



Legend

General

- Site Boundary
- Stage Boundary
- Indicative External Footpath
- Management Lot Area

Constraints

- Retained Remnant Endangered Regional Ecosystem
- 33m Buffer to Remnant Endangered Regional Ecosystem
- 33m Bushfire Setback
- 18m Bushfire Setback
- Developed 1% AEP

Land Use	Land Budget											Overall	
	Stage 3	Stage 11A	Stage 11B	Stage 16	Stage 18	Stage 19B	Stage 22B	Stage 22C	Stage 23B	Stage 27	Area	Area	%
Area of Subject Site	4.007 ha	2.687 ha	5.566 ha	3.264 ha	5.197 ha	2.966 ha	1.663 ha	1.341 ha	6.654 ha	6.765 ha	40.110 ha	100.0%	
Saleable Area													
Residential Allotments	2.895 ha	0.568 ha	2.211 ha	2.130 ha	2.980 ha	1.645 ha	0.985 ha	1.140 ha	2.288 ha	2.377 ha	19.219 ha	47.9%	
Total Area of Allotments	2.895 ha	0.568 ha	2.211 ha	2.130 ha	2.980 ha	1.645 ha	0.985 ha	1.140 ha	2.288 ha	2.377 ha	19.219 ha	47.9%	
Road													
Local Roads	1.112 ha	0.372 ha	1.088 ha	1.079 ha	0.981 ha	0.578 ha	0.389 ha	0.047 ha	0.773 ha	1.184 ha	7.603 ha	19.0%	
Collector Roads	—	—	—	—	—	—	0.289 ha	0.107 ha	—	—	0.396 ha	1.0%	
Trunk Collector Roads	—	—	—	—	—	—	—	0.047 ha	—	—	0.047 ha	0.1%	
Total Area of New Road	1.112 ha	0.372 ha	1.088 ha	1.079 ha	0.981 ha	0.578 ha	0.678 ha	0.201 ha	0.773 ha	1.184 ha	8.046 ha	20.1%	
Open Space													
Linear Open Space (Active)	—	0.467 ha	0.910 ha	—	0.465 ha	0.646 ha	—	—	0.624 ha	1.068 ha	4.180 ha	10.4%	
Linear Open Space (Conservation)	—	1.280 ha	1.276 ha	—	0.603 ha	0.036 ha	—	—	2.969 ha	2.107 ha	8.271 ha	20.6%	
Pedestrian Linkage / Landscape Treatment	—	—	0.081 ha	0.055 ha	0.168 ha	0.061 ha	—	—	0.029 ha	—	0.394 ha	1.0%	
Total Open Space	—	1.747 ha	2.267 ha	0.055 ha	1.236 ha	0.743 ha	—	—	3.593 ha	3.204 ha	12.845 ha	32.0%	

Residential Allotments		Yield Breakdown											Overall	
		Typical Allotment Size	Stage 3	Stage 11A	Stage 11B	Stage 16	Stage 18	Stage 19B	Stage 22B	Stage 22C	Stage 23B	Stage 27		
		Dimensions	Area	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	%
28m Deep Allotments														
Villa Allotment		10.5 x 28m	294m ²	4	—	—	4	3	—	—	—	2	13	2.7%
Premium Villa Allotment		12.5 x 28m	350m ²	9	10	18	19	16	6	10	5	23	126	26.5%
Courtyard Allotment		14 x 28m	392m ²	14	4	15	10	3	12	6	7	11	19	21.3%
Premium Courtyard Allotment		16 x 28m	448m ²	8	—	6	1	—	1	—	3	—	10	6.1%
Sub Total 28m Deep Allotments				35	14	39	34	22	19	16	20	16	54	269
30m Deep Allotments														
Villa Allotment		10.5 x 30m	315m ²	1	—	—	2	4	4	—	—	—	11	2.3%
Premium Villa Allotment		12.5 x 30m	375m ²	15	—	3	12	31	14	4	5	12	3	99
Courtyard Allotment		14 x 30m	420m ²	12	—	9	5	20	3	5	2	11	3	70
Premium Courtyard Allotment		16 x 30m	480m ²	3	—	1	1	—	1	—	—	3	—	9
Traditional Allotment		20 x 30m	600m ²	—	—	—	—	—	—	—	—	—	—	0.0%
Sub Total 30m Deep Allotments				31	—	13	20	55	22	9	7	26	6	189
32m Deep Allotments														
Villa Allotment		10.5 x 32m	336m ²	—	—	—	—	—	—	—	6	—	6	1.3%
Premium Villa Allotment		12.5 x 32m	400m ²	—	—	—	—	—	—	1	6	—	7	1.5%
Courtyard Allotment		14 x 32m	448m ²	—	—	1	—	—	—	1	2	—	4	0.8%
Traditional Allotment		20 x 32m	640m ²	—	—	—	—	—	—	—	—	—	—	0.0%
Premium Traditional Allotment		22 x 32m	704m ²	—	—	—	—	—	—	—	—	—	—	0.0%
Sub Total 32m Deep Allotments				—	—	1	—	—	—	2	14	—	17	3.6%
Total Residential Allotments				66	14	53	54	77	41	25	29	56	60	475

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Rev No: V
DATE: 26 JUNE 2024
CLIENT: AVID
DRAWN BY: JC
CHECKED BY: PHE



0 30 60 90 120 150 1:3,000 @ A1

COVELLA
PLAN OF SUBDIVISION
OVERALL ALLOTMENT LAYOUT
APPLICATION 2 (BALANCE)

AVID
Property Group

URBAN DESIGN
Level 4 HQ South
520 Wickham Street
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Source Information:
Site boundaries: Land Partners.
Adjoining information: DCDB.
Contours: Calibre.
Developed 1% AEP: Calibre.

Yield Breakdown						
Residential Allotments	Typical Allotment Size		Stage 3	Stage 18	Overall	
	Dimensions	Area	Lots	Lots	Lots	%
28m Deep Allotments						
Villa Allotment	10.5 x 28m	294m ²	4	3	7	4.9%
Premium Villa Allotment	12.5 x 28m	350m ²	9	16	25	17.5%
Courtyard Allotment	14 x 28m	392m ²	14	3	17	11.9%
Premium Courtyard Allotment	16 x 28m	448m ²	8	—	8	5.6%
Sub Total 28m Deep Allotments			35	22	57	39.9%
30m Deep Allotments						
Villa Allotment	10.5 x 30m	315m ²	1	4	5	3.5%
Premium Villa Allotment	12.5 x 30m	375m ²	15	31	46	32.2%
Courtyard Allotment	14 x 30m	420m ²	12	20	32	22.4%
Premium Courtyard Allotment	16 x 30m	480m ²	3	—	3	2.1%
Traditional Allotment	20 x 30m	600m ²	—	—	—	0.0%
Sub Total 30m Deep Allotments			31	55	86	60.1%
32m Deep Allotments						
Villa Allotment	10.5 x 32m	336m ²	—	—	—	0.0%
Premium Villa Allotment	12.5 x 32m	400m ²	—	—	—	0.0%
Courtyard Allotment	14 x 32m	448m ²	—	—	—	0.0%
Traditional Allotment	20 x 32m	640m ²	—	—	—	0.0%
Premium Traditional Allotment	22 x 32m	704m ²	—	—	—	0.0%
Sub Total 32m Deep Allotments			—	—	—	0.0%
Total Residential Allotments			66	77	143	100.0%

Land Budget				
Land Use	Stage 3	Stage 18	Overall	
	Area	Area	Area	%
Area of Subject Site	4.007 ha	5.197 ha	9.204 ha	100.0%
Saleable Area				
Residential Allotments	2.895 ha	2.980 ha	5.875 ha	63.8%
Total Area of Allotments	2.895 ha	2.980 ha	5.875 ha	63.8%
Road				
Local Roads	1.112 ha	0.981 ha	2.093 ha	22.7%
Collector Roads	—	—	—	0.0%
Trunk Collector Roads	—	—	—	0.0%
Total Area of New Road	1.112 ha	0.981 ha	2.093 ha	22.7%
Open Space				
Linear Open Space (Active)	—	0.465 ha	0.465 ha	5.1%
Linear Open Space (Conservation)	—	0.603 ha	0.603 ha	6.6%
Pedestrian Linkage / Landscape Treatment	—	0.168 ha	0.168 ha	1.8%
Total Open Space	—	1.236 ha	1.236 ha	13.4%

Legend

General

- Site Boundary
- Stage Boundary
- Indicative External Footpath
- Management Lot Area
- 1m Contours

Constraints

- Retained Remnant Endangered Regional Ecosystem
- 33m Buffer to Remnant Endangered Regional Ecosystem
- 33m Bushfire Setback
- Developed 1% AEP

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COVELLA
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PRECINCT 1
APPLICATION 2 (BALANCE)

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PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2017/831/65

Date: 12 July 2024

Note:
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Contours: Calibre.
Developed 1% AEP: Calibre.

Yield Breakdown								
Residential Allotments	Typical Allotment Size		Stage 19B	Stage 22B	Stage 22C	Stage 23B	Overall	
	Dimensions	Area	Lots	Lots	Lots	Lots	Lots	%
28m Deep Allotments								
Villa Allotment	10.5 x 28m	294m ²	—	—	—	—	—	0.0%
Premium Villa Allotment	12.5 x 28m	350m ²	6	10	10	5	31	20.5%
Courtyard Allotment	14 x 28m	392m ²	12	6	7	11	36	23.8%
Premium Courtyard Allotment	16 x 28m	448m ²	1	—	3	—	4	2.6%
Sub Total 28m Deep Allotments			19	16	20	16	71	47.0%
30m Deep Allotments								
Villa Allotment	10.5 x 30m	315m ²	4	—	—	—	4	2.6%
Premium Villa Allotment	12.5 x 30m	375m ²	14	4	5	12	35	23.2%
Courtyard Allotment	14 x 30m	420m ²	3	5	2	11	21	13.9%
Premium Courtyard Allotment	16 x 30m	480m ²	1	—	—	3	4	2.6%
Traditional Allotment	20 x 30m	600m ²	—	—	—	—	—	0.0%
Sub Total 30m Deep Allotments			22	9	7	26	64	42.4%
32m Deep Allotments								
Villa Allotment	10.5 x 32m	336m ²	—	—	—	6	6	4.0%
Premium Villa Allotment	12.5 x 32m	400m ²	—	—	1	6	7	4.6%
Courtyard Allotment	14 x 32m	448m ²	—	—	1	2	3	2.0%
Traditional Allotment	20 x 32m	640m ²	—	—	—	—	—	0.0%
Premium Traditional Allotment	22 x 32m	704m ²	—	—	—	—	—	0.0%
Sub Total 32m Deep Allotments			—	—	2	14	16	10.6%
Total Residential Allotments			41	25	29	56	151	100.0%

Land Budget						
Land Use	Stage 19B	Stage 22B	Stage 22C	Stage 23B	Overall	
	Area	Area	Area	Area	Area	%
Area of Subject Site	2.966 ha	1.663 ha	1.341 ha	6.654 ha	12.624 ha	100.0%
Saleable Area						
Residential Allotments	1.645 ha	0.985 ha	1.140 ha	2.288 ha	6.058 ha	48.0%
Total Area of Allotments	1.645 ha	0.985 ha	1.140 ha	2.288 ha	6.058 ha	48.0%
Road						
Local Roads	0.578 ha	0.389 ha	0.047 ha	0.773 ha	1.787 ha	14.2%
Collector Roads	—	0.289 ha	0.107 ha	—	0.396 ha	3.1%
Trunk Collector Roads	—	—	0.047 ha	—	0.047 ha	0.4%
Total Area of New Road	0.578 ha	0.678 ha	0.201 ha	0.773 ha	2.230 ha	17.7%
Open Space						
Linear Open Space (Active)	0.646 ha	—	—	0.624 ha	1.270 ha	10.1%
Linear Open Space (Conservation)	0.036 ha	—	—	2.969 ha	3.005 ha	23.8%
Pedestrian Linkage / Landscape Treatment	0.061 ha	—	—	—	0.061 ha	0.5%
Total Open Space	0.743 ha	—	—	3.593 ha	4.336 ha	34.3%

Legend

General

- Site Boundary
- Stage Boundary
- 1m Contours

Constraints

- Retained Remnant Endangered Regional Ecosystem
- 33m Buffer to Remnant Endangered Regional Ecosystem
- 33m Bushfire Setback
- Developed 1% AEP



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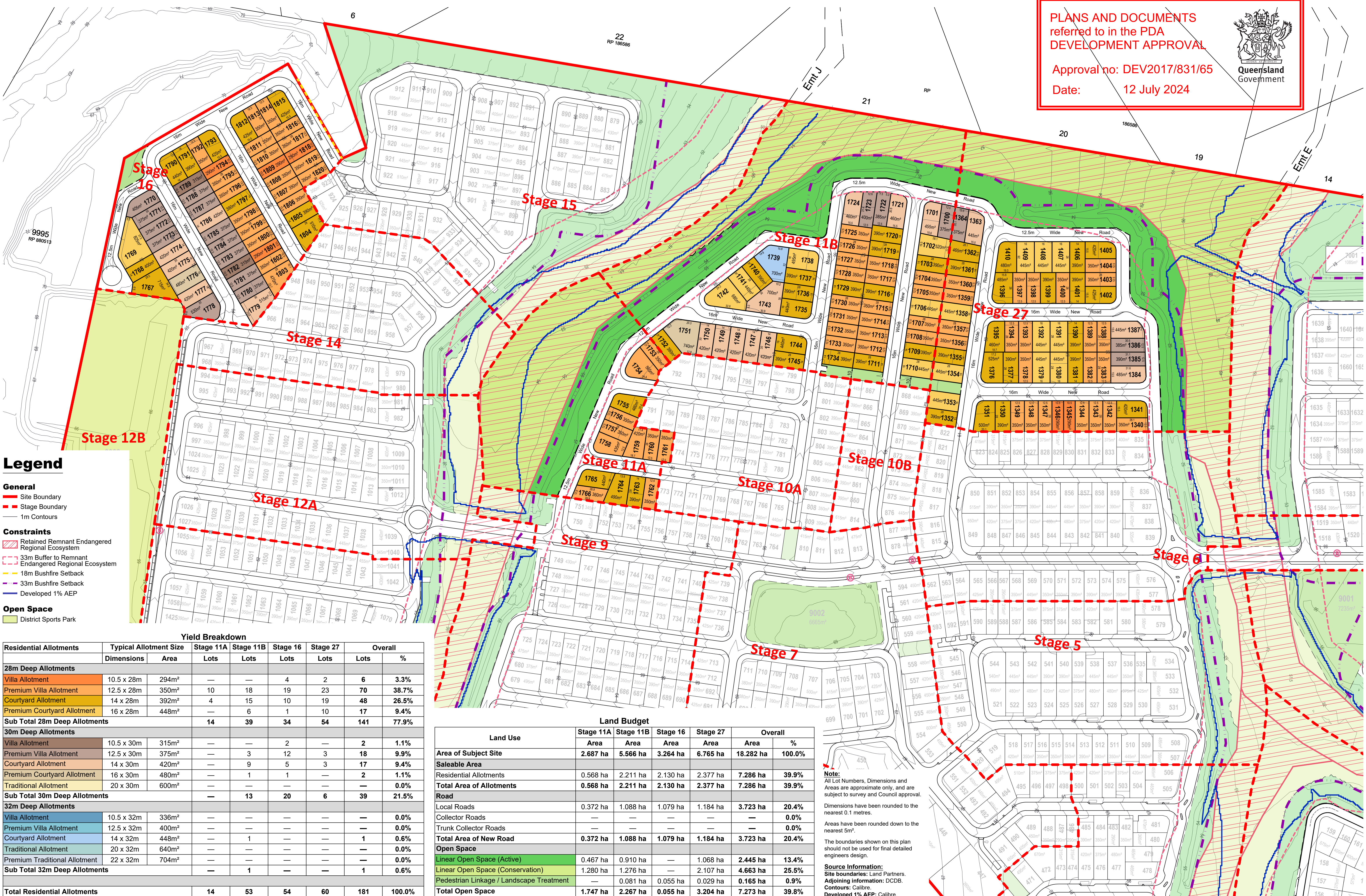
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Queensland
Government



Legend

General

- Site Boundary
- Stage Boundary
- 1m Contours

Constraints

- Retained Remnant Endangered Regional Ecosystem
- 33m Buffer to Remnant Endangered Regional Ecosystem
- 18m Bushfire Setback
- 33m Bushfire Setback
- Developed 1% AEP

Open Space

- District Sports Park

Yield Breakdown								
Residential Allotments	Typical Allotment Size		Stage 11A		Stage 11B		Stage 16	
	Dimensions	Area	Lots	Lots	Lots	Lots	Lots	Overall
28m Deep Allotments								
Villa Allotment	10.5 x 28m	294m ²	—	—	4	2	6	3.3%
Premium Villa Allotment	12.5 x 28m	350m ²	10	18	19	23	70	38.7%
Courtyard Allotment	14 x 28m	392m ²	4	15	10	19	48	26.5%
Premium Courtyard Allotment	16 x 28m	448m ²	—	6	1	10	17	9.4%
Sub Total 28m Deep Allotments			14	39	34	54	141	77.9%
30m Deep Allotments								
Villa Allotment	10.5 x 30m	315m ²	—	—	2	—	2	1.1%
Premium Villa Allotment	12.5 x 30m	375m ²	—	3	12	3	18	9.9%
Courtyard Allotment	14 x 30m	420m ²	—	9	5	3	17	9.4%
Premium Courtyard Allotment	16 x 30m	480m ²	—	1	1	—	2	1.1%
Traditional Allotment	20 x 30m	600m ²	—	—	—	—	—	0.0%
Sub Total 30m Deep Allotments			—	13	20	6	39	21.5%
32m Deep Allotments								
Villa Allotment	10.5 x 32m	336m ²	—	—	—	—	—	0.0%
Premium Villa Allotment	12.5 x 32m	400m ²	—	—	—	—	—	0.0%
Courtyard Allotment	14 x 32m	448m ²	—	1	—	—	1	0.6%
Traditional Allotment	20 x 32m	640m ²	—	—	—	—	—	0.0%
Premium Traditional Allotment	22 x 32m	704m ²	—	—	—	—	—	0.0%
Sub Total 32m Deep Allotments			—	1	—	—	1	0.6%
Total Residential Allotments			14	53	54	60	181	100.0%

Land Budget

Land Use	Stage 11A	Stage 11B	Stage 16	Stage 27	Overall	
	Area	Area	Area	Area	Area	%
Area of Subject Site	2.687 ha	5.566 ha	3.264 ha	6.765 ha	18.282 ha	100.0%
Saleable Area						
Residential Allotments	0.568 ha	2.211 ha	2.130 ha	2.377 ha	7.286 ha	39.9%
Total Area of Allotments	0.568 ha	2.211 ha	2.130 ha	2.377 ha	7.286 ha	39.9%
Road						
Local Roads	0.372 ha	1.088 ha	1.079 ha	1.184 ha	3.723 ha	20.4%
Collector Roads	—	—	—	—	—	0.0%
Trunk Collector Roads	—	—	—	—	—	0.0%
Total Area of New Road	0.372 ha	1.088 ha	1.079 ha	1.184 ha	3.723 ha	20.4%
Open Space						
Linear Open Space (Active)	0.467 ha	0.910 ha	—	1.068 ha	2.445 ha	13.4%
Linear Open Space (Conservation)	1.280 ha	1.276 ha	—	2.107 ha	4.663 ha	25.5%
Pedestrian Linkage / Landscape Treatment	—	0.081 ha	0.055 ha	—	0.165 ha	0.9%
Total Open Space	1.747 ha	2.267 ha	0.055 ha	3.204 ha	7.273 ha	39.8%

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Contours: Calibre.
Developed 1% AEP: Calibre.

Notes:

General

- All development is to be undertaken in accordance with the Development Approval.
- The maximum height of buildings shall not exceed two (2) storeys.
- Maximum building location envelopes are subject to future proposed easements and/or other underground services.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise specified.
- The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Boundary setbacks are measured to the wall of the structure.
- Maximum length of built-to-boundary wall in 9.0 meters long.
- First floor setbacks must not encroach the minimum ground floor setbacks.
- Garages must not project forward of the front building setback.
- Eaves should not encroach (other then where buildings are built to boundary) closer then 450mm to the lot boundary, exceptions include:
 - Primary Street frontage, where eaves should not be closer than 2400mm.

On-site parking and Driveways

- Off street car park is to be provided in accordance with the following minimum requirements:
 - One room or one bedroom or two bedroom house/dwelling unit - 1 covered space per dwelling;
 - Three or more bedroom house/dwelling unit - 2 spaces per dwelling, one which must be capable of being covered (may be provided in tandem).
- Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.8m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional tilt or roller door.
 - The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - One or more features comprising:
 - A front entrance door with glass inserts;
 - A sidelight where the front door is solid;
 - Window to a habitable room.
 - A front verandah, portico or porch connecting to the front entrance, which extends a minimum of 1600mm forward of the front facade
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.5m in width at the boundary on Lots between 10.0m and 12.49m wide.
- Tandem garages are permitted on any lot less than 12.5m wide.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double garage and 3 metres for a lot with a single garage.
- All double garages should be setback behind the main face of the dwelling with doors articulated, compromising a mix of materials and colours, or staggered.
- Garages are to located along the Built to Boundary wall. Where no Built to Boundary wall is proposed, garages are to be located on the low side of the lot. Where the lot has no low side garages are to be located on the western or southern side of the lot.
- Maximum of one driveway per dwelling unless it is a corner lot.
- Minimum distance of a driveway from an intersection of one street with another street 6.0 meters.

On-Street Parking

- On-street car park is to be provided in accordance with the following minimum requirement – 0.75 spaces per dwelling.
- All on-street parking is to be provided within reasonable proximity to the house/dwelling unit.

Private Open Space

- Private open space is to be provided in accordance with the following requirements:
 - One room or one bedroom house/dwelling unit - minimum 5m² with a minimum dimension of 1.2m;
 - Two bedroom house/dwelling unit - minimum 9m² with a minimum dimension of 2.4m;
 - Three or more bedroom house/dwelling - minimum 12m² with a minimum dimension of 2.4m
- Private open space must be in accordance with the following requirements:
 - Accessible from a living room; and
 - Adequate space to accommodate a table, chair, planting, barbeque and shade; and
 - Maximum gradient not exceeding 1:10.

Street Address

- Letterbox clearly visible and identifiable from street.
- Buildings must address each street, pathway or park frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:
 - verandahs; and/or
 - porches; and/or
 - awning and shade structures; and/or
 - variation to roof and building lines; and/or
 - use of varying building materials.

Fencing

- Fencing, screening or level changes to provide privacy but still allow for overlooking of the street and park to promote casual surveillance.
- Fencing on all Primary Street Frontages has a maximum height of 1.2 metres where solid or have a maximum height of 1.5 metres where containing openings that make the fence more than 50% transparent.
- Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
- Fences in key locations are to be consistent and articulated fence design to :
 - Non-access roads;
 - High visibility open space areas.
- Fences on pedestrian linkages are to have a maximum height of 1.2m where solid, or have a maximum height of 1.8m where containing openings that make the fence more than 50% transparent.

Building Articulation

- All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following :
 - Windows recessed into the facade
 - Balconies, porches or verandahs
 - Window Hoods/Screens
 - shadow lines are created on the building through minor changes in the facade (100 millimetres minimum)
- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All buildings must incorporate two or more of the following design elements which provide diversity in building form as well as respond to the climate.
 - Verandahs / Porch
 - Roof Overhangs
 - Window Hoods/Screens
 - Awnings and Shade Structures

Protected Vegetation / Building Exclusion Zone

- The vegetation in the 10m Protected Vegetation / Building Exclusion Zone Buffer is to be preserved and maintained.
- No buildings or structures are to be constructed in the buffer.
- The buffer takes precedence over the minimum setbacks stated in the Plan of Development Table.

Additional Criteria for Multiple Residential Allotments

- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Have drying and rubbish bin areas behind the main face of the dwelling or suitably screen from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

- Floor area must be between a minimum of 30m² and 75m².
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
- Any secondary dwelling is not permitted its own letterbox and must be shared with the primary dwelling.
- Any secondary dwelling is unable to be separately titled to the primary dwelling.
- No secondary infrastructure servicing to the secondary dwelling is permitted (i.e. water, gas, electricity).



Plan of Development Table	Villa Allotments		Premium Villa Allotments		Courtyard & Premium Courtyard Allotments		Traditional & Premium Traditional Allotments		Lifestyle Allotments		Premium Lifestyle Allotments	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	6.0m***	6.0m***
Garage	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	7.5m***	7.5m***
Rear	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m***	1.0m***
Side - Setbacks												
Built to Boundary	0.0m Optional	1.0m	0.0m Optional	1.0m	0.0m Optional	1.0m	n/a	n/a	n/a	n/a	n/a	n/a
Non Built to Boundary	0.75m	0.9m	1.0m	1.5m	1.0m	1.5m	1.2m	2.0m	1.5m	2.0m	1.5m***	2.0m***
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m***	1.5m***
Park**	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m	1.5m	1.5m	1.5m***	1.5m***
Maximum Site Cover	75%		75%		70%		60%		50%		50%	

*2.4m setback permitted to unenclosed entry features such as porches, porticos, verandahs and balconies

**0m setback permitted to unenclosed verandahs and balconies

*** Except where overridden by Protected Vegetation / Building Exclusion Zone - see notes 33-35.

PLAN REF: 132965 – 23

Rev No: V

DATE: 26 JUNE 2024

CLIENT: AVID

DRAWN BY: JC

CHECKED BY: PHE

0 20 40 60 80 100 1:1,500 @ A1

Legend

General

- Site Boundary
- Stage Boundary
- Indicative External Footpath
- Management Lot Area
- 1m Contours
- 1.5m Footpath
- 2.0m Footpath

Development Controls

- Built to Boundary Location
- Indicative Driveway Location
- No Vehicular Access
- Front Boundary

Constraints

- Retained Remnant Endangered Regional Ecosystem
- 33m Buffer to Remnant Endangered Regional Ecosystem
- 33m Bushfire Setback
- Developed 1% AEP

Open Space

- Linear Open Space (Active)
- Linear Open Space (Conservation)
- Neighbourhood Recreation Park
- Pedestrian Linkage / Landscape Treatment
- Existing Easement

COVELLA

PLAN OF DEVELOPMENT

PRECINCT 1

APPLICATION 2 (BALANCE)

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2017/831/65

Date: 12 July 2024



AVID

Property Group

URBAN DESIGN

Level 4 HQ South

520 Wickham Street

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Note: All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information: Site boundaries: Land Partners. Adjoining information: DCDB. Contours: Calibre. Developed 1% AEP: Calibre.

Notes:

General

- All development is to be undertaken in accordance with the Development Approval.
- The maximum height of buildings shall not exceed two (2) storeys.
- Maximum building location envelopes are subject to future proposed easements and/or other underground services.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise specified.
- The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Boundary setbacks are measured to the wall of the structure.
- Maximum length of built-to-boundary wall in 9.0 meters long.
- First floor setbacks must not encroach the minimum ground floor setbacks.
- Garages must not project forward of the front building setback.
- Eaves should not encroach (other then where buildings are built to boundary) closer then 450mm to the lot boundary, exceptions include:
 - Primary Street frontage, where eaves should not be closer than 2400mm.

On-site parking and Driveways

- Off street car park is to be provided in accordance with the following minimum requirements:
 - One room or one bedroom or two bedroom house/dwelling unit - 1 covered space per dwelling;
 - Three or more bedroom house/dwelling unit - 2 spaces per dwelling, one which must be capable of being covered (may be provided in tandem).
- Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.8m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional tilt or roller door.
 - The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - One or more features comprising:
 - A front entrance door with glass inserts;
 - A sidelight where the front door is solid;
 - Window to a habitable room.
 - A front verandah, portico or porch connecting to the front entrance, which extends a minimum of 1600mm forward of the front facade
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.5m in width at the boundary on Lots between 10.0m and 12.49m wide.
- Tandem garages are permitted on any lot less than 12.5m wide.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double garage and 3 metres for a lot with a single garage.
- All double garages should be setback behind the main face of the dwelling with doors articulated, compromising a mix of materials and colours, or staggered.
- Garages are to be located along the Built to Boundary wall. Where no Built to Boundary wall is proposed, garages are to be located on the low side of the lot. Where the lot has no low side garages are to be located on the western or southern side of the lot.
- Maximum of one driveway per dwelling unless it is a corner lot.
- Minimum distance of a driveway from an intersection of one street with another street 6.0 meters.

On-Street Parking

- On-street car park is to be provided in accordance with the following minimum requirement – 0.75 spaces per dwelling.
- All on-street parking is to be provided within reasonable proximity to the house/dwelling unit.

Private Open Space

- Private open space is to be provided in accordance with the following requirements:
 - One room or one bedroom house/dwelling unit - minimum 5m² with a minimum dimension of 1.2m;
 - Two bedroom house/dwelling unit - minimum 9m² with a minimum dimension of 2.4m;
 - Three or more bedroom house/dwelling - minimum 12m² with a minimum dimension of 2.4m
- Private open space must be in accordance with the following requirements:
 - Accessible from a living room; and
 - Adequate space to accommodate a table, chair, planting, barbeque and shade; and
 - Maximum gradient not exceeding 1:10.

Street Address

- Letterbox clearly visible and identifiable from street.
- Buildings must address each street, pathway or park frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:
 - verandahs; and/or
 - porches; and/or
 - awning and shade structures; and/or
 - variation to roof and building lines; and/or
 - use of varying building materials.

Fencing

- Fencing, screening or level changes to provide privacy but still allow for overlooking of the street and park to promote casual surveillance.
- Fencing on all Primary Street Frontages has a maximum height of 1.2 metres where solid or have a maximum height of 1.5 metres where containing openings that make the fence more than 50% transparent.
- Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
- Fences in key locations are to be consistent and articulated fence design to :
 - Non-access roads;
 - High visibility open space areas.
- Fences on pedestrian linkages are to have a maximum height of 1.2m where solid, or have a maximum height of 1.8m where containing openings that make the fence more than 50% transparent.

Building Articulation

- All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following :
 - Windows recessed into the facade
 - Balconies, porches or verandahs
 - Window Hoods/Screens
 - shadow lines are created on the building through minor changes in the facade (100 millimetres minimum)
- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All buildings must incorporate two or more of the following design elements which provide diversity in building form as well as respond to the climate.
 - Verandahs / Porch
 - Roof Overhangs
 - Window Hoods/Screens
 - Awnings and Shade Structures

Protected Vegetation / Building Exclusion Zone

- The vegetation in the 10m Protected Vegetation / Building Exclusion Zone Buffer is to be preserved and maintained.
- No buildings or structures are to be constructed in the buffer.
- The buffer takes precedence over the minimum setbacks stated in the Plan of Development Table.

Additional Criteria for Multiple Residential Allotments

- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Have drying and rubbish bin areas behind the main face of the dwelling or suitably screen from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

- Floor area must be between a minimum of 30m² and 75m².
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
- Any secondary dwelling is not permitted its own letterbox and must be shared with the primary dwelling.
- Any secondary dwelling is unable to be separately titled to the primary dwelling.
- No secondary infrastructure servicing to the secondary dwelling is permitted (i.e. water, gas, electricity).

Legend

General

- Site Boundary
- Stage Boundary
- 1.5m Footpath
- 2.0m Footpath
- 1m Contours

Development Controls

- Built to Boundary Location
- Indicative Driveway Location
- Front Boundary

Constraints

- Retained Remnant Endangered Regional Ecosystem
- 33m Buffer to Remnant Endangered Regional Ecosystem
- 33m Bushfire Setback
- Developed 1% AEP

Open Space

- Linear Open Space (Active)
- Linear Open Space (Conservation)
- Neighbourhood Recreation Park
- Pedestrian Linkage / Landscape Treatment
- Existing Easement



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2017/831/65

Date: 12 July 2024



Plan of Development Table	Villa Allotments		Premium Villa Allotments		Courtyard & Premium Courtyard Allotments		Traditional & Premium Traditional Allotments		Lifestyle Allotments		Premium Lifestyle Allotments	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	6.0m***	6.0m***
Garage	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	7.5m***	7.5m***
Rear	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m***	1.0m***
Side - Setbacks												
Built to Boundary	0.0m Optional	1.0m	0.0m Optional	1.0m	0.0m Optional	1.0m	n/a	n/a	n/a	n/a	n/a	n/a
Non Built to Boundary	0.75m	0.9m	1.0m	1.5m	1.0m	1.5m	1.2m	2.0m	1.5m	2.0m	1.5m***	2.0m***
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m***	1.5m***
Park**	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m	1.5m	1.5m	1.5m***	1.5m***
Maximum Site Cover	75%		75%		70%		60%		50%		50%	

*2.4m setback permitted to unenclosed entry features such as porches, porticos, verandahs and balconies

**0m setback permitted to unenclosed verandahs and balconies

*** Except where overridden by Protected Vegetation / Building Exclusion Zone - see notes 33-35.

PLAN REF: 132965 – 24

Rev No: V

DATE: 26 JUNE 2024

CLIENT: AVID

DRAWN BY: JC

CHECKED BY: PHE

0 20 40 60 80 100 1:1,500 @ A1

COVELLA
PLAN OF DEVELOPMENT
PRECINCT 2
APPLICATION 2 (BALANCE)

AVID
Property Group

URBAN DESIGN
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4008
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Note:
All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Source Information:
Site boundaries: Land Partners.
Adjoining information: DCDB.
Contours: Calibre.
Developed 1% AEP: Calibre.

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2017/831/65

Date: 12 July 2024



Legend

General

- Site Boundary
- Stage Boundary
- 1.5m Footpath
- 2.0m Footpath
- 1m Contours
- Development Controls
 - Built to Boundary Location
 - Indicative Driveway Location

Constraints

- Retained Remnant Endangered Regional Ecosystem
- 33m Buffer to Remnant Endangered Regional Ecosystem
- 33m Bushfire Setback
- 18m Bushfire Setback
- Developed 1% AEP

Open Space

- District Sports Park
- Linear Open Space (Active)
- Linear Open Space (Conservation)
- Neighbourhood Recreation Park
- Pedestrian Linkage / Landscape Treatment
- Existing Easement

Notes:

All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
Site boundaries: Land Partners.
Adjoining information: DCDB.
Contours: Calibre.
Developed 1% AEP: Calibre.

Plan of Development Table	Villa Allotments		Premium Villa Allotments		Courtyard & Premium Courtyard Allotments		Traditional & Premium Traditional Allotments		Lifestyle Allotments		Premium Lifestyle Allotments	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	6.0m***	6.0m***
Garage	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	7.5m***	7.5m***
Rear	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m***	1.0m***
Side - Setbacks												
Built to Boundary	0.0m Optional	1.0m	0.0m Optional	1.0m	0.0m Optional	1.0m	n/a	n/a	n/a	n/a	n/a	n/a
Non Built to Boundary	0.75m	0.9m	1.0m	1.5m	1.0m	1.5m	1.2m	2.0m	1.5m	2.0m	1.5m***	2.0m***
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m***	1.5m***
Park**	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m	1.5m	1.5m	1.5m***	1.5m***
Maximum Site Cover												
	75%		75%		70%		60%		50%		50%	

*2.4m setback permitted to unenclosed entry features such as porches, porticos, verandahs and balconies

**0m setback permitted to unenclosed verandahs and balconies

*** Except where overridden by Protected Vegetation / Building Exclusion Zone - see notes 33-35.

PLAN REF: 132965 – 25

Rev No: V

DATE: 26 JUNE 2024

CLIENT: AVID

DRAWN BY: JC

CHECKED BY: PHE



0 20 40 60 80 100 1:1,500 @A1

COVELLA

PLAN OF DEVELOPMENT
PRECINCT 3 AND 4
APPLICATION 2 (BALANCE)

c. The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:

- One or more features comprising:
 - A front entrance door with glass inserts;
 - A sidelight where the front door is solid;
 - Window to a habitable room.
- A front verandah, portico or porch connecting to the front entrance, which extends a minimum of 1600mm forward of the front facade
- The verandah, portico or porch is to include front piers with distinct materials and/or colours.

d. Driveways cannot exceed 3.5m in width at the boundary on Lots between 10.0m and 12.49m wide.

- Tandem garages are permitted on any lot less than 12.5m wide.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double garage and 3 metres for a lot with a single garage.
- All double garages should be setback behind the main face of the dwelling with doors articulated, compromising a mix of materials and colours, or staggered.
- Garages are to be located along the Built to Boundary wall. Where no Built to Boundary wall is proposed, garages are to be located on the low side of the lot. Where the lot has no low side garages are to be located on the western or southern side of the lot.
- Maximum of one driveway per dwelling unless it is a corner lot.
- Minimum distance of a driveway from an intersection of one street with another street 6.0 metres.

On-Street Parking

- On-street car park is to be provided in accordance with the following minimum requirement – 0.75 spaces per dwelling.
- All on-street parking is to be provided within reasonable proximity to the house/dwelling unit.

Private Open Space

- Private open space is to be provided in accordance with the following requirements:
 - One room or one bedroom house/dwelling unit - minimum 5m² with a minimum dimension of 1.2m;
 - Two bedroom house/dwelling unit - minimum 9m² with a minimum dimension of 2.4m;
 - Three or more bedroom house/dwelling - minimum 12m² with a minimum dimension of 2.4m
- Private open space must be in accordance with the following requirements:
 - Accessible from a living room; and
 - Adequate space to accommodate a table, chair, planting, barbeque and shade; and
 - Maximum gradient not exceeding 1:10.

Street Address

- Letterbox clearly visible and identifiable from street.
- Buildings must address each street, pathway or park frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:
 - verandahs; and/or
 - porches; and/or
 - awning and shade structures; and/or
 - variation to roof and building lines; and/or
 - use of varying building materials.

Fencing

- Fencing, screening or level changes to provide privacy but still allow for overlooking of the street and park to promote casual surveillance.
- Fencing on all Primary Street Frontages has a maximum height of 1.2 metres where solid or have a maximum height of 1.5 metres where containing openings that make the fence more than 50% transparent.
- Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
- Fences in key locations are to be consistent and articulated fence design to :
 - Non-access roads;
 - High visibility open space areas.
- Fences on pedestrian linkages are to have a maximum height of 1.2m where solid, or have a maximum height of 1.8m where containing openings that make the fence more than 50% transparent.

Building Articulation

- All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following :
 - Windows recessed into the facade
 - Balconies, porches or verandahs
 - Window Hoods/Screens
 - shadow lines are created on the building through minor changes in the facade (100 millimetres minimum)
- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All buildings must incorporate two or more of the following design elements which provide diversity in building form as well as respond to the climate.
 - Verandahs / Porch
 - Roof Overhangs
 - Window Hoods/Screens
 - Awnings and Shade Structures

Protected Vegetation / Building Exclusion Zone

- The vegetation in the 10m Protected Vegetation / Building Exclusion Zone Buffer is to be preserved and maintained.
- No buildings or structures are to be constructed in the buffer.
- The buffer takes precedence over the minimum setbacks stated in the Plan of Development Table.

Additional Criteria for Multiple Residential Allotments

- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Have drying and rubbish bin areas behind the main face of the dwelling or suitably screen from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

- Floor area must be between a minimum of 30m² and 75m².
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
- Any secondary dwelling is not permitted its own letterbox and must be shared with the primary dwelling.
- Any secondary dwelling is unable to be separately titled to the primary dwelling.
- No secondary infrastructure servicing to the secondary dwelling is permitted (i.e. water, gas, electricity).

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