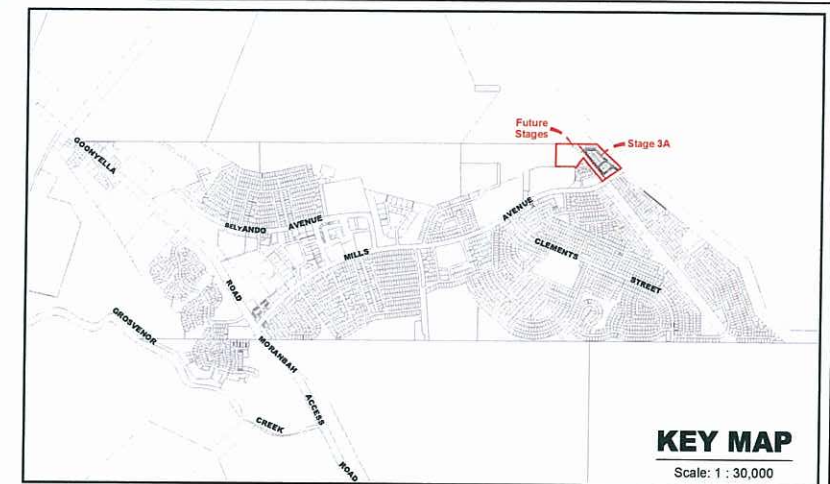


PRELIMINARY ONLY



Future Stages

PLANS AND DOCUMENTS
referred to in the PDA APPROVAL
27 MAR 2013
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Yield Breakdown		
Allotment Type	Typical Size	Total Allotments
Residential Allotments		
Villa Allotment Type 1	10 x 25m	1
Villa Allotment Type 2	10 x 30m	16
Premium Villa Allotment Type 1	13.5 x 25m	2
Premium Villa Allotment Type 2	13.5 x 30m	22
Courtyard Allotment Type 1	15 x 25m	2
Courtyard Allotment Type 2	15 x 30m	8
Traditional Allotment	17.5 x 30m	9
TOTAL		60
Net Residential Density		15.5 dw/ha

Land Budget

Land Use	Stage 3A Area
Area of Subject Site	4.351 ha
Saleable Area	
Single Family Allotments	2.625 ha
Total Area of Allotments	2.625 ha
Road	
Local Roads	1.258 ha
Total Area of New Road	1.258 ha
Open Space	
Open Space	0.085 ha
Linear Open Space	0.383 ha
Total Open Space	0.468 ha
Road Lengths	
Street Type	Length
12m Wide New Road - 5.5m Pavement	247m
16m Wide New Road - 7.5m Pavement	87m
18m Wide New Road - 7.5m Pavement	428m
Total Length of New Road	762m

Legend

- Site Boundary
- Proposed Stage Boundary
- Existing Raising Main
- Existing Electricity

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
Site boundaries: RPS
Adjoining information: RPS & DCDB
Contours: RPS & GHD
Aerial photography: BMA
Ascon Data: RPS & GHD

REVISION
A: 22/03/2012 Amend Open Space and Stage Bdy
B: 03/05/2012 Amend layout
C: 07/02/2013 Amend Layout
D: 19/02/2013 Amend Text
E: 20/02/2013 Amend Text and Lot Cat.
F: 26/02/2013 Amend Layout

Level Datum	Date	26 February 2013
Origin	Comp By.	WW
	DWG Name.	108208-44 MOR3
	Local Authority	Economic Development Queensland
Scale	Locality	MORANBAH
1 : 750	Sheet	A1
	Job Reference	108208

CLIENT	BMA ALLIANCE COAL OPERATIONS PTY LTD
	PROPOSED SUBDIVISION MOR - 3 (ISAAC VIEWS STAGE 7) OVER LOT 507 ON SP 252764

PROJECT	DEVELOPMENTS MORANBAH
Plan Ref	108208 - 44
Rev	F

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PRELIMINARY ONLY

Plan of Development Table	Villa Allotments 10m Frontage		Premium Villa Allotments 13.5m Frontage		Courtyard Allotments 15m Frontage		Traditional Allotments 17.5m Frontage	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	2.4	2.4	2.4	2.4	2.4	2.4	2.4	2.4
Garage / Double Carport	5.5	3.0	5.5	3.0	5.5	3.0	5.5	3.0
Tandem Carport	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Rear	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0
Side - General Lots								
Built to Boundary	0.0	1.0	0.0	1.0	0.0	1.0	n/a	n/a
Non Built to Boundary	1.0	1.0	1.0	1.0	1.0	1.0	1.2	2.0
Corner Lots - Secondary Frontage	2.0	2.0	2.0	2.0	2.0	2.0	3.0	3.0
On site parking requirements (minimum)	1 space to be covered		1 space to be covered		1 space to be covered		1 space to be covered	
Car Accommodation	Single, tandem or double carport or garage configuration acceptable.							
Garage location	Garages are to be located along the built to boundary wall.							
Site Cover (maximum)	60%		60%		60%		60%	

Legend

- Site Boundary
- Proposed Stage Boundary
- Existing Raising Main
- Existing Electricity
- Indicative Footpath Location
- Optional Built to Boundary Location
- Primary Frontage
- Maximum Building Envelope
- Preferred Private Open Space Location
- Preferred Carport / Garage Location
- Indicative Driveway Location

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Source Information:
Site boundaries: RPS
Adjoining information: RPS & DCDB
Contours: RPS & GHD
Aerial photography: BMA
Ascon Data: RPS & GHD

Notes:

General

- All development is to be undertaken in accordance with the Development Approval.
- The maximum height of buildings shall not exceed two (2) storeys.
- Maximum building location envelopes are subject to future proposed easements and/or other underground services

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise specified.
- Built to boundary walls are optional. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.
- Boundary setbacks are measured to the outermost projection.
- Garages or carports must not project forward of the front building setback, except where a tandem carport is proposed.
- Maximum building location envelopes are subject to future proposed easements and/or other underground services.

Site Cover and Amenity

- Site cover for each lot is not to exceed 60%.
- Dwellings with their main living areas located at ground level should have a minimum area of private open space consisting of at least 12m² with a minimum width of 2.4 metres, preferably accessible from a living room.
- Dwellings with their main living areas located above ground level should have a minimum area of private open space consisting of a balcony or roof area open to the sky, directly accessible from a living room, with a minimum area of:
 - 1 Bedroom house/dwelling unit - 5m² and a minimum dimension of 1.2m;
 - 2 Bedroom house/dwelling unit - 9m² and a minimum dimension of 2.4m;
 - 3 Bedroom or more house/dwelling unit - 12m² and a minimum dimension of 2.4m;

Parking

- Off street car park is to be provided in accordance with the following minimum requirements:
 - One room or one bedroom or two bedroom house/dwelling unit - 1 covered space per dwelling;
 - Three or more bedroom house/dwelling unit - 2 spaces per dwelling, one which must be capable of being covered (may be provided in tandem).
- Where a garage is proposed it must be built to meet the minimum 5.5m setback.
- Where a carport is proposed to be the sole form of car accommodation it must be built to meet the minimum 5.5m setback.
- Where a supplementary carport is proposed, it may be built to 0.0m from the front boundary:
 - Where a single carport - has a minimum dimension of 2.5m x 5m and a maximum dimension of 3m x 6m (excluding eaves) or
 - Where a double carport - has a maximum dimension of 6m x 6m (excluding eaves); and
 - The carport is not fully enclosed but may have up to two walls on the side or rear; and
 - has a maximum height of 2.4m from the floor level to the inside surface of the roof cover; and
- The side setback of the carport roofline must be in accordance with the non built to boundary setbacks in the Plan of Development Table, other than where it is aligned with the built to boundary line; and
- The roofline and materials must be consistent with the roofline and materials of the dwelling.

Building Articulation

- All detached dwellings should have a porch, alcove or verandah providing an entry to the building which is visible from the street.
- Carports and garages should be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All buildings should incorporate two or more of the following design elements which provide diversity in building form as well as respond to the climate:
 - Verandahs
 - Roof overhangs
 - Window hoods/screens
 - Awnings and shade structures

Buildings facing a park or more than one street

- For buildings that have more than one street frontage or adjoin a park, the building design should ensure an attractive appearance is presented to the street frontages and, if applicable, the park. Buildings should address each street frontage or park frontage through the inclusion of, but not necessarily limited to the following design elements:
 - Verandahs
 - Porches
 - Awnings and shade structures
 - Variation to roof and building lines
 - Inclusion of window openings
 - Use of varying building materials

Fencing

- Fencing on all Primary Street Frontages has a maximum height of 1.2 metres where solid and have a maximum height of 1.5 metres where containing openings that make the fence more than 50% transparent.
- Where allotments have a side boundary to non-active open space reserves for drainage purposes, privacy fencing may be to a maximum height of 1.8 metres.
- Where allotments have a boundary to active open space for recreation purposes, fencing has a maximum height of 1.2 metres where solid and have a maximum height of 1.5 metres where containing openings that make the fence more than 50% transparent.

Definitions:

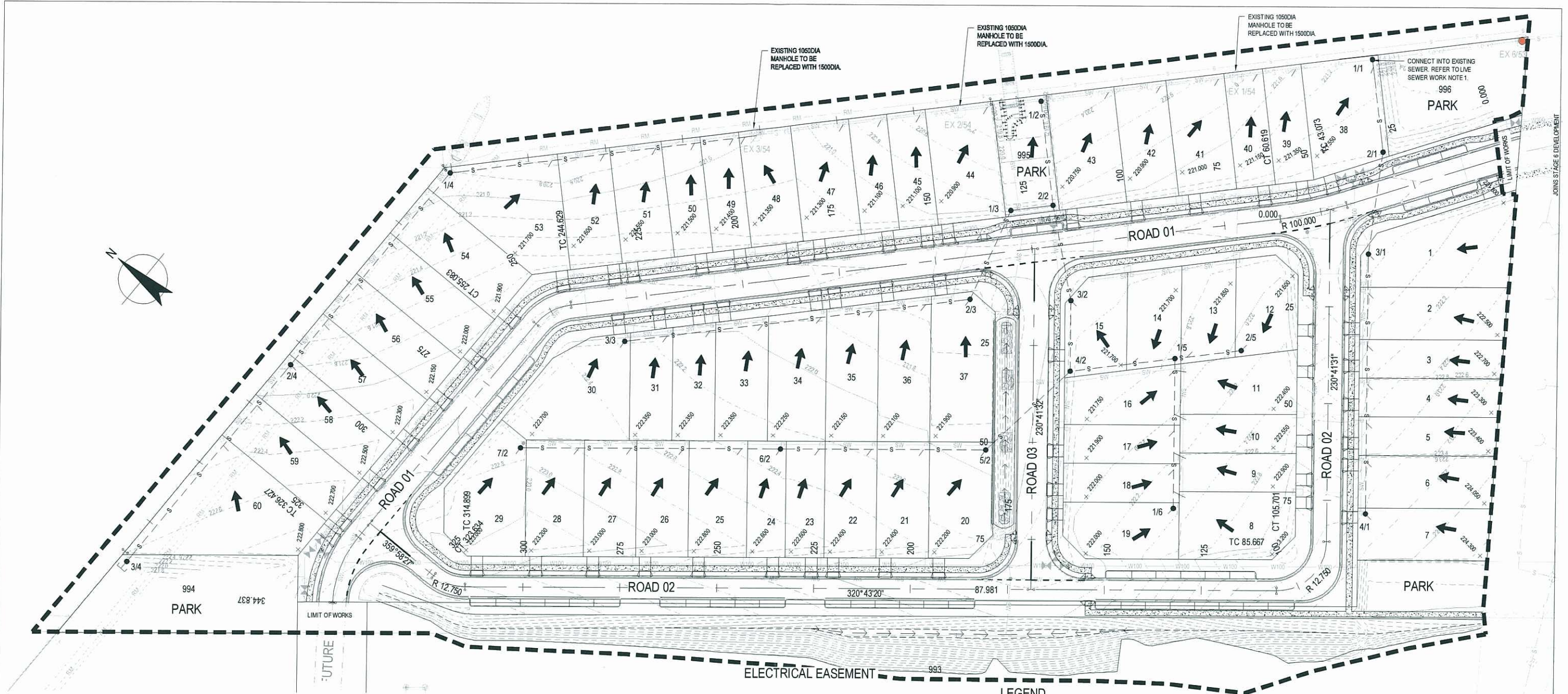
Carport - An unenclosed roofed structure which is designed to provide for the weather protection of a motor vehicle. A carport does not include a garage door on the front and may be located up against the house.

PLANS AND DOCUMENTS referred to in the PDA APPROVAL

27 MAR 2013

MEDQ

REVISION A: 22/03/2012 Amend Open Space and Stage Bdy B: 03/05/2012 Amend layout C: 24/05/2012 Add Notes 22 & 23 D: 07/02/2013 Amend Layout E: 20/02/2013 Update notes and Lot Types. F: 26/02/2013 Amend Layout	Level Datum	Date	26 February 2013	CLIENT BMA ALLIANCE COAL OPERATIONS PTY LTD PLAN OF DEVELOPMENT MOR - 3 (ISAAC VIEWS STAGE 7) OVER LOT 507 ON SP 252764	PROJECT DEVELOPMENTS MORANBAH Plan Ref 108208 - 45 Rev F	 RPS Australia East Pty Ltd ACN 140 292 762 ABN 44 140 292 762 743 Ann Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3237 8899 F +61 7 3237 8833 W rpsgroup.com.au
	Origin	Comp By.	WW			
	DWG Name.	108208-44B MOR3				
	Local Authority	Economic Development Queensland				
Scale 1 : 750	Sheet A1	Locality	MORANBAH	Job Reference	108208	



NOTES

- ALL SEWERS SHALL BE Ø150 uPVC CLASS SN RUBBER RING JOINTED IN 3m MAXIMUM LENGTHS U.N.O.
- ALL SEWER LENGTHS AND GRADES ARE MEASURED FROM CENTRE OF MANHOLE TO CENTRE OF MANHOLE U.N.O.
- ALL SEWER LINES AND MANHOLES TO BE OFFSET 1.5m FROM PROPERTY BOUNDARIES UNLESS COORDINATES OR DIMENSIONS INDICATE OTHERWISE. REFER SEWER MANHOLE SETOUT TABLE.
- THE NATURAL SURFACE PROFILE OF EACH LINE SHALL BE CHECKED ON SITE BY THE CONTRACTOR AND THE SEWER DESIGN LEVELS AND GRADES CONFIRMED WITH THE SUPERINTENDENT BEFORE COMMENCING EXCAVATION.
- SEWER LINES TO BE CONSTRUCTED AS PER M.C.C. STD DRG No. SA3-854.
- ALL SEWER MANHOLES TO BE AS PER M.C.C. STD DRG No. SA3-856. MANHOLES <3.0m DEEP = 1050D, MANHOLE >3.0m DEEP = 1500D. ACTUAL TOP OF SEWER MANHOLES IN PROPERTIES TO BE 75mm ABOVE FINISHED SURFACE LEVEL U.N.O. DESIGN SURFACE LEVEL REFERS TO FINISH GROUND LEVEL.
- SEWER MANHOLES IN FOOTPATHS TO BE FLUSH WITH FINISHED SURFACE LEVEL. CONTRACTORS TO VERIFY MANHOLE SURFACE LEVEL WITH EARTHWORKS LEVELS AND NOTIFY SUPERINTENDENT IMMEDIATELY OF ANY DISCREPANCIES OR MODIFY TO SUIT.
- MANHOLES TO HAVE MINIMUM 600mm CLEAR OPENING.
- ALL SEWER HOUSE CONNECTION BRANCHES ARE TO TERMINATE 1.5m INSIDE PROPERTY BOUNDARY OF THE ALLOTMENT TO BE SERVICED U.N.O.
- HOUSE CONNECTION BRANCHES ARE TO BE CONSTRUCTED AS DETAILED ON M.C.C. STD DRG No. SA3-855 AND ARE TO BE PROVIDED WITH RISERS TO WITHIN 1.0m OF FINISHED SURFACE.
- ALL SEWER RETICULATION TO BE IN ACCORDANCE WITH ENGINEERING DESIGN GUIDELINES, M.C.C. DEVELOPMENT MANUAL AND STANDARD DRAWINGS.
- ALL NEW CONNECTIONS INTO EXISTING SEWER TO BE CARRIED OUT BY MACKAY WATER AT DEVELOPER'S EXPENSE. CONTRACTOR TO CONFIRM EXISTING SEWER MANHOLE LOCATIONS AND INVERT LEVELS PRIOR TO COMMENCEMENT OF WORKS.

I.R.C. AND CONTRACTOR LIVE SEWER WORK

No.	DESCRIPTION	DIA SEWER	MH No.	MH TYPE	COVER TYPE	LOT No.	F.S.L.	E.S.L.	IL	DEPTH
1(a)	COUNCIL TO INSTALL A TEMPORARY PLUG IN DOWNSTREAM PIPE OF EXISTING MAINTENANCE HOLE EX 6/53 PRIOR TO START OF CONSTRUCTION.	1500	EX 6/53	EX.	(B)	996	220.400	220.400	216.320	4.080
1(b)	CONTRACTOR TO LAY ALL SEWERAGE LINES AND INSTALL HOUSE CONNECTIONS.									
1(c)	COUNCIL TO REMOVE TEMPORARY PLUG IN MAINTENANCE HOLE EX 6/53 AFTER SUCCESSFUL 'ON MAINTENANCE' INSPECTION.									

LEGEND

	STAGE BOUNDARY
	EXISTING GRAVITY SEWER, PROPERTY CONNECTION AND MANHOLE
	EXISTING SEWER LINE TO BE DEMOLISHED
	EXISTING SEWER
	EXISTING STORMWATER
	EXISTING WATER
	EXISTING ELECTRICITY
	PROPOSED GRAVITY SEWER
	EXISTING SEWER RAISING MAIN
	PROPOSED GRAVITY SEWER, PROPERTY CONNECTION AND MANHOLE
	PROPOSED WATER
	PROPOSED STORMWATER
	SEWER MANHOLE NUMBER/SEWER LINE NUMBER
	FINISHED SURFACE CONTOUR
	DIRECTION OF FALL TO PROPERTY CONNECTION
	SEWER CONTROL LEVEL
	EXISTING ELECTRICAL (OVERHEAD)

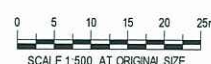
PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

27 MAR 2013

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No.	Revision	Note	Drawn	Job Manager	Project Director	Date
0	FOR CONSTRUCTION		MKZ	RA*	SD*	18.02.13



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Registration Discipline
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No. 7675
Date 18.07.12



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Drawn	C.MILLER	Designer	V.NGUYEN
Drafting Check	R.FISHER*	Design Check	M.GRIM*
Approved (Project Director)	S.DENLAY*		
Date	18.04.12		
Scale	AS SHOWN		

This Drawing must not be used for Construction unless signed as Approved

Client
Project
Title
BM ALLIANCE COAL OPERATIONS PTY LTD
ISAAC VIEWS ESTATE - STAGE 7
SEWERAGE RETICULATION LAYOUT PLAN

Original Size
A1
Drawing No: 41-24844-C730

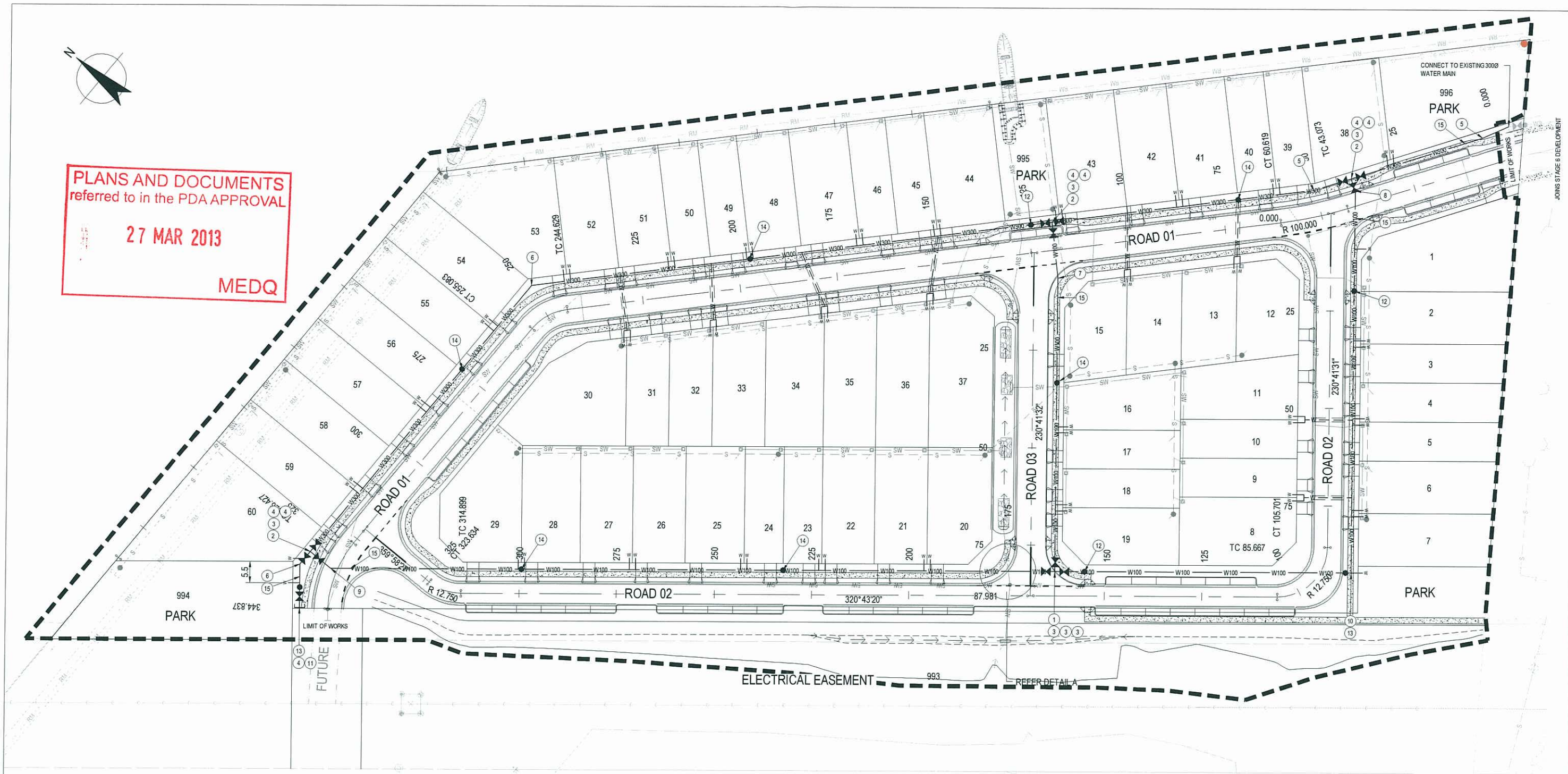
Rev: 0



PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

27 MAR 2013

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WATER NOTES

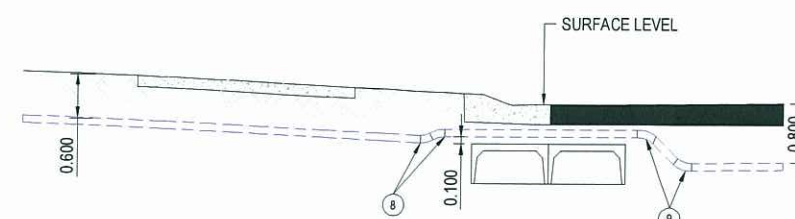
- ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH M.C.C. DEVELOPMENT MANUAL AND STANDARD DRAWINGS.
- LOCATION OF WATER MAINS SHALL BE 1.8m FROM PROPERTY BOUNDARY UNLESS NOTED OTHERWISE.
- MINIMUM COVER - WATERMAINS
 - FOOTPATH: 0.600m TO THE TOP OF PIPE MEASURED FROM THE ADJACENT KERB OR PAVEMENT MARGIN.
 - ROADWAY: 0.800m TO THE TOP OF PIPE MEASURED FROM THE ADJACENT LIP OF CHANNEL OR PAVEMENT.
- SHOULD THE REQUIRED COVER NOT BE ACHIEVABLE WHERE THE MAIN CROSSES CULVERT INSTALLATIONS, THE SECTIONS ARE TO BE LAID IN D.I. WITH AN APPROVED METHOD OF PROTECTION TO COUNCIL'S SATISFACTION.
- MINIMUM COVER - SERVICE CONDUITS
 - ROADWAY: 0.600m TO THE TOP OF PIPE, MEASURED FROM THE ADJACENT INVERT OF CHANNEL.
- SERVICE CONDUITS SHALL EXTEND 0.300m FROM THE BACK OF KERB OR BEYOND THE EDGE OF THE PAVEMENT OR PATHWAY TOWARDS THE PROPERTY BOUNDARY AT EACH END. FOR CONDUITS SIZES REFER TO M.C.C. STD DRG No. A3-00840.
- INSTALL SERVICE MARKER STAKE AND PAINT KERB AND CHANNEL TO SHOW SERVICE LOCATIONS. REFER M.C.C. STD DRG No. A3-00837.
- FOR THRUST BLOCK DETAILS REFER TO M.C.C. STD DRG No. A3-00836.
- GROUND BEARING PRESSURE FOR DETERMINING ANCHORAGE SIZES SHALL BE 100kPa.

LEGEND

---	STAGE BOUNDARY
W100	PROPOSED 1000 uPVC WATERMAIN
W300	PROPOSED 3000 uPVC WATERMAIN
W100	ROAD CROSSING CONDUIT
W100	FIRE HYDRANT
W100	VALVE
W	PROPOSED WATER CONNECTION
W	PROPOSED WATER
S	PROPOSED SEWER

---	EXISTING SEWER RAISING MAIN
---	PROPOSED STORMWATER
---	EXISTING SEWER
---	EXISTING STORMWATER
---	EXISTING WATER
---	EXISTING ELECTRICITY
---	EXISTING WATER TO BE REMOVED
1	100 x 100 TEE
2	300 x 100 TEE
3	100 VALVE
4	300 VALVE
5	300 x 11.25° BEND

6	300 x 45° BEND
7	100 x 11.25° BEND
8	100 x 22.5° BEND
9	100 x 45° BEND
10	100 x 90° BEND
11	END CAP
12	FIRE HYDRANT (SCOUR)
13	FIRE HYDRANT (AIR VALVE)
14	FIRE HYDRANT (TEE)
15	DEFLECTION

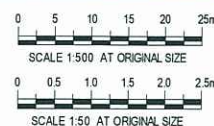


NOTE
ALL ALLIANCE WATER SERVICE CONNECTION TO BE IN ACCORDANCE WITH MACKAY CITY COUNCIL STANDARDS:
1-2 DWELLINGS = 320PN16 POLY
3-5 DWELLINGS = 630PN16 POLY

DETAIL A
SCALE 150

FOR CONSTRUCTION

No	Revision	Note	Drawn	Job Manager	Project Director	Date
0		FOR CONSTRUCTION	MKZ	RA*	SD*	18.02.13



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Drawn	V. NGUYEN	Designer	V. NGUYEN
Drafting Check	R. FISHER*	Design Check	A. VIEIRA*
Approved (Project Director)	S. DENLAY*		
Date	18.04.12		
Scale	AS SHOWN		

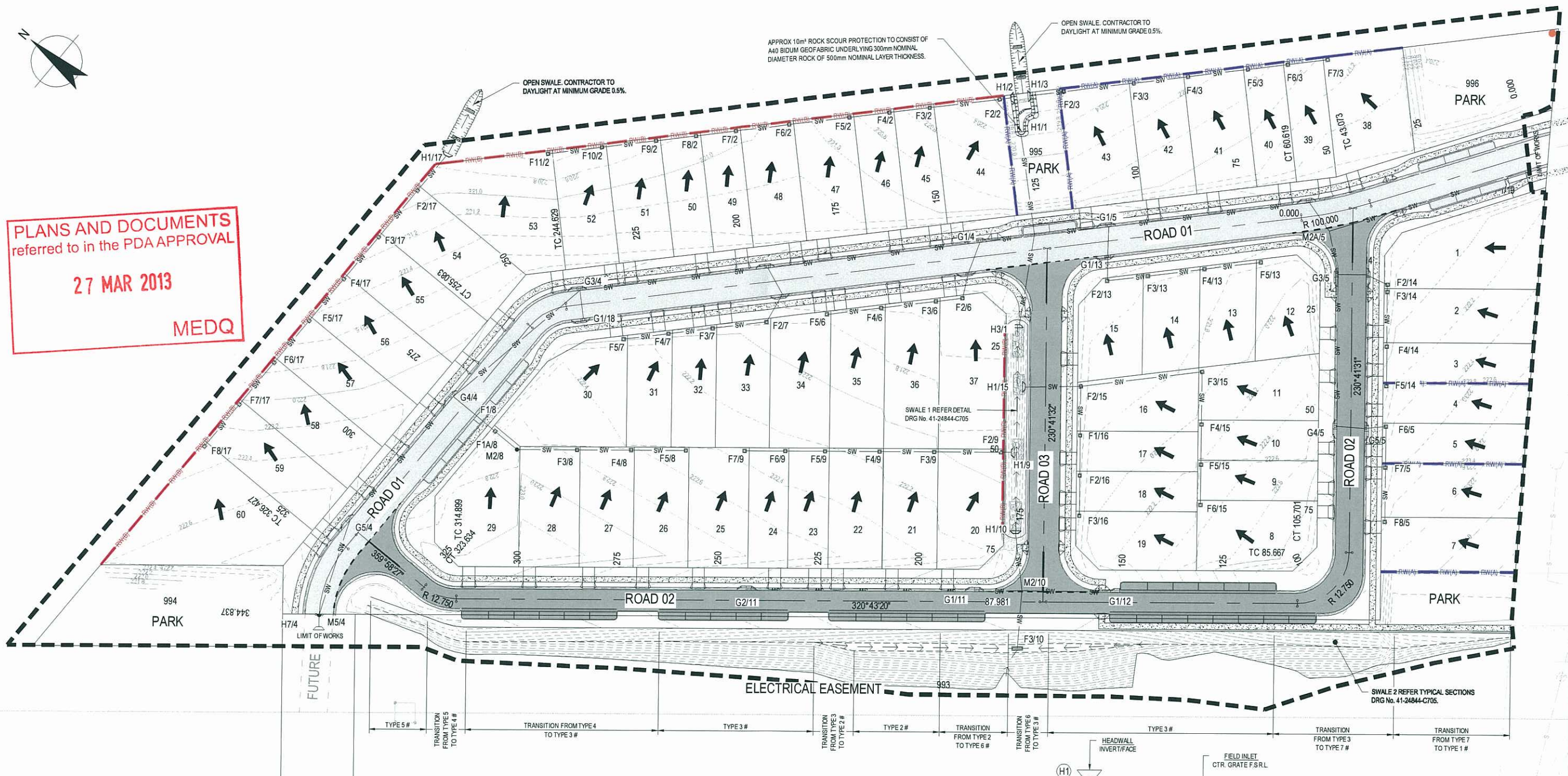
Client	BM ALLIANCE COAL OPERATIONS PTY LTD
Project	ISAAC VIEWS ESTATE - STAGE 7
Title	WATER RETICULATION LAYOUT PLAN
Original Size	A1
Drawing No:	41-24844-C735
Rev:	0



PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

27 MAR 2013

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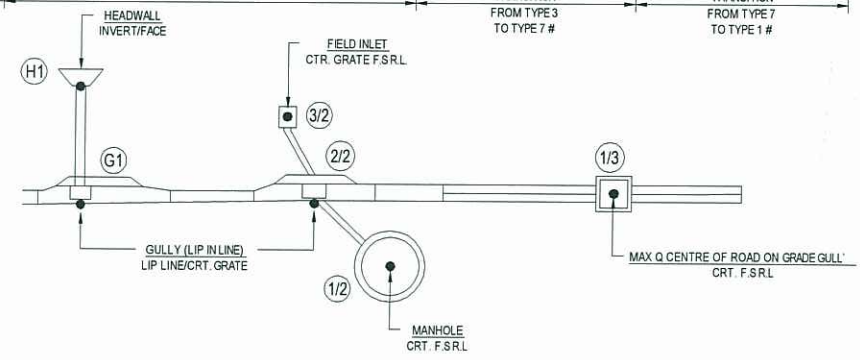
- NOTES**
- ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE.
 - STORMWATER ALLOTMENT PIT MAY BE CAST-IN-SITU OR PRECAST WITH GULLY GRATE (CLASS 'A').
UP TO 1.0m DEEP = 600x600 INLET
1.0m - 1.5m DEEP = 900x600 INLET
1.5m OR GREATER = STD MAN HOLE WITH 600x600 GRATE
 - PROVIDE 2000 STORMWATER PIPES TO EXTEND 500mm BEYOND PIT AND CAP OFF. LOCATE STUB IL'S 550mm BELOW GRATE

LEGEND

- STAGE BOUNDARY
- MOUNTABLE KERB AND CHANNEL REFER MACKAY CITY COUNCIL STD DRG No. A3 - 865 FOR DETAILS
- CARPARK KERB REFER MACKAY CITY COUNCIL STD DRG No. A3 - 865 FOR DETAILS
- DISH DRAIN REFER MACKAY CITY COUNCIL STD DRG No. A3 - 865 FOR DETAILS
- CONCRETE EDGE RESTRAINT REFER IPWEAQ TYPE 'M6'
- FINISHED SURFACE CONTOUR (MAJOR) 1.0m INT
- RETAINING WALL TYPE A 0.3m - 1.0m HIGH REFER DRG No. 41 - 24844 - C704 FOR DETAIL
- RETAINING WALL TYPE B >1.0m HIGH REFER DRG No. 41 - 24844 - C716 FOR RETAINING WALL LONGITUDINAL SECTIONS REFER STRUCTURAL ENGINEER DRAWINGS (BY OTHERS) FOR DESIGN.

- FINISHED SURFACE CONTOUR (MINOR) 0.2m INT
- SWALE DRAIN, INVERT TO BE TURFED
- STORMWATER PIT AND PIPES
- STORMWATER MANHOLE AND PIPES
- DIRECTION OF ALLOTMENT DESIGN FALL
- DUMPED ROCK

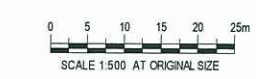
DETAIL - SETOUT POINTS FOR GULLIES, MANHOLES, FIELD INLETS AND HEADWALLS



NOTE: NAMING CONVENTIONS USED ARE ONLY FOR DEMONSTRATIVE PURPOSES NTS

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0	FOR CONSTRUCTION			MKZ	RA*	SD*	18.02.13
No	Revision	Note: * indicates signatures on original issue of drawing or last revision of drawing		Drawn	Job Manager	Project Director	Date



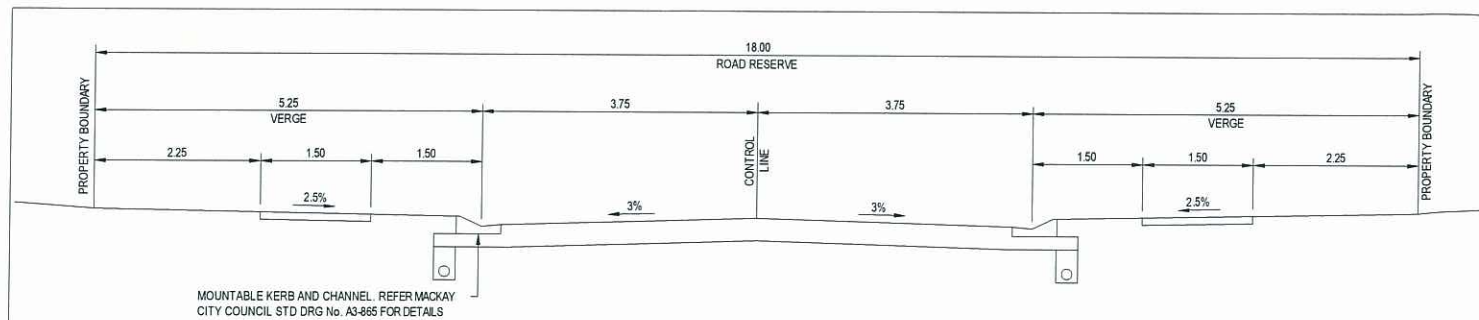
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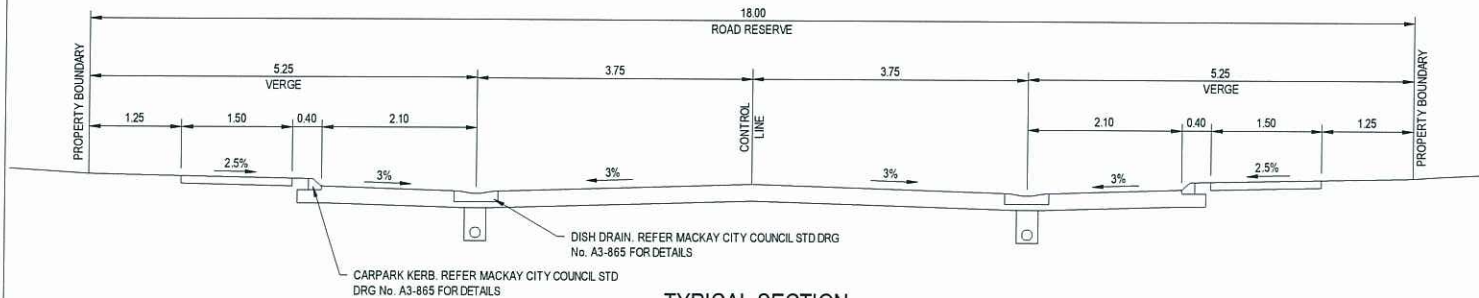
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Drafting Check	M. ZAMBELLI	Design Check	R. ANDRADE
Approved (Project Director)	S. DENLAY*	Date	18.04.12
Scale	AS SHOWN	This Drawing must not be used for Construction unless signed as Approved	

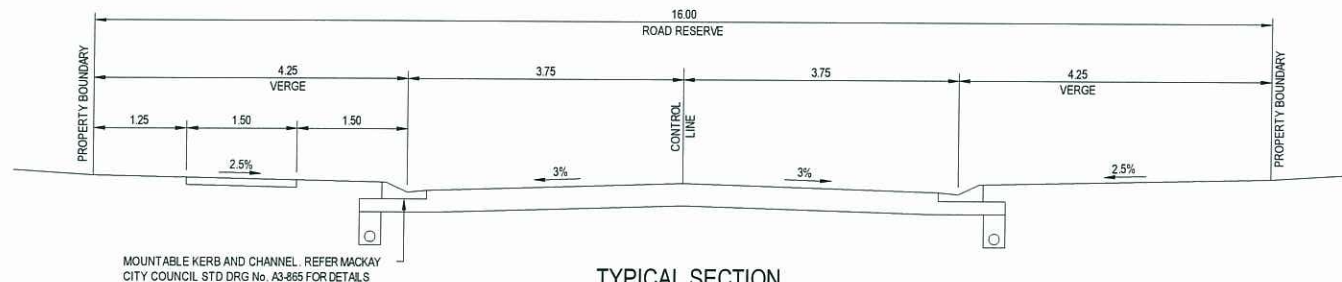
Client **BM ALLIANCE COAL OPERATIONS PTY LTD**
Project **ISAAC VIEWS ESTATE - STAGE 7**
Title **STORMWATER DRAINAGE LAYOUT PLAN**
Original Size **A1**
Drawing No: **41-24844-C722**
Rev: **0**



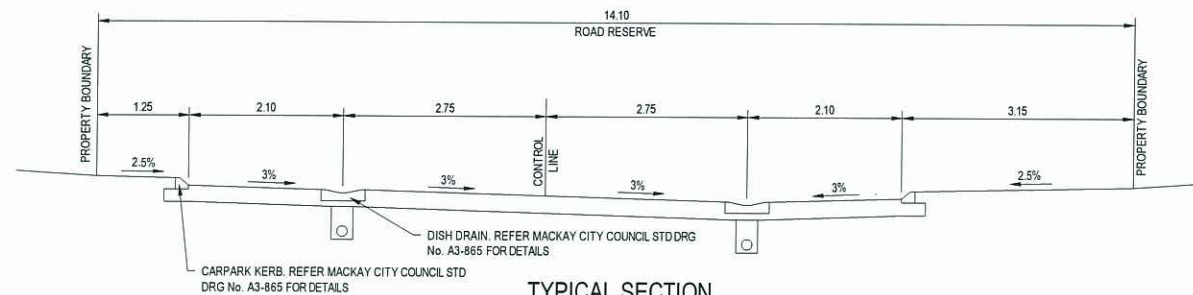
TYPICAL SECTION
ROAD 01
SCALE 1:50



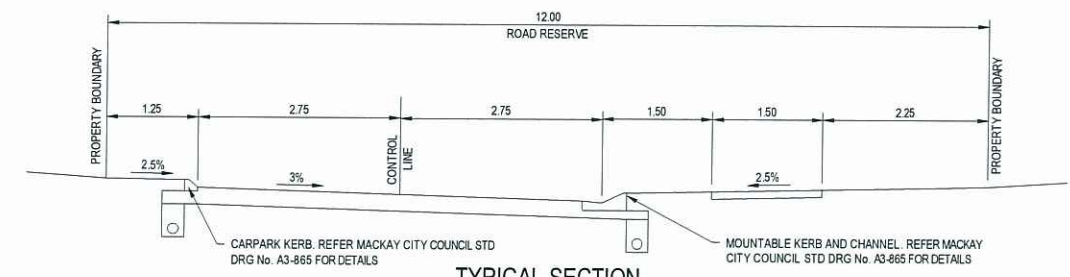
TYPICAL SECTION
PARKING BAY TREATMENT
ROAD 01
SCALE 1:50



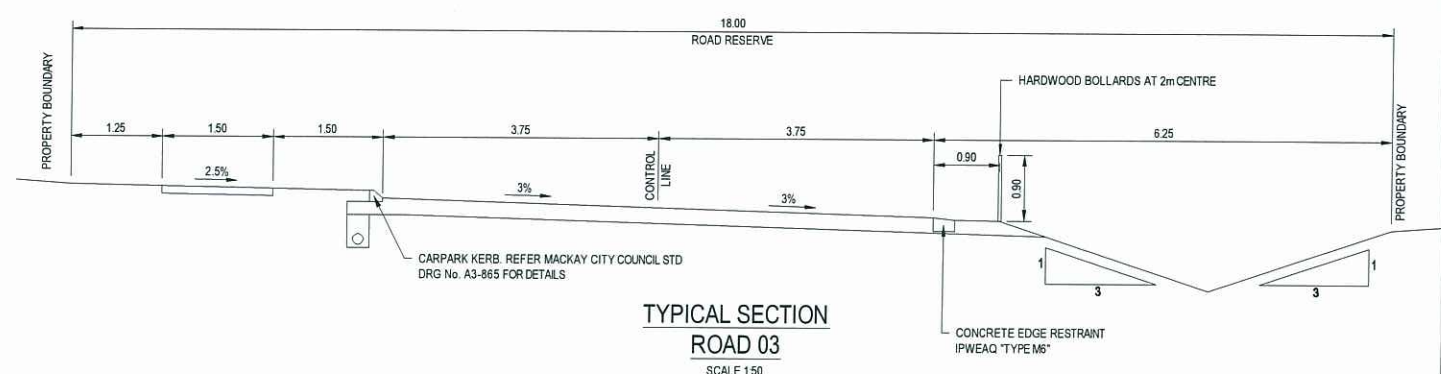
TYPICAL SECTION
ROAD 02
SCALE 1:50



TYPICAL SECTION
PARKING BAY TREATMENT
ROAD 02
SCALE 1:50



TYPICAL SECTION
ONE WAY CROSS FALL
ROAD 02
SCALE 1:50



TYPICAL SECTION
ROAD 03
SCALE 1:50

PAVEMENT SPECIFICATIONS:

TYPE	DESCRIPTION	DESIGN ESAs	ASSUMED CBR
A	25mm AC SURFACING 150mm COMPACTED BASE (TYPE 2.2) 150mm COMPACTED SUB-BASE (TYPE 2.3)	1 x 10 ⁴	10

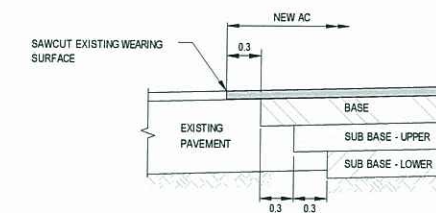
TYPE	DESCRIPTION	DESIGN ESAs	ASSUMED CBR
B	25mm AC SURFACING 125mm COMPACTED BASE (TYPE 2.2) 125mm COMPACTED SUB-BASE (TYPE 2.3)	3.5 x 10 ⁴	10

PAVEMENT DETAILS

PAVEMENT DEPTH SUBJECT TO CBR RESULTS & COUNCIL APPROVAL. CONTRACTOR TO UNDERTAKE SOAKED CBR TESTING AND CONFIRM PAVEMENT DEPTHS WITH SUPERINTENDENT PRIOR TO PAVEMENT CONSTRUCTION.

NOTE:

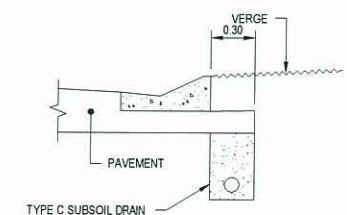
FOOTPATH LOCATIONS AS SHOWN ON PLAN. DRG No's 41-24844 C702.



PAVEMENT JOINT DETAIL
NTS

NOTE:

WHERE NEW SUBGRADE LEVEL IS DIFFERENT THAN THE EXISTING SUBGRADE LEVEL A SUBSOIL DRAIN IS TO BE INSTALLED - CONNECT INTO ROADWAY SUBSOIL DRAINAGE SYSTEM



SUBSOIL DRAIN DETAIL
SCALE 1:25

NOTE:

FOR SUBSOIL DRAIN DETAILS REFER MCC STD DRG A3 807

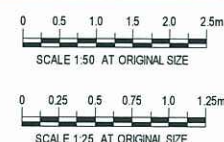
PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

27 MAR 2013

MEDQ

FOR CONSTRUCTION

No	Revision	Note	Drawn	Job Manager	Project Director	Date
0		FOR CONSTRUCTION	MKZ	RA*	SD*	18.02.13



Registered Professional ROGER ANDRADE
Registration
REGISTERED PROFESSIONAL ENGINEER OF QLD
Registration Discipline
CIVIL ENGINEERING
Signature
ROGER ANDRADE*
No 7675
Date 18.07.12

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Drawn	C. MILLER	Designer	V. NGUYEN
Drafting Check	M. ZAMBELLI	Design Check	R. ANDRADE
Approved	S. PENLAY* (Project Director)		
Date	18.04.12		
Scale	AS SHOWN	This Drawing must not be used for Construction unless signed as Approved	

Client
Project
Title
BM ALLIANCE COAL OPERATIONS PTY LTD
ISAAC VIEWS ESTATE - STAGE 7
TYPICAL SECTIONS AND DETAILS

Original Size
A1
Drawing No: 41-24844-C703

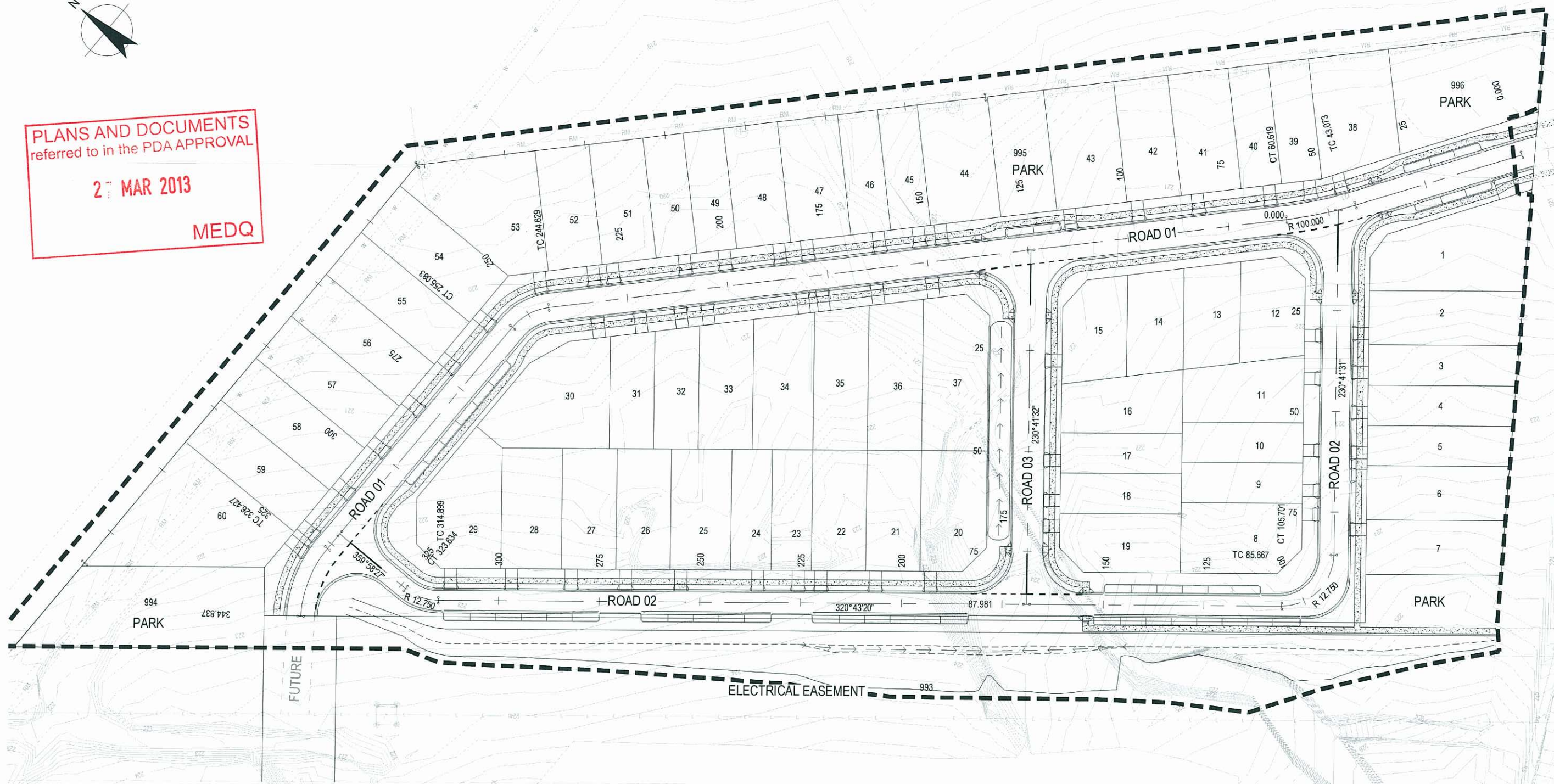
Rev: 0



PLANS AND DOCUMENTS
referred to in the PDA APPROVAL

2nd MAR 2013

MEDQ



- NOTES**
1. SURVEY PLAN BY RPS AUSTRALIA EAST PTY. LTD. LEVEL 1, 38 WELLINGTON ST. MACKAY. QLD 4740
DATUM: AHD.
ORIGIN: OPM 74334 RL 239.507
 2. FOR ROADWORKS AND STORMWATER DRAINAGE LAYOUT, NOTES AND LEGEND REFER DRG NO. 41-24844-C710 AND C722
 3. FOR SEWERAGE RETICULATION LAYOUT, NOTES AND LEGEND REFER DRG NO. 41-24844-C730.
 4. FOR WATER RETICULATION LAYOUT, NOTES AND LEGEND REFER DRG NO. 41-24844-C735.
- # SWALE 2 REFER TYPICAL SECTIONS DRG NO. 41-24844-C705

FOR CONSTRUCTION

								Registered Professional ROGER ANDRADE Registration REGISTERED PROFESSIONAL ENGINEER OF QLD Registration Discipline CIVIL ENGINEERING Signature ROGER ANDRADE* No. 7675 Date 18.07.12				 145 Ann St Brisbane QLD 4000 Australia GPO Box 668 Brisbane QLD 4001 T 61 7 3316 3000 F 61 7 3316 3333 E bne@mail@ghd.com W www.ghd.com				DO NOT SCALE Conditions of Use: This document may only be used by GHD's client (and any other person who GHD has agreed can use this document) for the purpose for which it was prepared and must not be used by any other person or for any other purpose.				Drawn C.MILLER Drafting Check M.ZAMBELLI Approved S.DENLAY* (Project Director) Date 18.04.12 Scale AS SHOWN		Designer V.NGUYEN Design Check R.ANDRADE		Client Project Title Original Size		BM ALLIANCE COAL OPERATIONS PTY LTD ISAAC VIEWS ESTATE - STAGE 7 OVERALL PLAN LAYOUT A1				Drawing No: 41-24844-C702 Rev: 0					
0 FOR CONSTRUCTION				MKZ RA* SD* 18.02.13																															
No	Revision			Note: * indicates signatures on original issue of drawing or last revision of drawing				Drawn		Job Manager		Project Director		Date																					
Plot Date: 18 February 2013 - 9:31 AM																								Plotted by: Alex Lam											