



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2023/1447

Date: 6/12/2023



**NOTE: - PATH TO FRONT BOUNDARY
TO BE DETERMINED ON SITE.**

NOTE:

EXTERNAL HARD STAND AREAS
(CONCRETE) TO HAVE MAX
GRADIENT. 1:14 IN DIRECTION
OF TRAVEL & 1:40 ACROSS THE
DIRECTION OF TRAVEL

PROPOSED LEVELS

PAD LEVEL (P.L.): 12.735
CUT: 400mm
FILL: 50mm
FINISHED FLOOR: 13.135
LEVEL (F.F.L.)

SITE NOTES

LOCAL AUTHORITY: SUNSHINE COAST C. C.
SITE AREA: 350m²
SITE COVER: 59.50%
WIND CLASS: N3
SOIL CLASS: H1
BAL RATING: N/A
ACOUSTICS: N/A

AMENDED IN RED

By: M. BAIS

Date: 5 December 2023



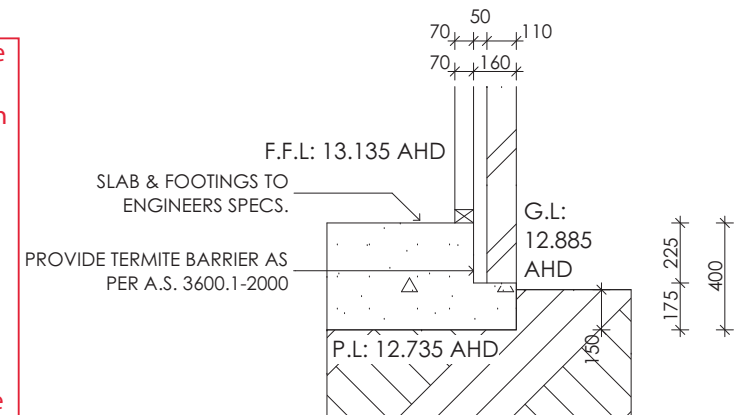
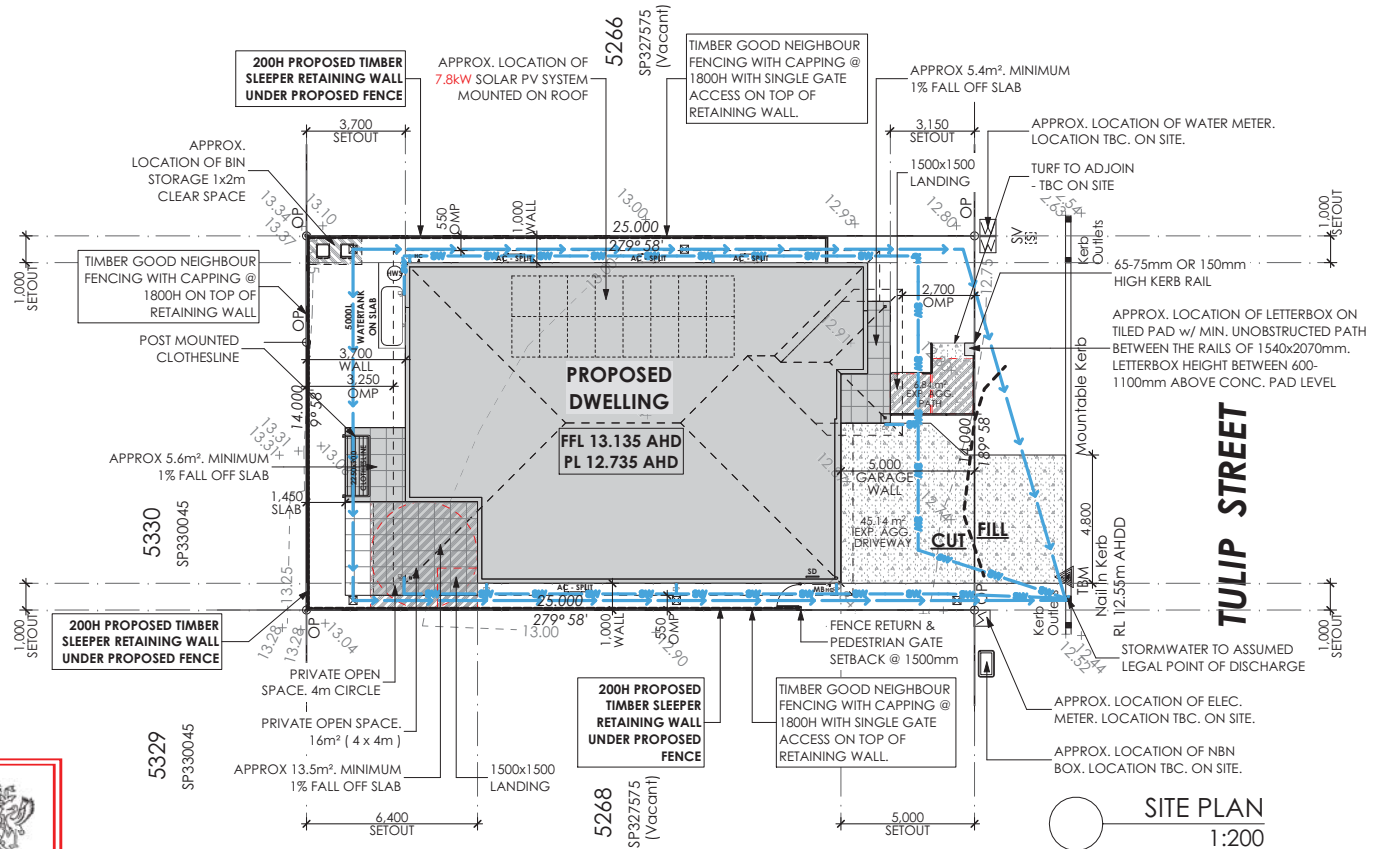
SERVICES LEGEND:

	YARD GULLY	FIELD GULLY TO RAINWATER CONNECTION LINE
	SEWER	
	STORMWATER	
	OVERHEAD ELECTRICAL & POWERPOLE	
	GAS	
	TELSTRA	
	WATER METER	
	ELECTRICITY SUPPLY	
	NBN PIT	

Buildings must be sited and designed to provide adequate visual privacy for neighbours:

- Where the distance separating a window or balcony of an adjoining dwelling from the side or rear boundary is less than 1.5m:

- a permanent window and a balcony has a window/balcony screen extending across the line of sight from the sill to at least 1.5m above the adjacent floor level; or
 - a window has a sill height more than 1.5m above the adjacent floor level, or
 - a window has obscure glazing below 1.5m;
- Where Window and Window/Balcony Screen has the same meaning as in the Queensland Development Code.
Fencing to the street frontage must be either 50% transparent or 1.2m in height or

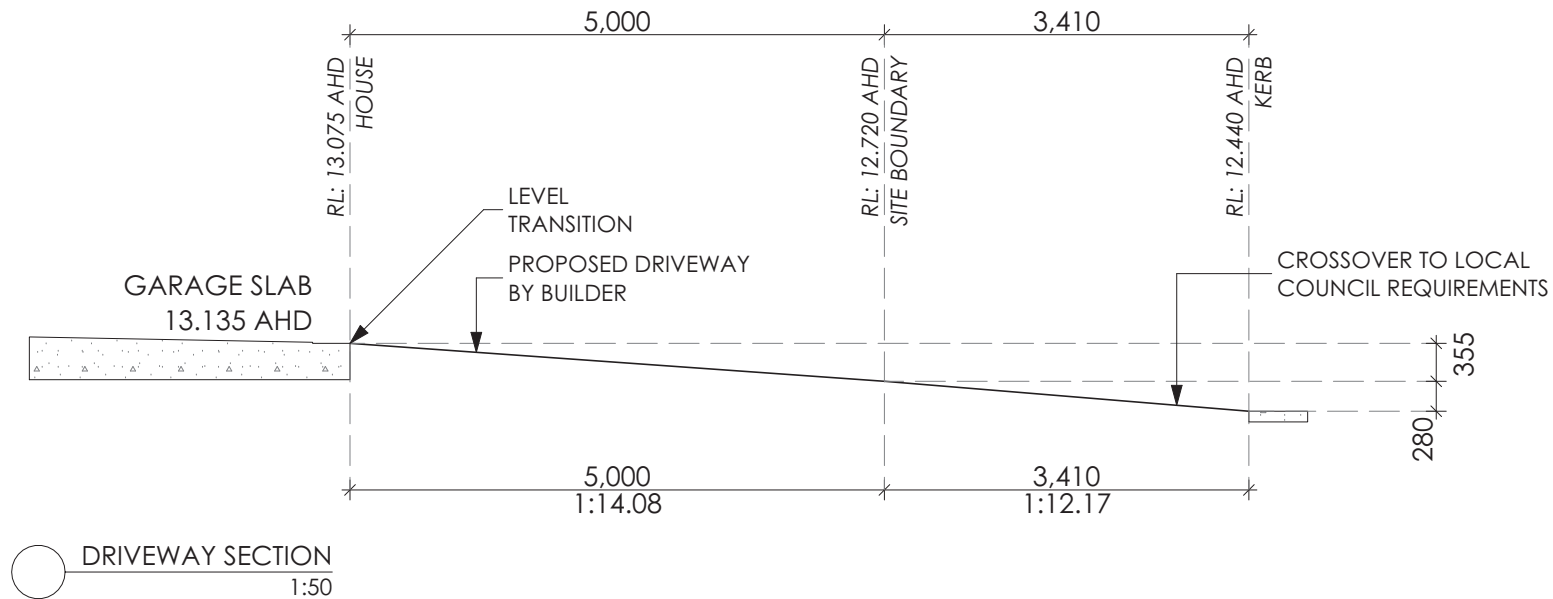


BRICK VENEER REBATE DETAIL
1:20

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GRADIENT. 1:14 IN DIRECTION OF TRAVEL
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TELEPHONE 0756448644
WEBSITE: www.silkwoodhomes.com.au
QLD LICENSE #: 1218048 ABN 65767966
NSW LICENSE #: 248052C ABN 14156406352
UNIT 4/13 INDY COURT
NERANG, QLD 4211 AUSTRALIA

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I/WE APPROVE THESE DRAWINGS TO BE CORRECT AS PER CONTRACT

SIGNATURE _____ DATE _____
SIGNATURE _____ DATE _____

Issue	Date	Drawn	Amendments
E	12.09.2023	MB	CERTIFIER'S MARKUP'S
F	25.09.2023	MB	COV - ADJ R.W HEIGHT (200) / WIDEN VXO
G	25.09.2023	MB	WATERPROOFING RFI
H	26.10.2023	MB	LANDSCAPE UPDATE
I	11.14.2023	MB	SHIFT BED 2

CLIENT: Micheal Shane Beasley Rose & Kristie-Lee Beasley Rose
AT: LOT 5267 (6) TULIP STREET, NIRIMBA, QLD 4551

Facade:
METRO PRESTIGE
Design Name:
FICUS 207 MOD

Title:
DRIVEWAY SECTION
Page:
4 OF 25

Issue:
I
Scale: **AS SHOWN**
Plot Date: 11/14/2023
Wind Rating:
N3
Drawn By:
SP
Checked By:
MB

LANDSCAPE LEGEND		
NO.	SURFACE	TYPE
1		TURF
2		S&P STONES
3		GARDEN MULCH
4		GARDEN BED EDGING
5		EXPOSED AGGREGATE
6		PLAIN CONCRETE
7		BRUSHED CONCRETE
8		COMPACTED CRUSHER DUST

LANDSCAPE AREAS	
SURFACE	AREA
TURF	66.38
GARDEN MULCH	8.90
GARDEN BED EDGING	2.77
Facing Tile - Large Scale	16.43
EXPOSED AGGREGATE	51.98

NOTE: - LANDSCAPING PLAN IS INDICATIVE ONLY; LAYOUT MAY VARY DUE TO SITE CONDITIONS.

- Five (5) established plants with a minimum height of 0.5m within a garden bed.
- One (1) established feature tree with a minimum height of 1.5m to be planted within a garden bed that is located between the front build line and the property boundary. Tree must not be planted in landscape buffer on garage side.
- Potted plants can be used, but will not be accepted as part of the above minimum landscaping requirements.
- All garden beds are to be edged and mulched or have stones in lieu of mulch. Timber edging visible from the street must be painted or stained.
- Artificial turf is accepted within the boundary line.
- A maximum of 40% of the front yard (excluding driveways, decks or paths) is to be turfed. Only Platinum Zoysia or Empire Zoysia turf is to be used in order to match the final verge turfing (Zoysia Japonica SS500, of which Empire and Platinum Zoysia are trademark names). A formalised pedestrian path must be constructed from the front door to the front fence/letterbox. Where a footpath



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I	11.14.2023	MB	SHIFT BED 2

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AT: LOT 5267 (6) TULIP STREET, NIRIMBA, QLD 4551

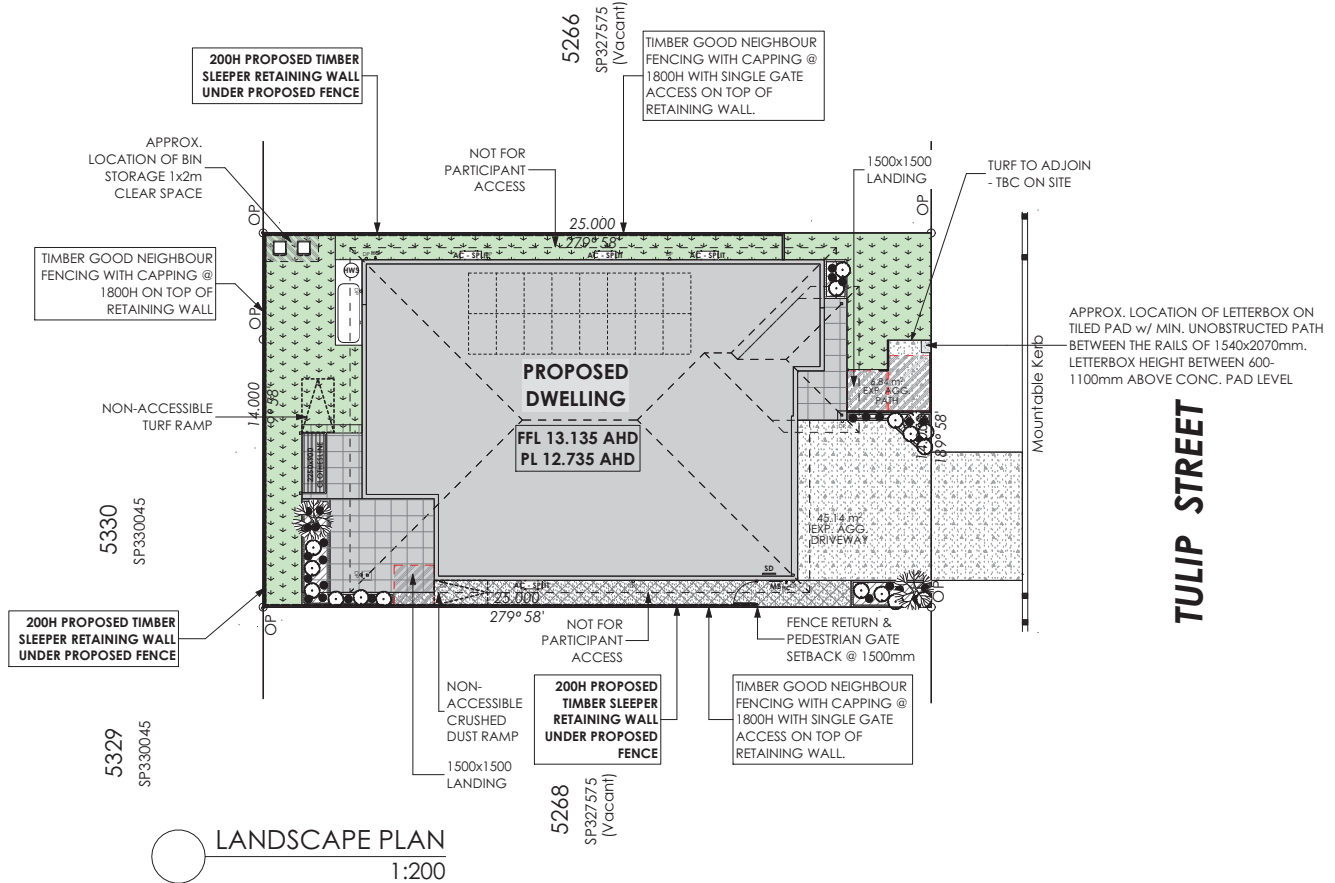
Facade: **METRO PRESTIGE**
Design Name: **FICUS 207 MOD**

Title: **LANDSCAPE PLAN**
Page: **5 OF 25**

Issue: **I**
Scale: **AS SHOWN**
Plot Date: 11/14/2023
Wind Rating: **N3**
Drawn By: **SP**
Checked By: **MB**

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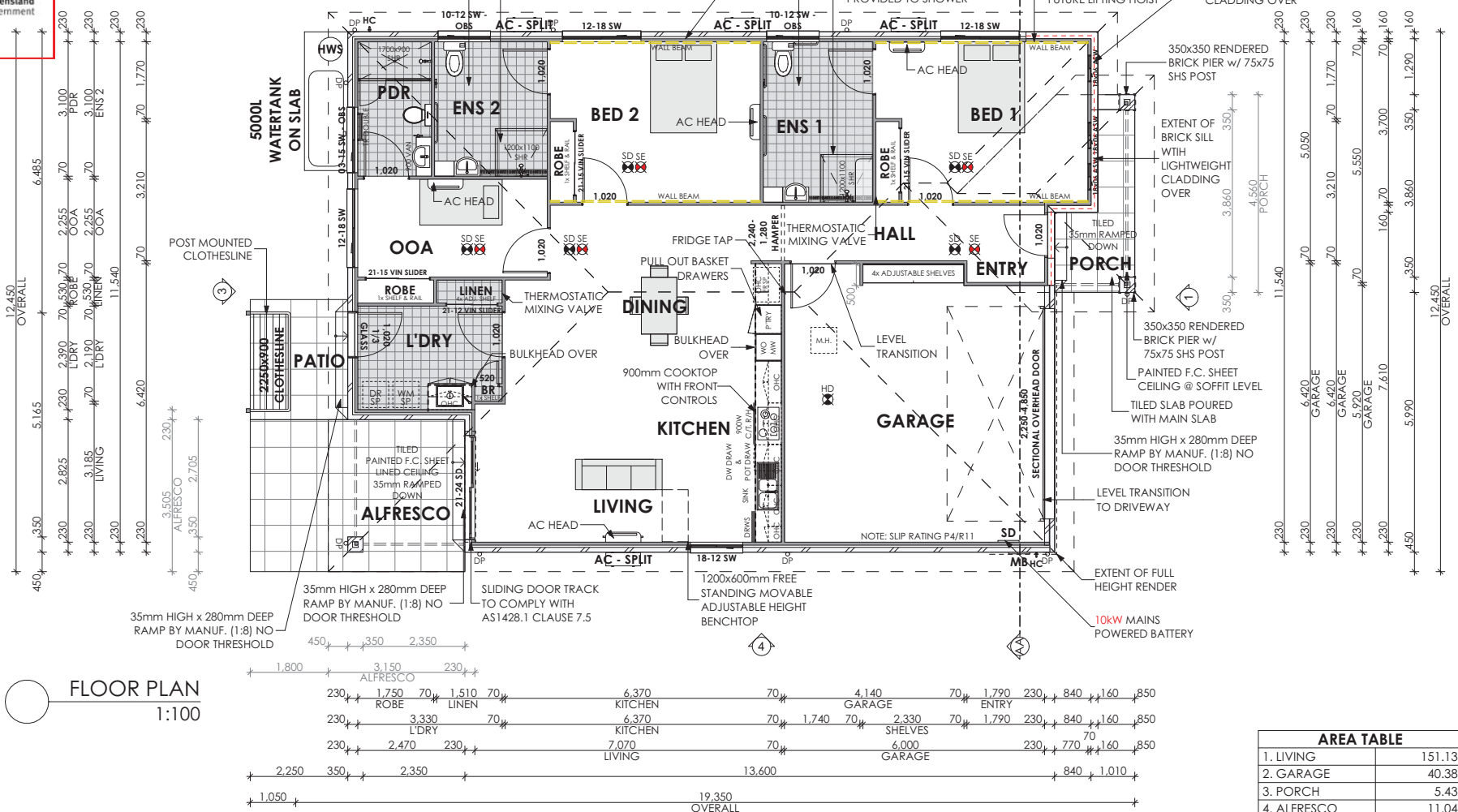
NOTES:
EAVES: 450mm UNLESS NOTED OTHERWISE
WIND CLASS: N3
SOIL CLASS: H1
ROOF PITCH: 25°
BAL RATING: TBC
ACOUSTICS: N/A
* PROVIDE EXPANSION JOINTS TO CEILINGS WHERE REQUIRED
* PROVIDE 22mm ENGINEERED STONE BENCHTOPS THROUGHOUT DWELLING
* PROVIDE BARRIER SCREENS TO ALL SLIDING GLASS DOORS & SLIDING WINDOWS ONLY

NOTE:
SDA: HIGH PHYSICAL SUPPORT REQUIREMENTS
LHA: PLATINUM
NCC: CLASS 1A
2590H CEILINGS

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

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AREA TABLE	
1. LIVING	151.13
2. GARAGE	40.38
3. PORCH	5.43
4. ALFRESCO	11.04
207.98 m²	



TELEPHONE 075448644
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Beasley Rose
AT: LOT 5267 (6) TULIP STREET, NIRIMBA, QLD 4551

Facade: METRO PRESTIGE
Design Name: FIGUS 207 MOD

Title: FLOOR PLAN
Page: 6 OF 25

Issue: I
Wind Rating: N3
Scale: AS SHOWN
Plot Date: 11/14/2023
Drawn By: SP
Checked By: MB

NOTES:
EAVES: 450mm UNLESS NOTED OTHERWISE
WIND CLASS: N3
SOIL CLASS: H1
ROOF PITCH: 25°
BAL RATING: TBC
ACOUSTICS: N/A
* PROVIDE EXPANSION JOINTS TO CEILINGS WHERE REQUIRED
* PROVIDE 22mm ENGINEERED STONE BENCHTOPS THROUGHOUT DWELLING
* PROVIDE BARRIER SCREENS TO ALL SLIDING GLASS DOORS & SLIDING WINDOWS ONLY

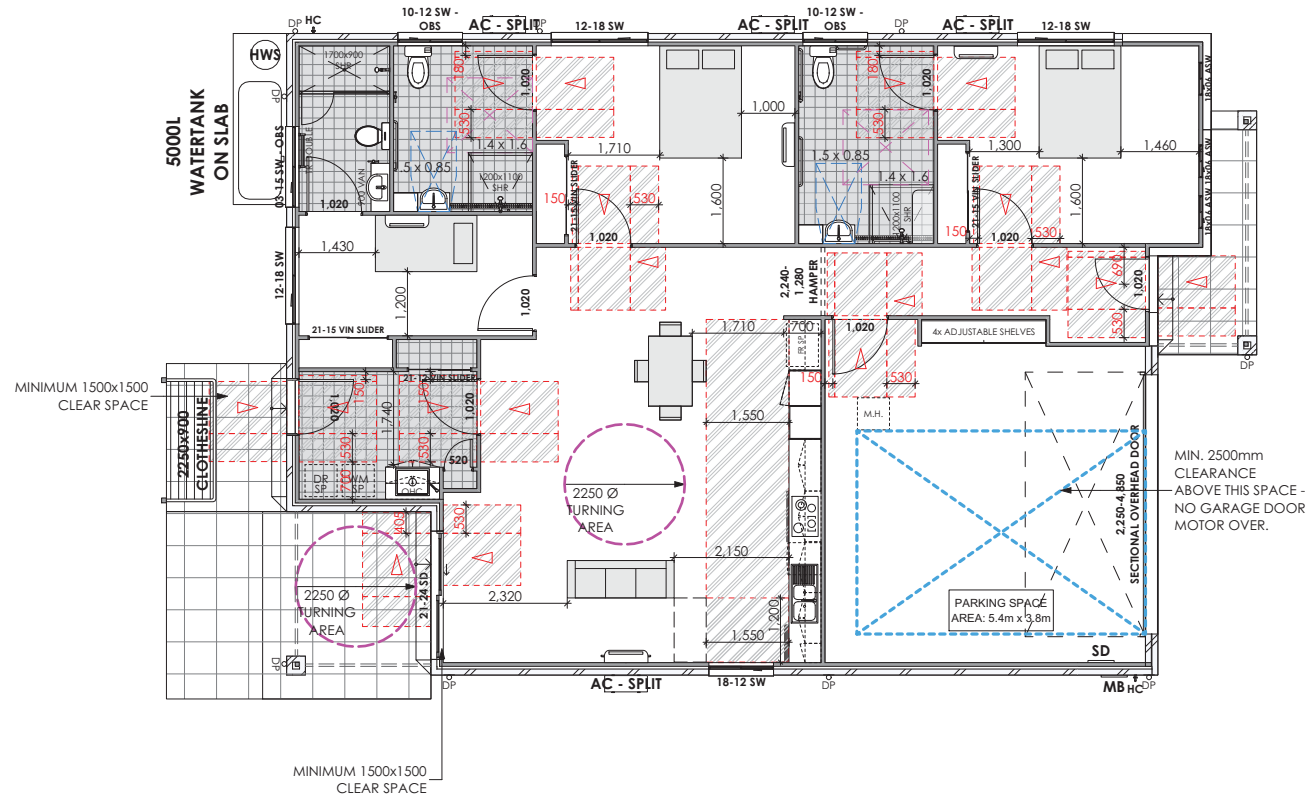
NOTE:
SDA: HIGH PHYSICAL SUPPORT REQUIREMENTS
LHA: PLATINUM
NCC: CLASS 1A
2590H CEILINGS

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CIRCULATION PLAN
1:100

AREA TABLE	
1. LIVING	151.13
2. GARAGE	40.38
3. PORCH	5.43
4. ALFRESCO	11.04
207.98 m²	



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Facade: **METRO PRESTIGE**
Design Name: **FICUS 207 MOD**

Title: **CIRCULATION PLAN**
Page: **7 OF 25**

Issue: **I**
Scale: **AS SHOWN**
Plot Date: 11/14/2023
Wind Rating: **N3**
Drawn By: **SP**
Checked By: **MB**

NOTES:

EAVES: 450mm UNLESS NOTED OTHERWISE
WIND CLASS: N3
SOIL CLASS: H1
ROOF PITCH: 25°
BAL RATING: **TBC**
ACOUSTICS: N/A

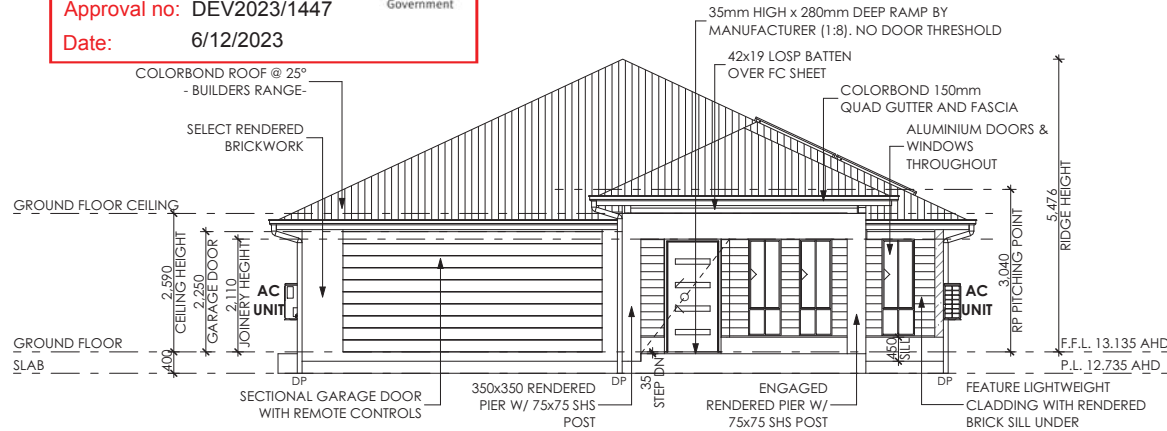
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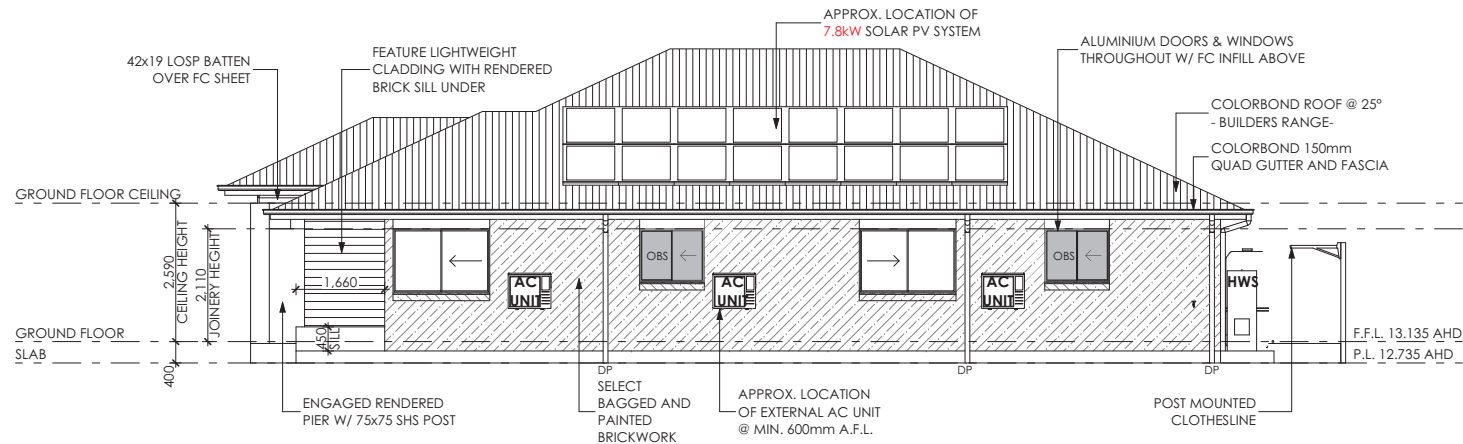
Date: 6/12/2023

**CLADDING KEY:**

4.5mm	SOFFIT
6mm	FC SHEET
8.5mm	EASYLAP
9mm	AXON
8mm	MATRIX
7.5mm	BLUE BOARD
9mm	PRIMELINE



ELEVATION 1
1:100



ELEVATION 2
1:100

NOTES:

- PROVIDE MIN 3 No. STUDS TO SIDES OF DOOR/WINDOW OPENINGS TO SUIT LIGHT WEIGHT CLADDING FIXING
- NOTE: PROVIDE 68x31 TIMBER STOPS TO ALL CORNERS TO SUIT FINISHING OF WEATHERBOARDS.
- 42x42 SURROUNDS TO ALL WINDOWS IN LIGHTWEIGHT CLADDING
- 42x42 SURROUNDS TO ALL GLASS SLIDING DOORS IN LIGHTWEIGHT CLADDING
- BARRIER SCREENS TO ALL SLIDING GLASS DOORS & SLIDING GLASS WINDOWS ONLY

MASONRY CONTROL JOINTS

- WHERE ARTICULATION IS BESIDE A WINDOW, IT MUST EXTEND FROM THE DAMP-PROOF COURSE, ALONG THE EDGE OF WINDOW TO THE TOP OF THE BRICKWORK OR SOFFIT
- JOINTS MUST HAVE A WIDTH OF AT LEAST 10mm AND MUST BE ADEQUATELY WEATHERPROOFED

NOTES:

- TIMBER ROOF TRUSSES AND WALL FRAMES TO MANUFACTURERS SPECIFICATIONS
- GLAZING TO WINDOWS/DOORS TO AS1288 - 2006
- ALL WINDOWS TO COMPLY WITH BCA CLAUSE 3.9.2.5
- LAMINATED GLAZING TO WET AREA WINDOWS TO AS1288 - 2006
- EXPANSION JOINTS TO BRICKWORK IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS



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AT: LOT 5267 (6) TULIP STREET, NIRIMBA, QLD 4551

Facade: **METRO PRESTIGE**Design Name: **FICUS 207 MOD**Title: **ELEVATIONS**Page: **9 OF 25**Issue: **I** Scale: **AS SHOWN**

Plot Date: 11/14/2023

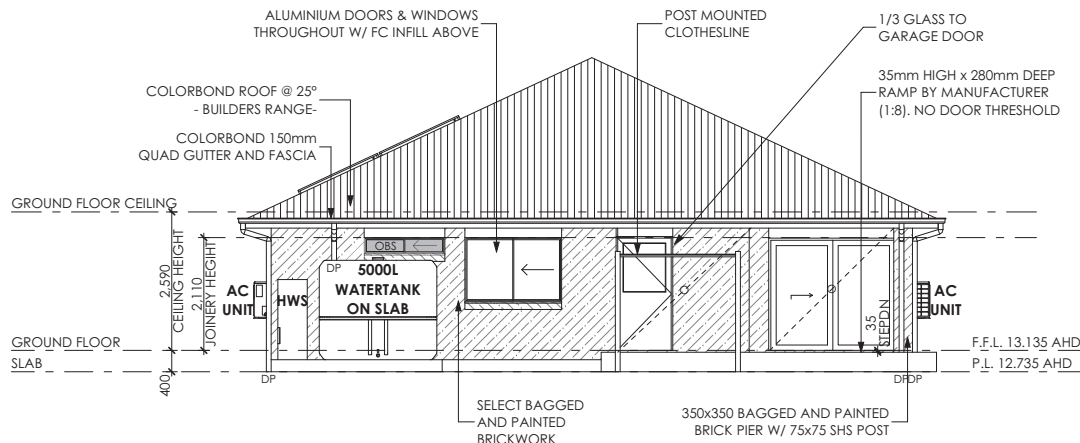
Wind Rating: **N3** Drawn By: **SP**Checked By: **MB**

NOTES:

EAVES: 450mm UNLESS NOTED OTHERWISE
WIND CLASS: N3
SOIL CLASS: H1
ROOF PITCH: 25°
BAL RATING: **TBC**
ACOUSTICS: N/A

CLADDING KEY:

4.5mm SOFFIT
6mm FC SHEET
8.5mm EASYLAP
9mm AXON
8mm MATRIX
7.5mm BLUE BOARD
9mm PRIMELINE

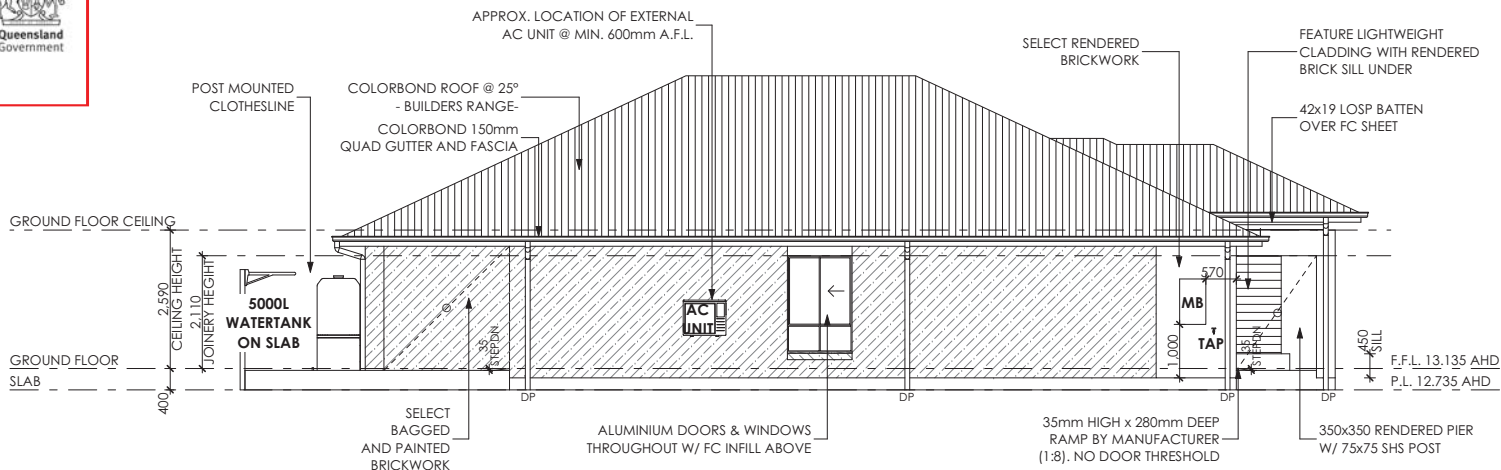


ELEVATION 3
1:100

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ELEVATION 4
1:100

NOTES:

-PROVIDE MIN 3 No. STUDS TO SIDES OF DOOR/WINDOW OPENINGS TO SUIT LIGHT WEIGHT CLADDING FIXING
-NOTE: PROVIDE 68x31 TIMBER STOPS TO ALL CORNERS TO SUIT FINISHING OF WEATHERBOARDS.
-42x42 SURROUNDS TO ALL WINDOWS IN LIGHTWEIGHT CLADDING
-42x42 SURROUNDS TO ALL GLASS SLIDING DOORS IN LIGHTWEIGHT CLADDING
-BARRIER SCREENS TO ALL SLIDING GLASS DOORS & SLIDING GLASS WINDOWS ONLY

MASONRY CONTROL JOINTS

-WHERE ARTICULATION IS BESIDE A WINDOW, IT MUST EXTEND FROM THE DAMP-PROOF COURSE, ALONG THE EDGE OF WINDOW TO THE TOP OF THE BRICKWORK OR SOFFIT
-JOINTS MUST HAVE A WIDTH OF AT LEAST 10mm AND MUST BE ADEQUATELY WEATHERPROOFED

NOTES:

- TIMBER ROOF TRUSSES AND WALL FRAMES TO MANUFACTURERS SPECIFICATIONS
- GLAZING TO WINDOWS/DOORS TO AS1288 - 2006
- ALL WINDOWS TO COMPLY WITH BCA CLAUSE 3.9.2.5
- LAMINATED GLAZING TO WET AREA WINDOWS TO AS1288 - 2006
- EXPANSION JOINTS TO BRICKWORK IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS



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Beasley Rose

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Facade:

METRO PRESTIGE

Design Name:

FIGUS 207 MOD

Title:

ELEVATIONS

Page:

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Issue:

I

Wind Rating:

N3

Scale: AS SHOWN

Plot Date: 11/14/2023

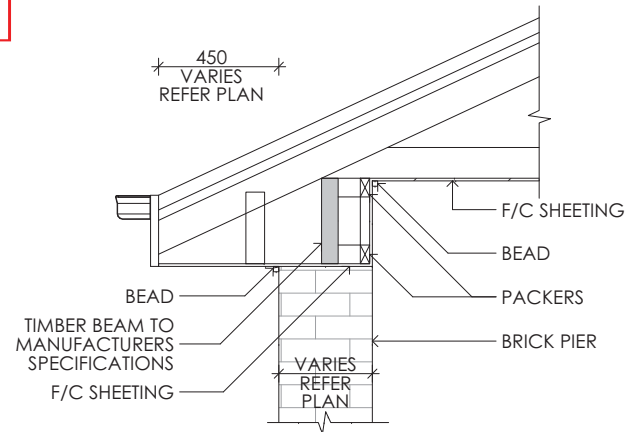
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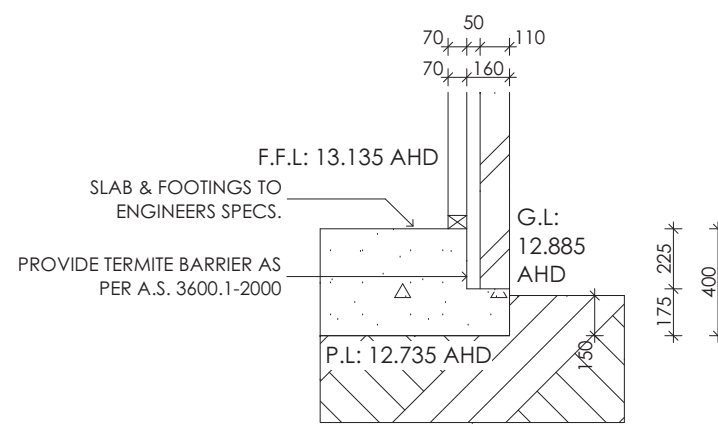
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ALFRESCO EAVE DETAIL
1:20



BRICK VENEER REBATE DETAIL
1:20

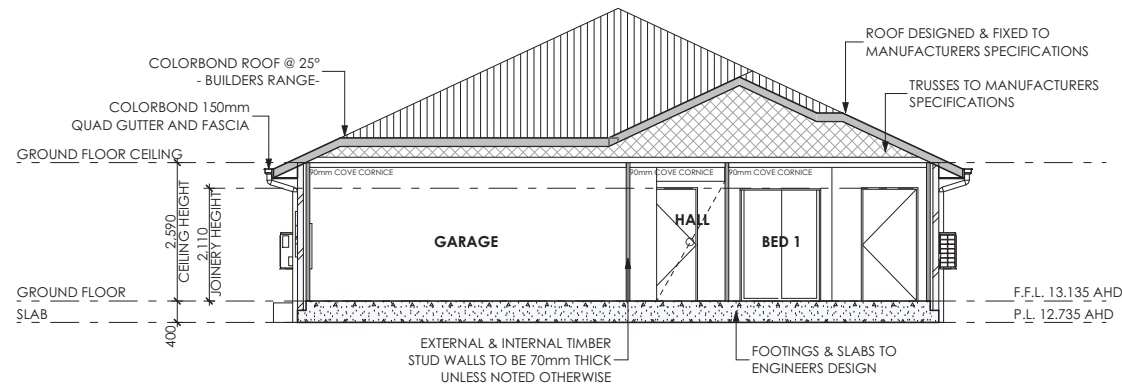
NOTES:

EAVES: 450mm UNLESS NOTED OTHERWISE
WIND CLASS: N3
SOIL CLASS: H1
ROOF PITCH: 25°
BAL RATING: TBC
ACOUSTICS: N/A

- PROVIDE EXPANSION JOINTS TO CEILINGS AS REQUIRED
- 22mm ENGINEERED STONE BENCHTOPS THROUGHOUT HOME
- BARRIER SCREENS TO ALL GLASS SLIDING DOORS & WINDOWS
- SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH NCC 3.7.2. AND AS3786-2014
- WEATHER SEALS TO ALL EXTERNAL TIMBER HINGED DOORS
- PROVIDE TERMITE BARRIER AS PER AS3600.1-2000

ENERGY EFFICIENCY NOTES:

- R1.0 WALL WRAP TO EXTERNAL STUD WALLS
- R2.5 INSULATION BATTS TO CEILING (EXCLUDES EAVES & PORCH)
- SARKING INCLUDED UNDER ROOF



SECTION A-A
1:100



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Page:
11 OF 25

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