

WEINAM CREEK PRIORITY DEVELOPMENT AREA - FORESHORE PARK 1

FORESHORE PARK REDLAND BAY FOR REDLAND INVESTMENT CORPORATION

DRAWING INDEX

C-0001	LOCALITY PLAN & DRAWING INDEX
C-0002	EXISTING SITE FEATURES & CONTROL LINE
C-0003	TYPICAL SECTIONS, STANDARD NOTES AND LONGITUDINAL SECTIONS
C-0004	DEMOLITION PLAN
C-0100	DESIGN DETAIL - SHEET 1
C-0101	DESIGN DETAIL - SHEET 2
C-0200	SEWER AND WATER RETICULATION PLAN
C-0201	SEWER LONGITUDINAL SECTION
C-0300	FP10 CROSS SECTIONS
C-0400	C.M.P. INDEX & STANDARD NOTES
C-0401	CONSTRUCTION MANAGEMENT PLAN
C-0402	EROSION & SEDIMENT CONTROL STANDARD NOTES
C-0403	EROSION & SEDIMENT CONTROL PLAN

STANDARD DRAWINGS - REDLAND CITY COUNCIL

R-RCC-2	COMMERCIAL/INDUSTRIAL/MULTIPLE DWELLING/APARTMENT BUILDING DRIVEWAY CROSSOVER (TYPE A)
R-RCC-3	COMMERCIAL/INDUSTRIAL DRIVEWAY CROSSOVER (TYPE B)
R-RCC-4	CONCRETE FOOTPATH AND SHARED USE PATHS
R-RCC-5	FOOTPATH PROFILE

STANDARD DRAWINGS - IPWEAQ

DS-040	SEDIMENT CONTROL DEVICES SEDIMENT FENCE, ENTRY/EXIT SEDIMENT TRAP
DS-041	SEDIMENT CONTROL DEVICES KERB AND FIELD INLETS - CHECK DAMS & STRAW BALES

STANDARD DRAWINGS - W.S.A.A.

WAT-1201	EMBEDMENT & TRENCHFILL TYPICAL ARRANGEMENT
WAT-1202	STANDARD EMBEDMENT ALL PIPE TYPES
WAT-1205	THRUST BLOCK DETAILS CONCRETE BLOCKS
WAT-1207	THRUST AND ANCHOR BLOCKS GATE VALVES AND VERTICAL BENDS
WAT-1300	VALVE AND HYDRANT IDENTIFICATION MARKERS & MARKER POSTS
WAT-1301	TYPICAL VALVE & HYDRANT INSTALLATION VALVE ARRANGEMENT
WAT-1302	TYPICAL VALVE & HYDRANT INSTALLATION HYDRANTS AND AIR RELIEF VALVES
WAT-1303	TYPICAL SURFACE FITTING INSTALLATION GATE VALVE SURFACE BOXES NON TRAFFICABLE
WAT-1305	TYPICAL SURFACE FITTING INSTALLATION HYDRANT SURFACE BOXES TRAFFICABLE AND NON-TRAFFICABLE
WAT-1313	FLANGED JOINTS BOLTING DETAILS

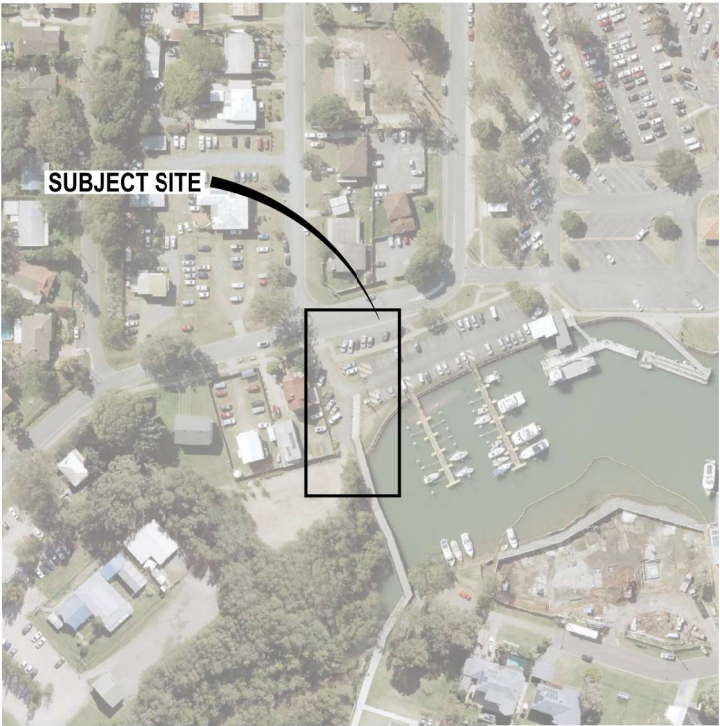


IMAGE SOURCE: GOOGLE MAPS

LOCALITY PLAN

SCALE: NTS

THE ORIGINAL PLANS OF THIS PLAN SET WERE PRODUCED USING COLOUR FOR GREATER CLARITY AND OBJECT DEFINITION. WORKING WITH A BLACK AND WHITE COPY MAY CAUSE ERRORS. IF THESE DRAWINGS ARE NOT IN COLOUR THEN YOU **DO NOT** HAVE THE CORRECT PRESENTATION AND SHOULD SEEK ADVICE.

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2023/1411
Date: 11 July 2024



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REVISIONS	ISSUE DATE	SCALE:
E		
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A	30/01/2024	
0	21/09/2023	DO NOT SCALE FROM PLAN

NTS

FOR APPROVAL

APPROVED:

RPEQ: 21977
APPROVED DATE: 01/2024

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TITLE: LOCALITY PLAN & DRAWING INDEX
PROJECT: WEINAM CREEK PRIORITY DEVELOPMENT AREA - FORESHORE PARK 1
FORESHORE PARK REDLAND BAY
FOR REDLAND INVESTMENT CORPORATION

No. 1 of 13 DRAWINGS	
Job No. FC-22-014-3B(1)	DWG No. C-0001
A B C D E	

A3

LEGEND

	EXISTING PROPERTY BOUNDARIES
	EXISTING SEWER LINE
	EXISTING KERB AND CHANNEL
	EXISTING CONTOURS
	EXISTING CONCRETE EDGE LINE
	EXISTING BUILDING TO REMOVE
	EXISTING CHANGE OF GRADE LINE
	EXISTING ROAD CL
	EXISTING FENCE
	EXISTING EDGE OF BITUMEN
	EXISTING LIGHTPOLE AND POWERPOLE
	EXISTING WATER
	EXISTING OVER HEAD ELECTRICITY LINE
	EXISTING UNDERGROUND ELECTRICITY LINE
	EXISTING ELECTRICAL PIT
	EXISTING PAVEMENT SURFACING
	EXISTING CONCRETE
	EXISTING VEGETATION
	EXISTING VEGETATION TO BE REMOVED
	EXISTING TELSTRA LINE
	EXISTING TELSTRA PIT

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2023/1411

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ARRANGE FOR LOCATIONS ON SITE BY THE APPROPRIATE AUTHORITIES BEFORE DIGGING. CALL 48 HOURS BEFORE YOU DIG.

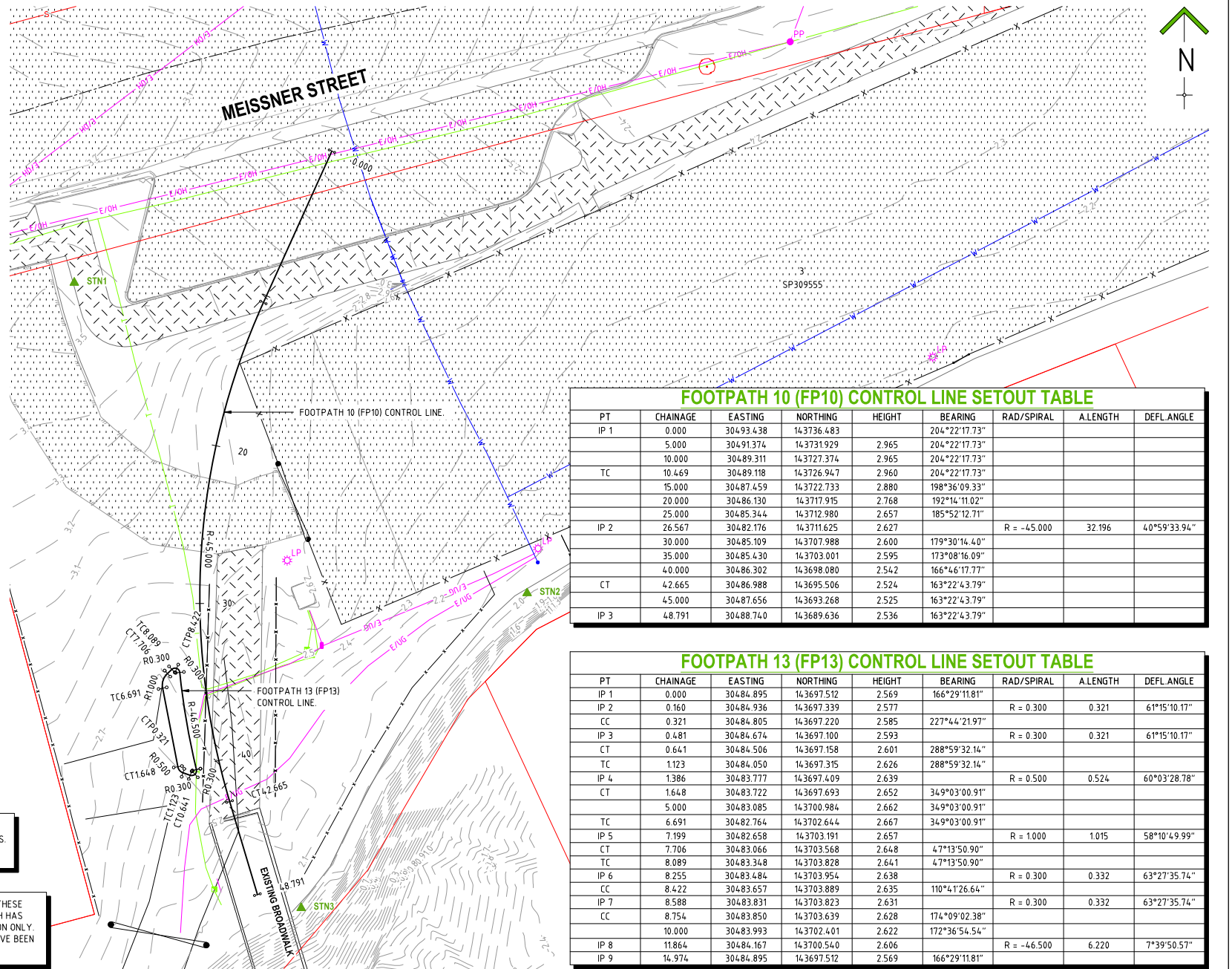
SURVEY STATION SETOUT TABLE

STN ID	EASTING	NORTHING	LEVEL
STN 1	30477.20	143728.19	3.470
STN 2	30505.74	143708.63	2.010
STN 3	30491.50	143688.79	1.990

NOTES:

1. CONTOURS SHOWN DEPICT EXISTING SURFACE AND ARE AT 0.10m INTERVALS.
2. REFER TO ELECTRICAL DESIGN FOR ALL ELECTRICAL AND COMMUNICATION DESIGN AND AUGMENTATION WORKS.

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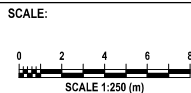
FOOTPATH 10 (FP10) CONTROL LINE SETOUT TABLE

PT	CHAINAGE	EASTING	NORTHING	HEIGHT	BEARING	RAD/SPIRAL	A.LENGTH	DEFL.ANGLE
IP 1	0.000	30493.438	143736.483		204°22'17.73"			
	5.000	30491.374	143731.929	2.965	204°22'17.73"			
	10.000	30489.311	143727.374	2.965	204°22'17.73"			
TC	10.469	30489.118	143726.947	2.960	204°22'17.73"			
	15.000	30487.459	143722.733	2.880	198°36'09.33"			
	20.000	30486.130	143717.915	2.768	192°14'11.02"			
	25.000	30485.344	143712.980	2.657	185°52'12.71"			
IP 2	26.567	30482.176	143711.625	2.627		R = -45.000	32.196	40°59'33.94"
	30.000	30485.109	143707.988	2.600	179°30'14.40"			
	35.000	30485.430	143703.001	2.595	173°08'16.09"			
	40.000	30486.302	143698.080	2.542	166°46'17.77"			
CT	42.665	30486.988	143695.506	2.524	163°22'43.79"			
	45.000	30487.656	143693.268	2.525	163°22'43.79"			
IP 3	48.791	30488.740	143689.636	2.536	163°22'43.79"			

FOOTPATH 13 (FP13) CONTROL LINE SETOUT TABLE

PT	CHAINAGE	EASTING	NORTHING	HEIGHT	BEARING	RAD/SPIRAL	A.LENGTH	DEFL.ANGLE
IP 1	0.000	30484.895	143697.512	2.569	166°29'11.81"			
IP 2	0.160	30484.936	143697.339	2.577		R = 0.300	0.321	61°15'10.17"
CC	0.321	30484.805	143697.220	2.585	227°44'21.97"			
IP 3	0.481	30484.674	143697.100	2.593		R = 0.300	0.321	61°15'10.17"
CT	0.641	30484.506	143697.158	2.601	288°59'32.14"			
TC	1.123	30484.050	143697.315	2.626	288°59'32.14"			
IP 4	1.386	30483.777	143697.409	2.639		R = 0.500	0.524	60°03'28.78"
CT	1.648	30483.722	143697.693	2.652	349°03'00.91"			
	5.000	30483.085	143700.984	2.662	349°03'00.91"			
TC	6.691	30482.764	143702.644	2.667	349°03'00.91"			
IP 5	7.199	30482.658	143703.191	2.657		R = 1.000	1.015	58°10'49.99"
CT	7.706	30483.066	143703.568	2.648	47°13'50.90"			
TC	8.089	30483.348	143703.828	2.641	47°13'50.90"			
IP 6	8.255	30483.484	143703.954	2.638		R = 0.300	0.332	63°27'35.74"
CC	8.422	30483.657	143703.889	2.635	110°41'26.64"			
IP 7	8.588	30483.831	143703.823	2.631		R = 0.300	0.332	63°27'35.74"
CC	8.754	30483.850	143703.639	2.628	174°09'02.38"			
	10.000	30483.993	143702.401	2.622	172°36'54.54"			
IP 8	11.864	30484.167	143700.540	2.606		R = -46.500	6.220	7°39'50.57"
IP 9	14.974	30484.895	143697.512	2.569	166°29'11.81"			

REVISIONS	ISSUE DATE	SCALE:
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D		
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A	30/01/2024	
Q	21/09/2023	DO NOT SCALE FROM PLAN



FOR APPROVAL

APPROVED:

RPEQ:21977

APPROVED DATE: 01/2024

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TITLE: EXISTING SITE FEATURES & CONTROL LINE

PROJECT:
WEINAM CREEK PRIORITY DEVELOPMENT AREA - FORESHORE PARK 1
FORESHORE PARK REDLAND BAY
FOR REDLAND INVESTMENT CORPORATION

No. 2 of 13 DRAWINGS

Job No. DWG No.

FC-22-014-3B(1) C-0002

A B C D E

A3

GENERAL NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
2. NO WORK SHALL BE CARRIED OUT WITHIN 3.0m OF ANY UNDERGROUND SERVICE WITHOUT FIRST CONSULTING WITH THE RELEVANT AUTHORITY.
3. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING SERVICES WITH THE RELEVANT AUTHORITIES BEFORE COMMENCING CONSTRUCTION. ANY COSTS ASSOCIATED WITH THE DAMAGE OR REPAIR TO EXISTING SERVICES SHALL BE PAID FOR BY THE CONTRACTOR.
4. THE CONTRACTOR SHALL EMPLOY APPROPRIATE COMPACTION EQUIPMENT WHEN WORKING IN THE VICINITY OF EXISTING SERVICES AND RESIDENCES.
4. THE CONTRACTOR TO VERIFY ALL DIMENSIONS ON-SITE PRIOR TO THE COMMENCEMENT OF WORKS. THE SUPERINTENDENT SHALL RULE ON ANY DISCREPANCIES FOLLOWING LIAISON WITH THE CONSULTANT.
5. IN ADDITION TO ENGINEERING SOLUTIONS QLD SPECIFICATIONS, ALL WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH F.C.R.C. SPECIFICATIONS.
6. IN ADDITION TO COMPACTION TESTING OF THE SUBGRADE, SUB-BASE AND BASE, AND IN THE CASE OF COMPACTION OF COARSE GRANULAR MATERIAL, PROOF TEST ROLLING SHALL BE UNDERTAKEN AS SOON AS POSSIBLE AFTER COMPLETION OF COMPACTION, IN THE PRESENCE OF THE SUPERINTENDENT AND COUNCIL'S INSPECTOR. SUCH TEST ROLLING SHALL BE DONE IN ACCORDANCE WITH AS 3798 - 2007 DRIED OUT SURFACES SHALL NOT BE ACCEPTABLE FOR TEST ROLLING. ATTENTION WILL BE GIVEN TO THE RELEVANCE OF TIMING AND MOISTURE CONTENT AS DESCRIBED IN THE ABOVE STANDARD.
7. NOTIFICATION SHALL BE PROVIDED TO COUNCIL 24 HOURS IN ADVANCE OF ALL REQUIRED INSPECTIONS TO ALLOW COUNCIL'S INSPECTOR TO ATTEND IF DEEMED TO BE NECESSARY.
8. ALL DISTURBED AREAS TO BE TOPSOILED AND GRASS SEEDED UNLESS NOTED OTHERWISE.

COMPACTION NOTES:

ROADWORKS UP TO 300mm BELOW SUBGRADE	- 95% STANDARD
ROADWORKS WITHIN 300mm OF SUBGRADE	- 100% STANDARD
LOT FILL	- 98% STANDARD
SUB BASE GRAVEL	- 100% STANDARD
BASE GRAVEL	- 100% STANDARD

PAVEMENT NOTES:

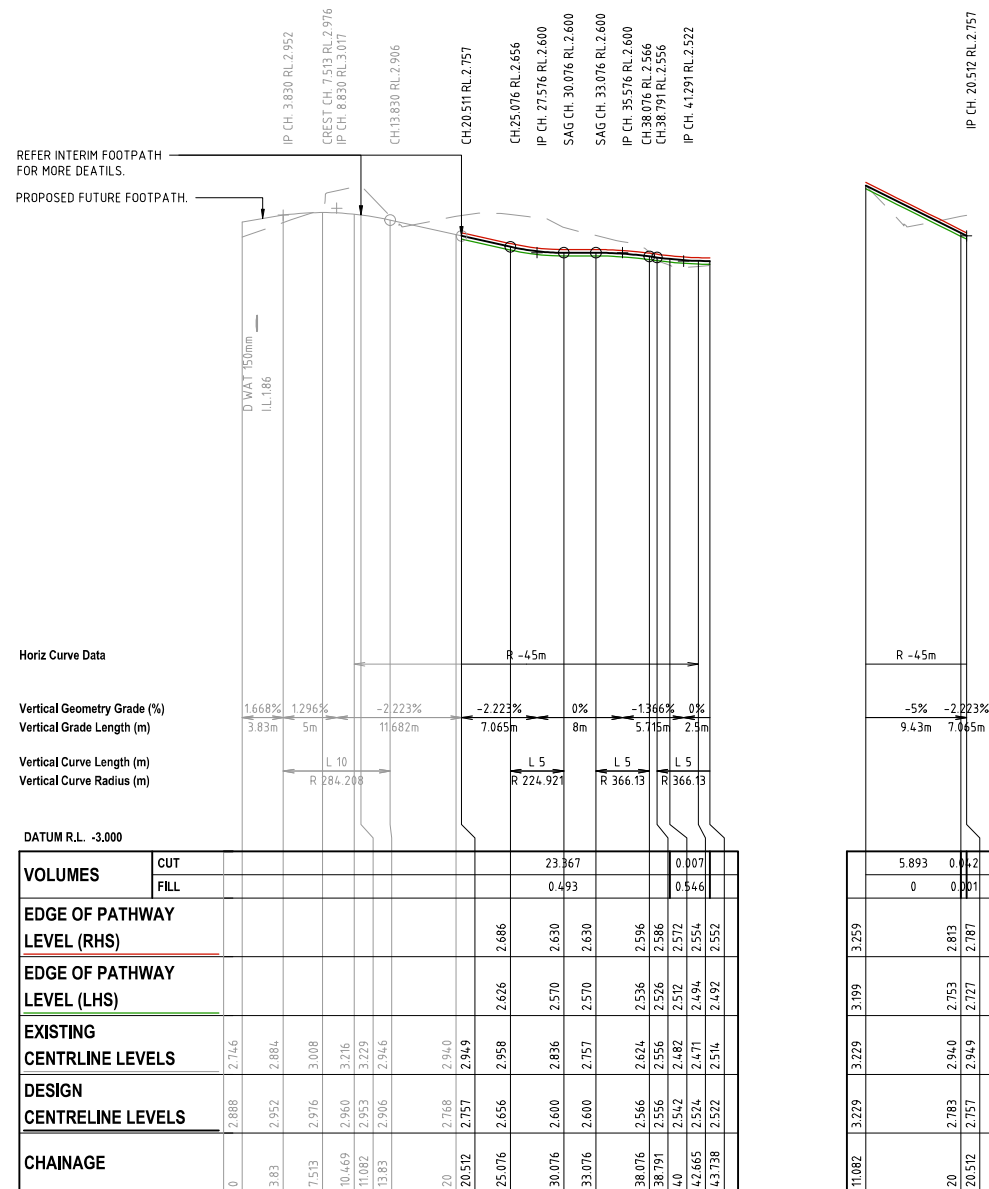
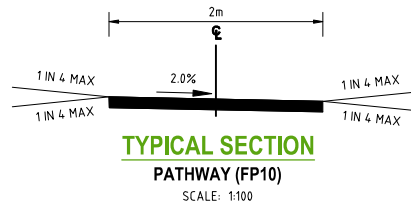
1. PAVEMENT DESIGN NOMINATED ON THESE DRAWINGS HAS BEEN BASED ON AN ASSUMED CBR OF 10%
2. GEOTECHNICAL TESTING TO BE UNDERTAKEN TO CONFIRM PAVEMENT DESIGN
3. NOTIFY ALL RELEVANT AUTHORITIES PRIOR TO COMMENCEMENT OF WORK WITHIN EXISTING ROAD RESERVES.

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2023/1411
Date: 11 July 2024



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FOOTPATH 10 (FP10) LONGITUDINAL SECTION

INTERIM FOOTPATH 10 (FP10) LONGITUDINAL SECTION

	REVISIONS	ISSUE DATE
E		
D		
C		
B		
A	REMOVED DRIVEWAY	30/01/2024
0	ISSUE FOR APPROVAL	21/09/2023

SCALE:
HORIZONTAL SCALE 1:1000 (m)
VERTICAL SCALE 1:100 (m)

FOR APPROVAL

APPROVED:

RPEQ:21977

APPROVED DATE:01/2024

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TITLE: TYPICAL SECTIONS STANDARD NOTES AND LONGITUDINAL SECTIONS

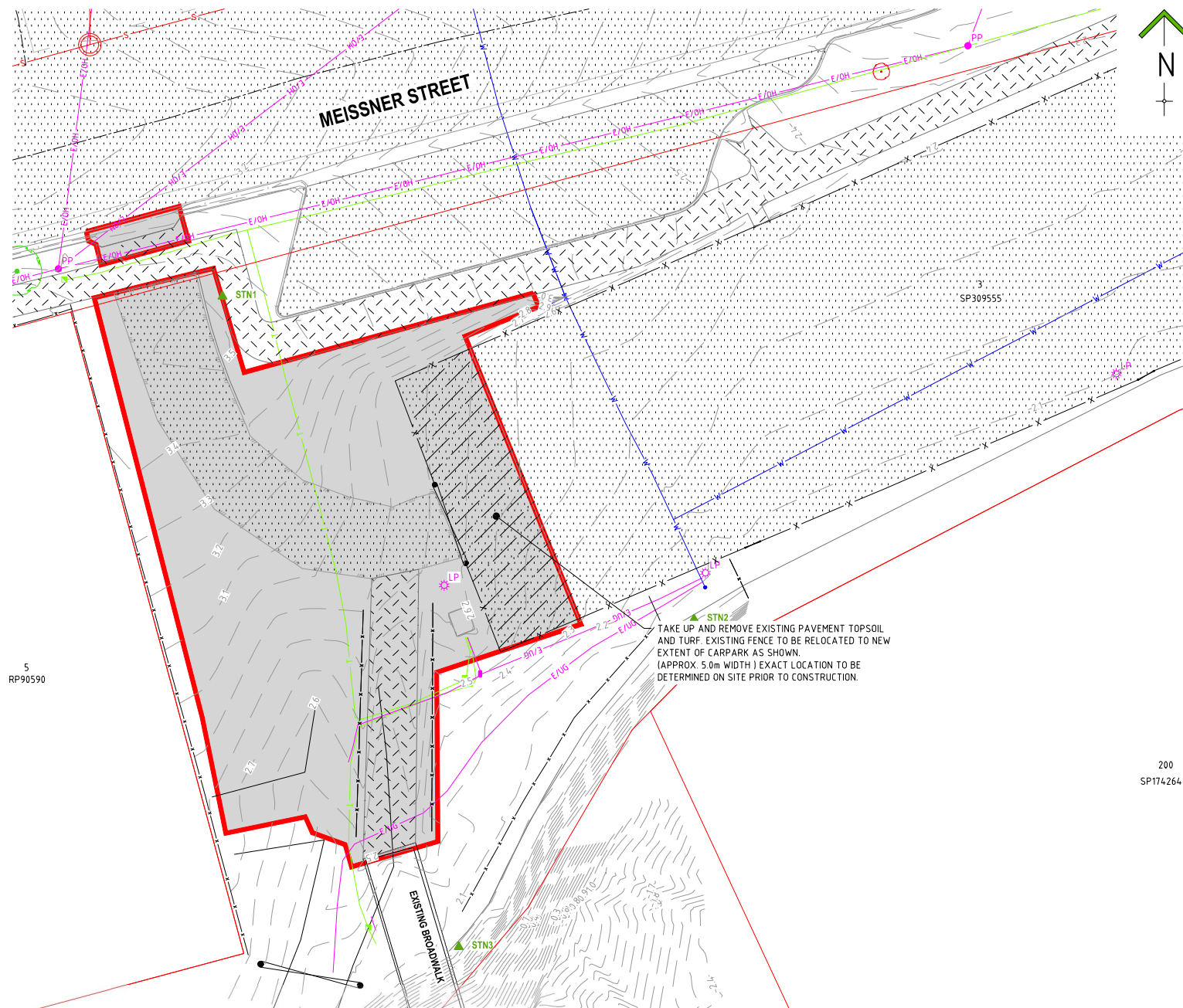
PROJECT:
WEINAM CREEK PRIORITY DEVELOPMENT AREA - FORESHORE PARK 1
FORESHORE PARK REDLAND BAY
FOR REDLAND INVESTMENT CORPORATION

No. 3 of 13 DRAWINGS

Job No.	DWG No.
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FC-22-014-3B(1) | C-0003

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PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2023/1411

Date: 11 July 2024


Queensland
Government



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	REVISIONS	ISSUE DATE	SCALE:
E			 SCALE 1:250 (m)
D			
C			
B			
A	REMOVED DRIVEWAY	30/01/2024	DO NOT SCALE FROM PLAN
	ISSUE FOR APPROVAL	21/09/2023	

FOR APPROVAL

APPROVED:

RPEQ:2197

APPROVED DATE:01/2024

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TITLE: **DEMOLITION PLAN**

PROJECT:
WEINAM CREEK PRIORITY DEVELOPMENT AREA - FORESHORE PARK 1
FORESHORE PARK REDLAND BAY
FOR REDLAND INVESTMENT CORPORATION

No. 4 of 13 DRAWINGS

Job No.	DWG No.
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FC-22-014-3B(1)	C-0004
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A3

LEGEND

	EXISTING SEWER LINE
	EXISTING KERB AND CHANNEL
	EXISTING CONCRETE EDGE LINE
	EXISTING BUILDING TO REMOVE
	EXISTING CHANGE OF GRADE LINE
	EXISTING ROAD CL
	EXISTING FENCE
	EXISTING EDGE OF BITUMEN
	EXISTING WATER
	EXISTING PAVEMENT SURFACING
	EXISTING VEGETATION
	PROPOSED MAJOR CONTOURS
	PROPOSED MINOR CONTOURS
	PROPOSED CONCRETE
	PROPOSED AMENITIES BLOCK CONCRETE BY OTHERS.
	PROPOSED PAVEMENT SURFACING
	EXISTING CONCRETE
	EXISTING OVER HEAD ELECTRICITY LINE
	EXISTING UNDERGROUND ELECTRICITY LINE
	EXISTING ELECTRICAL PIT
	EXISTING LIGHTPOLE AND POWERPOLE
	EXISTING TELSTRA LINE
	EXISTING TELSTRA PIT
	PROPOSED WATERMAIN
	PROPOSED 150Ø SEWERMAIN
	PROPOSED CUTBACK LINE

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

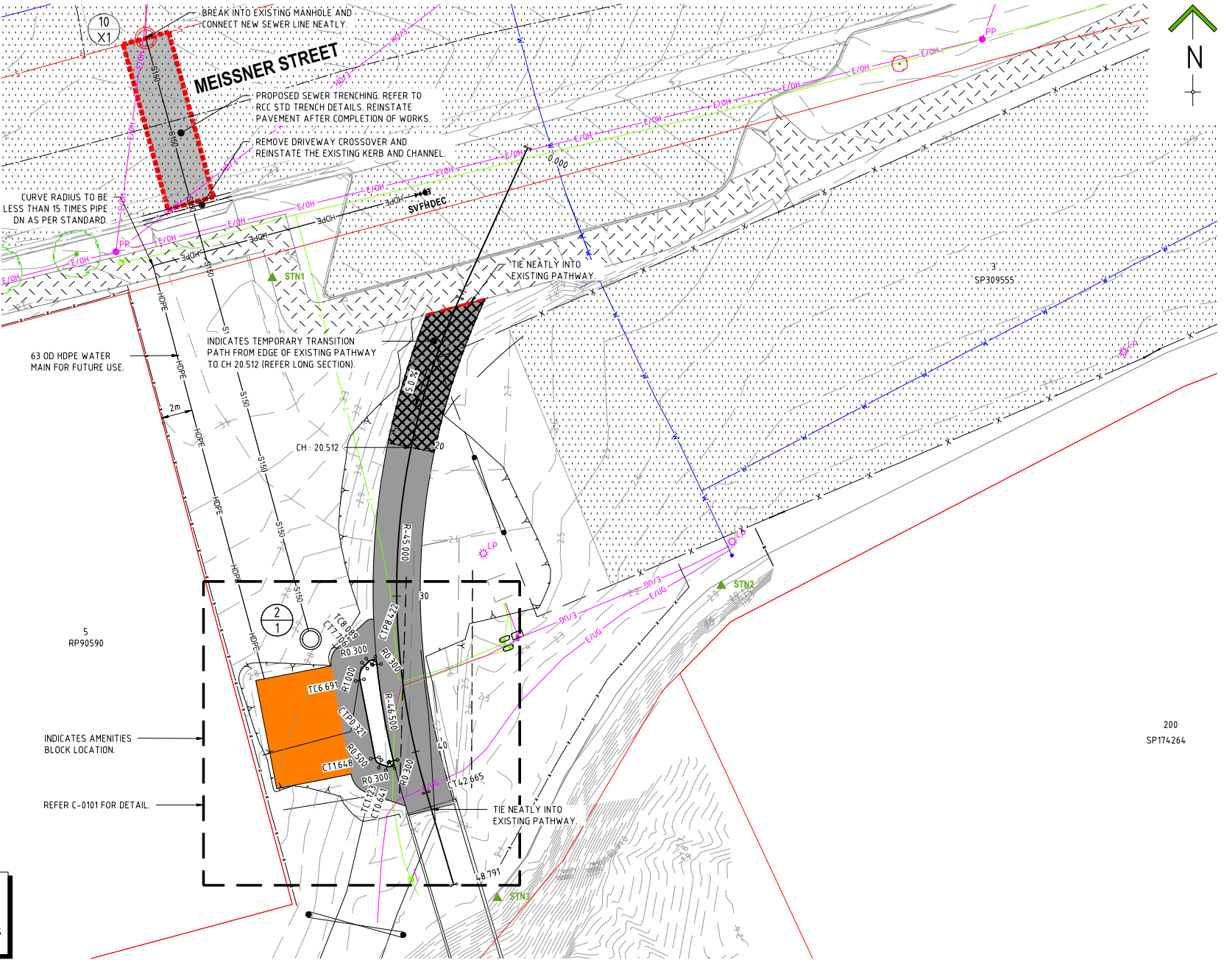
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NOTES:

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REVISIONS	ISSUE DATE	SCALE:
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D		
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A	30/01/2024	
Q	21/09/2023	DO NOT SCALE FROM PLAN

0 2 4 6 8
SCALE 1:250 (m)

FOR APPROVAL

APPROVED:
RPEQ:21977
APPROVED DATE:01/2024

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TITLE: DESIGN DETAIL - SHEET 1
PROJECT: WEINAM CREEK PRIORITY DEVELOPMENT AREA - FORESHORE PARK 1
FORESHORE PARK REDLAND BAY
FOR REDLAND INVESTMENT CORPORATION

No. 5 of 13 DRAWINGS	
Job No. FC-22-014-3B(1)	DWG No. C-0100
A B C D E	

A3

AMENITIES BLOCK CONTROL LINE SETOUT TABLE

PT	CHAINAGE	EASTING	NORTHING	HEIGHT	BEARING	RAD/SPIRAL	A.LENGTH	DEFL.ANGLE
IP 1	0.000	30485.680	143694.642	2.553	288°55'22.89"			
TC	2.613	30483.209	143695.489	2.670	288°55'22.89"			
IP 2	3.406	30482.380	143695.774	2.697		R = 1500	1.586	60°35'36.72"
CT	4.199	30482.220	143696.635	2.700	34.9°30'59.61"			
IP 3	4.234	30482.214	143696.670	2.700				
IP 4	9.046	30477.490	143695.752	2.700				
IP 5	16.041	30476.155	143702.618	2.700				
IP 6	20.917	30480.941	143703.548	2.700				
TC	20.932	30480.938	143703.563	2.700	34.9°30'59.61"			
IP 7	21.536	30480.818	143704.213	2.699		R = 1200	1.209	57°42'51.29"
CT	22.141	30481.304	143704.662	2.691	47°13'50.90"			
TC	24.670	30483.160	143706.380	2.640	47°13'50.90"			
IP 8	24.855	30483.303	143706.512	2.637		R = 0.500	0.371	42°28'45.46"
CT	25.041	30483.497	143706.513	2.633	89°42'36.36"			
IP 9	25.188	30483.645	143706.513	2.630	89°42'36.36"			

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2023/1411

Date: 11 July 2024

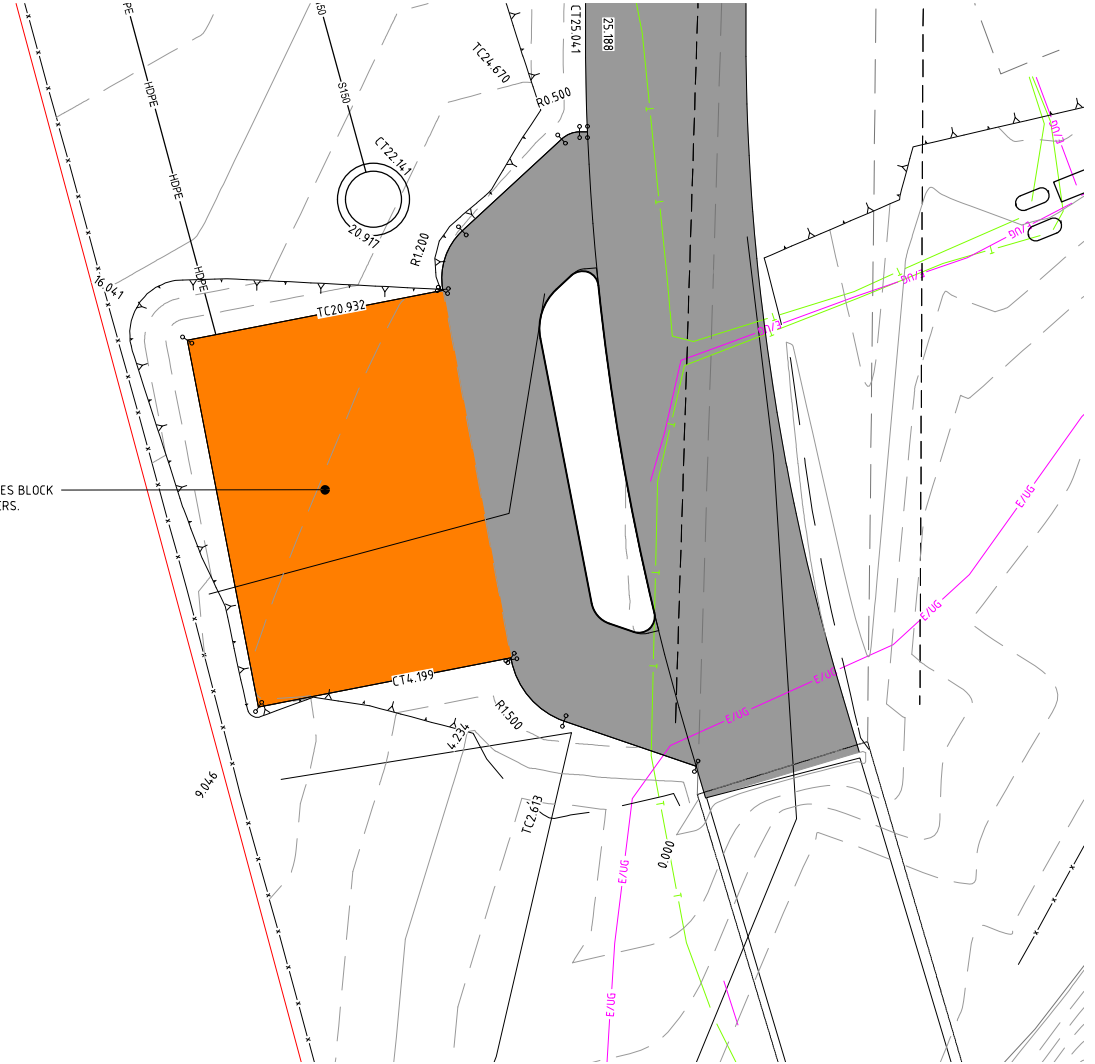


NOTES:

- BUILDING TO BE A GOSSI AMENITIES BLOCK AMT102-S (OR APPROVED EQUIVALENT).
- BUILDING TO BE A MINIMUM OF 1.5M FROM WESTERN PROPERTY BOUNDARY.
- F.F.L OF SLAB TO BE RL 2.7M AHD.
- REFER TO RCC STANDARD DRAWINGS FOR ALL INSTALLATION DETAILS.
- REFER TO DWG NO. 0100 FOR LEGEND.
- REFER TO ELECTRICAL DESIGN FOR ALL ELECTRICAL AND COMMUNICATION DESIGN AND AUGMENTATION WORKS.

NOTWITHSTANDING THAT EXISTING SERVICES MAY OR MAY NOT BE SHOWN ON THESE DRAWINGS. NO RESPONSIBILITY IS TAKEN BY ESQ FOR THIS INFORMATION, WHICH HAS BEEN SUPPLIED BY OTHERS. EXISTING SERVICES ARE PROVIDED FOR INFORMATION ONLY.
NO CONSTRUCTION WORK SHALL BE UNDERTAKEN UNTIL SERVICE LOCATIONS HAVE BEEN CONFIRMED ON SITE WITH THE RELEVANT AUTHORITY.

PROPOSED AMENITIES BLOCK
CONCRETE BY OTHERS.



REVISIONS	ISSUE DATE	SCALE:
E		
D		
C		
B		
A	30/01/2024	
Q	21/09/2023	DO NOT SCALE FROM PLAN

FOR APPROVAL

APPROVED:

RPEQ:21977

APPROVED DATE:01/2024

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TITLE: DESIGN DETAIL - SHEET 2

PROJECT:
WEINAM CREEK PRIORITY DEVELOPMENT AREA - FORESHORE PARK 1
FORESHORE PARK REDLAND BAY
FOR REDLAND INVESTMENT CORPORATION

No. 6 of 13 DRAWINGS

Job No.

FC-22-014-3B(1)

DWG No.

C-0101

A B C D E

A3

GENERAL SEWER NOTES:

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE SEWER LONGITUDINAL SECTIONS & JOB SPECIFICATION.
- CONSTRUCTION TO BE IN ACCORDANCE WITH SOUTH EAST WATER SUPPLY AND SEWERAGE DESIGN CODE.
- PRIOR TO THE COMMENCEMENT OF WORKS WITHIN PRIVATE PROPERTY, WRITTEN NOTIFICATION OF INTENTION TO ENTER IS TO BE GIVEN IN ACCORDANCE WITH THE "SEWERAGE AND WATER SUPPLY ACT 1949-1982" AND REDLAND CITY COUNCIL BY-LAWS AND POLICIES. THE CONTRACTOR SHALL PERFORM CCTV INSPECTION ON ALL SEWER LINES TO THE SATISFACTION OF COUNCIL/ENGINEER PRIOR TO THE DEVELOPMENT BEING PLACED 'ON MAINTENANCE'.
- SEWER TO BE TESTED USING THE VACUUM METHOD IN ACCORDANCE WITH THE REDLAND CITY COUNCIL PLANNING SCHEME POLICY.

MAINTENANCE HOLES:

THE FOLLOWING STANDARD DRAWINGS SHALL BE USED FOR THE CONSTRUCTION OF MAINTENANCE HOLES:
SEQ-SEW-1300-1 - MAINTENANCE HOLES SEWERS ≤ DN 300 PRECAST TYPES P1 & P2
SEQ-SEW-1302-1 - MAINTENANCE HOLES PIPE CONNECTION DETAILS
SEQ-SEW-1303-1 - MAINTENANCE HOLES SEWERS ≤ DN 300 TYPICAL CHANGES IN LEVEL DETAILS
SEQ-SEW-1304-1 - MAINTENANCE HOLES SEWERS ≤ DN 300 TYPICAL CHANNEL ARRANGEMENTS
SEQ-SEW-1305-1 - MAINTENANCE HOLES TYPICAL CHANNEL DETAILS
SEQ-SEW-1308-1 - MAINTENANCE HOLES TYPICAL SHAFT COVER ARRANGEMENTS

ADDITIONAL NOTES FOR THE CONSTRUCTION OF MAINTENANCE HOLES:

- ALL MAINTENANCE HOLES TO BE DN1050 NOMINAL DIAMETER AND OF PRECAST CONSTRUCTION (U.N.O.). UNLESS DEPTH OF MAINTENANCE HOLE IS GREATER THAN 3.0m AT WHICH THE MAINTENANCE HOLE WILL BE OF CAST IN SITU CONSTRUCTION.
- MAINTENANCE HOLES LOCATED INSIDE LOTS TO BE OFFSET 1.0m FROM REAR AND SIDE BOUNDARIES AND 1.5m FROM FRONT BOUNDARY.
- ALL MAINTENANCE HOLES TO BE BROUGHT UP TO 100mm ABOVE FINISHED SURFACE LEVEL, UNLESS DIRECTED OTHERWISE BY THE SUPERINTENDENT.

HOUSE CONNECTIONS:

THE FOLLOWING STANDARD DRAWINGS SHALL BE USED FOR THE CONSTRUCTION OF HOUSE CONNECTIONS:
SEQ-SEW-1106 - PROPERTY CONNECTION DETAILS IO INTERFACE METHOD
SEQ-SEW-1108 - PROPERTY CONNECTION DETAILS "Y" BRANCH & AROUND OBSTRUCTIONS

ADDITIONAL NOTES FOR THE CONSTRUCTION OF HOUSE CONNECTION BRANCHES:

- A HOUSE CONNECTION JUNCTION SHALL BE CONSTRUCTED TO SERVE EACH ALLOTMENT. JUNCTION TYPES ARE NOTED ON THE LONGITUDINAL SECTIONS AND MAY BE VARIED BY THE SUPERINTENDENT.
- HOUSE CONNECTION BRANCHES TO BE RAISED TO A MAX. OF 12m BELOW FINISHED SURFACE LEVELS AND TO BE TAKEN INSIDE THE REAL PROPERTY BOUNDARY OF EACH ALLOTMENT SERVED.
- HOUSE CONNECTION BRANCHES TO BE MARKED WITH YELLOW TAPE BURIED VERTICALLY IN THE GROUND AND A YELLOW MARKER PEG POSITIONED OVER THE CONNECTION POINT.

SEWER MAIN:

THE FOLLOWING STANDARD DRAWINGS SHALL BE USED FOR THE LAYING OF SEWERS:
SEQ-SEW-1200-2 - EMBEDMENT & TRENCHFILL TYPICAL ARRANGEMENT.
SEQ-SEW-1201-1 - STANDARD EMBEDMENT FLEXIBLE & RIGID PIPES.

ADDITIONAL NOTES FOR THE LAYING OF SEWERS:

- STANDARD EMBEDMENT TO BE TYPE 3 SUPPORT, EXCLUDING GEOTEXTILE.
- METALLIC MARKER TAPE SHALL BE INSTALLED ABOVE ALL SEWER AND HOUSE CONNECTION BRANCHES. MARKER TAPE SHALL EXTEND TO FINISHED SURFACE LEVEL AND TAPE SHALL NOT DEVIATE FROM THE LINE OF THE SEWER OR HOUSE CONNECTION BY MORE THAN 200mm.
- ALL SEWER MAINS TO BE DN150 uPVC, CLASS SN8 (U.N.O.).
- FILL/BACKFILL MATERIAL BENEATH ALL ROADWAYS TO BE CBR 15 MINIMUM.

GENERAL NOTES:

- EMBODIMENT TYPE TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION & TO BE ADJUSTED IF REQUIRED. REFER SEQ STD DWG. SEQ-SEW-1201-1 & 1201-2.
- PE DENOTES PE LINING OF MANHOLES DEEPER THAN 4.0m.
- CONTRACTOR TO CONFIRM LOCATION OF EXISTING HOUSE CONNECTIONS & CLEARANCE TO NEW SEWER PIPE PRIOR TO COMMENCEMENT OF WORK.

GENERAL NOTES:

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH WATER SUPPLY CODE OF AUSTRALIA.
- SERVICES SHOWN ARE INDICATIVE ONLY AND ARE TO BE CONFIRMED WITH THE RELEVANT AUTHORITY BEFORE CONSTRUCTION.
- WHERE WATER MAINS, WATER SERVICES, SEWER MAINS, SEWER SERVICES, NBN, TELSTRA, ENERGEX ETC. CROSS ANY PROPOSED KERB & CHANNELLING, SUCH KERB AND CHANNELLING SHALL BE MARKED WITH A "BRASS MARKER DISC TO INDICATE THE SERVICE CROSSING. FOR NEW KERB AND CHANNELLING, THE CHANNEL SHALL BE PAINTED WITH A "W", "S", "T", ETC. AS APPROPRIATE.

ENERGEX, NBN & TELSTRA:

- UNDERGROUND ELECTRICITY SUPPLY DESIGN WAS INCOMPLETE AT THE TIME OF THIS DRAWING. THE LOCATION SHOWN IS PROVISIONAL ONLY WITH THE ACTUAL LOCATION TO BE CONFIRMED BY ERGON ENERGY.
- NO WORK SHALL BE CARRIED OUT WITHIN 3 METRES OF TELSTRA, NBN CABLES WITHOUT FIRST CONTACTING CORPORATION.

WATER MAIN:

THE FOLLOWING STANDARD DRAWINGS SHALL BE USED FOR THE LAYING OF WATER MAINS:

SEQ-WAT-1200-2 - EMBEDMENT & TRENCHFILL TYPICAL ARRANGEMENT.
SEQ-WAT-1201-1 - STANDARD EMBEDMENT TYPICAL FLEXIBLE & RIGID PIPES.
SEQ-WAT-1205-1 - TYPICAL THRUST BLOCK DETAILS MASS CONCRETE.
SEQ-WAT-1207-1 - TYPICAL THRUST AND ANCHOR BLOCKS FOR VERTICAL BENDS.

ADDITIONAL NOTES FOR THE LAYING OF WATER MAINS:

- ALL PIPES TO BE OPVC CLASS 16 TO AS 4441 UNLESS NOTED OTHERWISE.
- JOINT DEFLECTIONS TO NO GREATER THAN 50% OF THE MANUFACTURERS' RECOMMENDATIONS.
- STANDARD EMBEDMENT TO BE TYPE 'B' SUPPORT.
- PLASTIC TAPE WITH EMBEDDED WIRE TRACE SHALL BE INSTALLED 300mm ABOVE WATER MAINS. THE MAXIMUM DEPTH FOR THE INSTALLATION OF THE MARKER TAPE TO BE 600mm.
- MINIMUM COVER TO MAINS IS 600mm, WITH 1200mm COVER REQUIRED UNDER ROADWAYS.
- MINIMUM CLEARANCE DISTANCES TO OTHER SERVICES SHALL BE IN ACCORDANCE WITH TABLE 4.1 - CLEARANCES BETWEEN WATER MAINS AND OTHER UNDERGROUND SERVICES - WSA 03 - 2002-2.3.
- MAINS TO BE FLUSHED AND TESTED IN ACCORDANCE WITH THE WBW REQUIREMENTS.

VALVES AND HYDRANTS:

THE FOLLOWING STANDARD DRAWINGS SHALL BE USED FOR THE INSTALLATION OF HYDRANTS AND VALVES:

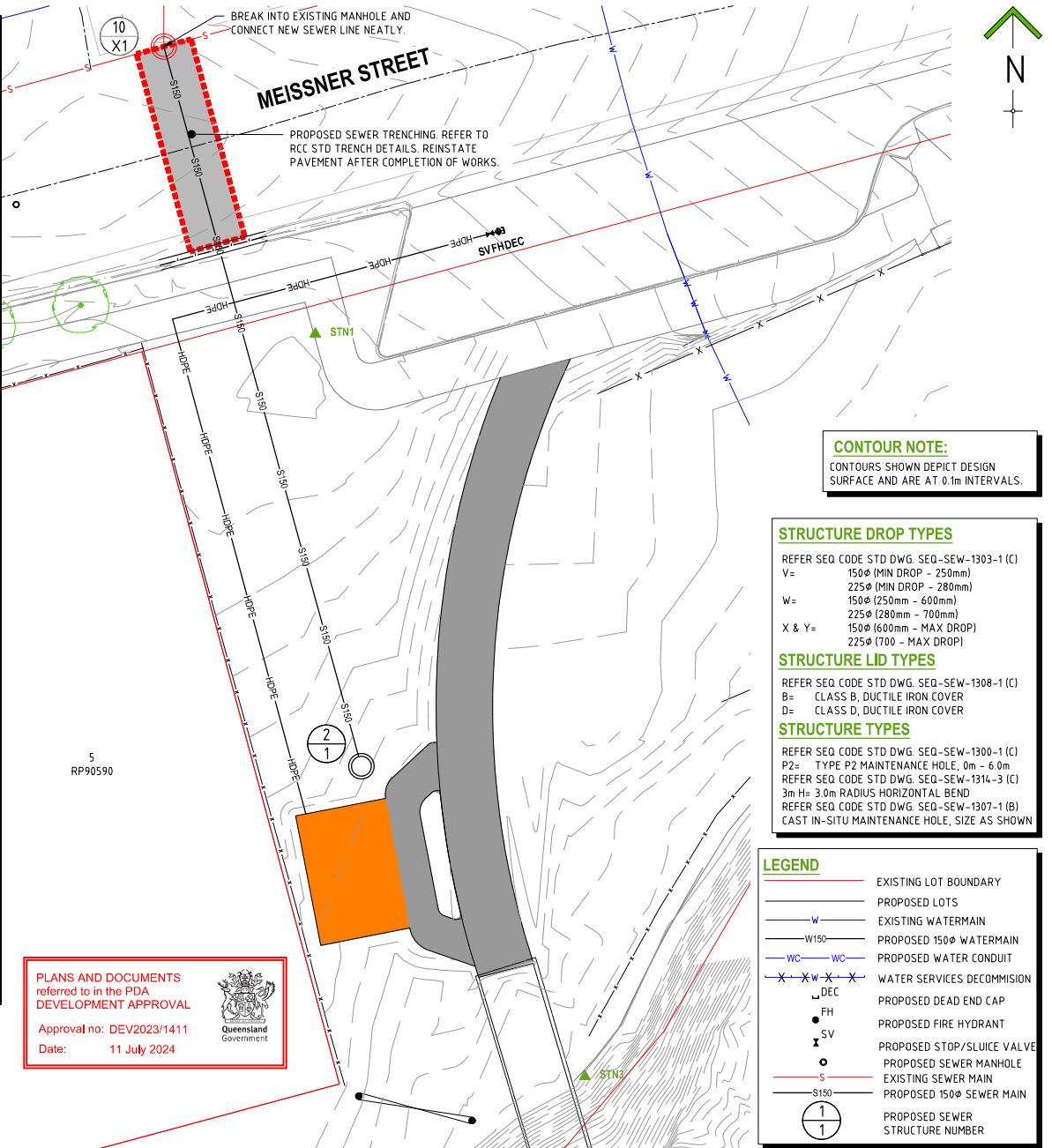
SEQ-WAT-1300-2 - TYPICAL VALVE AND HYDRANT IDENTIFICATION MARKER POSTS.
SEQ-WAT-1301-1 - TYPICAL VALVE INSTALLATION AND GENERAL ARRANGEMENT.
SEQ-WAT-1303-1 - TYPICAL VALVE & HYDRANT INSTALLATION HYDRANTS AND AIR RELIEF VALVES.
SEQ-WAT-1305-1 - TYPICAL SURFACE FITTING INSTALLATION HYDRANT SURFACE BOXES TRAFFICABLE AND NON-TRAFFICABLE
SEQ-WAT-1313-1 - FLANGED JOINTS BOLTING DETAILS.

ADDITIONAL NOTES FOR THE INSTALLATION OF HYDRANTS AND VALVES:

- FIRE HYDRANTS TO BE LOCATED AS SHOWN WITH 80m MAX BETWEEN HYDRANT POINTS
- ALL BOLTS TO FLANGES AND GIBOLTS TO BE STAINLESS STEEL.

SEWER SETOUT TABLE

POINT ID	EASTING	NORTHING	DESCRIPTION
10/X1	30469.164	143743.442	EXISTING MANHOLE
2/1	30479.641	143705.252	1050Ø MANHOLE



REVISIONS	ISSUE DATE	SCALE:
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A	30/01/2024	
Q	21/09/2023	DO NOT SCALE FROM PLAN

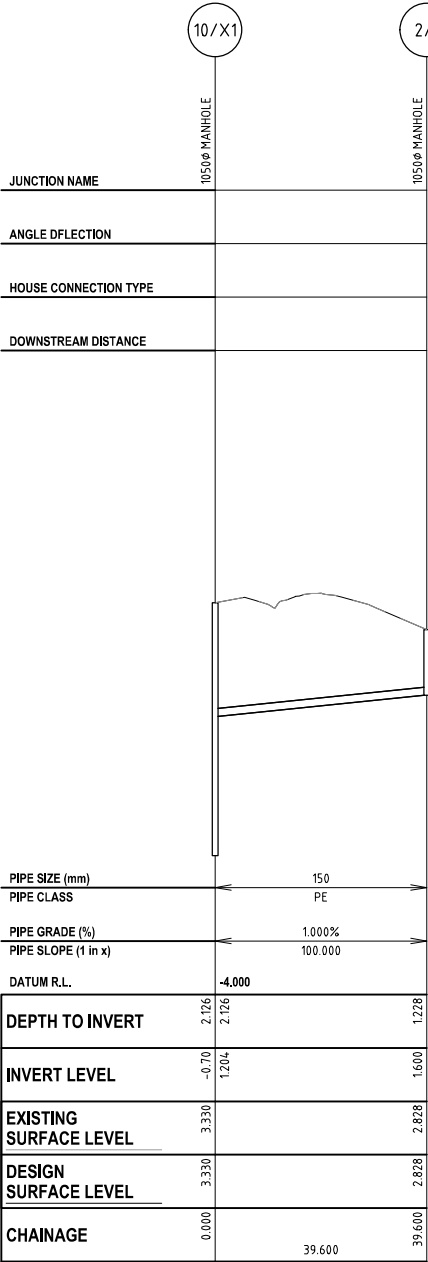
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APPROVED: [Signature]
RPEQ: 21977
APPROVED DATE: 01/2024

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TITLE: SEWER AND WATER RETICULATION PLAN	A3
PROJECT: WEINAM CREEK PRIORITY DEVELOPMENT AREA - FORESHORE PARK 1 FORESHORE PARK REDLAND BAY FOR REDLAND INVESTMENT CORPORATION	No. 7 of 13 DRAWINGS Job No. FC-22-014-3B(1) DWG No. C-0200 A B C D E



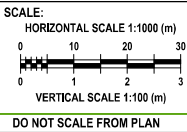
PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2023/1411

Date: 11 July 2024


Queensland
Government

REVISIONS	ISSUE DATE
E	
D	
C	
B	
A	30/01/2024
0	21/09/2023



FOR APPROVAL

APPROVED:

RPEQ:21977

APPROVED DATE:01/2024

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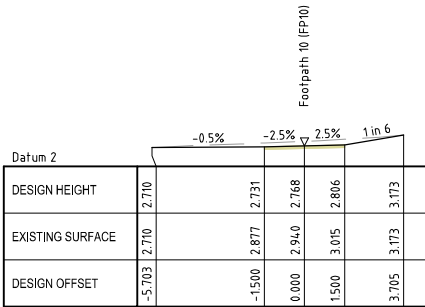


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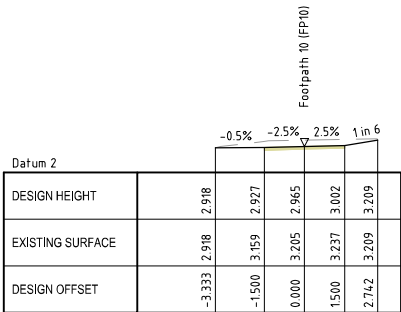
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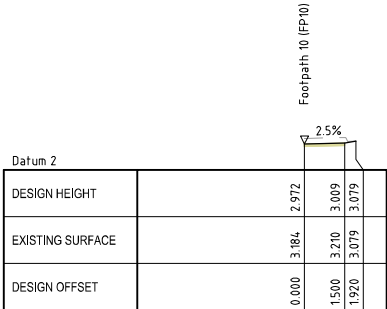
TITLE: SEWER LONGITUDINAL SECTION		A3	
PROJECT:		No. 8 of 13 DRAWINGS	
WEINAM CREEK PRIORITY DEVELOPMENT AREA - FORESHORE PARK 1		Job No.	DWG No.
FORESHORE PARK REDLAND BAY		FC-22-014-3B(1)	C-0201
FOR REDLAND INVESTMENT CORPORATION		A B C D E	



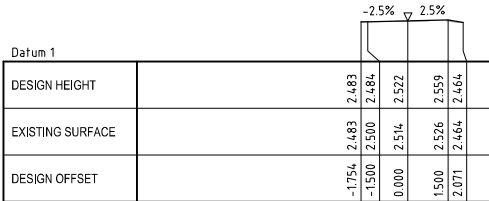
CHAINAGE 20.000



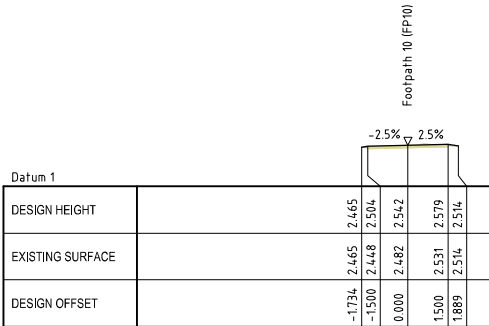
CHAINAGE 10.000



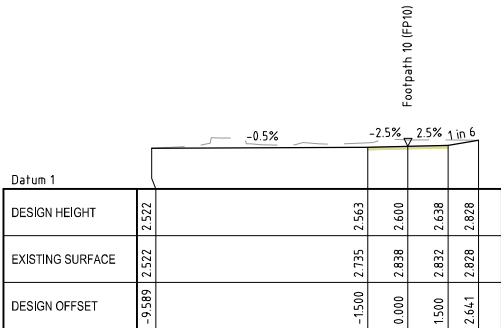
CHAINAGE 9.030



CHAINAGE 43.738



CHAINAGE 40.000



CHAINAGE 30.000

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2023/1411
Date: 11 July 2024



REVISIONS	ISSUE DATE
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A	30/01/2024
0	21/09/2023

SCALE:
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SCALE 1:200 (m)
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FOR APPROVAL

APPROVED: *[Signature]*

RPEQ: 21977

APPROVED DATE: 01/2024

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TITLE: FOOTPATH 10 (FP10) CROSS SECTIONS	A3
PROJECT: WEINAM CREEK PRIORITY DEVELOPMENT AREA - FORESHORE PARK 1 FORESHORE PARK REDLAND BAY FOR REDLAND INVESTMENT CORPORATION	No. 9 of 13 DRAWINGS Job No. FC-22-014-3B(1) DWG No. C-0300
	A B C D E

CONSTRUCTION MANAGEMENT PLAN

WEINAM CREEK PRIORITY DEVELOPMENT AREA - FORESHORE PARK 1 FORESHORE PARK REDLAND BAY FOR REDLAND INVESTMENT CORPORATION

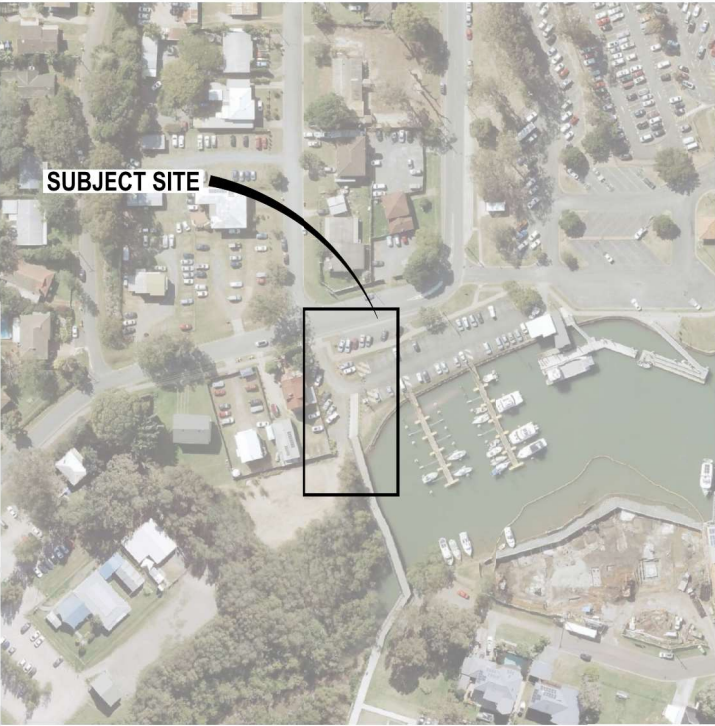


IMAGE SOURCE: GOOGLE MAPS

LOCALITY PLAN

SCALE: NTS

PLANS AND DOCUMENTS
referred to in the FDA
DEVELOPMENT APPROVAL

Approval no: DEV2023/1411
Date: 11 July 2024



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A	30/01/2024	
Q	21/09/2023	DO NOT SCALE FROM PLAN

FOR APPROVAL

APPROVED:

RPEQ: 21977
APPROVED DATE: 01/2024

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TITLE: C.M.P. INDEX & STANDARD NOTES

PROJECT:
WEINAM CREEK PRIORITY DEVELOPMENT AREA - FORESHORE PARK 1
FORESHORE PARK REDLAND BAY
FOR REDLAND INVESTMENT CORPORATION

No. 10 of 13 DRAWINGS										
Job No. FC-22-014-3B(1)						DWG No. C-0400				
☒	A	B	C	D	E					

CONSTRUCTION NOTES:

1. CONSTRUCTION START DATE - T.B.A.
2. CONSTRUCTION COMPLETION DATE - T.B.A.
3. HOURS OF OPERATION - MONDAY TO SATURDAY REFER DWG C-0501
4. CONSTRUCTION PROGRAM - SEE BELOW:
5. DUST CONTROL MEASURES:-
 - 5.1. AREAS OF CLEARING / EARTHWORKS TO BE LIMITED TO THAT SHOWN ON OPERATIONAL WORKS PLANS.
 - 5.2. PHYSICAL BARRIERS TO BE RETAINED, I.E. EXISTING VEGETATION / BUFFER ZONES.
 - 5.3. SITE TRAFFIC CONTROL: CONSTRUCTION VEHICLE SPEED LIMITS ON UNSEALED TRACKS TO BE REDUCED TO 10km/h OR FURTHER IF REQUIRED.
 - 5.4. EARTH MOVING EQUIPMENT MANAGEMENT: CONSTRUCTION EQUIPMENT TO BE POSITIONED STRATEGICALLY THROUGHOUT THE SITE TO MINIMISE DUST POLLUTION IMPACT ON NEIGHBOURING PROPERTIES. WIND DIRECTION AND VELOCITY TO BE MONITORED PERIODICALLY.
 - 5.5. WATER TRUCK TO CYCLE WITHIN DISTURBED AREAS OF THE SITE ON A REGULAR BASIS. WEATHER CONDITIONS TO BE MONITORED AND CYCLES INCREASED IF REQUIRED.
 - 5.6. VEGETATION TO BE STABILISED AS SOON AS PRACTICAL AT THE COMPLETION OF BULK EARTHWORKS. DISTURBED AREAS TO BE SEEDED, EROSION AND SEDIMENT CONTROL MEASURES TO BE CONSTRUCTED.
6. SITE FOREMAN DETAILS - T.B.A.

NOTIFICATION AND INSPECTION PROTOCOLS:

THE SUPERINTENDENT IS RESPONSIBLE FOR LIAISING WITH THE COUNCIL DELEGATE AT THE CRITICAL CONSTRUCTION INSPECTIONS AND THE CONTRACTOR SHALL GIVE SUFFICIENT NOTICE, AS FOLLOWS:

1. PRE-START MEETING (MANDATORY) - MINIMUM 7 WORKING DAYS.
2. KEY CONSTRUCTION ACTIVITY INSPECTIONS (REFER BELOW) - MINIMUM 48 HOURS.
3. ON MAINTENANCE INSPECTION (WHERE SPECIFIED BY COUNCIL AT THE PRE-START MEETING) - MINIMUM 5 WORKING DAYS.
4. OFF MAINTENANCE INSPECTION (WHERE SPECIFIED BY COUNCIL AT THE PRE-START MEETING) - MINIMUM 5 WORKING DAYS.
5. THE SUPERINTENDENT IS LIKELY TO CONDUCT RANDOM SITE VISITS AT THEIR DISCRETION AS NECESSARY - NO NOTICE.

KEY CONSTRUCTION ACTIVITIES TO BE INSPECTED INCLUDE (BUT ARE NOT LIMITED TO) THE FOLLOWING:

1. BULK EARTHWORKS INSPECTION: STRIPPED TOPSOIL VISUAL AND PROOFROLL, SEDIMENT AND EROSION CONTROL MEASURES ARE USED AND MAINTAINED. CONTRACTOR TO SUBMIT CBR AND DENSITY TEST RESULTS COMPLIANT WITH AS3798.
2. SUB-GRADE BOX INSPECTION: VISUAL AND PROOFROLL. CONTRACTOR TO SUBMIT CBR AND DENSITY TEST RESULTS.
3. PRE-SEAL INSPECTION: MEASUREMENT, STRINGLINE, VISUAL AND PROOFROLL. CONTRACTOR TO SUBMIT CBR AND DENSITY TEST RESULTS.
4. CONCRETE PAVEMENT INSPECTIONS: STEEL INSPECTION, MEASUREMENT.
5. STORMWATER OUTLET: COMPLIANCE WITH THE DRAWINGS, PRIOR TO COMMENCING PIPE LAYING UPSTREAM.
6. UNDERGROUND CULVERT/CONDUIT AND PIPES: CHECK BEDDING AND ALIGNMENT PRIOR TO BACKFILL AND COMPACTION OF TRENCHES.

THE CONTRACTOR SHALL GIVE SUFFICIENT NOTICE TO SUPERINTENDENT PRIOR TO COMMENCEMENT AND UPON COMPLETION OF EACH STAGE OF THE RELEVANT WORKS.

ADDRESSING COMPLAINTS

ALL COMPLAINTS SHALL BE ADDRESSED AS STIPULATED BY RELEVANT COUNCIL APPROVED DOCUMENTS.

CONSTRUCTION MANAGEMENT PLAN

	AIR QUALITY MANAGEMENT	NOISE MANAGEMENT	VIBRATION CONTROL	ON-SITE MACHINERY SERVICING AND MAINTENANCE	STORAGE AND HANDLING OF DANGEROUS GOODS ON-SITE	WASTE MANAGEMENT	VISUAL IMPACT MANAGEMENT	SITE SECURITY AND PROTECTION OF EMPLOYEES AND THE PUBLIC
ISSUE	- INCREASED WIND BORNE SEDIMENT LOADS DURING THE CONSTRUCTION PHASE.	- PUBLIC NOISE NUISANCE FROM CONSTRUCTION VEHICLES AND EQUIPMENT. - WORKER HEALTH AND SAFETY.	- VIBRATION DAMAGE TO NEIGHBOURING STRUCTURES. - NUISANCE.	- POTENTIAL FOR SPILLAGE OR LEAKAGE OF CHEMICAL AND PETROLEUM PRODUCTS AND REGULATED WASTES TO WATERS.	- POTENTIAL FOR SPILLAGE OR LEAKAGE OF CHEMICAL AND PETROLEUM PRODUCTS AND REGULATED WASTES TO WATERS.	- APPROPRIATE DISPOSAL OF ALL CONSTRUCTION SITE WASTE.	- LOSS OF VISUAL AMENITY DUE TO CONSTRUCTION, MACHINERY AND EQUIPMENT.	- UNAUTHORISED ACCESS TO THE SITE LEADING TO VANDALISM, THEFT OR PERSONAL INJURY.
OBJECTIVE	- TO REDUCE CONSTRUCTION IMPACTS ON AIR QUALITY AND TO HELP MINIMISE INCONVENIENCE TO NEIGHBOURING PROPERTIES.	- TO UNDERTAKE ALL REASONABLE AND PRACTICABLE MEASURES TO PREVENT OR MINIMISE NOISE NUISANCE TO NEIGHBOURING PROPERTIES.	- TO ENSURE GROUND VIBRATIONS DO NOT CAUSE DAMAGE TO ADJACENT BUILDINGS OR CAUSE ANNOYANCE TO NEARBY RESIDENTS.	- TO MINIMISE THE EFFECT OF ON-SITE MACHINERY MAINTENANCE. - TO UNDERTAKE ALL REASONABLE AND PRACTICAL MEASURES TO MINIMISE CONTAMINATION OF LAND AND WATERS.	- TO MINIMISE THE RISK OF HEALTH HAZARDS CAUSED BY THE STORAGE AND TRANSPORT OF DANGEROUS GOODS. - TO UNDERTAKE ALL REASONABLE AND PRACTICAL MEASURES TO MINIMISE CONTAMINATION OF LAND AND WATERS.	- TO TAKE ALL REASONABLE AND PRACTICABLE STEPS TO REDUCE AND RECYCLE WASTE DURING THE CONSTRUCTION PHASE AND TO DISPOSE OF IT IN AN APPROPRIATE MANNER.	- TO UNDERTAKE CONSTRUCTION USING ALL REASONABLE AND PRACTICABLE MEASURES TO MINIMISE IMPACT ON VISUAL AMENITY.	- TO LIMIT ACCESS TO THE CONSTRUCTION SITE FOR AUTHORISED PERSONNEL DURING WORK HOURS ONLY.
PERFORMANCE	- STANDARD CONSTRUCTION HOURS SHALL BE LIMITED TO 7:00AM TO 6:00PM MONDAYS TO SATURDAYS UNLESS OTHERWISE AUTHORISED BY COUNCIL. - NO WORKS TO BE CARRIED OUT ON A SUNDAY OR PUBLIC HOLIDAY. - DUST PLUMES CREATED FROM THE CONSTRUCTION SITE AND/OR HAULAGE OF MATERIALS ARE TO BE ELIMINATED. - NO COMPLAINTS FROM NEIGHBOURS.	- STANDARD CONSTRUCTION HOURS SHALL BE LIMITED TO 7:00AM TO 6:00PM MONDAYS TO SATURDAYS. - NO UNREASONABLE NOISE RELEASES. - IN ABSENCE OF QUANTITATIVE MONITORING DURING THE CONSTRUCTION PHASE, NOISE LEVELS ARE TO BE CONTROLLED TO ACCORD WITH ACCEPTED INDUSTRY AND REGULATORY REQUIREMENTS.	- STANDARD CONSTRUCTION HOURS SHALL BE LIMITED TO 7:00AM TO 6:00PM MONDAYS TO SATURDAYS. - VIBRATION IS TO COMPLY WITH THE PERFORMANCE REQUIREMENTS OUTLINED IN THE DEPARTMENT OF TRANSPORT AND MAIN ROADS TECHNICAL STANDARD (MRTSS), OR EQUIVALENT. - NO EXCESSIVE COMPLAINTS FROM NEIGHBOURING RESIDENCES. - NO UNREASONABLE VIBRATIONS.	- NO RELEASE ON CONTAMINANTS TO LAND OR WATER. - AVOID ANY ADVERSE EFFECTS ON THE CONSTRUCTION SITE DUE TO THE MAINTENANCE AND SERVICING OF MACHINERY.	- ALL DANGEROUS GOODS TO BE STORED, HANDLED AND BUNDED, ACCORDING TO AUSTRALIAN STANDARDS, INCLUDING AS2508, AS1678, AS1940 AND AS2931. - NO RELEASE OF CONTAMINANTS TO LAND AND WATER.	- ABSENCE OF WASTE AND LITTER ON THE CONSTRUCTION SITE, ACCESS ROAD AND BUFFERS. - NO COMPLAINTS.	- MINIMAL ADVERSE VISUAL IMPACT. - NO EXCESSIVE COMPLAINTS.	- NO UNAUTHORISED ACCESS TO THE CONSTRUCTION SITE.
CONTROL MEASURES	- PRIOR TO COMMENCEMENT OF CONSTRUCTION, NEIGHBOURING RESIDENTS AND EMERGENCY SERVICES SHALL BE NOTIFIED IN WRITING (BY LETTER DROP) OF THE CONSTRUCTION PERIOD, DESIGNATED WORKING HOURS AND CONTACTS REGARDING COMPLAINTS OF EXCESSIVE AIR QUALITY DETERIORATION. - VEGETATIVE GROUND COVERS ARE TO BE MAINTAINED WHERE POSSIBLE. - ACTIVITIES ARE TO ONLY BE CONDUCTED DURING SUITABLE WEATHER CONDITIONS. - A WATER TRUCK OR SPRAY APPARATUS IS TO BE PROVIDED ON SITE WHEN REQUIRED. - EXPOSED AREAS SUCH AS CLEARED AREAS AND STOCKPILES, ARE TO BE WATERED AND KEPT DAMP IN ORDER TO MINIMISE EROSION OR THE POTENTIAL FOR DUST CREATION. - VEHICLE SPEED IS TO BE LIMITED ON SITE TO MINIMISE DUST GENERATION. - TRUCKS ENTERING OR EXITING THE SITE SHALL HAVE THEIR LOADS COVERED. - ALL CONSTRUCTION VEHICLES EXITING SITE SHALL PASS THROUGH A WASH DOWN AND/OR DRIVE OVER A SHAKE DOWN GRID WHICH WILL BE LOCATED AT THE SITE ENTRY/EXIT. - HAULAGE ROUTES SHALL AVOID RESIDENTIAL AREAS AND USE SEALED ROADS WHERE POSSIBLE. - MACHINERY SHALL BE FITTED WITH DUST FILTERS. - ALL EQUIPMENT AND VEHICLES ARE TO MEET RELEVANT EMISSION STANDARDS. - MAINTENANCE OF WIND BREAKS AND BARRIERS WHERE POSSIBLE. - STOCKPILE HEIGHTS ARE TO BE KEPT TO MANAGEABLE HEIGHTS FOR DUST AND EROSION CONTROL PURPOSES. - PROTECTION OF LONG TERM SOIL STOCKPILES WITH VEGETATION, WATERING/MOISTURE OR HYDROMULCHING WHERE PRACTICABLE. - REVEGETATE AS SOON AS POSSIBLE FOLLOWING CONSTRUCTION.	- PRIOR TO COMMENCEMENT OF CONSTRUCTION, NEIGHBOURING RESIDENTS AND EMERGENCY SERVICES SHALL BE NOTIFIED IN WRITING (BY LETTER DROP) OF THE CONSTRUCTION PERIOD, DESIGNATED WORKING HOURS AND CONTACTS REGARDING COMPLAINTS OF EXCESSIVE NOISE. ADJACENT RESIDENCES ARE TO BE ADVISED OF ANY WORKS TO BE CONDUCT OUT OF THE STANDARD CONSTRUCTION HOURS. - ALL CONSTRUCTION STAFF ARE TO HAVE ADEQUATE NOISE PROTECTION AS PER WORK PLACE HEALTH AND SAFETY. - ALL PLANT AND MACHINERY USED DURING CONSTRUCTION MUST BE FITTED WITH EXHAUST SILENCERS OR NOISE SUPPRESSION EQUIPMENT, MUST BE IN GOOD OPERATING CONDITION AND MEET EMISSION STANDARDS. - HAULAGE ROUTES SHALL AVOID RESIDENTIAL AREAS AND USE DEDICATED ROUTE ROADS WHERE POSSIBLE.	- PRIOR TO COMMENCEMENT OF CONSTRUCTION, NEIGHBOURING RESIDENTS AND EMERGENCY SERVICES SHALL BE NOTIFIED IN WRITING (BY LETTER DROP) OF THE CONSTRUCTION PERIOD, DESIGNATED WORKING HOURS AND CONTACTS REGARDING COMPLAINTS OF EXCESSIVE VIBRATION. - UNDERTAKE GEOTECHNICAL INVESTIGATION AS NECESSARY TO PREDICT VIBRATION EFFECTS OF CONSTRUCTION TECHNIQUES. - UNDERTAKE ACTIVITIES LIKELY TO CAUSE VIBRATION DURING NORMAL CONSTRUCTION HOURS.	- A BUNDED SERVICE AREA IS REQUIRED FOR MAINTENANCE AND SERVICING. - SIGNIFICANT VEHICLE MAINTENANCE SHALL BE CONDUCTED OFF-SITE AT APPROPRIATE FACILITIES. - LIGHT MAINTENANCE MAY BE UNDERTAKEN ON SITE, IN THE BUNDED SERVICE AREA. - THE CONTRACTOR IS TO PROVIDE SUITABLE ACCESS SURFACING FOR ALL WEATHER PURPOSES. - SAFE HANDLING TECHNIQUES AND REQUIRED REFUELLING. - WASTE OILS ARE TO BE COLLECTED AND TRANSPORTED TO RECYCLERS OR DESIGNATED DISPOSAL SITES. - SERVICING OF PLANT AND EQUIPMENT SHOULD BE UNDERTAKEN OUTSIDE OF NORMAL CONSTRUCTION HOURS.	- DANGEROUS GOODS SHALL BE STORED SEPARATELY IN BUNDED AREAS NOT ACCESSIBLE TO UNQUALIFIED PERSONS WITHOUT APPROPRIATE TRAINING IN ITS HANDLING AND FIRST AID PROCEDURES. - CHEMICAL DATA, HANDLING AND SAFETY SHEETS FOR ALL DANGEROUS GOODS WILL BE KEPT IN THE SITE OFFICE. - ONLY NECESSARY QUANTITIES OF CHEMICALS, FUEL AND OILS SHOULD BE KEPT ON THE CONSTRUCTION SITE AT ANY TIME. - EQUIPMENT IS TO BE AVAILABLE IN FUEL STORAGE AREAS AND IN VEHICLES TO CONTAIN AND CLEAN UP ANY SPILLS THAT MAY OCCUR. RELEASE ANY CLEAN STORMWATER ACCUMULATED IN TEMPORARY BUNDED AREAS.	- DESIGNATE A WASTE COLLECTION AREA ON-SITE THAT DOES NOT RECEIVE A SUBSTANTIAL AMOUNT OF RUNOFF FROM UPLAND AREAS AND DOES NOT DRAIN DIRECTLY TO WATER BODY. - ENSURE REGULAR COLLECTION OF ON-SITE WASTE. - WASTE COLLECTION BINS ARE TO BE CLEARLY MARKED "CONVENTIONAL WASTE", "RECYCLABLE" AND "REGULATED WASTE". ENSURE THAT ALL CONTAINERS ARE FITTED WITH LIDS. - REGULATED WASTES SHALL BE SEALED IN AN AIRTIGHT CONTAINER AND COLLECTED BY AN APPROPRIATE LICENSED CONTRACTOR TO RECEIVE SUCH WASTE. - SCHEDULED WASTE COLLECTION IS REQUIRED TO PREVENT THE CONTAINERS FROM OVERFLOWING.	- RUBBISH AND WASTE TO BE COLLECTED FROM SITE. - SURPLUS CONSTRUCTION MATERIAL TO BE PROMPTLY REMOVED FROM CONSTRUCTION SITE. - VEGETATION DISTURBANCE TO BE MINIMISED.	- ALL ACCESS TO THE SITE IS TO BE VIA THE NOMINATED POINT ON PLAN. - BARRICADES AND SAFETY FENCING SHALL BE ERECTED AROUND THE SITE AND ADJACENT TO PUBLIC ACCESS WAYS. THE SITE ACCESS IS TO BE GATED. - GENERALLY, CONSTRUCTION ACTIVITIES ARE TO BE FENCED/HOARDED FROM ADJACENT PROPERTIES. - THE CONSTRUCTION SITE COMPOUND IS TO BE LOCKED AT ALL TIMES OUTSIDE OF WORK HOURS. - THE SITE SHALL BE APPROPRIATELY MAINTAINED TO PROVIDE A SAFE WORK ENVIRONMENT FOR ALL PERSONNEL, VISITORS AND THE GENERAL PUBLIC. APPROPRIATE WARNING SIGNS SHALL BE ERECTED FOR THE WORK FORCE AND THE GENERAL PUBLIC TO HIGHLIGHT HAZARDOUS ACTIVITIES WITHIN AND AROUND THE SITE. - STRICT HOUSEKEEPING SHALL APPLY TO ALL ENTRIES USED FOR SITE ACCESS OR EGRESS, INCLUDING ENTRY TO SITE SHEDS AND EMPLOYEES FACILITIES.
RESPONSIBILITY	- THE CONTRACTOR HOLDS RESPONSIBILITY FOR THE SITE. - THE CONTRACTOR IS RESPONSIBLE FOR PUBLIC NOTIFICATION VIA A LETTER DROP.	- THE CONTRACTOR IS RESPONSIBLE FOR THE SITE. - THE CONTRACTOR IS RESPONSIBLE FOR PUBLIC NOTIFICATION VIA A LETTER DROP.	- THE CONTRACTOR IS RESPONSIBLE FOR THE SITE. - THE CONTRACTOR IS RESPONSIBLE FOR PUBLIC NOTIFICATION VIA A LETTER DROP.	- THE CONTRACTOR HOLDS RESPONSIBILITY FOR THE SITE.	- THE CONTRACTOR HOLDS RESPONSIBILITY FOR THE SITE.	- THE CONTRACTOR HOLDS RESPONSIBILITY FOR THE SITE.	- THE CONTRACTOR HOLDS RESPONSIBILITY FOR THE SITE.	- THE CONTRACTOR HOLDS RESPONSIBILITY FOR THE SITE. - THE CONTRACTOR IS RESPONSIBLE FOR FENCING/HOARDING TO THE ADJACENT PROPERTIES.
MONITORING	- THE CONTRACTOR SHALL CONDUCT DAILY VISUAL INSPECTIONS OF THE SITE FOR DUST PLUMES. - A COMPLAINT REGISTER IS TO BE MAINTAINED.	- A COMPLAINT REGISTER TO BE MAINTAINED. - ALL GENUINE NOISE COMPLAINTS SHALL BE ASSESSED TO DETERMINE IF THE NOISE IS UNREASONABLE. SUCH INVESTIGATIONS MAY REQUIRE NOISE MONITORING TO DETERMINE IF A PROBLEM OR BREACH EXISTS.	- THE CONTRACTOR IS RESPONSIBLE FOR FREQUENT INSPECTIONS OF THE SITE DURING IMPACT WORKS.	- THE CONTRACTOR IS RESPONSIBLE FOR DAILY VISUAL INSPECTIONS OF THE SITE.	- THE CONTRACTOR IS RESPONSIBLE FOR DAILY VISUAL INSPECTIONS OF THE SITE. - REGULAR INSPECTION WILL BE UNDERTAKEN AT ALL TEMPORARY CHEMICAL AND PETROLEUM PRODUCT STORAGE AREAS FOR LEAKAGE'S.	- THE CONTRACTOR IS RESPONSIBLE FOR DAILY VISUAL INSPECTIONS OF THE SITE.	- REGULAR INSPECTIONS FOR UNREASONABLE VISUAL IMPACTS. - A COMPLAINT REGISTER IS TO ME MAINTAINED.	- DAILY VISUAL INSPECTIONS OF THE SITE WILL BE UNDERTAKEN FOR ADEQUACY OF SITE SECURITY.
CORRECTIVE ACTIONS	- CORRECTIVE ACTIONS WILL INCLUDE A REVIEW OF EXISTING CONTROL MEASURES FOR INADEQUACIES. - SHOULD COMPLAINTS ARISE, THE CONTRACTOR SHALL ENSURE MEASURES ARE TAKEN TO MODIFY THE OFFENDING EQUIPMENT OR MODIFY CONSTRUCTION PRACTICES TO REDUCE DUST LEVELS WITHIN RELEVANT GUIDELINES.	- UNREASONABLE NOISE CAUSED BY MACHINERY IS TO BE REMEDIED BY APPROPRIATE REPAIRS AND A MAINTENANCE SCHEDULE REVIEW. - THE RELEVANT ACTIVITY MAY REQUIRE MODIFICATION OR RELOCATION. - SPECIFIC MACHINERY MAY REQUIRE AN ALTERATION TO ITS HOURS OF OPERATION. - CORRECTIVE ACTIONS WILL INCLUDE A REVIEW OF EXISTING CONTROL MEASURES FOR INADEQUACIES. - IN THE EVENT THAT A NON-CONFORMANCE HAS OCCURRED AS A RESULT OF POOR WORK PRACTICES, PERSONNEL ON SITE WILL BE MADE AWARE OF THE PROBLEM AND INFORMED OF ACCEPTABLE WORK PRACTICES.	- SHOULD COMPLAINTS ARISE, MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO MODIFY THE OFFENDING EQUIPMENT OR MODIFY CONSTRUCTION PRACTICES TO ENSURE VIBRATIONS ARE WITHIN RELEVANT GUIDELINES.	- THE CONTRACTOR SHALL ENSURE ON-SITE MACHINERY IS STORED WITHIN THE SECURE DESIGNATED COMPOUND AFTER WORKING HOURS. - THE CONTRACTOR SHALL ENSURE ANY UNAUTHORISED MAINTENANCE IS CEASED IMMEDIATELY AND MOVED OFF-SITE. - THE CONTRACTOR SHALL ENSURE ANY AREA DAMAGED BY HYDROCARBONS OR HAZARDOUS CHEMICALS IS FENCED, EXCAVATED AND REMOVED FROM SITE TO A DESIGNATED DUMPING AREA AND THE AREA RE-ESTABLISHED.	- IF DAMAGED GOODS ARE SPILT, THE CONTRACTOR SHALL ENSURE THAT THE AREA IS ISOLATED AND MINIMISED. - PETROLEUM OR CHEMICAL SPILLAGE'S ARE TO BE IMMEDIATELY CLEANED UP WITH ABSORBENT MATERIAL. - ABSORBENT MATERIALS USED FOR CLEAN UP OR WASTE DANGEROUS GOODS ARE TO BE PLACED AND SEALED IN AN APPROPRIATE CONTAINER, MARKED "REGULATED WASTE" AND CONSIGNED TO A WASTE CONTRACTOR LICENSED TO RECEIVE SUCH WASTE FOR DISPOSAL AT AN APPROPRIATE FACILITY. - THE DAMAGED AREA IS TO BE RE-ESTABLISHED.	- PROMPT DELEGATION OF CLEAN UP WORKS. - INCREASED VIGILANCE.	- VISUAL OFFENSIVE COMPONENTS OF CONSTRUCTION SHOULD BE IDENTIFIED AND IF POSSIBLE MODIFIED IN CONSULTATION WITH COMPLAINT.	- INSTALLATION OF INCREASED SECURITY MEASURES REQUIRED.
REPORTING	- WEEKLY REPORTING BY THE PRINCIPAL CONTRACTOR TO THE CONSULTANT COVERING THE EFFECTIVENESS OF THE MANAGEMENT SYSTEM AND NOTING ANY CORRECTIVE ACTIONS TAKEN.	- WEEKLY REPORTING BY THE PRINCIPAL CONTRACTOR TO THE CONSULTANT COVERING THE EFFECTIVENESS OF THE MANAGEMENT SYSTEM AND NOTING ANY CORRECTIVE ACTIONS TAKEN.	- WEEKLY REPORTING BY THE PRINCIPAL CONTRACTOR TO THE CONSULTANT COVERING THE EFFECTIVENESS OF THE MANAGEMENT SYSTEM AND NOTING ANY CORRECTIVE ACTIONS TAKEN.	- WEEKLY REPORTING BY THE PRINCIPAL CONTRACTOR TO THE CONSULTANT COVERING THE EFFECTIVENESS OF THE MANAGEMENT SYSTEM AND NOTING ANY CORRECTIVE ACTIONS TAKEN.	- WEEKLY REPORTING BY THE PRINCIPAL CONTRACTOR TO THE CONSULTANT COVERING THE EFFECTIVENESS OF THE MANAGEMENT SYSTEM AND NOTING ANY CORRECTIVE ACTIONS TAKEN.	- WEEKLY REPORTING BY THE PRINCIPAL CONTRACTOR TO THE CONSULTANT COVERING THE EFFECTIVENESS OF THE MANAGEMENT SYSTEM AND NOTING ANY CORRECTIVE ACTIONS TAKEN.	- WEEKLY REPORTING BY THE PRINCIPAL CONTRACTOR TO THE CONSULTANT COVERING THE EFFECTIVENESS OF THE MANAGEMENT SYSTEM AND NOTING ANY CORRECTIVE ACTIONS TAKEN.	- WEEKLY REPORTING BY THE PRINCIPAL CONTRACTOR TO THE CONSULTANT COVERING THE EFFECTIVENESS OF THE MANAGEMENT SYSTEM AND NOTING ANY CORRECTIVE ACTIONS TAKEN.

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2023/1411

Date: 11 July 2024



REVISIONS	ISSUE DATE	SCALE:
E		
D		
C		
B		
A	30/01/2024	
Q	21/09/2023	DO NOT SCALE FROM PLAN

NTS

FOR APPROVAL

APPROVED:

RPEQ:21977

APPROVED DATE:01/2024

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TITLE: CONSTRUCTION MANAGEMENT PLAN

PROJECT: WEINAM CREEK PRIORITY DEVELOPMENT AREA - FORESHORE PARK 1

FORESHORE PARK REDLAND BAY

FOR REDLAND INVESTMENT CORPORATION

No. 11 of 13 DRAWINGS	
Job No. FC-22-014-3B(1)	DWG No. C-401
A	B
C	D
E	

A3

EROSION AND SEDIMENT CONTROL PROGRAM:

1. THIS PROGRAM AND ASSOCIATED PLANS SHALL BE READ IN CONJUNCTION WITH THE SITE MANAGEMENT SPECIFICATION INCORPORATED IN THE CONTRACT DOCUMENTS. THE PROVISIONS OF THE SPECIFICATION ARE TO BE STRICTLY ADHERED TO.
2. PRIOR TO THE COMMENCEMENT OF THE CONSTRUCTION, THE CONTRACTOR IS TO PROVIDE A DETAILED PROGRAM TO THE SUPERINTENDENT SHOWING THE TIMING FOR ALL WORKS ASSOCIATED WITH THE PROJECT, NOMINATING, IN PARTICULAR, THE PROGRAM FOR INSTALLATION OF SOIL AND EROSION CONTROL SYSTEMS.
3. EARTHWORKS SHALL BE CARRIED OUT IN SUCH A MANNER THAT THE SITE IS MAINTAINED IN A WELL DRAINED CONDITION, AREAS OF LOOSE SOIL ARE MINIMISED AND CONCENTRATIONS OF STORMWATER ARE MINIMISED
4. THE BASIC OBJECTIVES OF THE EROSION AND SEDIMENT CONTROL ARE:

- IDENTIFY CRITICAL AREAS AND PROVIDE SPECIAL ATTENTION TO THOSE AREAS,

- PLAN SITE LAYOUT SO THAT ACCESS TO ALL REQUIRED DRAINAGE EROSION AND SEDIMENT CONTROL MEASURES IS MAINTAINED.

- LIMIT EXPOSURE TIME BY PROGRAMMING TO MINIMISE THE AREA OF LAND EXPOSED TO POTENTIALLY ADVERSE WEATHER CONDITIONS AT ANY ONE TIME,

- PROVIDE CONTROL MEASURES INCLUDING TEMPORARY AND PERMANENT DRAINAGE, EROSION AND SEDIMENT CONTROLS
5. THE EROSION AND SEDIMENT CONTROL SHALL COMPLY WITH LOCAL AUTHORITY EROSION AND SEDIMENT CONTROL STANDARDS, THE SOIL EROSION AND SEDIMENT CONTROL - ENGINEERING GUIDELINES FOR QUEENSLAND (CURRENT EDITION), AND ALL OTHER LOCAL AUTHORITY EROSION AND SEDIMENT CONTROL GUIDELINES.
6. ALL ESC MEASURES SHALL BE INSPECTED:

- AT LEAST DAILY (WHEN WORK IS OCCURRING ON SITE);

- WITHIN 24 HOURS OF EXPECTED RAIN; AND

- WITHIN 18 HOURS OF RAINFALL EVENT (I.E. AN EVENT OF SUFFICIENT INTENSITY AND DURATION TO MOBILISE SEDIMENT ON SITE.) MAINTENANCE OF ESC MEASURES SHALL OCCUR IN ACCORDANCE WITH THE FOLLOWING TABLE:

ESC MEASURES	MAINTENANCE TRIGGER	TIME FRAME FOR COMPLETION OF MAINTENANCE
SEDIMENT BASINS	WHEN SETTLED SEDIMENT EXCEEDS THE VOLUME OF THE SEDIMENT STORAGE ZONE (SEE COUNCIL'S SEDIMENT BASIN DESIGN GUIDELINES)	WITHIN 7 DAYS OF THE INSPECTION
OTHER ESC MEASURES	THE CAPACITY OF ESC MEASURES FALLS BELOW 75%	BY THE END OF THE DAY

7. WATER QUALITY SAMPLES MUST BE TAKEN AND ANALYSED PRIOR TO THE RELEASE OF ANY WATER FROM THE SITE. WATER QUALITY MUST SATISFY THE FOLLOWING CRITERIA; TSS<50 mg/L, pH BETWEEN 6.5 AND 8.5. IF WATER QUALITY FAILS THE CRITERIA THEN USE OF A GYPSUM FLOCCULENT IS TO BE APPLIED AS DIRECTED BY THE SUPERINTENDENT.

8. ALL WATER QUALITY DATA INCLUDING DATES OF RAINFALL, TESTING AND WATER RELEASE MUST BE MAINTAINED IN ONSITE REGISTER. THIS REGISTER IS TO BE MAINTAINED FOR THE DURATION OF THE APPROVED WORKS AND BE AVAILABLE ON SITE FOR INSPECTIONS BY COUNCIL OFFICERS ON REQUEST.

9. CONSTRUCTION ACCESS SHALL BE AT POINTS NOMINATED ON THE EROSION AND SEDIMENT CONTROL PLAN. A SHAKE FACILITY, INCLUDING VIBRATION GRID AND ROCK PAD, SHALL BE LOCATED AT ALL ENTRY/EXIT LOCATIONS. FOR DETAILS FOR SHAKEDOWN FACILITY REFER I.P.W.E.A.Q. STANDARD DRAWINGS DS-040.

10. SUPPLEMENTARY EROSION AND SEDIMENT CONTROL DEVICES MAY BE REQUIRED AT THE DISCRETION OF THE SUPERINTENDENT AND/OR COUNCIL.

11. SEDIMENT CONTROL DEVICES SHALL BE PROVIDED AND MAINTAINED WHERE SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN. ALL SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AS DIRECTED BY THE SUPERINTENDENT.

12. EXCAVATED MATERIAL WILL BE PLACED DIRECTLY INTO FILL AREAS IN ACCORDANCE WITH THE APPROVED SPECIFICATION.

13. ANY IMPORTED FILL MATERIAL SHALL COMPLY WITH THE REQUIREMENTS OF THE SPECIFICATION.

14. ALL TEMPORARY EROSION AND SEDIMENT CONTROL (ESC) MEASURES TO BE MAINTAINED AND FULLY OPERATIONAL DURING THE MAINTENANCE PERIOD AND ARE TO BE REMOVED AFTER THE SATISFACTORY COMPLETION OF AN "OFF-MAINTENANCE" INSPECTION BY COUNCIL AND PRIOR TO FORMAL ACCEPTANCE "OFF-MAINTENANCE" BY COUNCIL

EROSION AND SEDIMENT CONTROL NOTES:

1. STRIP AND STOCKPILE AVAILABLE TOPSOIL (ASSUMED AVERAGE DEPTH 75mm) FROM ALL DISTURBED AREAS PRIOR TO BULK EARTHWORKS. STOCKPILES ARE TO BE STABILISED TO MINIMISE THE POTENTIAL FOR DUST AND EROSION.
2. SEDIMENT FENCES TO BE PROVIDED AS REQUIRED AND EXCESSIVE SEDIMENT DEPOSITS SHOULD BE REMOVED. FOR DETAILS OF SEDIMENT FENCE REFER I.P.W.E.A.Q. STANDARD DRAWING DS-040.
3. DAILY CHECKS OF SILT FENCES AND SEDIMENT TRAPS IS TO BE MADE ALONG WITH A CHECK AFTER ANY SIGNIFICANT STORM EVENT TO ENSURE INTEGRITY AND PERFORMANCE.

TURFING / SEEDING / HYDROMULCHING

1. ALL FOOTPATHS, BATTERS AND EARTHWORKS AFFECTED ALLOTMENTS ARE TO BE TOPSOILED TO A MINIMUM DEPTH OF 100mm (LIGHTLY COMPACTED) AND REVEGETATED AS SPECIFIED.
2. PROVIDE A 0.8m MINIMUM TURF STRIP BEHIND ALL KERB AND PATHWAYS WITH A PERPENDICULAR STRIP AT 10m INTERVALS TO PREVENT SCOURING ALONG THE TURF EDGE. ALL AREAS NOT COVERED BY TURF ARE TO BE GRASS SEEDED OR HYDROMULCHED AS SHOWN ON THE DRAWINGS.
3. ALL DISTURBED AREAS ARE TO BE TOPSOILED AND REVEGETATED AS SOON AS PRACTICAL.
4. SEEDED, HYDROSEEDED AND HYDROMULCHED TREATED AREAS SHALL ACHIEVE A MINIMUM OF 80% OF EACH AND EVERY SQUARE METRE OF TREATED AREA GRASS SHOOTS 15mm HIGH AT A DENSITY OF NOT GREATER THAN 70mm APART.
5. TURF SHALL BE MAINTAINED TO ENSURE TREATED AREAS ARE ROOTED INTO THE TOPSOIL SUCH THAT IT CANNOT BE LIFTED BY HAND.
6. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL TREATED AREAS ARE SUFFICIENTLY WATERED TO PROMOTE AND MAINTAIN GROWTH FOR THE DURATION OF THE DEFECT LIABILITY PERIOD (12 MONTHS).

'A' DURING CONSTRUCTION

1. TOPSOIL STOCKPILES TO HAVE A SEDIMENT FENCE DOWN SLOPE AND A DIVERSION DRAIN UP SLOPE.
2. SEDIMENT FENCES TO BE PLACED AS SHOWN.
3. INSPECT BANKS DAILY AND REPAIR ANY SLUMPS, WHEELS TRACK DAMAGE OR LOSS OF FREEBOARD.
4. REMOVE SEDIMENT TO AVOID PONDING FROM CATCH DRAINS.
5. REMOVE EXCESSIVE SEDIMENT FROM UPSTREAM OF CHECK DAMS.
6. ROAD RESERVE TO BE USED AS HAUL ROAD.
7. A CATCH DRAIN/CATCH BANK IS TO BE PROVIDED ON THE TOP SIDE OF ALL CUTS AND DISCHARGE WITHER TO UNDISTURBED GRASS LANDS OR TO THE CROSS ROAD DRAINAGE.
8. SUPPLEMENTARY EROSION AND SEDIMENT CONTROL DEVICES MAY BE REQUIRED AT THE DISCRETION OF THE ENGINEER.
9. GRASS SEEDING IS TO ACHIEVE 70% COVER WITHIN 30 DAYS OF COMPLETION OF EARTHWORKS.

'B' DURING CONSTRUCTION

1. SEDIMENTATION AND EROSION CONTROLS ARE TO BE MAINTAINED AS DIRECTED BY THE SUPERINTENDENT.

HOLD POINT

1. WORK TO ROADS, DRAINAGE, SEWER, WATER OR EARTHWORKS MUST NOT PROCEED UNTIL ADEQUATE SEDIMENT CONTROL IS IN PLACE TO THE SATISFACTION OF THE SUPERINTENDENT.

ORDER OF CONSTRUCTION:

1. CONSTRUCT TEMPORARY SHAKE DOWN FACILITIES INCLUDING VIBRATION GRID AND ROCK PAD PRIOR TO BULK EARTHWORK ACTIVITIES.
2. SITE BARRIER/NO-GO FENCING ENVIRONMENTAL & SILT CONTROLS TO BE ESTABLISHED.
3. SEDIMENT FENCES, TRAPS (INLET PROTECTION) TO BE INSTALLED.
4. SITE TO BE SHAPED TO DESIGN BULK EARTHWORKS LEVELS AND SURFACE STABILISED A.S.A.P. BY MEANS OF 'DUSTEX' OR APPROVED EQUIVALENT .

WARNING
THE LOCATION OF EXISTING SERVICES ARE SHOWN INDICATIVELY ON DRAWINGS. PRIOR TO AND DURING CONSTRUCTION OBTAIN PRECISE LOCATION OF ALL SERVICES (UNDERGROUND/OVERHEAD) FROM RELEVANT AUTHORITY RESPONSIBLE FOR SERVICE.

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL
Approval no: DEV2023/1411
Date: 11 July 2024



REVISIONS	ISSUE DATE	SCALE:
E		
D		
C		
B		
A REMOVED DRIVEWAY	30/01/2024	
Q ISSUE FOR APPROVAL	21/09/2023	DO NOT SCALE FROM PLAN

NTS

FOR APPROVAL

APPROVED:

RPEQ:21977

APPROVED DATE:01/2024

ENGINEERING SOLUTIONS QLD.

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TITLE: EROSION & SEDIMENT CONTROL STANDARD NOTES		A3
PROJECT: WEINAM CREEK PRIORITY DEVELOPMENT AREA - FORESHORE PARK 1 FORESHORE PARK REDLAND BAY FOR REDLAND INVESTMENT CORPORATION		
No. 12 of 13 DRAWINGS	Job No. FC-22-014-3B(1)	DWG No. C-0402
A B C D E		

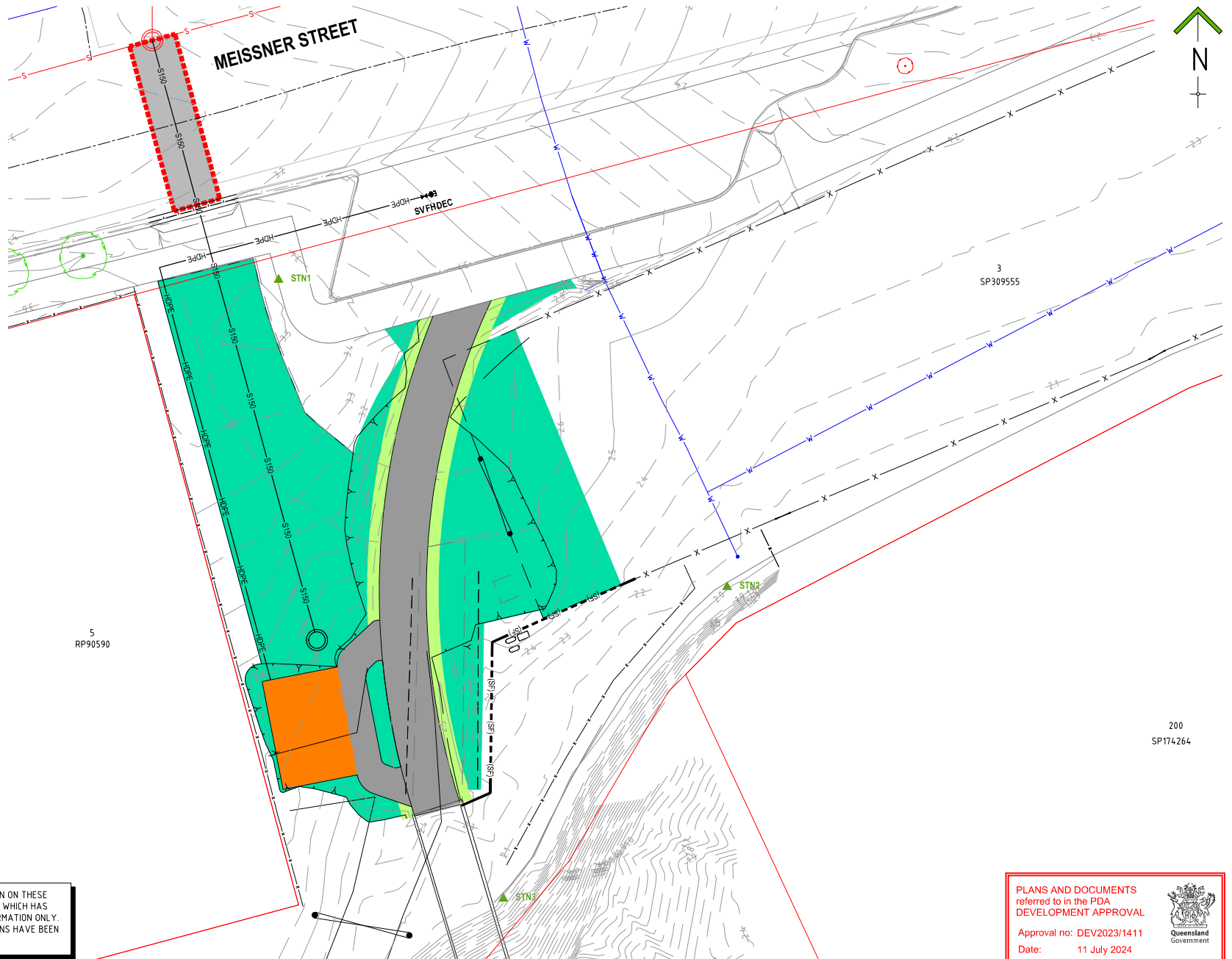
LEGEND

- PROPOSED CHAGE OF GRADE
- PROPOSED AREA OF HYDROMULCH (390m²)
- PROPOSED AREA OF TURF (47m²)
- PROPOSED PAVEMENT SURFACING
- PROPOSED AMENITIES BLOCK CONCRETE BY OTHERS.
- PROPOSED MAJOR CONTOURS
- PROPOSED MINOR CONTOURS
- PROPOSED SEDIMENT FENCE
- EXISTING KERB AND CHANNEL
- EXISTING PAVEMENT SURFACING

NOTES

- THIS DRAWING INCLUDES AN ESTIMATION OF THE TEMPORARY EROSION AND SEDIMENT CONTROL THE CONTRACTOR WILL NEED TO PUT IN PLACE. THE CONTRACTOR IS TO LIAISE WITH THE SUPERINTENDENT TO DETERMINE THE FINAL CONFIGURATION OF THE CONTROLS. THIS EMP IS A LIVING DOCUMENT AND IS REQUIRED TO BE UPDATED APPROPRIATELY AS CONSTRUCTION WORKS PROCEED.
- APPROPRIATE EROSION & SEDIMENT CONTROL DEVICES TO BE ADVISED BY SUPERINTENDENT FOR DURATION OF WORKS.
- REFER IPWEAQ STD. DWG. NO. DS-040 & DS-041 FOR DETAILS OF THE PROPOSED E&SC STRUCTURES.
- ALL DISTURBED AREAS TO BE TOPSOILED AND HYDROMULCHED U.N.O.
- CONTOURS SHOWN DEPICT DESIGN SURFACE AND ARE AT 0.10m INTERVALS.

NOTWITHSTANDING THAT EXISTING SERVICES MAY OR MAY NOT BE SHOWN ON THESE DRAWINGS. NO RESPONSIBILITY IS TAKEN BY ESQ FOR THIS INFORMATION, WHICH HAS BEEN SUPPLIED BY OTHERS. EXISTING SERVICES ARE PROVIDED FOR INFORMATION ONLY. NO CONSTRUCTION WORK SHALL BE UNDERTAKEN UNTIL SERVICE LOCATIONS HAVE BEEN CONFIRMED ON SITE WITH THE RELEVANT AUTHORITY.



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2023/1411
Date: 11 July 2024



REVISIONS	ISSUE DATE	SCALE:
E		 SCALE 1:250 (m)
D		
C		
B		
A	30/01/2024	
0	21/09/2023	DO NOT SCALE FROM PLAN

FOR APPROVAL

APPROVED:

RPEQ:21977

APPROVED DATE:01/2024

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TITLE: EROSION & SEDIMENT CONTROL PLAN

PROJECT:
WEIMAM CREEK PRIORITY DEVELOPMENT AREA - FORESHORE PARK 1
FORESHORE PARK REDLAND BAY
FOR REDLAND INVESTMENT CORPORATION

No. 13 of 13 DRAWINGS	
Job No.	DWG No.
FC-22-014-3B(1)	C-0403
A B C D E	