

Buildings must be sited and designed to provide adequate visual privacy for neighbours:

- Where the distance separating a window or balcony of an adjoining dwelling from the side or rear boundary is less than 1.5m:
- a) a permanent window and a balcony has a window/ balcony screen extending across the line of sight from the sill to at least 1.5m above the adjacent floor level; or
- b) a window has a sill height more than 1.5m above the adjacent floor level, or
- c) a window has obscure glazing below 1.5m;

(Where Window and Window/Balcony Screen has the same meaning as in the Queensland Development Code. Fencing to the street frontage must be either 50% transparent or 1.2m in height.



NOTE: - PATH TO FRONT BOUNDARY TO BE DETERMINED ON SITE.

NOTE:
EXTERNAL HARD STAND AREAS (CONCRETE) TO HAVE MAX GRADIENT: 1:14 IN DIRECTION OF TRAVEL & 1:40 ACROSS THE DIRECTION OF TRAVEL

PROPOSED LEVELS
PAD LEVEL (P.L.): 15.790
CUT: 300mm
FILL: 100mm
FINISHED FLOOR: 16.190
LEVEL (F.F.L.)

SITE NOTES
LOCAL AUTHORITY: SUNSHINE COAST R. C.
SITE AREA: 413m²
SITE COVER: 51.40%
WIND CLASS: N3
SOIL CLASS: H1
BAL RATING: N/A
ACOUSTICS: CAT 1

SERVICES LEGEND:

- YARD GULLY TO RAINWATER CONNECTION LINE
- SEWER
- STORMWATER
- OVERHEAD ELECTRICAL & POWERPOLE
- GAS
- TELSTRA
- WATER METER
- ELECTRICITY SUPPLY
- NBN PIT

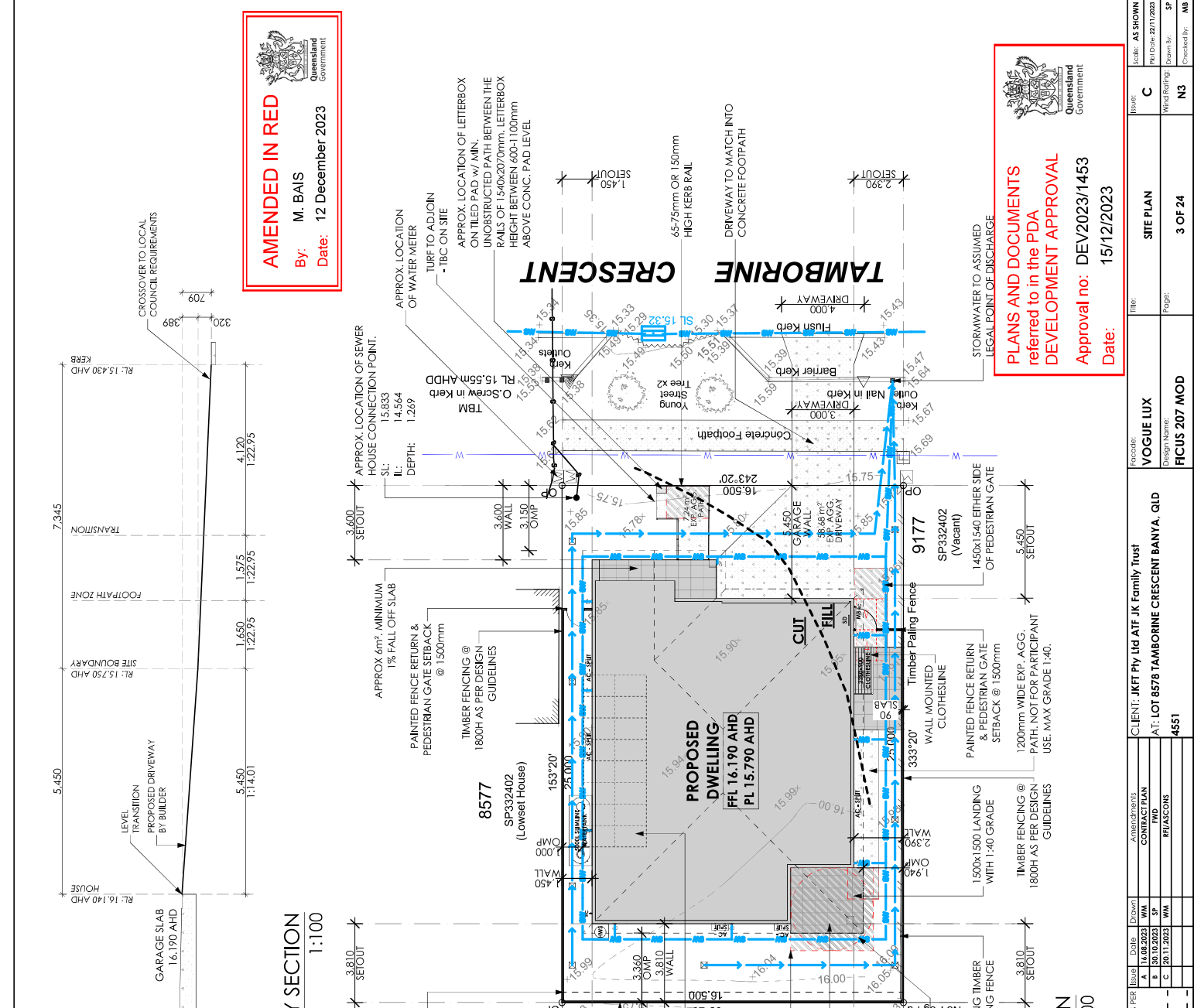


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WEBSITE www.silkwoodhomes.com.au
OLD LICENSE #1218040 ABN 6574964
NSW LICENSE #124032C ABN 1415440332
UNIT 4/13 INDY COURT
NEERANG, QLD 4211 AUSTRALIA

Buildings must be sited and designed to provide adequate visual privacy for neighbours:

- Where the distance separating a window or balcony of an adjoining dwelling from the side or rear boundary is less than 1.5m:
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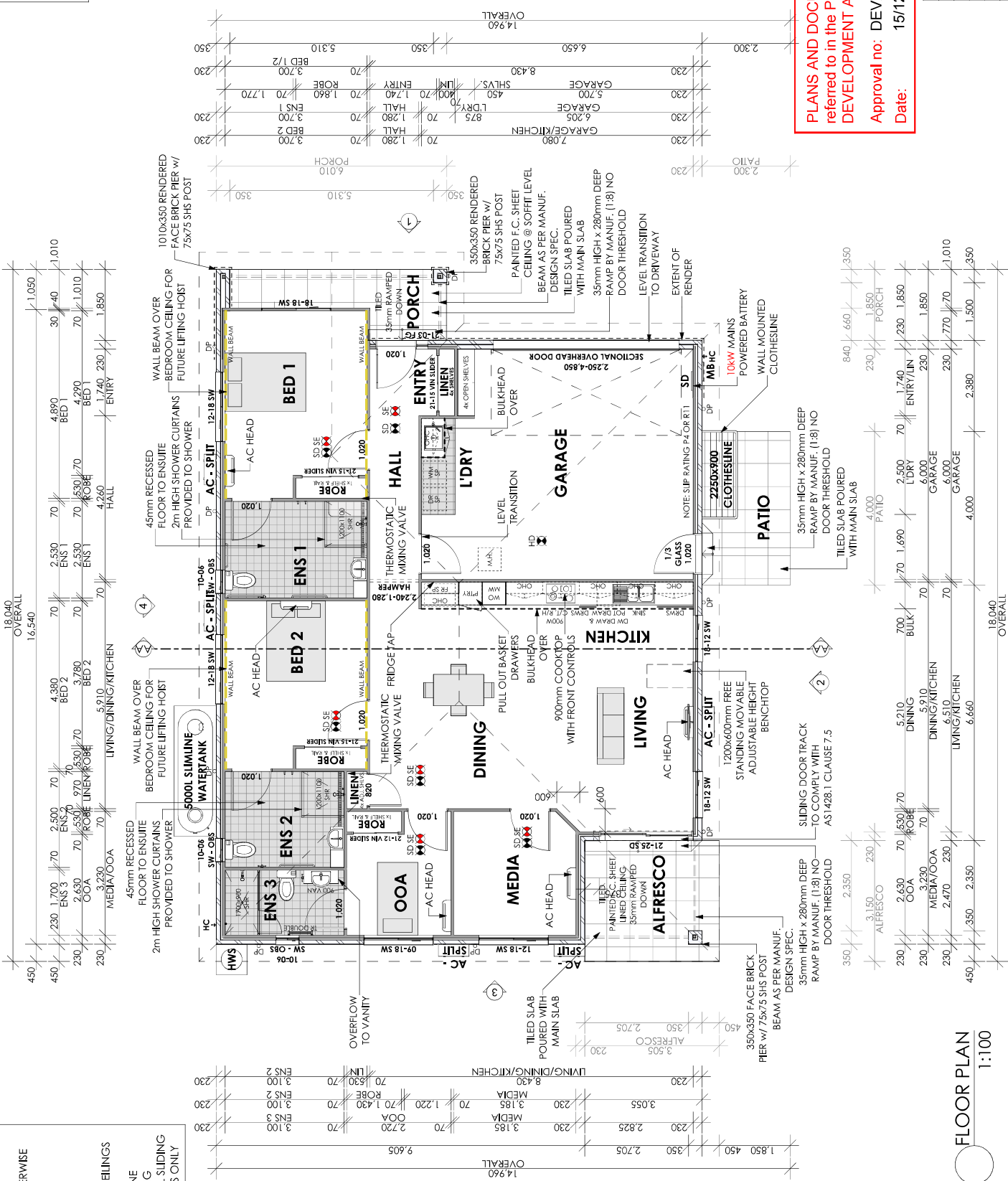
AMENDED IN RED
By: M. BAIS
Date: 12 December 2023

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL
Approval no: DEV2023/1453
Date: 15/12/2023

 TELEPHONE 073446844 WEBSITE www.silkwoodhomes.com.au OLD LICENSE #1218040 ABN 6574964 NSW LICENSE #124032C ABN 1415440332 UNIT 4/13 INDY COURT NEERANG, QLD 4211 AUSTRALIA	© Silkwood Homes. The copyright of these plans are owned by Silkwood Homes. The plans may not be reproduced, copied or used in any way without the written consent of Silkwood Homes. This document may be used for the purpose of the development application only and does not constitute an offer of any financial product.		I HAVE APPROVED THESE DRAWINGS TO BE CORRECT AS PER CONTRACT		Attachments: CONTRACT PLAN, FID, RI/ASCONS		CLIENT: JKFT Pty Ltd AT JK Family Trust AT: LOT 8578 TAMBORINE CRESCENT BANYA, QLD 4551		Focalside: VOGUE LUX Design Name: FICUS 207 MOD		Title: SITE PLAN		Issue: C	Scale: AS SHOWN
	SIGNATURE		DATE		SIGNATURE		DATE		Page: 3 OF 24		Revision: N3		Drawn by: SP	Rev Date: 22/11/2023
	SIGNATURE		DATE		SIGNATURE		DATE		Created by: MB					

NOTES:
EAVES: 450mm UNLESS NOTED OTHERWISE
WIND CLASS: N3
SOIL CLASS: H1
ROOF PITCH: 25°
BAL RATING: N/A
ACOUSTICS: CAT 1
* PROVIDE EXPANSION JOINTS TO CEILINGS WHERE REQUIRED
* PROVIDE 22mm ENGINEERED STONE BENCHTOPS THROUGHOUT DWELLING
* PROVIDE BARRIER SCREENS TO ALL SLIDING GLASS DOORS & SLIDING WINDOWS ONLY

NOTE:
SDA: HIGH PHYSICAL SUPPORT REQUIREMENTS
LHA: PLATINUM
NCC: CLASS 1A
2590H CEILINGS



FLOOR PLAN
1:100

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL
Approval no: DEV2023/1453
Date: 15/12/2023

AREA TABLE	
1. LIVING	151.09
2. GARAGE	43.64
3. PORCH	7.40
4. ALFRESCO	11.04
213.17 m²	



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SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

CLIENT: JKFT Pty Ltd AT JK Family Trust
AT: LOT 8578 TAMBORINE CRESCENT BANYA, QLD
4551

Attachment	Drawn	Issue
CONTRACT PLAN	14.08.2023	A
IFD	30.10.2023	B
RFI/ASONS	20.11.2023	WA

Project: **VOGUE LUX**
Design Name: **FIGUS 207 MOD**

Title: **FLOOR PLAN**
Page: **5 OF 24**

Scale: **AS SHOWN**
Pld Date: 22/11/2023
Drawn by: **SP**
Checked by: **MB**

EAVES: 450mm UNLESS NOTED OTHERWISE	
WIND CLASS:	N3
SOIL CLASS:	H1
ROOF PITCH:	25°
BAL RATING:	N/A
ACOUSTICS:	CAT 1
* PROVIDE EXPANSION JOINTS TO CEILINGS WHERE REQUIRED	
* PROVIDE 22mm ENGINEERED STONE BENCHTOPS THROUGHOUT DWELLING	
* PROVIDE BARRIER SCREENS TO ALL SLIDING GLASS DOORS & SLIDING WINDOWS ONLY	

NOTE:
SDA: HIGH PHYSICAL
SUPPORT REQUIREMENTS
LHA: PLATINUM
NCC: CLASS 1A
2590H CEILINGS



CIRCULATION PLAN
1:100

PLANS AND DOCUMENTS
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DEVELOPMENT APPROVAL

Approval no: DEV/2023/1453

 Queensland
Government

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Date: 15/12/2023

AREA TABLE	
1. LIVING	151.09
2. GARAGE	43.64
3. PORCH	7.40
4. ALFRESCO	11.04
	213.17 m²

	TELEPHONE 07 56446444 WEBSITE: www.silkwoodhomes.com.au 1300 651 130 NSW LICENSE #1249832 AIN 1415466332 UNIT 4/13 INDY COURT NEBRAG QLD 4211 AUSTRALIA	© Silkwood Homes. The copyright in these drawings is owned by Silkwood Homes. The plans may not be reproduced, copied or dealt with in any manner which infringes the rights of Silkwood Homes.	I/WE APPROVE THESE DRAWINGS TO BE CORRECT AS PER CONTRACT				CLIENT: JKFT Pty Ltd AIF JK Family Trust				Project: VOGUE LUX Design Name: FICUS 207 MOD	Title: CIRCULATION PLAN Page: 6 OF 24	Issue: C Week Ending: N3 Scale: AS SHOWN PN Date: 20/11/2023 Drawn by: MB Checked by: AP
			SIGNATURE _____ DATE _____		SIGNATURE _____ DATE _____		Amendments CONTACT PLAN NO REFRIGERONS						

EAVES: 450mm UNLESS NOTED OTHERWISE
WIND CLASS: N3
SOIL CLASS: H1
ROOF PITCH: 25°
BAL RATING: N/A
ACOUSTICS: CAT 1

SOFFIT	4.5mm
FC SHEET	6mm
EASYLAP	8.5mm
AXON	9mm
MATRIX	8mm
BLUE BOARD	7.5mm
PRIMELIN	9mm

-PROVIDE MIN 3 No. STUDS TO SIDES OF DOOR/WINDOW OPENINGS TO SUIT LIGHT WEIGHT CLADDING FIXING
-NOTE: PROVIDE 68x31 TIMBER STOPS TO ALL CORNERS TO SUIT FINISHING OF WEATHERBOARDS.

- WHERE ARTICULATION IS BESIDE A WINDOW, IT MUST EXTEND FROM THE DAMP-PROOF COURSE, ALONG THE EDGE OF WINDOW TO THE TOP OF THE BRICKWORK OR SOFFIT
- JOINTS MUST HAVE A WIDTH OF AT LEAST 10mm AND MUST BE ADEQUATELY WEATHERPROOFED



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Date: 15/12/2023

- TIMBER ROOF TRUSSES AND WALL FRAMES TO MANUFACTURERS SPECIFICATIONS
- GLAZING TO WINDOWS/DOORS TO A51288 - 2006
- ALL WINDOWS TO COMPLY WITH BCA CLAUSE 3.2.5
- LAMINATED GLAZING TO WET AREA WINDOWS TO A51288 - 2006
- EXPANSION JOINTS TO BRICKWORK IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS

 silkwood HOMES	TELEPHONE 0754448644	© Silkwood Homes. The copyright of these drawings is owned by Silkwood Homes. The plans may not be reproduced, copied or dealt with in any manner which infringes the rights of Silkwood Homes.	I HAVE APPROVED THESE DRAWINGS TO BE CORRECT AS PER CONTRACT		Annotations	CLIENT: JKFT Pty Ltd AIF JK Family Trust	Project DESIGN LUX DESIGN NAME FICUS 207 MOD	Title: ELEVATIONS Page: 8 OF 24	Issue: C Went Building Created by: MB	Scale: AS SHOWN PHI 12/16 - 22/11/2023 Drawn by: 3P
	RESIDENTIAL SALES www.silkwoodhomes.com.au OFFICE 14/13090 AINLEY ST 7944 QLD LICENSE # 1246092C AINLEY ST 7944 NSW LICENSE # 1246092C AINLEY ST 7944 UNIT #1/13090 AINLEY ST NEARBY QLD 4211 AUSTRALIA	Signature _____ Signature _____	DATE _____ DATE _____	Issue A 19.10.2023 B 19.10.2023 C 20.11.2023 Drawn by WA WA WA						

NOTES:

EAVES: 450mm UNLESS NOTED OTHERWISE
WIND CLASS: N3
SOIL CLASS: H1
ROOF PITCH: 25°
BAL RATING: N/A
ACOUSTICS: CAT 1

CLADDING KEY:

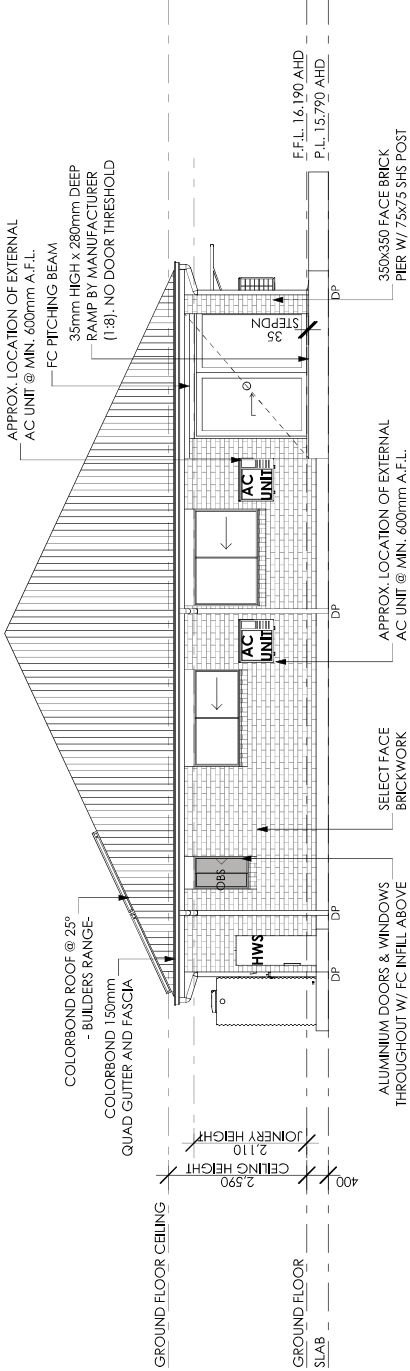
- 4.5mm SOFFIT
- 6mm FC SHEET
- 8.5mm EASYLAP
- 9mm AXON
- 8mm MATRIX
- 7.5mm BLUE BOARD
- 9mm PRIMELINE

NOTES:

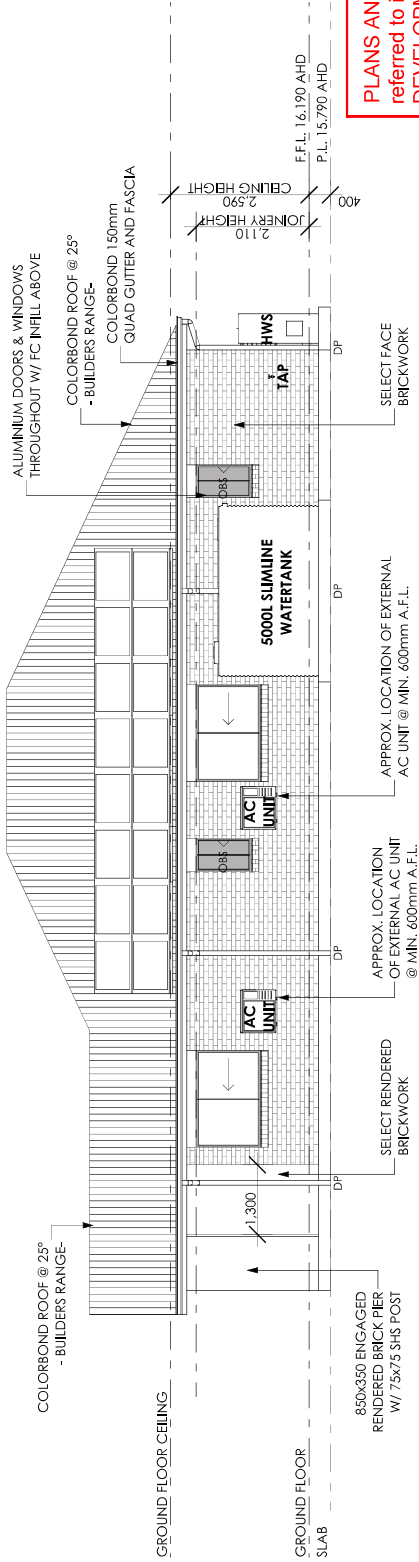
-PROVIDE MIN 3 No. STUDS TO SIDES OF DOOR/WINDOW OPENINGS TO SUIT LIGHT WEIGHT CLADDING FIXING
-NOTE: PROVIDE 68x31 TIMBER STOPS TO ALL CORNERS TO SUIT FINISHING OF WEATHERBOARDS.
-42x42 SURROUNDS TO ALL WINDOWS IN LIGHTWEIGHT CLADDING
-42x42 SURROUNDS TO ALL GLASS SLIDING DOORS IN LIGHTWEIGHT CLADDING
-BARRIER SCREENS TO ALL SLIDING GLASS DOORS & SLIDING GLASS WINDOWS ONLY

MASONRY CONTROL JOINTS

-WHERE ARTICULATION IS BESIDE A WINDOW, IT MUST EXTEND FROM THE DAMP-PROOF COURSE, ALONG THE EDGE OF WINDOW TO THE TOP OF THE BRICKWORK OR SOFFIT
-JOINTS MUST HAVE A WIDTH OF AT LEAST 10mm AND MUST BE ADEQUATELY WEATHERPROOFED



ELEVATION 3
1:100



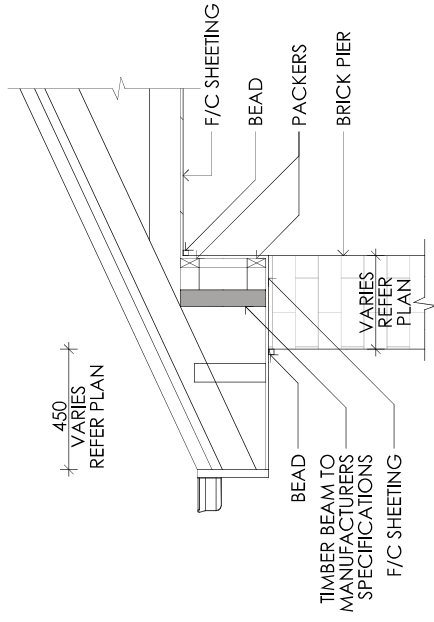
ELEVATION 4
1:100



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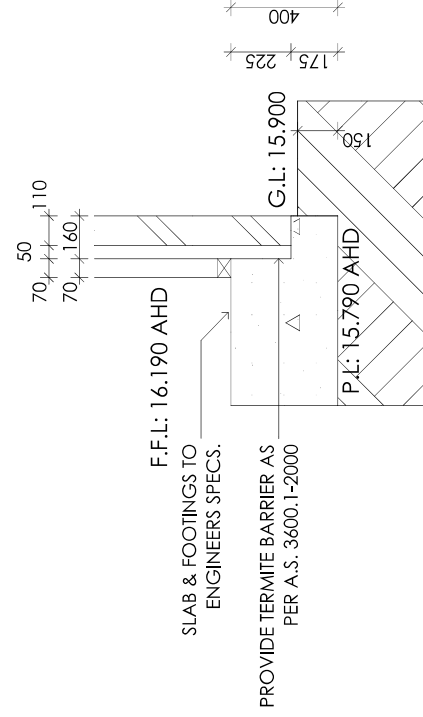
NOTES:

- TIMBER ROOF TRUSSES AND WALL FRAMES TO MANUFACTURERS SPECIFICATIONS
- GLAZING TO WINDOWS/DOORS TO AS1288 - 2006
- ALL WINDOWS TO COMPLY WITH BCA CLAUSE 3.9.2.5
- LAMINATED GLAZING TO WET AREA WINDOWS TO AS1288 - 2006
- EXPANSION JOINTS TO BRICKWORK IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS



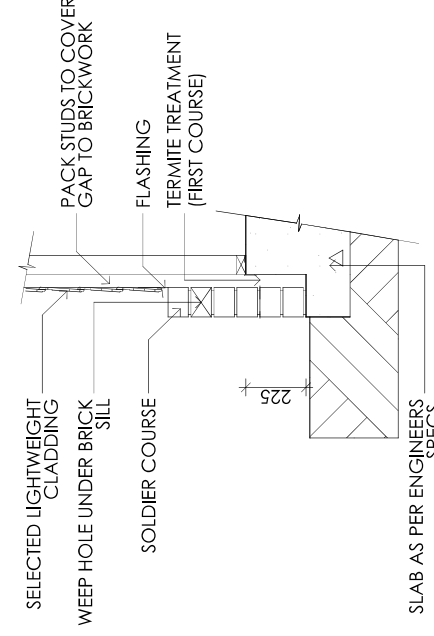
ALFRESCO EAVE DETAIL

1:20



BRICK VENEER REBATE DETAIL

1:20

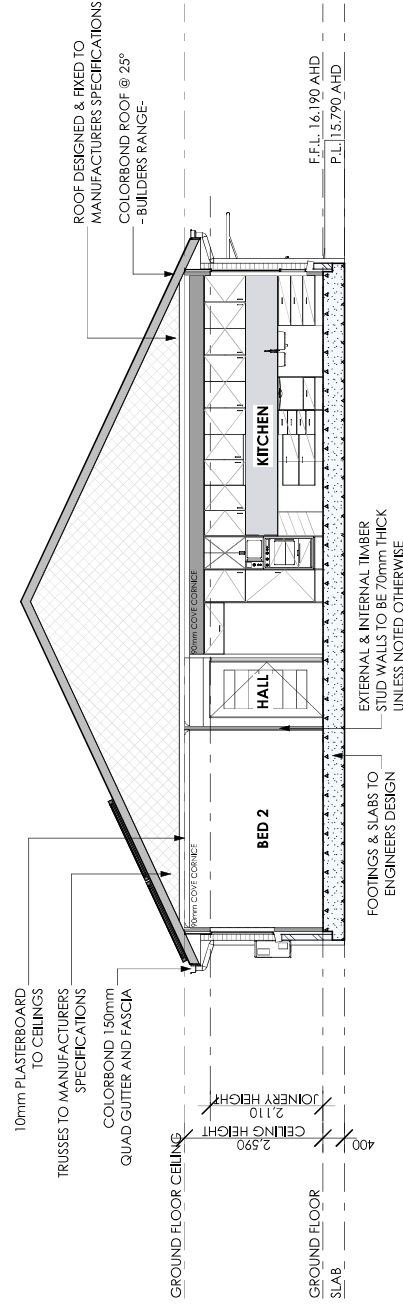


CLADDING DETAIL

1:20

NOTES:

- EAVES: 450mm UNLESS NOTED OTHERWISE
- WIND CLASS: N3
- SOIL CLASS: H1
- ROOF PITCH: 25°
- BAL RATING: N/A
- ACOUSTICS: CAT 1
- PROVIDE EXPANSION JOINTS TO CEILINGS AS REQUIRED
- 22mm ENGINEERED STONE BENCHTOPS THROUGHOUT HOME
- BARRIER SCREENS TO ALL GLASS SLIDING DOORS & WINDOWS
- SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH NCC 3.7.2. AND AS3786-2014
- WEATHER SEALS TO ALL EXTERNAL TIMBER HINGED DOORS
- PROVIDE TERMITE BARRIER AS PER AS3600.1-2000
- ENERGY EFFICIENCY NOTES:**
- R1.0 WALL WRAP TO EXTERNAL STUD WALLS
- R2.5 INSULATION BATT TO CEILING (EXCLUDES EAVES & PORCH)
- SARKING INCLUDED UNDER ROOF



SECTION AA

1:100

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