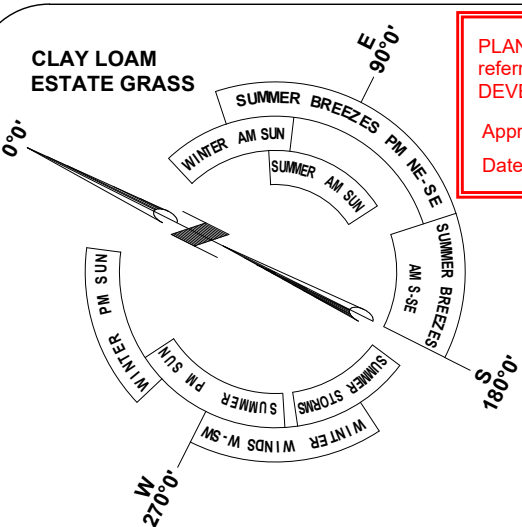
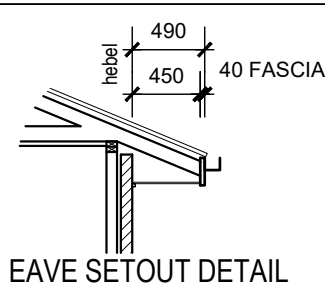




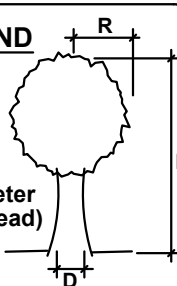
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DEVELOPMENT APPROVAL

Approval no: DEV2024/1487
Date: 8 May 2024



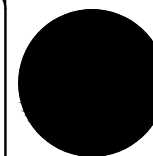
TREE LEGEND

D=Trunk Diameter
R=Radius (Spread)
H=Tree Height



G.L 16.315 CRITICAL
CUT 85
FILL SITE SCRAPE
F.L 16.675 CRITICAL

Services shown hereon have been located where possible by field survey.
If not able to be located, services have been plotted from the records of relevant authorities where available.
Prior to any excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services.



**STEVE COOPER
& ASSOCIATES PTY LTD**
ABN 67 010 839 022
LICENSED LAND SURVEYORS,
LAND PLANNING CONSULTANTS.

PH:- 3846 6477 FAX:- 3846 6488
27 NORFOLK ROAD, SOUTH BRISBANE 4101
EMAIL:- admin@stevecooper.com.au

SITE:
#43 CONWAY CRESCENT
BANYA
LOT 8368 ON SP332420

LOCAL AUTH: **SUNSHINE COAST R.C.**
AREA: **456m²**
UBD REF: **SC 99 A20**

CONTOUR AND DETAIL SURVEY

THIS SURVEY MAPS THE SITE FEATURES AND LEVEL, IT DOES NOT GUARANTEE THE POSITION OF PEGS, ALLOTMENT BOUNDARIES OR FENCES. CHECK TITLE FOR ANY EASEMENTS.

SERVICES

O/H POWER		NO
U/G POWER		YES
WATER		YES
TELECOM		YES (NBN)
GAS		NOT FOUND
SEWER		YES (NOT FD)
ROOFWATER		ROAD
STORMWATER		ROAD

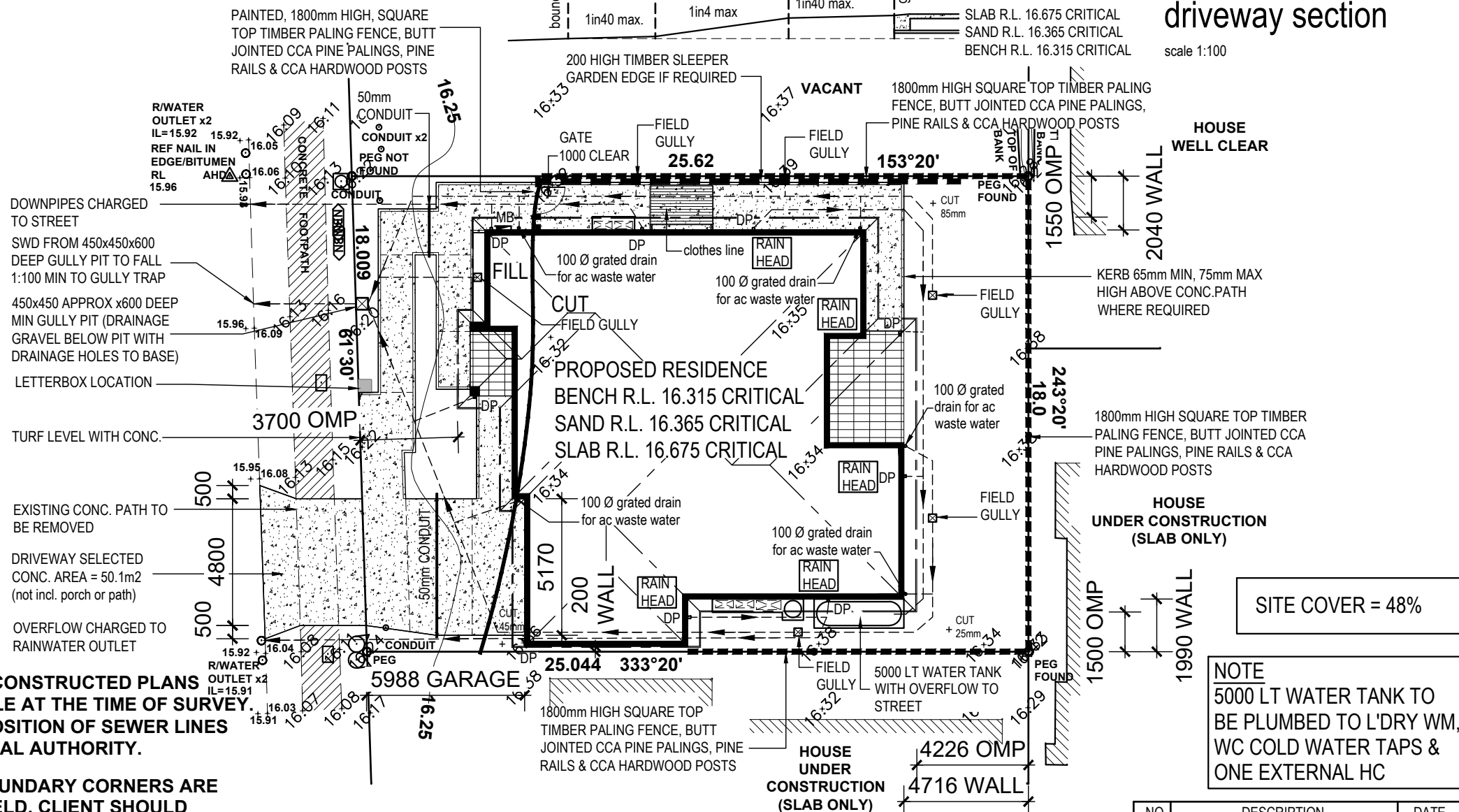
LEGEND

O/H LIGHT	
S/WATER PIT	
FIRE HYDRANT	
WATER VALVE	
MOUNTABLE KERB	
NON-MOUNT KERB	
REF RL	15.96
DATUM	AHD (VIA LOT 8370) [23-657]

DATE: 15/11/2023
CCAD: 23-2105.mjo
DRAWN BY: JC
SURVEYOR: AF
CHECKED: KG

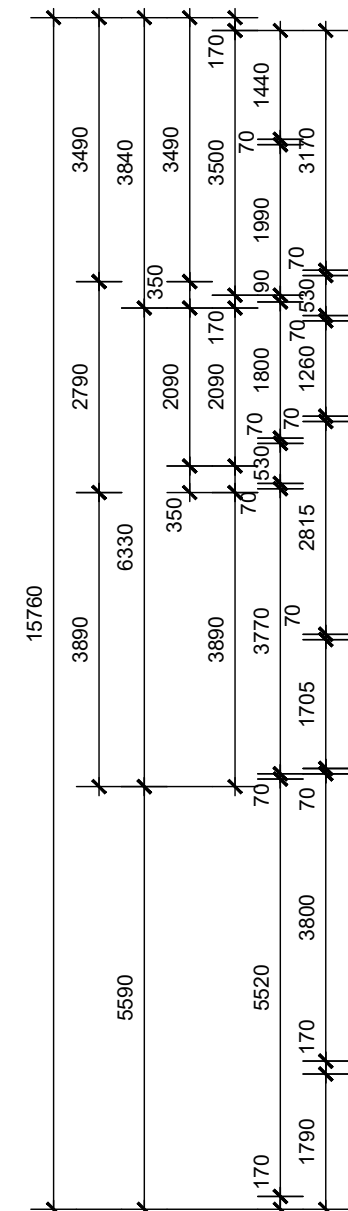
SCALE: 1:200 - Orig A3
2 0 2 4 6 8 10

JOB NO: **23-2105**



NOTE

- ALL HAMPERS TO BE 2400mm HIGH
- PROVIDE MANUAL ROLLER BLINDS TO WINDOWS TO OOA
- D- PULL STYLE DOOR HARDWARE (EXCLUDING OOA) TO BE INSTALLED BETWEEN 900-1100MM ABOVE FFL.
- 15mm MAX. CLEARANCE FROM BOTTOM OF DOOR TO FLOOR COVERINGS
- PROVIDE A 75mm HIGH 30% LUMINANCE CONTRAST STRIP TO GLASS SLIDING DOOR TO COMPLY WITH AS1428.1
- STRUCTURAL SUPPORT IN BEDROOM & ENSUITE CEILINGS ONLY FOR FUTURE CEILING HOIST (WEIGHT UP TO 250KG MAX.) EXCLUDING OOA
- PROVIDE HARD WIRED BLINDS TO WINDOWS & SLIDING DOORS TO LIVING/DINING & BEDROOMS.
- PROVIDE LOCKABLE WINDOWS.



75mm THICK HEBEL POWERPANEL ON 25mm HIGH BATTENS TO BE RENDERED WITH PRIMELINE 'NEWPORT' CLADDING ON 42x35 TIMBER BATTENS + R2.0 WALL INSULATION BATTES ABOVE

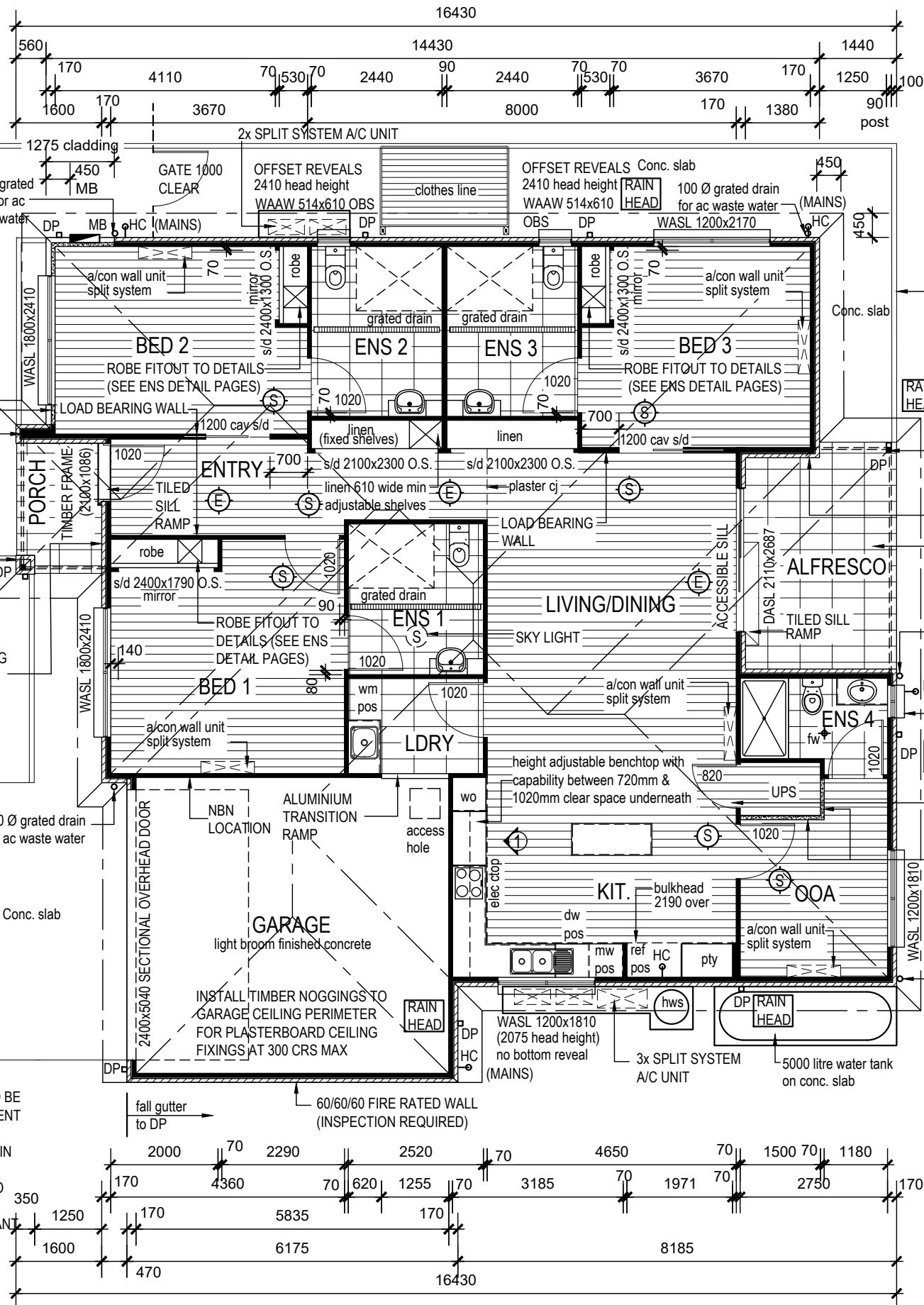
2 x 70mm STUD WALLS WITH 10mm GAP BETWEEN
350 x 350 HEBEL PIERS WITH 75x4 SHS INSIDE

TERMICIDE SILICONE SEALANT TO PORCH TILING PERIMETRE BY LICENCED TRADE (8mm WIDE MIN)

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL
Approval no: DEV2024/1487
Date: 8 May 2024



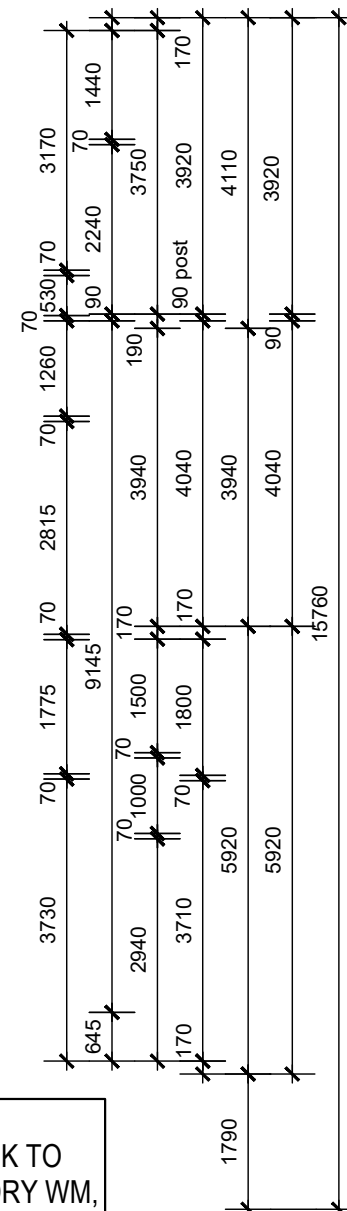
- WINDOW SILLS ON THE GROUND (OR ENTRY) LEVEL IN LIVING AREAS AND BEDROOM SPACES TO BE POSITIONED NO HIGHER THAN 1000MM ABOVE THE FINISHED FLOOR LEVEL TO ENABLE ENJOYMENT OF THE OUTLOOK
- WINDOW CONTROLS TO BE ABLE TO BE EASY TO OPERATE WITH ONE HAND AND LOCATED WITHIN EASY REACH FROM EITHER A SEATED OR STANDING POSITION.
- PROVIDE AL. FRAMED BARRIER SCREENS (DIAMOND GRILLE) WITH FIBREGLASS INSECT MESH TO ALL OPENING SASH WINDOWS.
- UPS TO CATER FOR A MINIMUM 2-HOUR OUTAGE IN NO LESS THAN 2 DOUBLE GPO'S IN PARTICIPANT BEDROOMS & IN ANY PROVIDED AUTOMATED DOORS THAT ARE USED FOR ENTRY OR EGRESS.
- ALL INTERNAL DOORWAYS SHALL HAVE A LEVEL (STEP-FREE) TRANSITION AND THRESHOLD (MAXIMUM VERTICAL TOLERANCE OF 3MM VERTICAL OR 5MM BETWEEN ABUTTING SURFACES IS ALLOWABLE PROVIDED THE LIP IS ROUNDED OR BEVELLED)
- OOA DOOR FURNITURE TO COMPLY WITH AS1428.1



NOTE

STUDS AT 300 MAX CRS TO ALL SHOWER WALLS

- Ⓢ SMOKE ALARM LOCATION
- ⓐ CONTROL JOINT TO HEBEL (SEE SHEET 2 FOR DETAILS)
- ⓔ Ezyfit LED (EFSLEM) Emergency Lighting to AS2293.1



NOTE

5000 LT WATER TANK TO BE PLUMBED TO L'DRY WM, WC COLD WATER TAPS & ONE EXTERNAL HC

KEY

WAAW - WINDOW ALUMINIUM AWNING
WASL - WINDOW ALUMINIUM SLIDING
DASL - DOOR ALUMINIUM SLIDING

FLOOR COVERINGS
VINYL PLANK FLOORING = 120.88 m2
EXTERNAL FLOOR TILING = 15.32m2

PERIMETER= 66.02 LIN.M	
AREAS	
LIVING	168.93
GARAGE	34.47
PORCH	4.05
ALFRESCO	11.53
TOTAL AREA	218.98 SQ.M.
	23.57 SQ.

PLATINUM 219

FACADE - MONTROSE
INCLUSIONS - SDA - HIGH PHYSICAL SUPPORT
QBSA Lic. No. 1034627 Ph: (07) 3370 6000
8 Murdoch Circuit, Acacia Ridge Fax: (07) 3370 6001
P.O. Box 1796, Sunnybank Hills QLD 4109
Figured dimensions are to take preference over scale.

PROPOSED RESIDENCE

at LOT 8368(#43) CONWAY CRESCENT
BANYA
OWNER R. ROOKER
UBD REF. SC 99 A20

FLOOR PLAN

N 2
WINDOWS NONEXPOSED
Scales 1:100
Sheet No. 1
Job No. 8368CONW
Date 15.12.23
Drawn By C.THAPA
Checked By R. MILGATE
Const. Issue By -

NO.	DESCRIPTION	DATE
A	OFFICE DRAWINGS	24.01.24

THIS IS THE DRAWING REFERRED TO IN OUR CONTRACT AND PROJECT SPECIFICATIONS

DATE _____
OWNER'S INITIALS _____
BUILDER'S INITIALS _____

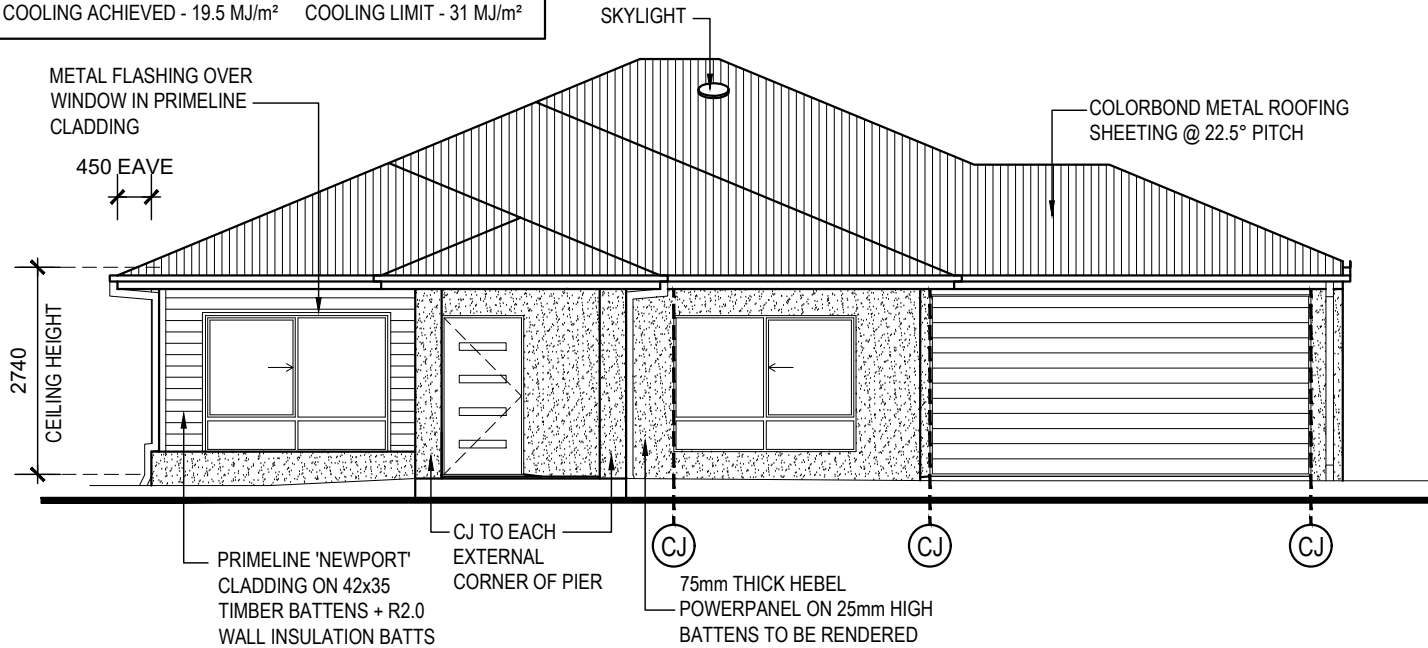
BERS ENERGY RATING
The following shall be installed to achieve 6.0 stars minimum
- REFLECTIVE FOIL WALL WRAP TO ALL EXTERNAL WALLS
- R2.5 INSULATION BATTS TO ALL CEILINGS EXCLUDING GARAGE, LAUNDRY & PORCH
- R2.0 INSULATION BATTS TO 'PRIMELINE' CLADDED EXTERNAL WALLS
- SARKING TO ROOF
- WEATHER STRIPS TO FRONT ENTRY DOOR
- CEILING FANS TO OOA, LIVING AREA & ALFRESCO (TOTAL 3)
STAR RATING ACHIEVED - 7.2 STARS
HEATING ACHIEVED - 13.1 MJ/m² HEATING LIMIT - 24 MJ/m²
COOLING ACHIEVED - 19.5 MJ/m² COOLING LIMIT - 31 MJ/m²

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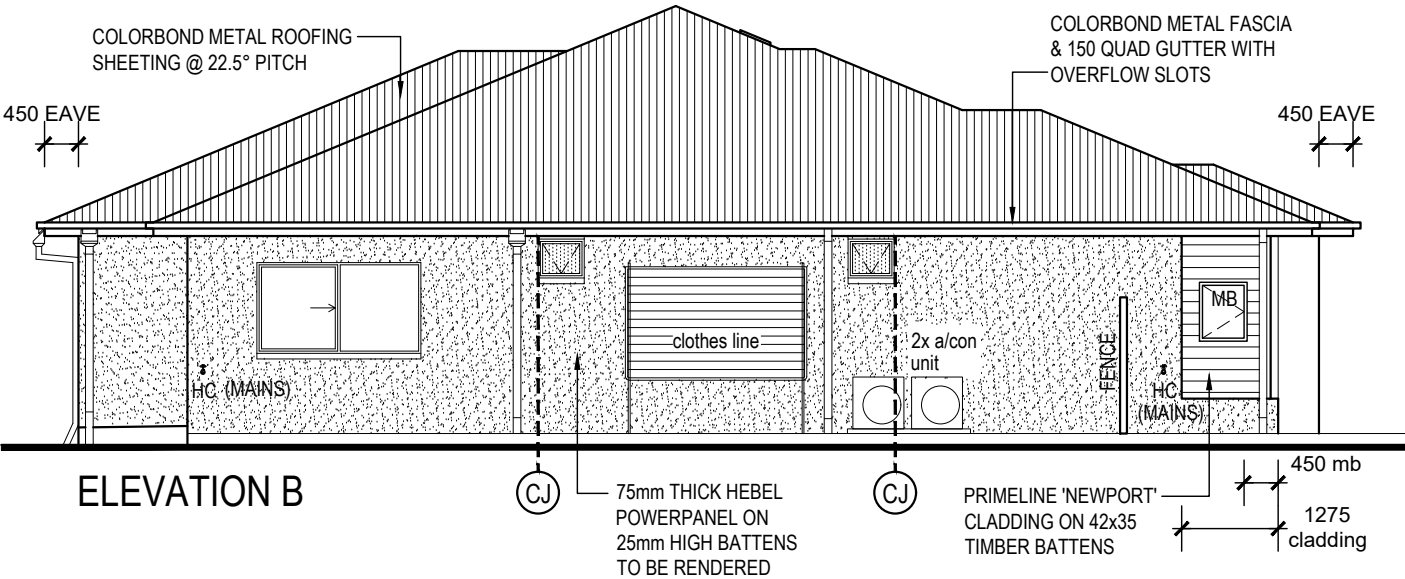
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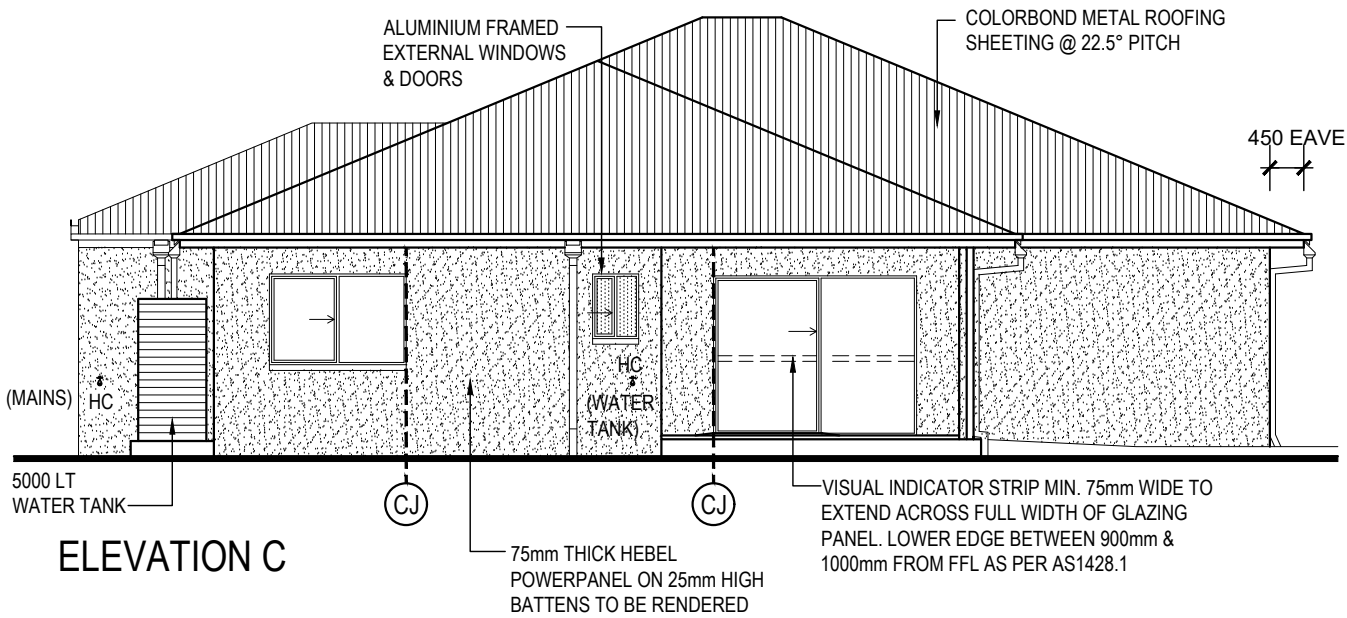
NOTE
90x42mm PINK PRIMED TRIM
TO EXTERNAL CORNERS IN PRIMELINE CLADDING
42x42mm PINK PRIMED TRIM
TO INTERNAL CORNERS OF PRIMELINE CLADDING
66x42mm PINK PRIMED TRIM
TO WINDOWS IN PRIMELINE CLADDING



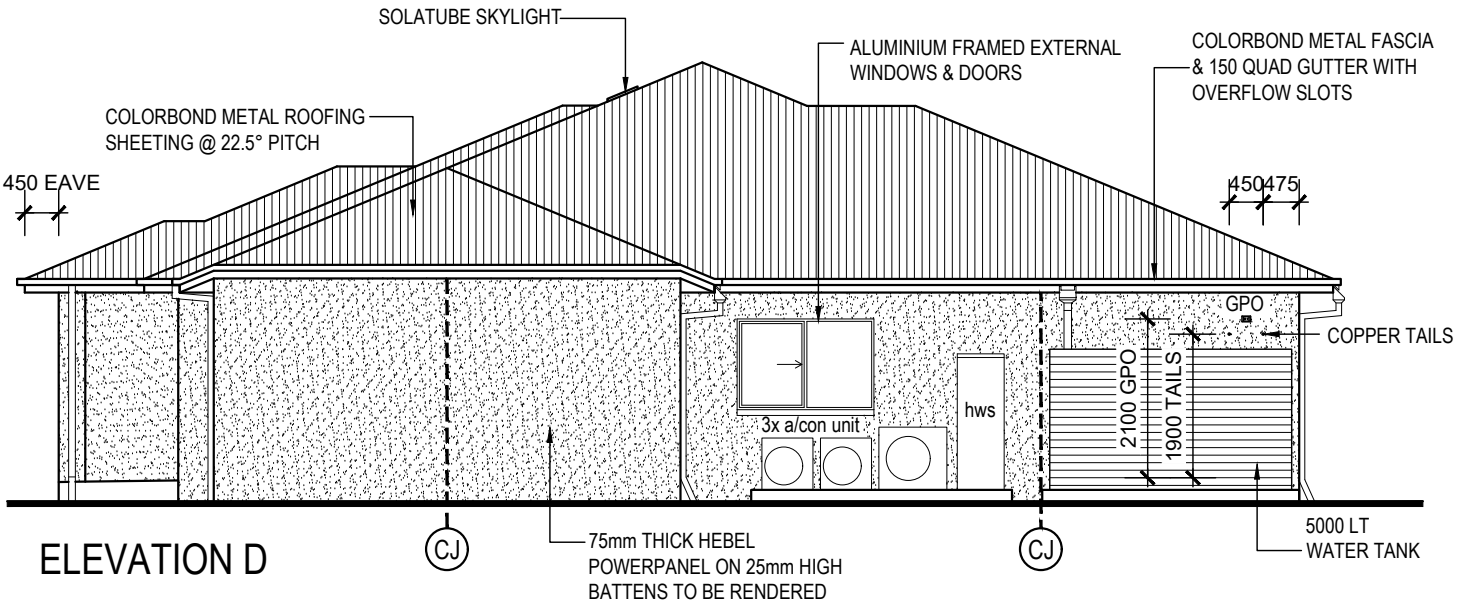
ELEVATION A



ELEVATION B



ELEVATION C



ELEVATION D



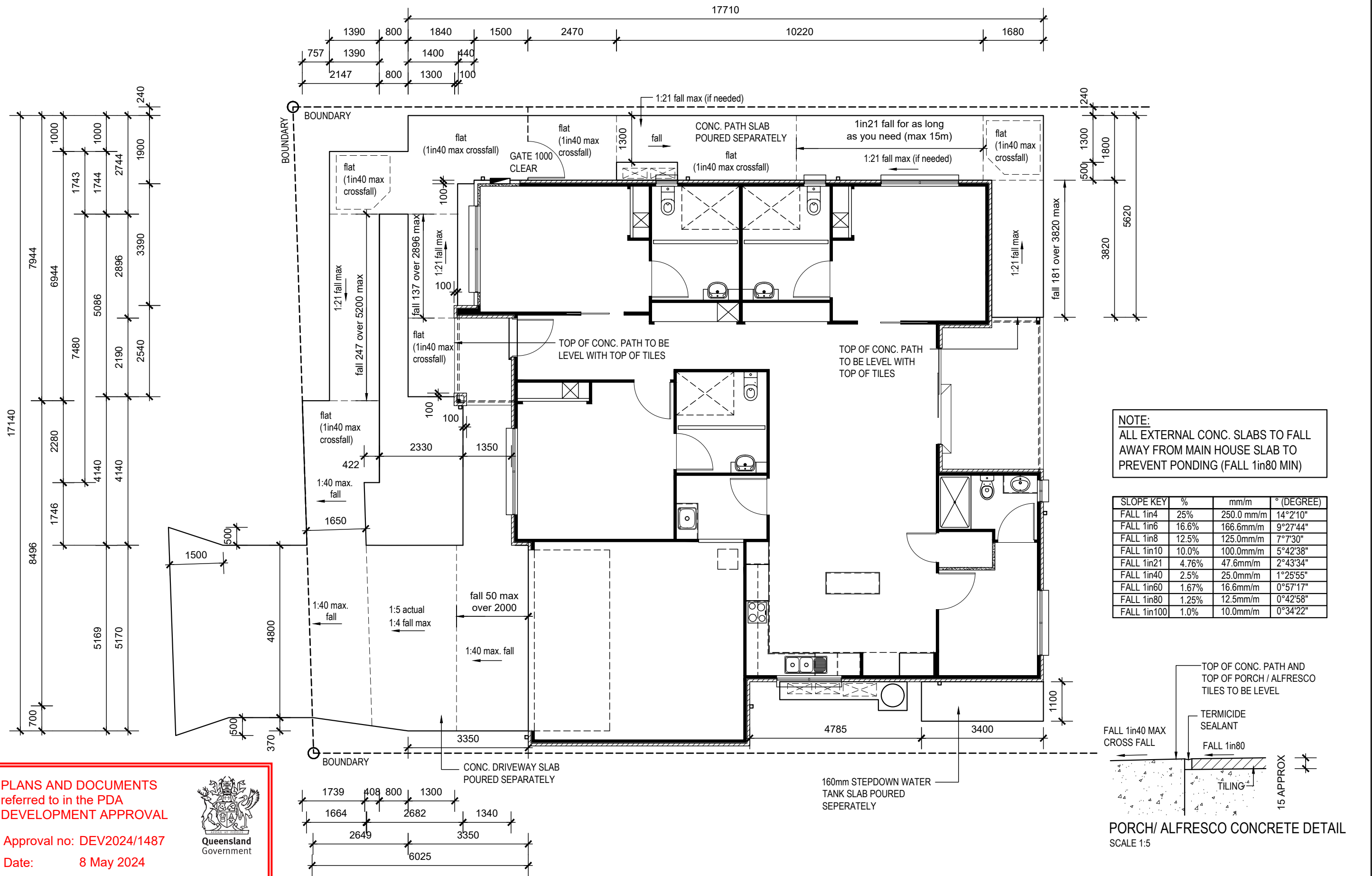
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8 Murdoch Circuit, Acacia Ridge Fax: (07) 3370 6001
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PROPOSED RESIDENCE
at LOT 8368(#43) CONWAY CRESCENT
BANYA
OWNER R. ROOKER
UBD REF.SC 99 A20

ELEVATIONS	
N 2	Job No. 8368CONW
WINDOWS	Date 15.12.23
NONEXPOSED	Drawn By C.THAPA
Scales 1:100	Checked By R. MILGATE
Sheet No. 3	Const. Issue By -

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at LOT 8368(#43) CONWAY CRESCENT
BANYA
OWNER R. ROOKER
UBD REF.SC 99 A20

SLAB PLAN - paths

N 2
WINDOWS
NONEXPOSED
Scales 1:100
Sheet No. 5b

Job No. 8368CONW
Date 15.12.23
Drawn By C.THAPA
Checked By R. MILGATE
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LEGEND

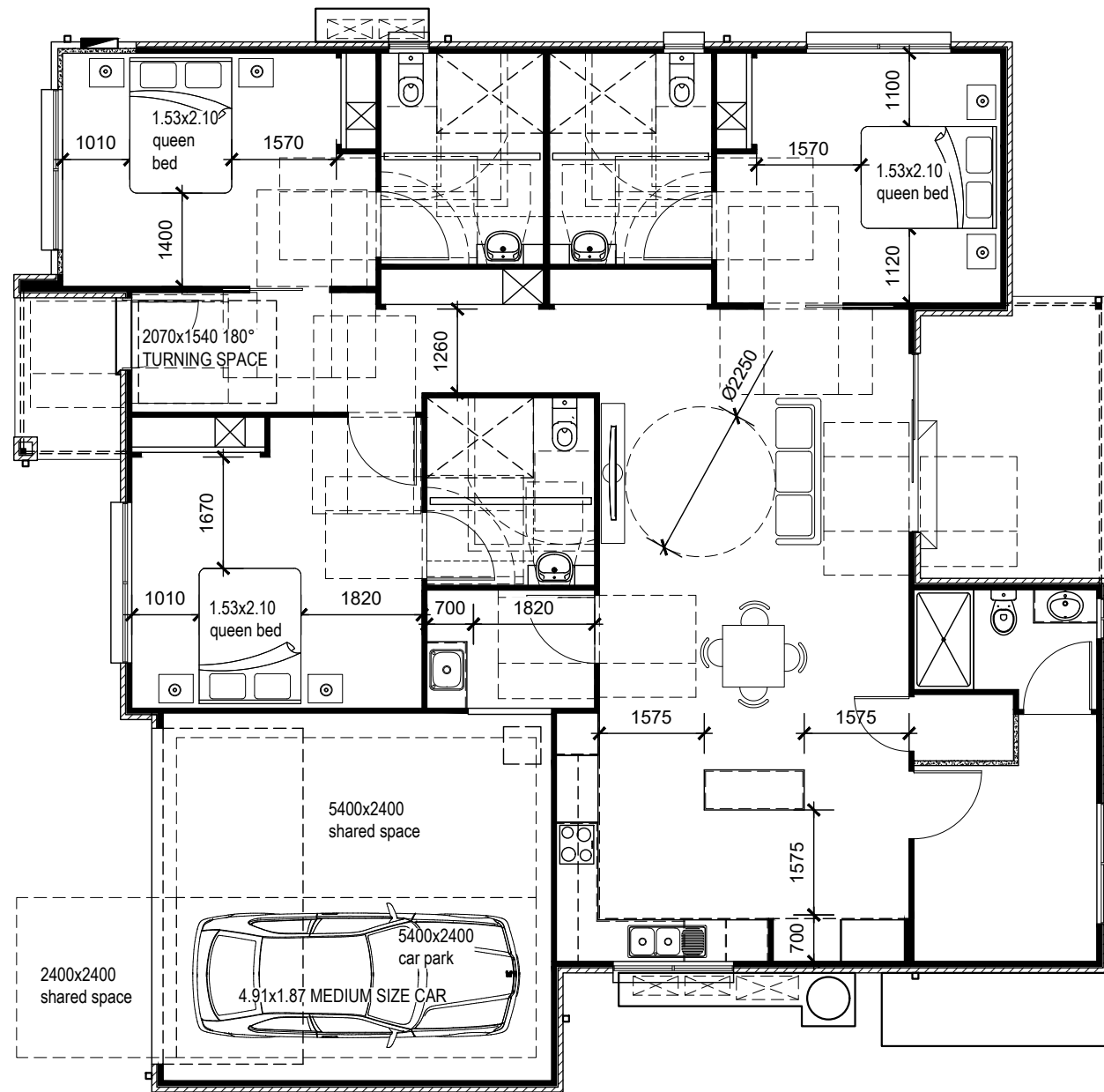
Diagram 1: Door clearance dimensions: 850, 700, 800, 425 min.

Diagram 2: Shower clearance dimensions: 1160 min, 1250, 1100 min, 400.

Diagram 3: Toilet clearance dimensions: 900, 800, 1200, 2300, 1900, 1400, 450, 100, 100.

Labels: exclusion zone, toilet clearance door must not intrude, encroachment zone for basins.

REFER TO AS1428.1-2009 DESIGN FOR ACCESS AND MOBILITY (PAGE 58-60) FOR CIRCULATION SPACES AT DOORWAYS FOR SWINGING AND SLIDING DOORS



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Queensland
Government

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BANYA
OWNER R. ROOKER
UBD REF.SC 99 A20

CLEARANCES

N 2
WINDOWS
NONEXPOSED
Scales 1:100
Sheet No. 7

Job No. 8368CONW
Date 15.12.23
Drawn By C.THAPA
Checked By R. MILGATE
Const. Issue By -

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BUILDER'S INITIALS _____

LANDSCAPING LEGEND		
— — —	200 High Timber Sleeper Garden Edge	16.0 m
■ ■ ■ ■ ■	Painted 1800 High Timber Paling Fence (LHS Return)	2.04 m
	1800 High Timber Paling Fence (LHS)	18.6 m
	1800 High Timber Paling Fence (Rear)	18.00 m
	1800 High Timber Paling Fence (RHS)	12.90 m
↓ ↓ ↓ ↓ ↓	Turf	115.90 m2
• • • • •	Selected Concrete Driveway (Not incl. porch)	50.1 m2
▨ ▨ ▨ ▨ ▨	Selected Concrete Slab	68.8m2
▩ ▩ ▩ ▩ ▩	Gardens	28.1 m2
○ ○ ○ ○ ○	Gravel	17.6 m2

NOTE
LANDSCAPING PLAN IS INDICATIVE ONLY AND MAY VARY ACCORDING TO SITE CONDITIONS

"Landscaping to include the following

Supply and lay 'A' Grade cover grass in areas designated on plan. Turf is to be laid flat, with 70mm gap between termite barrier and lawn, to be flush with existing footpath, paths and driveway, turf to be rolled after laying. Soil to be a minimum of 50 mm thick and wetting crystals at double the recommended application rates to be watered in with initial watering.

Garden beds to have one 45 litre sized plant OR 2 to 3 300mm sized plants, seven 200mm sized plants and 15 x 140mm sized plants. Mulch to be 1' hoop pine or 1" pine bark. Tub ground mulch OR forest mulch suitable when mulching large banks only. Minimum depth 100mm.

Garden beds against house to be planted with quality mulch and 150mm barrier of stone for termite protection.

Gravel areas to include decorative 20mm gravel on suitable weed mat. Timber or concrete edge between turf and gravel.

Existing street trees to be re-mulch and left tidy with good quality mulch to 100mm depth.

All weeds to be dug along sides of house, fence lines and existing fixtures such as Energex fixtures.

Watering in accordance with current water restrictions to establish both grass and plants for maximum of two weeks."



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PROPOSED RESIDENCE
at LOT 8368(#43) CONWAY CRESCENT
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OWNER R. ROOKER
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LANDSCAPE PLAN
N 2
WINDOWS NONEXPOSED
Scales 1:200
Sheet No. 17
Job No. 8368CONW
Date 15.12.23
Drawn By C.THAPA
Checked By R. MILGATE
Const. Issue By -

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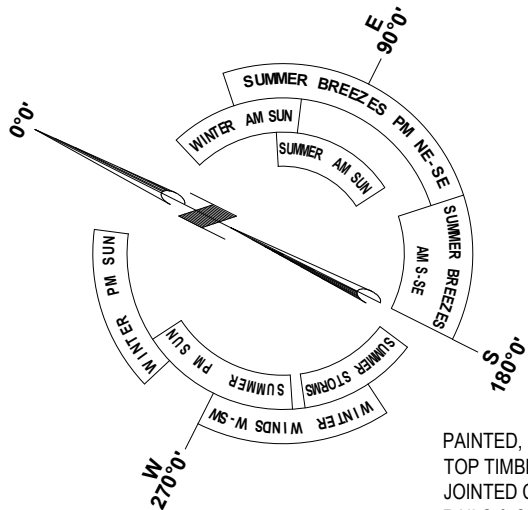
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Queensland Government



CONWAY CRESCENT

PAINTED, 1800mm HIGH, SQUARE TOP TIMBER PALING FENCE, BUTT JOINTED CCA PINE PALINGS, PINE RAILS & CCA HARDWOOD POSTS

BIN LOCATION

2000 fence return

16000 GARDEN EDGE

1800mm HIGH, SQUARE TOP TIMBER PALING FENCE, BUTT JOINTED CCA PINE PALINGS, PINE RAILS & CCA HARDWOOD POSTS

200 HIGH TIMBER SLEEPER GARDEN EDGE IF REQUIRED

VACANT

HOUSE WELL CLEAR

1800mm HIGH, SQUARE TOP TIMBER PALING FENCE, BUTT JOINTED CCA PINE PALINGS, PINE RAILS & CCA HARDWOOD POSTS

KERB 65mm MIN, 75mm MAX HIGH ABOVE CONC. PATH WHERE REQUIRED

PROPOSED RESIDENCE

LETTERBOX LOCATION

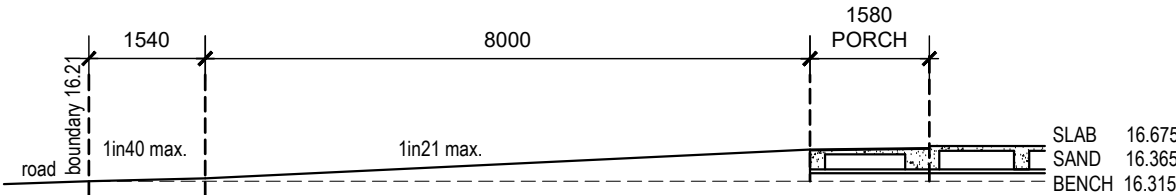
TURF LEVEL WITH CONC.

EXISTING CONC. PATH TO BE REMOVED

1800mm HIGH, SQUARE TOP TIMBER PALING FENCE, BUTT JOINTED CCA PINE PALINGS, PINE RAILS & CCA HARDWOOD POSTS

HOUSE UNDER CONSTRUCTION (SLAB ONLY)

5000 LT WATER TANK WITH OVERFLOW TO STREET



PATH SECTION

scale 1:100