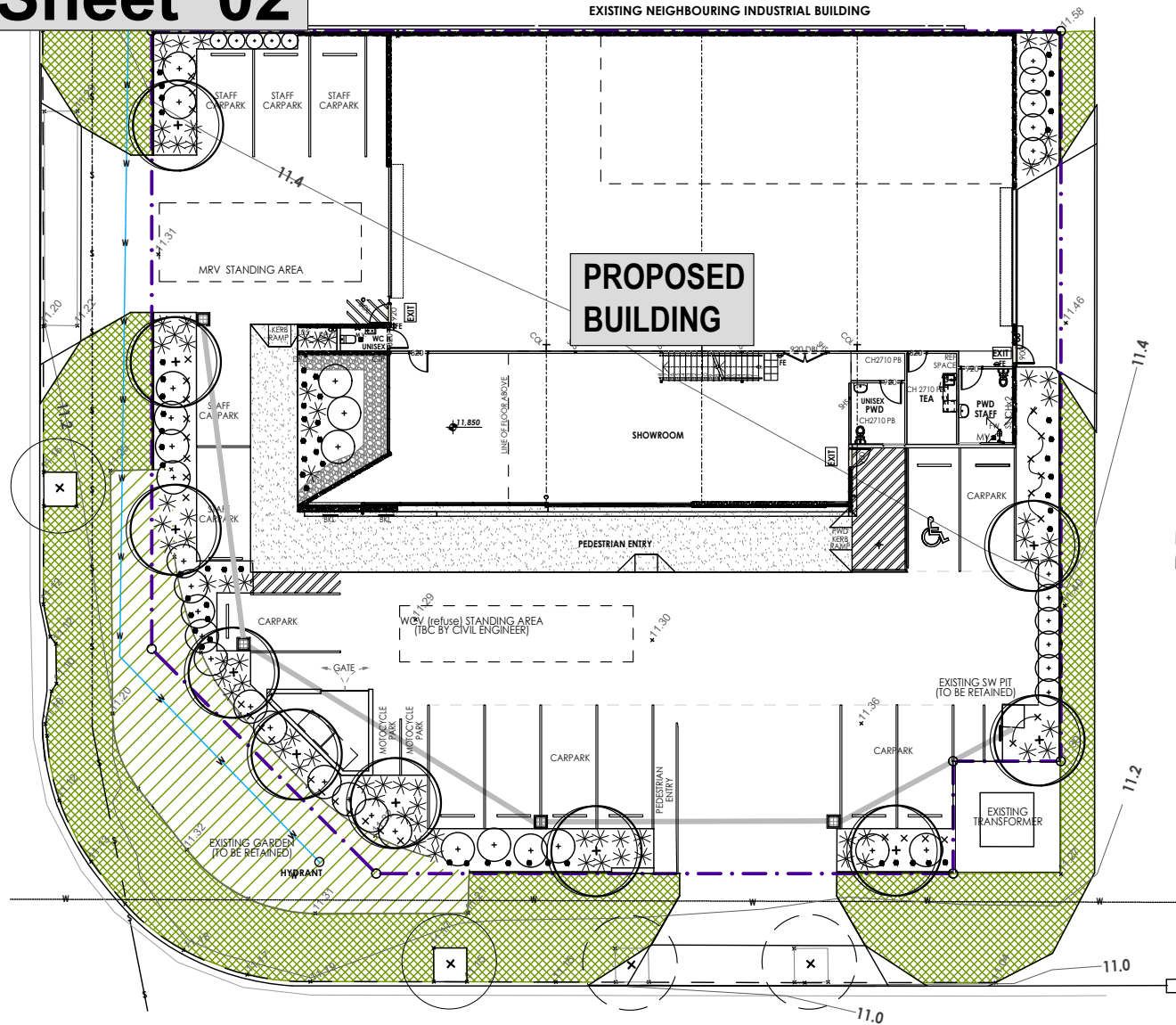




See Sheet 02

ABELES STREET

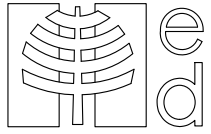


STRONG STREET

PRATT LANE

PROPOSED INDUSTRIAL DEVELOPMENT
AT LOT 1115 CNR STRONG & ABELES STREET,
AURA ESTATE.

SHEET LEGEND -
SHEET 01 - OVERALL SITE LAYOUT
SHEET 02 - LANDSCAPE PLANTING
SHEET 03 - SCHEDULE / SPECIFICATION
SHEET 04 - LANDSCAPE DETAILS



PLEASE NOTE THIS LANDSCAPE
PLAN DOES NOT TAKE INTO
ACCOUNT ANY UNFORESEEN
SUBSURFACE ROCK FORMATIONS.

AMENDMENTS
A 17.01.24 ISSUE TO CLIENT FOR APPROVAL
B 30.01.24 CIVIL CHANGES & RE-ISSUE TO CLIENT
C 19.02.24 CIVIL CHANGES & RE-ISSUE TO CLIENT
C 26.02.24 CIVIL CHANGES & RE-ISSUE TO CLIENT



element design
landscape architecture

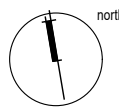
MASTER PLANNING • SUBDIVISIONS •
COMMERCIAL DEVELOPMENTS • RESORTS •
PARKLANDS • REVEGETATION • MULTI-UNITS
151 Brisbane Rd. Mooloolaba
Phone 07 5444 6155 Fax 07 5444 6055
PO Box 1546, Buderim QLD 4556
admin@elementdesign.net.au

PROJECT **PROPOSED INDUSTRIAL
PROJECT AT LOT 1115 CNR
STRONG & ABELES STREET,
AURA ESTATE.**

CLIENT **CHP GROUP**

DWG TITLE **LANDSCAPE PLAN
OPERATIONAL WORKS**

ISSUE	D
ED 23183	OPW - 01



Date	JANUARY 2024
Scale	1:300 @ A3
Design	NH Drawn NH
Sheet	01 OF 04

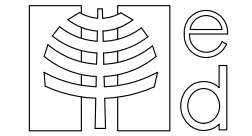
©COPYRIGHT 2010 ELEMENT DESIGN QLD PTY LTD
Copyright in the whole and every part of this document belongs to
ELEMENT DESIGN QLD PTY LTD and may not be used, sold,
transferred, copied or reproduced in whole or in part in any manner or
form or in or on any media to any person without the prior written
consent of ELEMENT DESIGN QLD PTY LTD.



Queensland

Date: 19 April 2024

EXISTING NEIGHBOURING INDUSTRIAL BUILDING



	TREE PLANTING
	SHRUB PLANTING
	SHRUB PLANTING
	ACCENT PLANTING
	TURF
	EXISTING STREETSCAPE PLANTING TO REMAIN UNALTERED AND/OR REPLACED

	HARDWOOD TIMBER EDGE. (SEE DETAIL ON SHEET 04)
	50-75mm DIA. ROUNDED RIVER GRAVEL

BOUNDARY

PLEASE NOTE THIS LANDSCAPE
PLAN DOES NOT TAKE INTO
ACCOUNT ANY UNFORESEEN
SUBSURFACE ROCK FORMATIONS.

CHANGES	
date	description
17.01.24	ISSUE FOR APPROVAL
30.01.24	CIVIL CHANGES & RE-ISSUE TO CLIENT
19.02.24	CIVIL CHANGES & RE-ISSUE TO CLIENT
26.02.24	CIVIL CHANGES & RE-ISSUE TO CLIENT



MASTER PLANNING • SUBDIVISIONS •
COMMERCIAL DEVELOPMENTS • RESORTS •
PARKLANDS • REVEGETATION • MULTI-UNITS

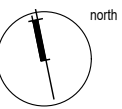
151 Brisbane Rd. Mooloolaba
Phone 07 5444 6155 Fax 07 5444 6055
PO Box 1546, Buderim QLD 4556
admin@elementdesign.net.au

**PROPOSED INDUSTRIAL
PROJECT AT LOT 1115 CNR
STRONG & ABELES STREET,
AURA ESTATE.**

CHP GROUP

LANDSCAPE PLAN
OPERATIONAL WORKS

issue	D
ED 23183	OPW - 02



Date	JANUARY 2024		
Scale	1:200 @ A3		
Design	NH	Drawn	NH
Sheet	02 OF 04		

© COPYRIGHT 2010 ELEMENT DESIGN QLD PTY LTD
Copyright in the whole and every part of this document belongs to
ELEMENT DESIGN QLD PTY LTD and may not be used, sold,
transferred, copied or reproduced in whole or in part in any manner or
form or in on any media to any person without the prior written
consent of ELEMENT DESIGN QLD PTY LTD.

Scale 1 : 200 @ A3

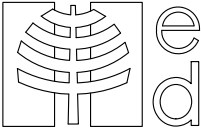
scale in metres



0 1 5 10

PLANT SCHEDULE			element design™	
Contractor to confirm plant quantities prior to ordering			ED 23183 Issue D	
TREE SPECIES				
Code	Botanical Name	Common Name	Size	Quantity
SYZ hem	<i>Syzygium hemilampra</i>	Bush Satinash	45 litre	2
CUP ana	<i>Cupaniopsis anacardiodes</i>	Tuckeroo	200 litre	4
TRI lus	<i>Tristania Luscious</i>	Luscious	200 litre	4
SHRUB SPECIES				
Code	Botanical Name	Common Name	Size	Quantity
BAN rob	<i>Banksia robur</i>	Swamp Banksia	200 pot	4
COR rub	<i>Cordyline rubra</i>	Red Cordyline	200 pot	9
CAL CC	<i>Callistemon 'Captain Cook'</i>	Captain Cook	200 pot	10
CAL LJ	<i>Callistemon 'Little John'</i>	Little John	200 pot	49
FIC GI	<i>Ficus 'Green Island'</i>	Green Island	200 pot	16
LOM TC	<i>Lomandra Tropic Cascade</i>	Tropic Cascade	140 pot	52
NAN nan	<i>Nandina domestica nana</i>	Dwarf Sacred Bamboo	140 pot	15
STR reg	<i>Strelitzia regina</i>	Bird of Paradise	200 pot	18
SYZ cas	<i>Syzygium Cascade</i>	Cascade	200 pot	3
SYZ res	<i>Syzygium Resilience</i>	Resilience	200 pot	9
SYZ SN	<i>Syzygium Straight & Narrow</i>	Straight & Narrow	200 pot	5
GROUNDCOVER SPECIES				
Code	Botanical Name	Common Name	Size	Quantity
LIR var	<i>Liriope variagata</i>	Variagated Liriope	140 pot	24

SPECIFICATION FOR LANDSCAPE WORKS	
SCOPE	PERFORMANCE
GENERAL CONDITIONS	- ALL LANDSCAPE CONSTRUCTION WORK IS TO BE CARRIED OUT IN COMPLIANCE WITH RELEVANT COUNCIL APPROVALS AND TO INDUSTRY BEST PRACTICE. ANY CHANGES FROM DESIGN DOCUMENTATION MUST BE APPROVED BY PROJECT LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION ON SITE. - EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE UNDERTAKEN WHERE NECESSARY TO ENSURE NO DETRIMENTAL EFFECT TO DOWNSTREAM WATERWAYS OR NEIGHBOURING SITES.
SITE PREPARATION / EARTHWORKS	- PRIOR TO COMMENCEMENT OF WORKS, EXISTING SITE CONDITION IS TO BE DOCUMENTED BY CONTRACTOR. ALL EXISTING AND PROPOSED SERVICES ON SITE ARE TO BE LOCATED AND CLEARLY IDENTIFIED. ALL BUILDING RUBBISH AND DELETERIOUS MATERIALS ARE TO BE REMOVED FROM SITE TO APPROVED WASTE LOCATION. - LANDSCAPE AREAS SHALL BE SCARIFIED TO A DEPTH OF 150mm TO PROMOTE GOOD GROWTH FOR TURF AND PLANTING.
MATERIALS / SERVICES	- ALL MATERIALS TO BE USED IN THE CONSTRUCTION OF THE DESIGNED LANDSCAPE ARE TO BE OF AND INDUSTRY STANDARD QUALITY AND FROM A SUSTAINABLE SOURCE WHERE POSSIBLE. NO MATERIALS USED ON SITE SHALL BE TOXIC TO HUMANS, ANIMALS OR PLANTS. - ALL SELECT ITEM MATERIALS ARE TO BE APPROVED BY CLIENT PRIOR TO CONSTRUCTION ON SITE. - PROVIDE SERVICE CONDUITS TO ALL GARDEN BEDS FOR IRRIGATION AND DRAINAGE PURPOSE. PROVIDE CONDUITS FOR LIGHTING WHERE REQUIRED. - ENSURE ADEQUATE DRAINAGE TO PLANTING AREAS FOR SPECIFIC SITE. SOIL CONDITIONS VIA THE USE OF SLOTTED AGRICULTURAL DRAIN (<i>SELECT TYPE FOR APPLICATION</i>), OVERLAND FLOW PATHS WITHIN GARDENS (<i>SELECT RIVER GRAVEL ON GEOFABRIC MATERIAL</i>) AND SURFACE STORMWATER PITS (<i>LOCATED IN GENERALLY CONCEALED POSITIONS</i>).
HARDSCAPE	PROPOSED HARDSCAPE ITEMS ARE TO BE CONSTRUCTED TO AUSTRALIAN STANDARDS AND RELEVANT COUNCIL CODES BY A SUITABLY LICENCED CONTRACTOR. WORKPLACE HEALTH AND SAFETY REGULATIONS MUST BE IMPLEMENTED DURING CONSTRUCTION PHASE.
PLANT MANAGEMENT	- ALL PLANT SPECIES ARE DETAILED WITHIN THE PLANT SCHEDULE. NO SUBSTITUTIONS ALLOWED WITHOUT PRIOR ACCEPTANCE BY COUNCIL AND PROJECT LANDSCAPE ARCHITECT. - THE CONTRACTOR SHALL OBTAIN ALL PLANTS AS SPECIFIED FROM AN ACCREDITED NURSERY OR OTHER APPROVED SOURCE. PLANTS SHALL BE PRE-WATERED PRIOR TO ARRIVING ON SITE. - PLANTS SHALL BE HEALTHY, HARDY AND OF GOOD FORM. THE ROOT SYSTEM OF EACH PLANT SHOULD NOT BE ROOTBOUND AND BE CONDUCTIVE TO SUCCESSFUL TRANSPLANTATION. ALL PLANTS TO BE PEST AND DISEASE FREE WITH CONTAINERS FREE FROM WEEDS. - STREET TREE SPECIES ARE TO COMPLY WITH NATSPEC AND RELEVANT COUNCIL CONDITIONS. - STAKE TREES WITH A MIN. OF TWO 50x50 HWD STAKES AND HESSION STRAP OR SIMILAR AS NOT TO DAMAGE TREE. FIGURE 'B' DETAIL RECOMMENDED. - NO TYPE OF STAKE TO BE PLACED THROUGH ROOTBALL OF PLANT AT ANY TIME. - EACH PLANT TO HAVE ADDED WATER CRYSTALS TO PLANTING HOLE AND WATERED IN AFTER PLANTING AS REQUIRED. - PLANT STOCK MAY BE REJECTED IF NOT CONFORMING WITH ABOVE SPECIFICATIONS.
SOFTSCAPE AS 4419-2003, SOILS FOR LANDSCAPING AND GARDEN USE AS 4454-2003, COMPOSTS, SOIL CONDITIONERS AND MULCHES	- SETOUT OF ALL SOFTSCAPE AREAS TO BE IN ACCORDANCE WITH APPROVED PLANS. PLANTING AREAS TO BE MOUNDED TO ACHIEVE ADEQUATE DRAINAGE AND AESTHETIC PRESENTATION. - SOIL: A GOOD QUALITY FRIABLE, MODERATELY DRAINING, ORGANIC ENRICHED LANDSCAPING SOIL MIX SHALL BE IMPORTED FROM AN APPROVED SOURCE. THE SOIL SHOULD NOT CONTAIN ANY CLAY AND BE FREE FROM CONTAMINENTS SUCH AS WEEDS, STICKS AND ROCKS. IMPLEMENTATION WITHIN GARDEN AREAS TO A MIN. OF 300mm DEPTH. - ORGANIC MULCH: HOOP PINE MULCH IN ITS VARIETY OF FORMS IS TO BE SUPPLIED AND INSTALLED TO A MIN. DEPTH OF 100mm. MULCH IS TO BE FREE OF FOREIGN MATTER INCLUDING WEEDS, SOIL, STICKS AND ROCKS. AVOID PLACEMENT OF MULCH AGAINST STEM OR TRUNK OF PLANTS. GRADE MULCH TO BE SELF RETAINED WITHIN GARDEN EDGING. - GRAVEL MULCH: SELECTED WASHED RIVER MULCH GRADED IN SIZE AND COLOUR. USE IN AREAS AS SPECIFIED ON PLANS. TO BE USED TO SEPERATE ORGANIC MULCH FROM THE WALLS OF BUILDINGS, ADJACENT PATHS AND TOO FACILITATE DRAINAGE WITHIN GARDEN BEDS. MIN. DEPTH TO BE TWICE THE DIAMETER OF THE LARGEST PEBBLE.
TURF (GREEN COUCH)	- TURF SHALL CONSIST OF A DENSE, WELL ROOTED, VIGOROUS GRASS GROWTH WITH MIN. 25mm OF TOPSOIL. TURF IS TO BE DELIVERED TO SITE WITHIN 24 HOURS OF BEING CUT. TURF SHOULD BE FREE FROM DELETERIOUS MATERIAL INCLUDING WEEDS, SEEDS OR ROOTS INCLUDING NUT GRASS AND OXALIS. TURF SHALL BE SUPPLIED IN UNIFORM SIZE IN UNBROKEN CONDITION. - MOISTURE LEVEL OF TURF TO REMAIN CONSISTANT DURING LAYING. TURF TO BE LAID ALONG CONTOUR AND PINNED IF GREATER THAN 1:4 SLOPE. - PREPARE SUBGRADE TO A LEVEL BASE WITH AN APPROVED TOPSOIL AND SPREAD UNDER TURF FERTILIZER AT RECOMMENDED RATE. TURF TO FINISH LEVEL WITH PATHS, EDGES AND KERBS AFTER ROLLING AND SETTLEMENT.
IRRIGATION (to be confirmed)	- IRRIGATION TO BE INSTALLED BY A SUITABLY QUALIFIED CONTRACTOR AND BE INSTALLED IN ACCORDANCE WITH ALL COUNCIL WATER REGULATIONS. - THE MOST WATER EFFICIENT METHOD OF IRRIGATION IS TO BE USED, CONNECTED TO TANK SUPPLY WHERE POSSIBLE. - CONDUITS TO BE LAID TO ALL GARDEN AREAS TO PROVIDE A REGULATED COVERAGE. FLUSH AND PRESSURE TEST PRIOR TO COMMISSIONING. - PROVIDE AS CONSTRUCTED DRAWINGS CLEARLY SHOWING LOCATION OF ALL IRRIGATION COMPONENTRY.
LANDSCAPE ESTABLISHMENT PERIOD	- THE CONTRACTOR SHALL BE RESONSIBLE FOR THE CARE AND MAINTENANCE OF ALL LANDSCAPE WORKS FOR A PERIOD OF 13 WEEKS AFTER COMPLETION. - MAINTENANCE IS TO INCLUDE MOWING OF TURF, REMOVAL AND SPRAYING OF WEEDS, PRUNING AND TRIMMING OF SHRUBS WHERE REQUIRED, REPLACEMENT OF DEAD OR DISEASED PLANT STOCK AND CORRECT WORKING OF IRRIGATION SYSTEM. - WATER IS TO BE PROVIDED TO ALL SOFT LANDSCAPING AT A REQUIRED RATE DURING THE ESTABLISHMENT PERIOD TO ENSURE HEALTHY AND VIGOROUS GROWTH.



PLEASE NOTE THIS LANDSCAPE PLAN DOES NOT TAKE INTO ACCOUNT ANY UNFORESEEN SUBSURFACE ROCK FORMATIONS.

AMENDMENTS	
Issue	Revised
A	17.01.24 ISSUE FOR APPROVAL
B	30.01.24 CIVIL CHANGES & RE-ISSUE TO CLIENT
C	19.02.24 CIVIL CHANGES & RE-ISSUE TO CLIENT
D	28.02.24 CIVIL CHANGES & RE-ISSUE TO CLIENT



element design
landscape architecture

MASTER PLANNING • SUBDIVISIONS •
COMMERCIAL DEVELOPMENTS • RESORTS •
PARKLANDS • REVEGETATION • MULTI-UNITS

151 Brisbane Rd., Mooloolabba
Phone 07 5444 6155 Fax 07 5444 6055
PO Box 1546, Buderim QLD 4556
admin@elementdesign.net.au

PROJECT
**PROPOSED INDUSTRIAL
PROJECT AT LOT 1115 CNR
STRONG & ABELES STREET,
AURA ESTATE.**

CLIENT
CHP GROUP

DWG.
TITLE
**PLANT SCHEDULE &
SPECIFICATION**

ISSUE	D
ED 23183	OPW - 03



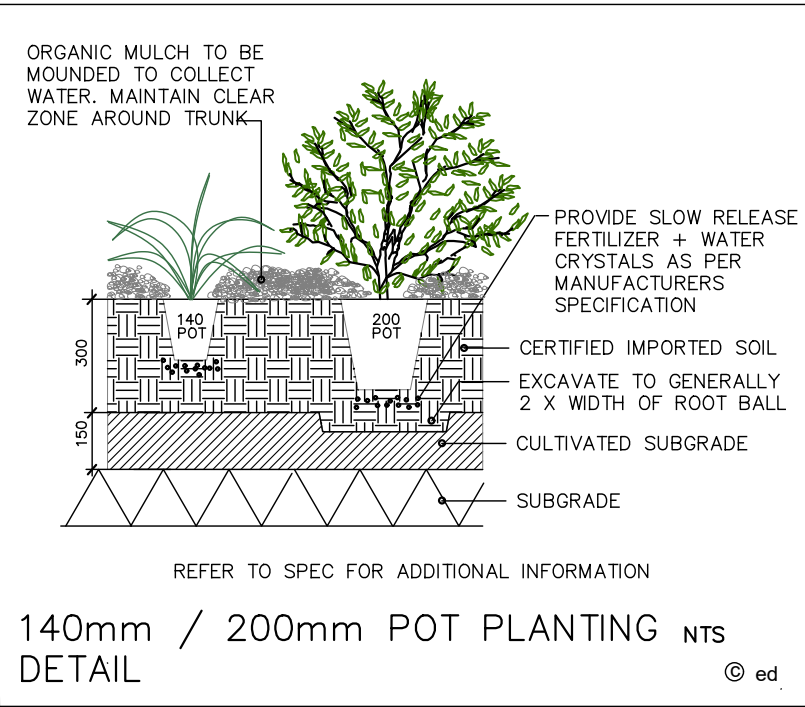
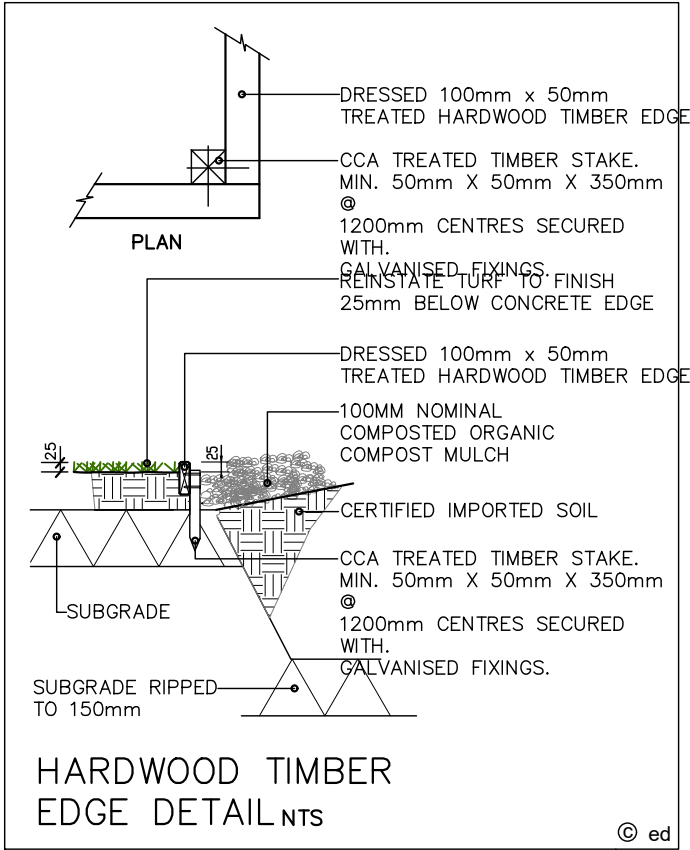
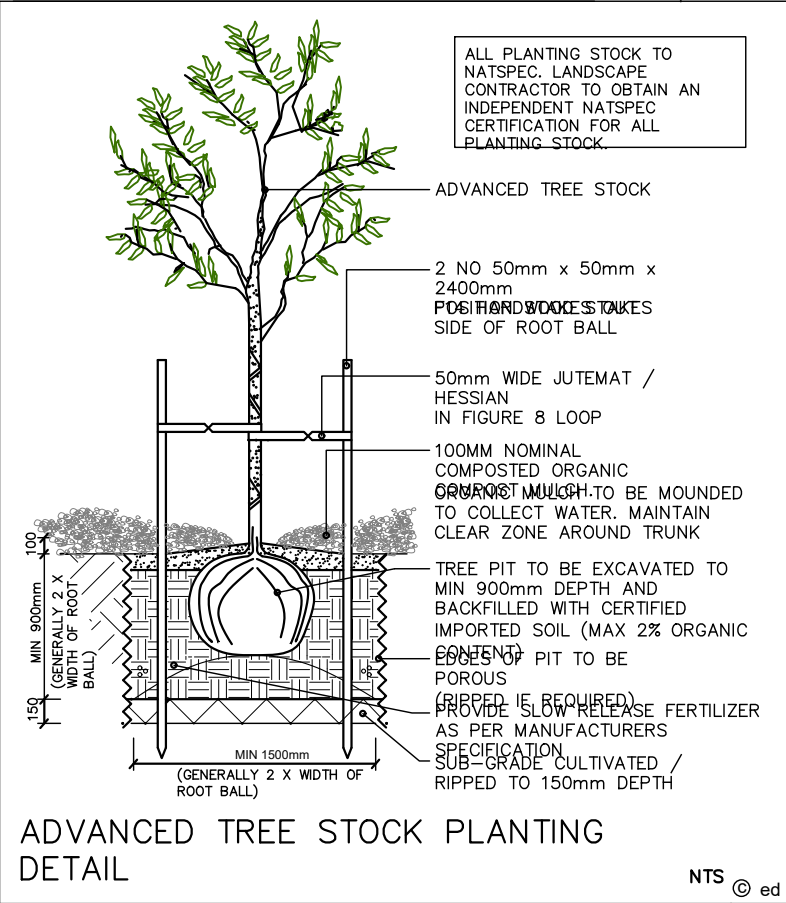
Date
JANUARY 2024

Scale
NTS

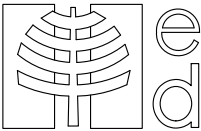
Design
NH Drawn NH

Sheet
03 OF 04

©COPYRIGHT 2010 ELEMENT DESIGN QLD PTY LTD
Copyright in the whole and every part of this document belongs to
ELEMENT DESIGN QLD PTY LTD and may not be used, sold,
transferred, copied or reproduced in whole or in part in any manner or
form or in or on any media to any person without the prior written
consent of ELEMENT DESIGN QLD PTY LTD.



LANDSCAPE PLAN Operational Works - Sheet 4



PLEASE NOTE THIS LANDSCAPE PLAN DOES NOT TAKE INTO ACCOUNT ANY UNFORESEEN SUBSURFACE ROCK FORMATIONS.

AMENDMENTS		
Issue	Rev	Description
A	17.01.24	ISSUE FOR APPROVAL
B	30.01.24	CIVIL CHANGES & RE-ISSUE TO CLIENT
C	19.02.24	CIVIL CHANGES & RE-ISSUE TO CLIENT
C	28.02.24	CIVIL CHANGES & RE-ISSUE TO CLIENT



element design landscape architecture

MASTER PLANNING • SUBDIVISIONS • COMMERCIAL DEVELOPMENTS • RESORTS • PARKLANDS • REVEGETATION • MULTI-UNITS

151 Brisbane Rd. Mooloolaba
Phone 07 5444 6155 Fax 07 5444 6055
PO Box 1546, Buderim QLD 4556
admin@elementdesign.net.au

PROJECT **PROPOSED INDUSTRIAL PROJECT AT LOT 1115 CNR STRONG & ABELES STREET, AURA ESTATE.**

CLIENT **CHP GROUP**

DWG. TITLE **LANDSCAPE PLAN DETAILS SHEET**

ISSUE	D
ED 23183	OPW - 04



Date	JANUARY 2024
Scale	NTS
Design	NH Drawn NH
Sheet	04 OF 04

©COPYRIGHT 2010 ELEMENT DESIGN QLD PTY LTD
Copyright in the whole and every part of this document belongs to ELEMENT DESIGN QLD PTY LTD and may not be used, sold, transferred, copied or reproduced in whole or in part in any manner or form or in or on any media to any person without the prior written consent of ELEMENT DESIGN QLD PTY LTD.