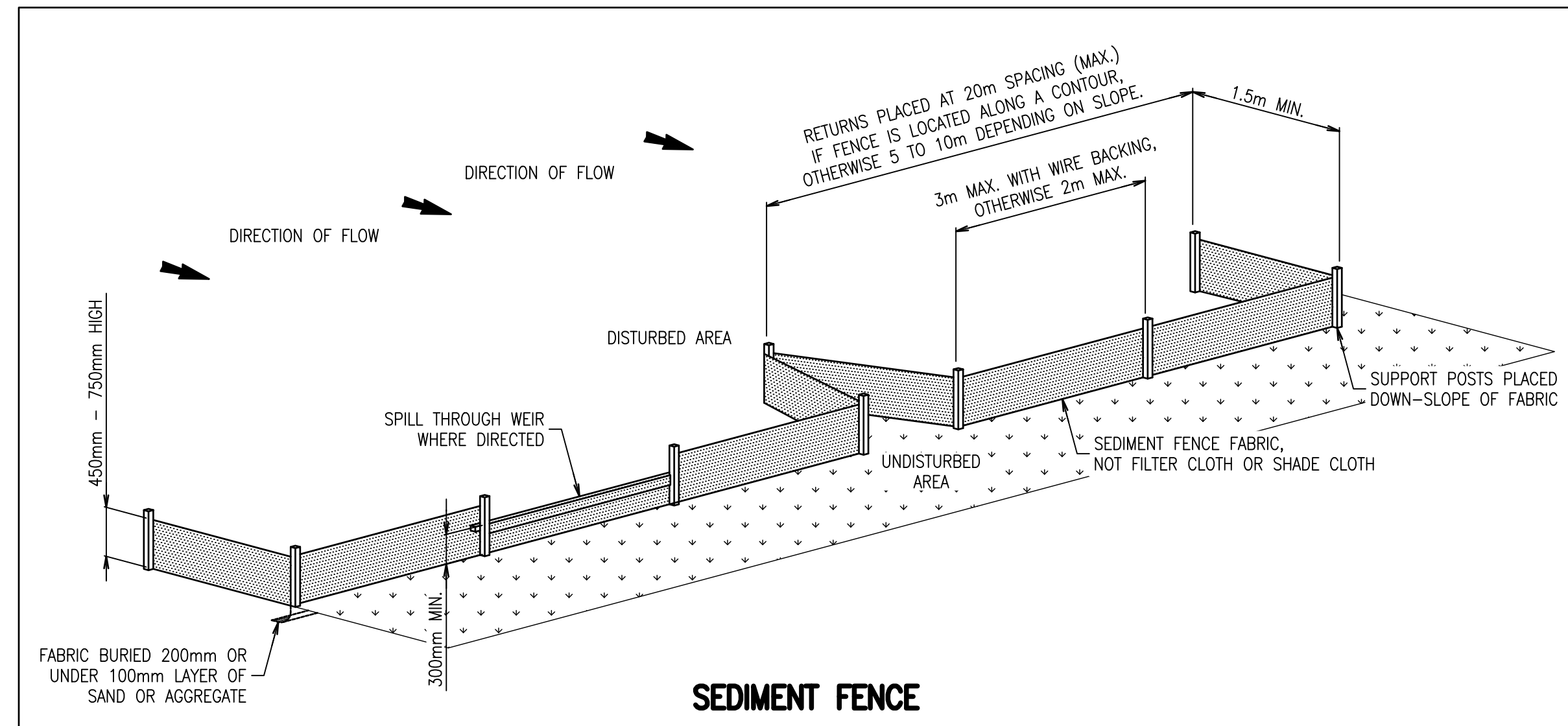
EROSION AND SEDIMENT CONTROL NOTES

- THESE NOTES SHALL BE READ IN CONJUNCTION WITH:
 - GENERAL NOTES AND DISCLAIMERS FOR PROJECT
 - ENVIRONMENTAL NOTES FOR THE PROJECT, AND
 - BULK EARTHWORKS NOTES FOR THE PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A PLAN TO THE LOCAL AUTHORITY SPECIFYING THE STAGING OF THE VARIOUS EROSION AND SEDIMENT CONTROLS DURING THE DIFFERENT CONSTRUCTION PHASES.
- EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED BY THE CONTRACTOR AS BEING REQUIRED FOR THE FIRST CONSTRUCTION PHASE ARE TO BE PLACED PRIOR TO ANY CLEARING AND GRUBBING, AND ANY OTHER EARTHWORKS.
- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO REMAIN OPERATIONAL UNTIL THE SITE IS ACCEPTED "ON MAINTENANCE" BY THE LOCAL AUTHORITY.
- EROSION AND SEDIMENT CONTROL DEVICES MUST COMPLY WITH:
 - LOCAL AUTHORITY GUIDELINES
 - IECA 2008, BEST PRACTICE EROSION AND SEDIMENT CONTROL INTERNATIONAL EROSION CONTROL ASSOCIATION (AUSTRALASIA), PICTON NSW.
- UNDER NO CIRCUMSTANCES IS SILT TO BE ALLOWED TO LEAVE THE SITE.
- PRIOR TO THE RELEASE OF ANY STORMWATER RELEASED FROM THE SITE IS TO MEET THE FOLLOWING CRITERIA:
 - TOTAL SUSPENDED SOLIDS < 50 MG/L, AND
 - TURBIDITY < 100 NTU
 - PH 6.5 TO 8.5
- IF THE LEVEL OF TOTAL SUSPENDED SOLIDS EXCEEDS 50 MG/L, THEN THE STORMWATER RUNOFF HELD IN THE SEDIMENT BASIN IS TO BE FLOCCULATED WITH A SUITABLE FLOCCULENT OR COAGULANT AT A RATE TO BE DETERMINED BY TEST RESULTS. THE STORMWATER RUNOFF IS TO BE HELD UNTIL THE TOTAL SUSPENDED SOLIDS ARE < 50 MG/L.
- AN ON SITE REGISTER LOGGING RAINFALL DATES, WATER QUALITY ANALYSIS RESULTS AND RELEASE DATES. THE REGISTER IS TO BE KEPT ONSITE AND MADE AVAILABLE FOR INSPECTION UPON REQUEST.
- ALL EROSION AND SEDIMENT CONTROL DEVICES ARE TO BE INSPECTED WITH A MINIMUM FREQUENCY OF WEEKLY, AND PRIOR TO ANY EXPECTED RAINFALL, AND AFTER ANY RAINFALL. ANY DAMAGE OR DEVICE FAILURE IS TO BE REPAIRED / MANAGED AS REQUIRED.
- ANY EROSION AND SEDIMENT CONTROL DEVICES NOT PERFORMING ADEQUATELY ARE TO BE SUPPLEMENTED WITH ADDITIONAL MEASURES, THAT COMPLY WITH THE RELEVANT GUIDELINES. THE SUPERINTENDENT IS TO BE ADVISED OF THE DETAILS OF ANY ADDITIONAL MEASURES PROPOSED.
- ALL EROSION AND SEDIMENT CONTROL DEVICES ARE TO BE MAINTAINED IN WORKING ORDER AT ALL TIMES. ANY DAMAGE TO ANY DEVICE IS TO BE IMMEDIATELY RECTIFIED.
- THE CONTRACTOR SHALL MINIMISE THE EXTENT OF AREAS DISTURBED BY EARTHWORKS AT ANY ONE TIME, AND SHALL RETAIN EXISTING VEGETATION COVER WHERE POSSIBLE.
- ALL DISTURBED SURFACES ARE TO BE REHABILITATED AS SHOWN ON THE DRAWINGS / SPECIFIED IN THE SPECIFICATIONS. IF REHABILITATION METHODS ARE NOT SHOWN / SPECIFIED THEN DISTURBED AREAS ARE TO BE REHABILITATED WITH GRASS SEED APPLIED AT A RATE OF 30kg OF SEED PER HECTARE. ALL SEEDED AREAS ARE TO BE WATERED UNTIL 90% GROUND COVER IS ACHIEVED.
- TOPSOIL STOCKPILES ARE TO BE NOT GREATER THAN 1m IN HEIGHT.
- ALL STOCKPILES THAT ARE TO REMAIN FOR LONGER THAN 4 WEEKS ARE TO BE SEEDED WITH RYE, OATS OR MILLET SEEDS AT A RATE OF 20kg OF SEED PER HECTARE OF STOCKPILE. ALL STOCKPILES ARE TO BE LOCATED CLEAR OF WATERCOURSE AND DRAINAGE WORKS.
- WHERE POSSIBLE, WATER QUALITY SAMPLES COLLECTED SHOULD BE TESTED IN A LABORATORY BEFORE DISCHARGE TO PROVE THAT SUSPENDED SOLID CONTENT IS BELOW RECOMMENDED LEVEL. IT IS STRONGLY RECOMMENDED THAT SUFFICIENT WATER TESTING IS CONDUCTED IN ORDER TO ENABLE A SITE-SPECIFIC CALIBRATION BETWEEN SUSPENDED SOLIDS CONCENTRATIONS (MG/L) AND NTU TURBIDITY READINGS. THIS WOULD ALLOW UTILISATION OF TURBIDITY METERS TO DETERMINE WHEN WATER QUALITY IS LIKELY TO HAVE REACHED THE EQUIVALENT OF 50 MG/L A MINIMUM OF 10 WATER SAMPLES ALL IN THE RANGE OF 20 - 150 MG/L ARE REQUIRED TO ESTABLISH A RELATIONSHIP BETWEEN SUSPENDED SOLIDS AND TURBIDITY.

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Rev	Revision Description	By	App	Date
P01	PRELIMINARY	LC	IM	07.12.22
P02	PRELIMINARY	LC	IM	17.11.23

Rev	Revision Description	By	App	Date

Scale: 11, 12, 13, 14, 15, 16, 17, 18

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Client

GANBROS GANBOYS & GANSONS PTY LTD

Title

EROSION AND SEDIMENT CONTROL DETAILS

Project

BOWEN HILLS HEALTH QUATER

Date	NOV 2023	Drawn	L.CHEN	Design Checker	R.ATHERTON	
Scale	at A1	Designer	A.WILSS	Approved	I.McCUBBIN	
NOT FOR CONSTRUCTION						
Drawing Number	22292-RBG-ZZ-XX-DR-CV-81101				Revision	P02

LOT 31
RP 9382

LOT 4
RP 312302

LOT 1
RP 50734

LOT 1
RP 121293

- LEGEND**
- EXISTING LOT BOUNDARY
 - EXISTING BUILDING
 - 3.00 EXISTING CONTOURS MAJOR
 - 3.50 EXISTING CONTOURS MINOR
 - EXISTING FENCE
 - XXXXXX EXISTING RETAINING WALL
 - SW --- EXISTING STORMWATER TO BE ABANDONED
 - PROPOSED SITE BOUNDARY
 - PROPOSED BULK EARTHWORKS BATTER
 - PROPOSED BULK EARTHWORKS PAD OUTLINE
 - BEL 00.00** PROPOSED BULK EARTHWORKS PAD LEVEL


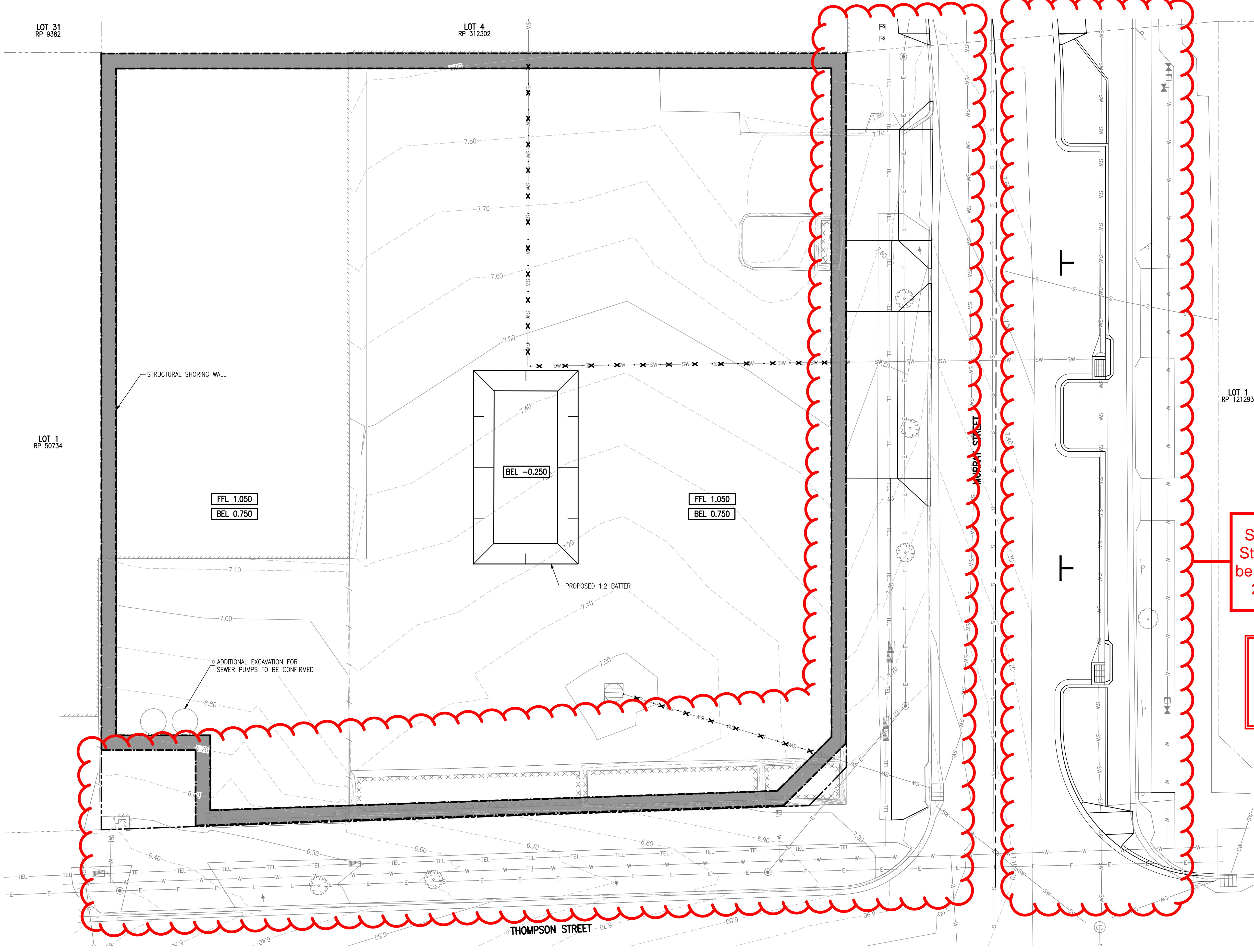
NOTE:
NOTE BEL LEVELS ARE APPROXIMATE SUBJECT TO FINAL STRUCTURAL DESIGN. BEL LEVELS ARE BASED ON A 250mm SLAB ON GROUND AND 200mm DRAINAGE LAYER.

Streetscape works on Murray Street and Thompson Street to be in accordance with Condition 24 and the approved plans.

AMENDED IN RED
By: Chessa Lao
Date: 17 May 2024



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL
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Date: 18 July 2024

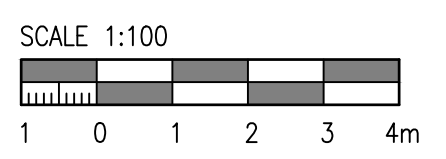



FFL 1.050
BEL 0.750

FFL 1.050
BEL 0.750

BEL -0.250

NOT FOR CONSTRUCTION



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Client

GANBROS GANBOYS & GANSONS PTY LTD

Title

BULK EARTHWORKS PLAN

Project

BOWEN HILLS HEALTH QUATER

Date

NOV 2023

Scale of A1

1:100

Drawn

L.CHEN

Designer

A.WILSS

Design Checker

R.ATHERTON

Approved

I.McCUBBIN

Drawing Number

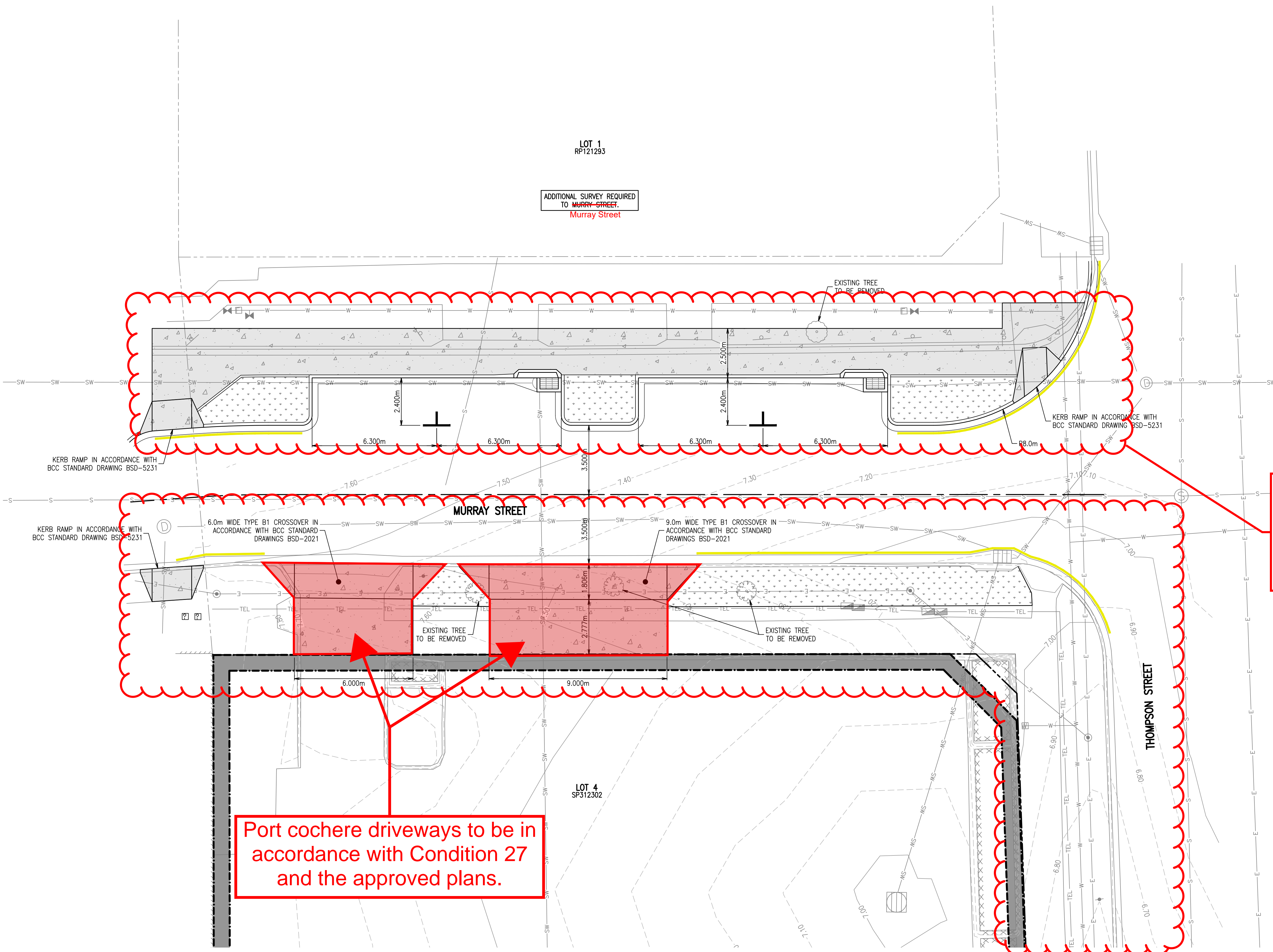
22292-RBG-ZZ-XX-DR-CV-82001

Revision

P02

- LEGEND**
- EXISTING LOT BOUNDARY
 - //// EXISTING BUILDING
 - 3.00--- EXISTING CONTOURS MAJOR
 - 3.50--- EXISTING CONTOURS MINOR
 - /--- EXISTING FENCE
 - XXXXXX EXISTING RETAINING WALL
 - TEL EXISTING TELSTRA CABLE
 - E EXISTING ELECTRICITY LINE
 - SW-SW EXISTING STORMWATER PIPE
 - S EXISTING SEWER MAIN
 - W EXISTING WATER MAIN
 - PROPOSED SITE BOUNDARY
 - //// PROPOSED BUILDING
 - PROPOSED BASEMENT EXTENT
 - 3.00--- PROPOSED CONTOURS MAJOR
 - 3.50--- PROPOSED CONTOURS MINOR
 - K&C PROPOSED KERB AND CHANNEL
 - SW-SW PROPOSED STORMWATER PIPE
 - PROPOSED STORMWATER PIT

NOTE:
EXISTING SIGNAGE, METERS AND LINEMARKING TO BE ADJUSTED AND/OR RELOCATED TO SUIT.




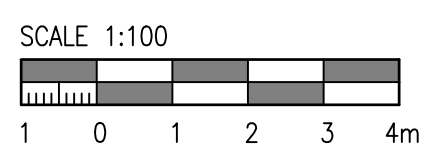
Streetscape works on Murray Street and Thompson Street to be in accordance with Condition 24 and the approved plans.

Port cochere driveways to be in accordance with Condition 27 and the approved plans.

AMENDED IN RED
By: Chessa Lao
Date: 17 May 2024



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Client
GANBROS GANBOYS & GANSONS PTY LTD

Title
ROAD FUNCTIONAL PLAN

Project
BOWEN HILLS HEALTH QUATER

Date
NOV 2023
Scale of A1
1:100

Drawn
L.CHEN
Designer
A.WILSS

Design Checker
R.ATHERTON
Approved
I.McCUBBIN

NOT FOR CONSTRUCTION

Drawing Number
22292-RBG-ZZ-XX-DR-CV-83001

Revision
P02

AMENDED IN RED

By: Chessa Lao
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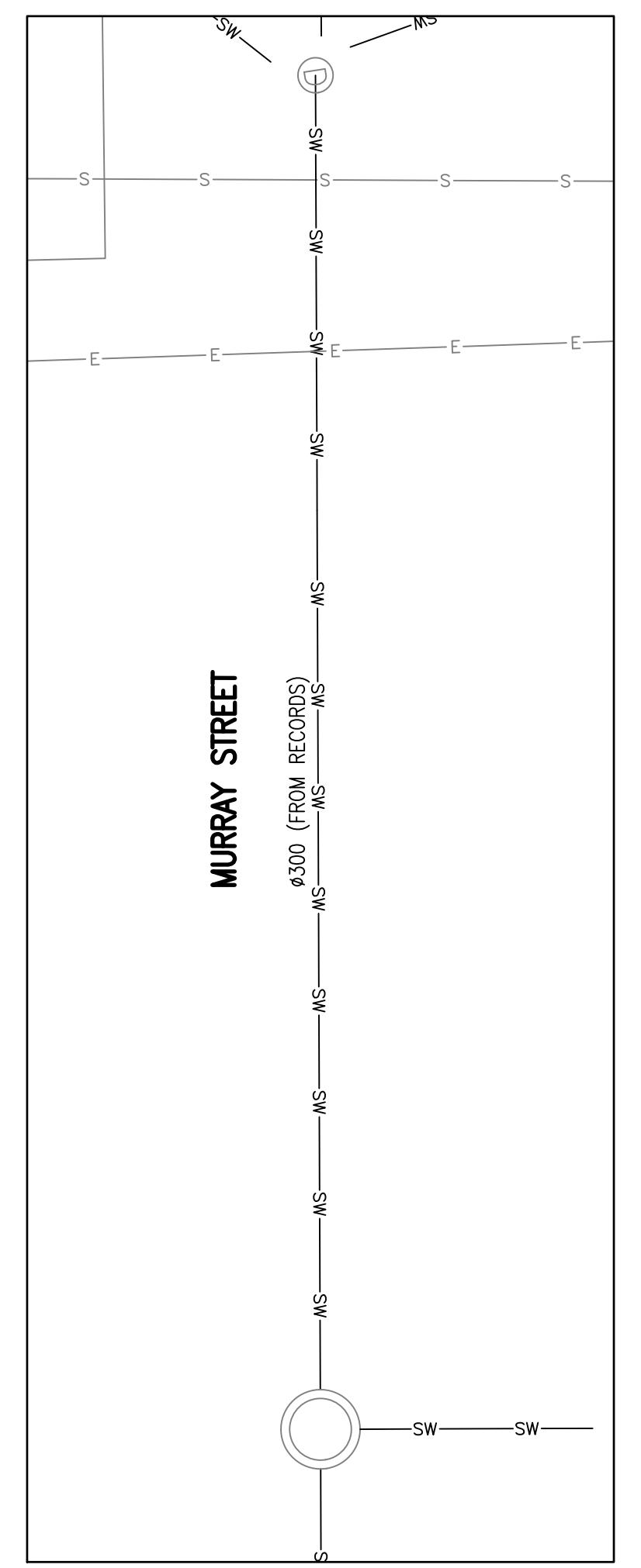
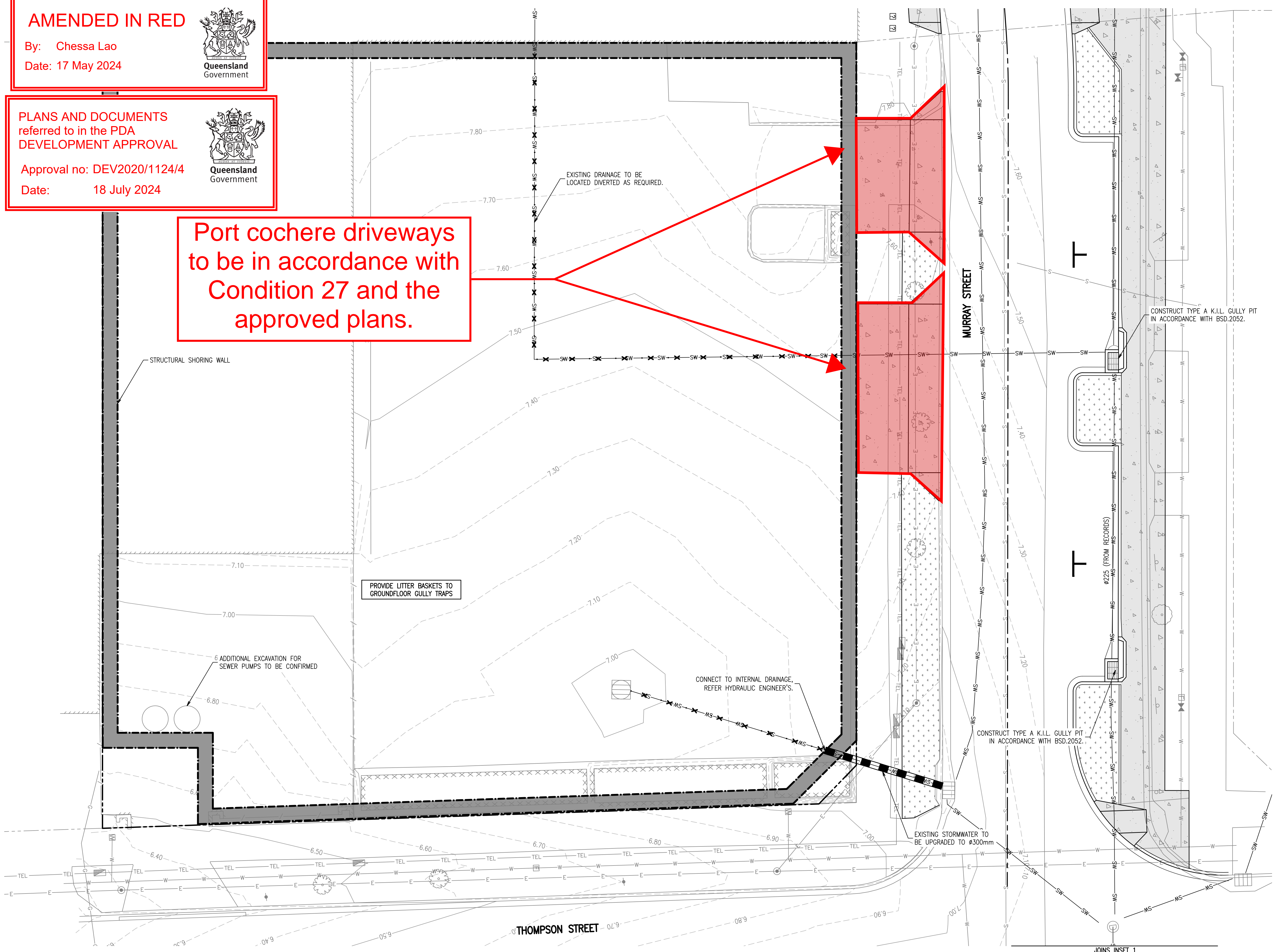


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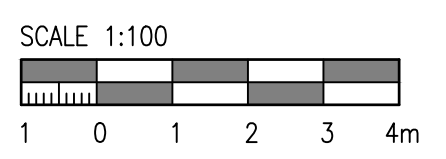
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 - EXISTING RETAINING WALL
 - EXISTING STORMWATER
 - EXISTING STORMWATER TO BE ABANDONED
 - PROPOSED SITE BOUNDARY
 - PROPOSED STORMWATER PIPE

NOTE:
STORMWATER ASSOCIATE WITH INTERIM PARK TO BE CONFIRMED.



INSET 1
SCALE 1:100



Rev	Revision Description	By	App	Date
P01	PRELIMINARY	LC	IM	07.12.22
P02	PRELIMINARY	LC	IM	17.11.23

Rev	Revision Description	By	App	Date
11				
12				
13				
14				
15				
16				
17				
18				

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Client

GANBROS GANBOYS & GANSONS PTY LTD

Title

STORMWATER DRAINAGE PLAN

Project

BOWEN HILLS HEALTH QUATER

Date

NOV 2023

Scale of A1

1:100

Drawn

L.CHEN

Designer

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NOT FOR CONSTRUCTION

Drawing Number

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Revision

P02