

ENGINEERING SERVICES REPORT

AURA PRECINCT 15 – HALCYON AURA 2

Prepared for **Stockland Land Lease Management Pty Ltd**



Document information

GENERAL INFORMATION

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-	17-Mar-2023	Mark Wyer
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COMMERCIAL IN CONFIDENCE

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1 INTRODUCTION

This Engineering Services Report has been prepared by Egis Consulting Pty Ltd on behalf of Stockland Development Pty Ltd for the proposed Halcyon Aura Site 2 located in Precinct 15 of Aura. This report would support the submission of Development Application Approval documentation for an over 50's land lease community.

The objective of this report is to demonstrate that the proposed development can be supported by the existing and/or proposed civil infrastructure and is compliant with the Sunshine Council Planning Scheme, Australian Standards and other relevant guidelines. The report will discuss the following site-based design elements and their connection with external infrastructure.

1. Earthworks;
2. Stormwater Drainage network;
3. Internal Roads and Connectivity; and
4. Water and Wastewater Reticulation.

1.1 Site Description

Halcyon Aura Site 2 is located in the Western locality of Aura and is bound by future residential to the North, residential neighbourhood centre to the West and Bells Creek South to the South and East. Total site area is 19.77 Ha.

The site forms part of the Caloundra South Priority Development Area (Aura). The Master Plan was approved by the (former) Urban Land Development Authority (ULDA reference No. DEV2011/200) now Economic Development Queensland (EDQ).

Please refer to Figure 1-1 following showing the locality of Precinct 15 'Land Lease Community Site 2' known within this report as the 'Site'.

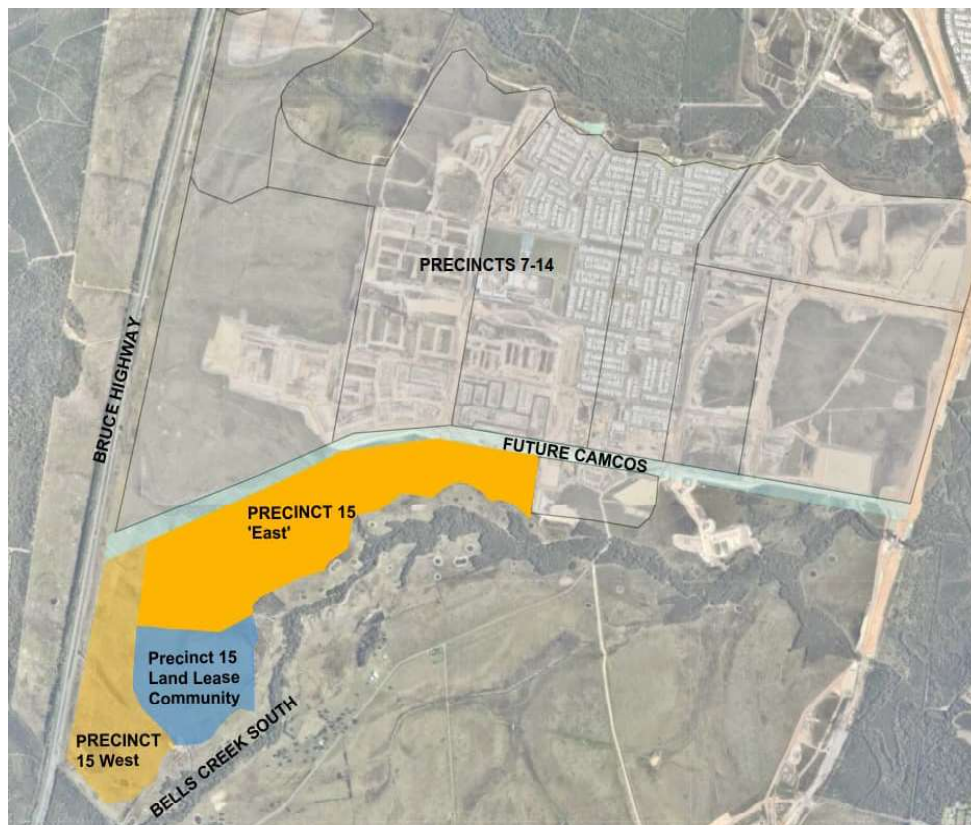


FIGURE 1-1 SITE LOCALITY PLAN (GOOGLE MAPS)

1.2 Land Encumbrances

There are no existing encumbrances over the subject site.

1.3 Existing Land Uses & Access

The subject site is predominantly clear of vegetation with a few scattered green vegetation patches located in the northern part. The site is currently only accessible via a gravel access roadway joining the site to Precinct 15 East.

1.4 Topography

The subject site is reasonably flat and grades from south to north at 0.6% slope. However, the southern corner of the site falls towards the east at 0.5% grade.

1.5 Contaminated Land

The subject site is not known to be contaminated and is not mapped on the contaminated land register.

1.6 Proposed Development

The proposed application is to develop the site as an over 50's land lease community (LLC) resort consisting of 431 dwellings surrounding a Green Spine Area (Open Space Network) with dedicated community facilities consisting of a recreational Club house, Lagoon pool, Lawn Bowls etc. Please refer to Appendix A – Community Master Plan prepared by Archipelago for further details.

The proposed site is divided into three (3) civil delivery packages. These three civil packages are further divided into six (6) sub-stages based on the proposed built form works and delivery of dwellings. Maintaining the construction access to the site during each stage works has been considered, leaving the final stage closest to the northern entry point. The proposed staging plan is shown in the following image.



FIGURE 1-2 SITE CIVIL STAGING PLAN (ARCHIPELAGO)

2 EARTHWORKS

2.1 Earthworks Level Control

The proposed application boundary is bordered by a future Neighbourhood Connector Road to the North, Trunk Connector Road to both the West and South and fronts the Local Access Road (to be used as the main access to the site) onto Bells Creek South from South to the North. The major overall bulk earthworks strategy for greater Aura Masterplan has already been in place and comply with the following objectives:

- Facilitate the Stockland development phasing in coordination with current ROL approvals;
- Be in accordance with the current Aura Regional Flood Model, by BMT (Model ID245);
- Be able to achieve objectives in the BMT Caloundra South Water Quality Management Plan;
- Comply with requirements of the BMT Environmental Management Plan;
- Satisfy the requirements of the Caloundra South Public Environment Report Supporting Document;
- Be in accordance with the approved Caloundra South Master Plan;
- Satisfy the Water Sensitive Urban Design objectives;
- Be in accordance with the Wallum Sedge Frog Management Plan;
- Be in accordance with the Operational Work for Waterway Barrier Works Preliminary Approval and Development Permit;
- Optimise the use of developable area through efficient design;
- Efficient design and utilisation of the natural topography of the site as best as possible; and
- Be economical and cost effective.

Regional flood levels have been established for Bells Creek North and South through modelling undertaken by BMT (TUFLOW Model ID245).

In general, these flood levels control the minimum earthworks levels at the stormwater outlets and embankments. Refer to Engineering services report prepared by Calibre Professional Services Pty Ltd (Dated 20-10-2022) for further details.

However, the preliminary earthworks have been developed by Egis Consulting Pty Ltd over the subject site (Halcyon Aura 2) in order to achieve an earthworks balance for the greater development while also facilitating the creation of suitable flat earthworks pads (1:200 or flatter) capable of being serviced to develop the proposed Land Lease community.

Refer to Appendix B – Egis Consulting Sketch Plans for details of the preliminary earthworks plan. Table 1 & Table 2 below provide the indicative preliminary earthworks volumes of the subjected site (subject to detailed earthworks).

TABLE 1 INDICATIVE EARTHWORKS VOLUMES

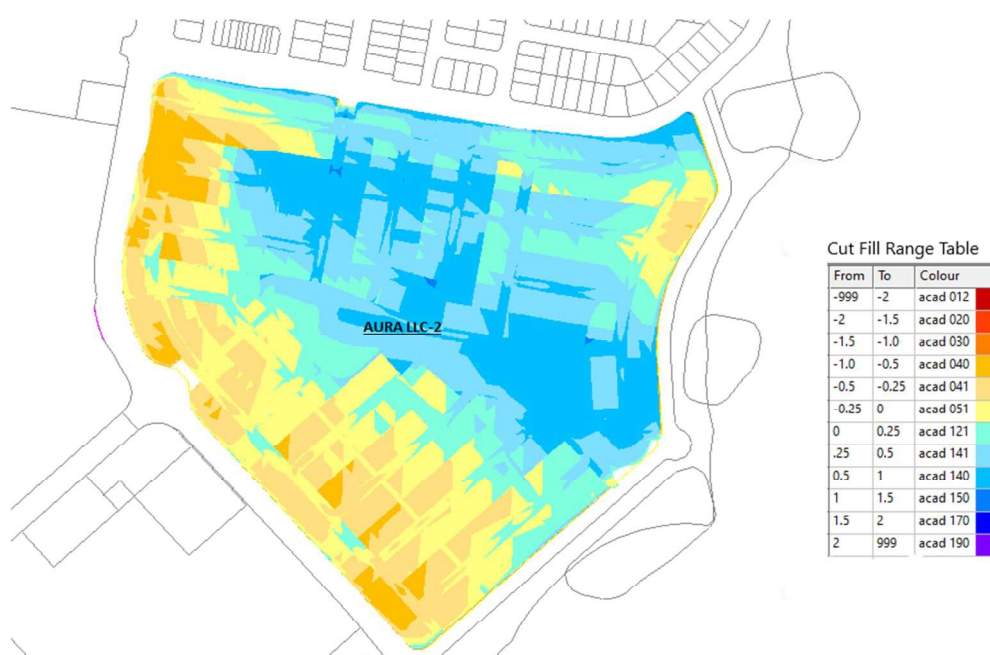
	VOLUME
Earthworks in Cut	25,088m ³
Earthworks in Fill	40,783m ³
Balance	15,695m ³

Trench spoil generated from the construction of stormwater, sewerage and water infrastructure has been calculated throughout previous Aura Precincts. It was indicated that 15.56 m³ would be generated per lot and 1.10 m³ would be generated per linear meter of road (total road length 4,675m). These values have been applied to Halcyon Aura 2 project earthworks and the cut/fill quantities are adjusted as follows:

TABLE 2 ADJUSTED EARTHWORKS VOLUMES (INDICATIVE & SUBJECT TO DETAILED DESIGN)

	VOLUME
Balance or net shortfall	15,695m ³
Spoil generated from lots	6,700m ³ (approx..)
Spoil generated from roadworks	5,142m ³ (approx.)
Overall Balance	3,853m (Import from greater Aura)

Indicative cut and fill earthworks depths over the subject area are shown in Figure 2-1 below, noting that this is subject to change pending the overall Precinct 15 earthworks design (Note: Future proposed HES Basin does not make part of existing surface).

**FIGURE 2-1 INDICATIVE EARTHWORKS CUT/FILL HEAT MAP**

2.2 Geotechnical

Geotechnical investigations have been undertaken by Douglas Partners comprising a broadscale investigation in 2014 and a second, additional Geotechnical Investigation of Precincts 6 -16 in 2017. Key findings from these reports are summarised as follows:

- Broadly, the area is gently undulating of low relief, with the ground surface overall falling gradually from west to east with several localised knolls associated with the larger trending ridgeline on the western side of the Bruce Highway;
- Subsurface conditions generally comprise topsoil of between 100mm to 350mm overlying silty and clayey sands;
- It is anticipated that the majority of material won from excavations on site will generally be suitable for reuse as bulk filling provided, they are placed in a controlled manner, under Level 1 supervision;
- Groundwater seepage was typically encountered between 1.2m and 2.8m depth;
- CBR testing (16 samples) returned results of between 0.5% to 18.0% with an average result of 7% across the greater Aura Development.
- Emerson class dispersion tests (8 samples) returned values of 5 and 6 on a scale of 1 to 8 indicating a slight potential for erosion;

- Topsoil depth varies from 0.1m to 0.35m. Quality of topsoil is poor and it is anticipated that treatment would be needed to improve nutrient value;
- Drainage for the site during construction is necessary to maintain site trafficability. Consideration for providing a working platform may be necessary in some instances;
- Recommended compaction factors in the calculation of fill volumes vary between 0.80 and 1.10 with the silty/ clayey sands which comprise the majority of the site being 0.80 to 0.85; and
- Site classification of 'Class S' would be anticipated under normal soil moisture conditions.

Further detail regarding existing ground condition and geotechnical suitability for development can be found within the aforementioned geotechnical reports (Section 2.1).

2.3 Adopted Standards and Design Principles

To comply with the Aura Regional Flood Model 2020 (Model ID245) prepared by BMT, the minimum habitable floor levels for allotments is based on providing 500mm freeboard to the 100-year ARI peak flood level with increased rainfall intensity and sea levels considering climate change to a planning horizon of the year 2100. As per previous stages in Aura, the flood planning level for earthworks fill levels includes a minimum 350mm freeboard to the defined regional flood level. The remaining 150mm freeboard will be achieved through slab construction to satisfy the habitable floor level requirements to provide a freeboard of 500mm as required. In approaching the freeboard requirements in this manner, the earthworks volumes across the site can be optimised therefore providing economically sustainable development whilst achieving the flood immunity requirements.

The concept bulk earthworks design provides appropriate flood immunity for various land uses in accordance with the master plan as follows:

- Allotments and roads are designed for immunity to the 100-year ARI peak flood level considering climate change;
- Recreational areas have been designed for the 5-year ARI flood immunity (with 100-year ARI flood immunity for structures).

The design principles, which have been adopted for this concept bulk earthworks strategy, are:

- To be in accordance with flood immunity requirements set by regional flood levels along Bells Creek North and Bells Creek South;
- To be in accordance with local flood levels from the internal stormwater catchments;
- All allotments to be graded at minimum and 1 in 200 towards the road;
- Roads to have minimum grade of 0.5%;
- Cut/fill volumes to be developed to best match requirements of other Precincts;
- To be consistent with the Additional Geotechnical Investigation report for Aura Precincts 6-16 by Douglas Partners.

2.4 Erosion and Sediment Control Strategy

The Erosion and Sediment Control strategy will identify potential environmental risks associated with the development. Specifically, water quality, erodible soils, and environmental impacts to adjoining land and existing/future roads will be addressed. These risks can be mitigated by designing in accordance with the IECA design guidelines, State Planning Policy for Water Quality, council guidelines and implementation of approved site management measures at the time of construction.

Therefore, it is recommended that the contractor must provide specific site-based Erosion and Sediment Control management report and implement the erosion and sediment control measures as appropriate before, during and after (if needed) the construction activities. These measures are likely to consist of diversion drains, temporary sediment basins, silt fences and check dams. Diversion drains would be designed to separate 'dirty water' from 'clean water' and appropriately manage the stormwater discharge during construction to minimise

sediment laden runoff into the surrounding waterways. Sediment fences would serve to trap sediment in minor storm events while rock check dams would act to reduce the velocity of stormwater runoff therefore reducing the transportation of 'dirty water'. Disturbed areas during the construction phase of the project would be stabilised as soon as practical to minimise exposure of these areas to 'dirty water' runoff.

3 STORMWATER QUALITY AND QUANTITY

3.1 Stormwater Quality

The proposed Halcyon Aura site 2 is located within stormwater catchment S4 as nominated within the Aura Precinct 15 Stormwater Quality Management Plan by Design Flow, September 2022, as shown in following image. The Stormwater Quality management is designed in compliance with the approved P15 SWQMP.

Developed flows from the site are split and conveyed to the proposed treatment nodes in accordance with the above-mentioned report without deviation. The northern area of the site is gradually graded from west to east and is divided into two major catchments, Cat N1 (3.90Ha) and Cat N2 (5.81Ha). Whereas the southern area of the site is graded from north to southeast and consists of only one major catchment Cat S1 (9.93 Ha). Internal drainage catchments & pipe network system of the site is designed in such a way that runoff from Cat N1 drains to WSUD S4a, runoff from Cat N2 drains to WSUD S4b and runoff from Cat S1 drains to WSUD S4c. Refer to Appendix B – Egis Consulting Sketch Plans for details.

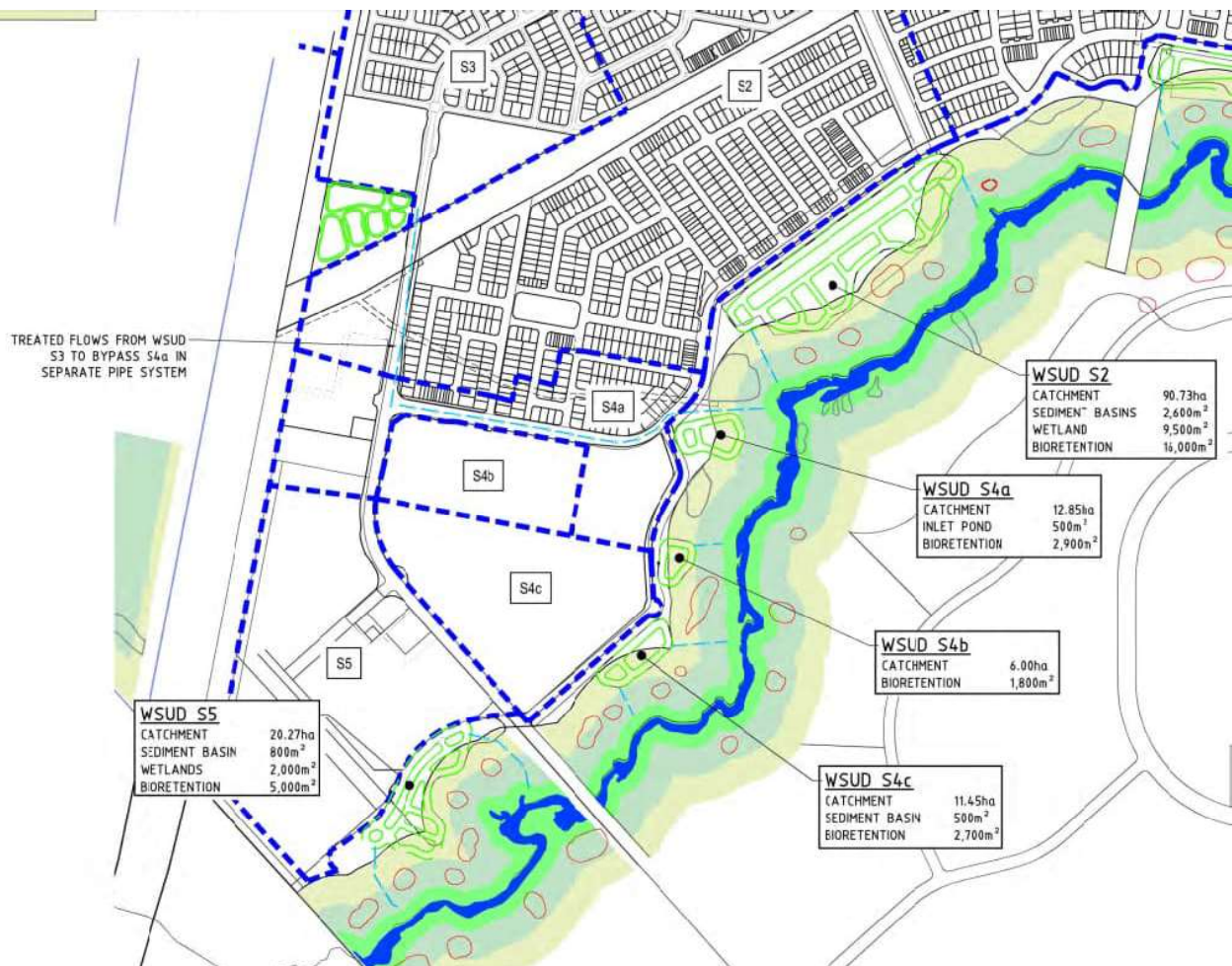


FIGURE 3-1 AURA MASTER STORMWATER TREATMENT STRATEGY (DESIGN FLOW)

3.2 Stormwater Quantity

3.2.1 Stormwater Detention

A regional flood investigation has been undertaken by BMT to assess the affects the greater Aura development would have on regional flooding. The subsequent report prepared by BMT, Aura Regional Flood Model 2020 (Model ID245) has guided Egis's civil design and stormwater modelling for the development without departure.

The minimum habitable floor levels for allotments are based on providing 500mm freeboard to the regional 100-year ARI peak flood level with increased rainfall intensity and sea levels considered for climate change to a planning horizon of the year 2100. The flood planning level for earthworks fill levels includes a 350mm freeboard. The remaining 150mm freeboard will be achieved through slab construction to satisfy the habitable floor level.

3.3 Land Lease Community Site 2 – Stormwater Strategy

For the proposed development all internal roads and driveways will be designed to capture and convey 100 years ARI storm flows through the piped system.

Refer to Appendix B – Egis Consulting Sketch Plans for the indicative stormwater catchments, drainage layout and conceptual outflow locations to the proposed WSUD infrastructure. These catchments have been developed to be generally in accordance with the assumed catchments of Design Flow's Stormwater Quality Management Plan (dated September 2022). Drainage inlet pits are located in the centre of the road (inverted road profile), however the location and details of stormwater drainage elements are conceptual only and subject to further detailed design for operational works.

4 PROPOSED ROAD NETWORK

4.1 Roads & Driveways

All internal roads and driveways are designed in accordance with the development layout provided by Archipelago. Refer to Appendix A - Community Master Plan for details.

An inverted profiled road/driveway is proposed for the entire development. Most of the road centrelines were designed as sawtooth grading to maximise the capacity of drainage pits while maintaining min. 150mm free board to adjacent buildings FFL. Typical road cross sections of Main Entry/Exit Road and Access Roads are shown in the following Figure 4-1 and Figure 4-2 respectively.

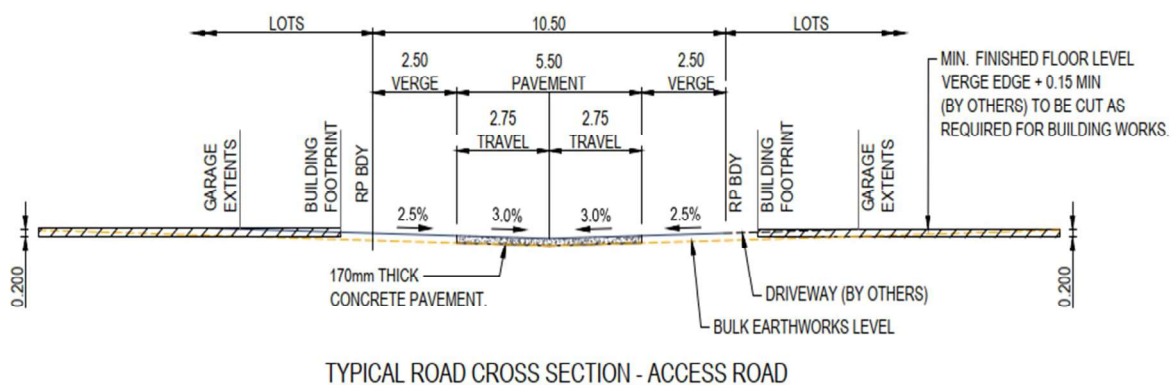


FIGURE 4-1 ACCESS ROAD SECTION

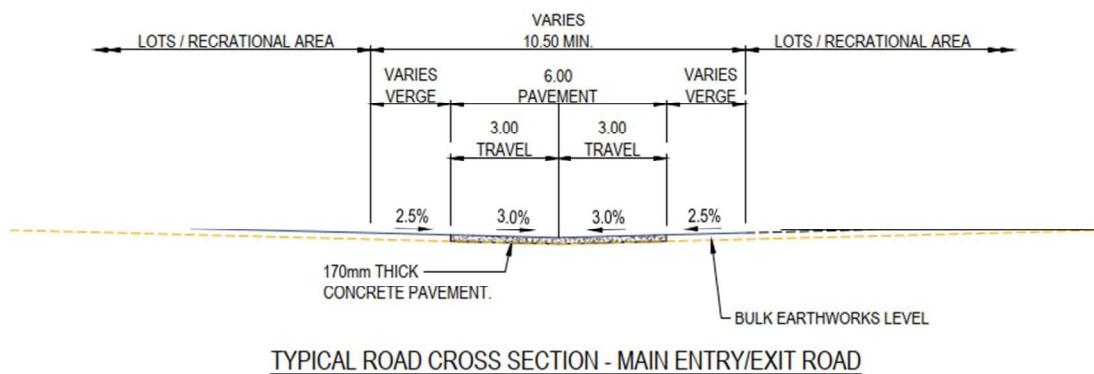


FIGURE 4-2 ENTRY/EXIT ROAD SECTION

Vehicle swept paths analysis, using 12.5m long Standard Service Vehicle and Standard Passenger Vehicle, is used in road design to check that there is sufficient room for turning vehicles to operate safely on the road network and to avoid causing damage to roadside furniture and buildings. Please refer to Appendix B – Egis Consulting Sketch Plans for details.

4.1.1 Land Lease Community Site 2 Access and Egress Points

The developments access and egress will comprise a two-way traffic system around the green spine of the site. The proposed access is approximately 50m south of the roundabout located on the eastern boundary of the subject site with the egress connected directly to the roundabout. There is a further emergency access / exit located on the northern boundary of the site.

5 WATER AND WASTEWATER RETICULATION

5.1 Water and Wastewater Reticulation

Water and Sewer servicing for the proposed development will be in accordance with the approved Preliminary Precinct Network Plan (PPNP) without departure.

Potable water supply for the Site will be provided via the proposed 600mm diameter watermain (incoming from Precinct 14) located on eastern esplanade road near the main entrance.

Wastewater will be discharged via either a single or double connection to the proposed trunk gravity sewer OD225mm alignment located to the east of the site. The number of connections is yet to be confirmed with Unitywater.

The proposed sewer and water network connections for the development are shown indicatively in Appendix B – Egis Consulting Sketch Plans.

All water and wastewater infrastructure is proposed to be designed generally in accordance with Unitywater Standards, the SEQ Water Supply and Sewerage Design and Construction Code or as otherwise agreed with Unitywater.

The following table provides the comparison of water and sewerage EPs proposed in PPNP and generated from the proposed Halcyon Aura site 2 development.

TABLE 3 EP CALCULATIONS & ALLOWANCE

LAND USE	COUNT	EP RATE	EP
Dwelling (Lots)	500	1.8	900
Community Facilities (GFA)	1937	0.01	19.37
			919.37
FNP Approved Allowance			925
Residual Capacity			5.63

6 WASTE/REFUSE COLLECTION

This section outlines best practice waste management for the residential and common facility areas of the development, including recommended types of bins and waste collection procedures.

Sunshine Coast Council offers a comprehensive waste collection, disposal, recycling, and advisory service for all types of developments in the region. For LLC site 2, two-bin service is proposed to all single residential dwellings & communal areas. It consists of separate bins for general waste and recycle bins. General waste bin will be collected on every week and recycle bins will be collected on alternate weeks based on Council's plan bin collection days.

Each residence will be provided a bin storage area to accommodate standard waste and recycle bins within the property and screened from public view. The residents will be responsible for the management of their own waste & recycling bin, such as cleaning bins as required and arranging for broken bins to be replaced by Council.

On the evening before the nominated waste and recycling collection days, residents will place their bins in front of their homes for collection by the Council. For safety purpose the reverse movement of the waste/refuse vehicle is restricted. Therefore, residents residing on the dead-end streets will be responsible for transporting their own bins from their property to one of the designated bin holding/collection areas (see Appendix B for reference). A Council collection vehicle will put up next to the bin holding/collection areas and service the bins. Once servicing is complete, residents will be responsible for returning their own bins to their property as soon as possible.

For common facility areas the waste bins will be stored inside the facility and screened from the public view. Site management of LLC-2 will be responsible to place the bins at designated bin holding/collection areas for pickup on designated days. The on-site Caretaker will be responsible for placing the bins in designated bin collection areas for pickup on designated days. The main clubhouse building will comprise of a refuse area with the nominated drain to switch to sewer disposal when hose is in operation for washdown purposes. The drain will otherwise connect to stormwater.

Green waste bins are not required in a community of this nature due to the 'low maintenance' style living offered. Individual residential sites comprise of Astroturf and common areas that comprise of real turf are serviced by an external landscape maintenance contractor who removes and disposes of green waste in accordance with their agreement.

The above will be controlled through the relevant Community Site Rules and Site Agreement to ensure ongoing compliance.

A waste/refuse collection plan is provided to cater the proposed development, please refer to Appendix B for details.

7 UTILITIES

The development will be serviced with electrical and telecommunications Fibre-To-The-Premises (FTTP).

As per previous precincts with Aura the services are proposed to be co-located on a standard alignment within a corridor 0-900mm from the property boundary. Detailed design may determine that alternative alignments are required in some instances and these will be detailed on an as required basis. These services will be provided in accordance with conditions of, and through agreement with, the relevant service providers. Electrical and telecommunication design will be done by others.

8 CONCLUSION

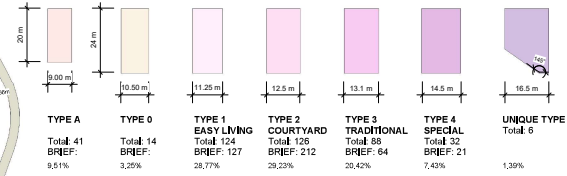
The above details are provided for assessment of civil engineering constraints in conjunction with the Development Application for the proposed Halcyon Aura 2 Land Lease Community in Precinct 15.

All elements of this submission have been prepared with reference to Aura's current Master planning Approval requirements and subsequent Development Approval conditions together with Stockland's construction phasing for the greater development.

As such, it is considered that the intended development proposal supports the developments target land use.

APPENDIX A: ILLUSTRATIVE MASTER PLAN

LEGEND



★ WALK AROUND LOTS
ADDITIONAL 700mm WIDTH

D DEEPER LOTS
LOTS WITH LARGER AREA

TOTAL = 431

7	JR	FOR COORDINATION	27.09.2023
6	JR	FOR COORDINATION	31.08.2023
5	JS	MP AMENDMENTS	17.08.2023
4	JS	MP AMENDMENTS	08.08.2023
3	JR	FOR REVIEW	05.06.2023
2	JR	FOR REVIEW	31.05.2023
1	JS	FOR REVIEW	29.05.2023
Rev	Initial	Description	Date

SCHEMATIC DESIGN

Client

Stockland | Halcyon Communities

Archipelago

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Project

22006

Halcyon Blu

Bells Creek Road, Banyu, 4055

PRECINCT

DRAWING TITLE
MASTERPLAN - LOT LAYOUT PLAN

DRAWN BY JR/DJ
CHECKED JS/DC
DATE PRINTED 27/09/2023 11:59:10 AM
SCALE 1:1000 @ A1

DISC PHASE DWG NO REVISION
AR SD MP.03 7

This drawing is for planning authority development approval purposes only and is not suitable for tender of construction. All internal dimensions and dimensions are indicated with a dashed line. © Copyright 2023 All rights reserved.
1:1000 0 10 20 30 40 50 60 70 80 90 100

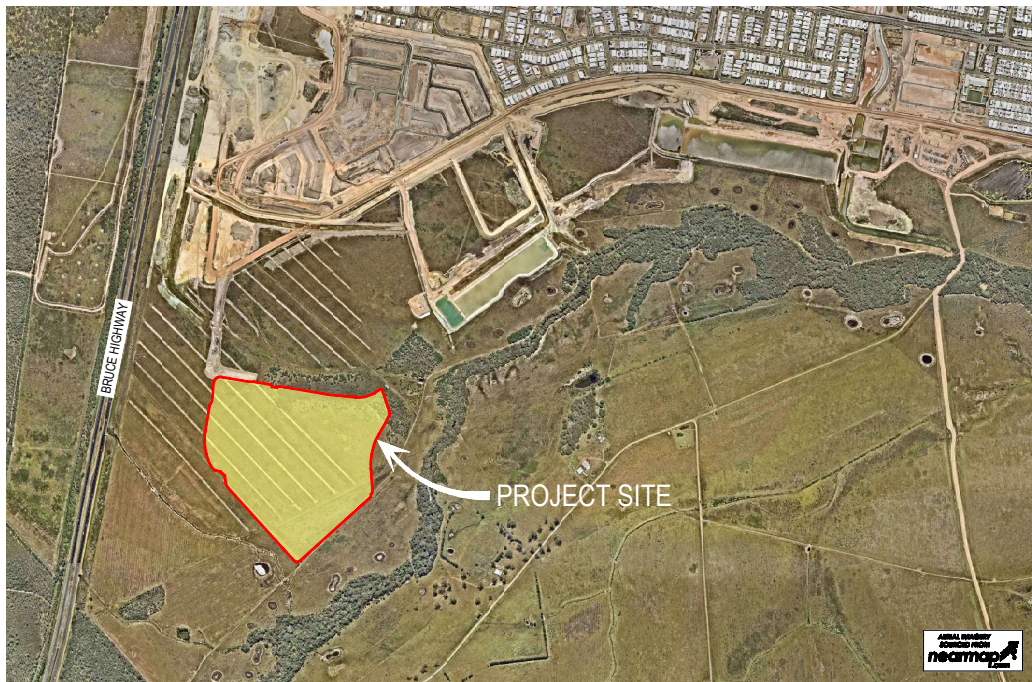
APPENDIX B: EGIS CONSULTING SKETCH PLANS

AURA

LAND LEASE COMMUNITY MASTER PLAN (HALCYON BLU) APPLICATION FOR MATERIAL CHANGE OF USE FOR STOCKLANDS DEVELOPMENTS PTY LTD

DRAWING INDEX

DRG NO	REVISION	DRAWING TITLE
DA1000	3	LOCALITY PLAN AND DRAWING INDEX
DA1100	3	OVERALL LAYOUT PLAN
DA1200	3	CUT FILL LAYOUT PLAN SHEET 1 OF 2
DA1201	3	CUT FILL LAYOUT PLAN SHEET 2 OF 2
DA1205	3	BULK EARTHWORKS LAYOUT PLAN SHEET 1 OF 5
DA1206	3	BULK EARTHWORKS LAYOUT PLAN SHEET 2 OF 5
DA1207	3	BULK EARTHWORKS LAYOUT PLAN SHEET 3 OF 5
DA1208	3	BULK EARTHWORKS LAYOUT PLAN SHEET 4 OF 5
DA1209	3	BULK EARTHWORKS LAYOUT PLAN SHEET 5 OF 5
DA1210	3	BULK EARTHWORKS SECTIONS SHEET 1 OF 2
DA1211	3	BULK EARTHWORKS SECTIONS SHEET 2 OF 2
DA1300	3	ROADWORKS LAYOUT PLAN SHEET 1 OF 2
DA1301	3	ROADWORKS LAYOUT PLAN SHEET 2 OF 2
DA1302	3	ROADWORKS TYPICAL SECTIONS
DA1310	3	ROAD 1 LONGITUDINAL SECTIONS SHEET 1 OF 2
DA1311	3	ROAD 1 LONGITUDINAL SECTIONS SHEET 2 OF 2
DA1312	3	ROAD 2 & ROAD 2A LONGITUDINAL SECTIONS
DA1313	3	ROAD 3 & ROAD 4 LONGITUDINAL SECTIONS
DA1314	3	ROAD 5 & 6 LONGITUDINAL SECTIONS
DA1315	3	ROAD 7 & ROAD 8 LONGITUDINAL SECTIONS
DA1316	3	ROAD 9 & ROAD 10 LONGITUDINAL SECTIONS
DA1317	3	ROAD 11 & 12 LONGITUDINAL SECTIONS
DA1318	3	ROAD 13 & 14 LONGITUDINAL SECTIONS
DA1319	1	ROAD 15, DRIVEWAY 1 & 2 LONGITUDINAL SECTIONS
DA1320	1	DRIVEWAY 3, 4, & 5 LONGITUDINAL SECTIONS
DA1400	3	CONCEPT STORMWATER DRAINAGE LAYOUT PLAN SHEET 1 OF 2
DA1401	3	CONCEPT STORMWATER DRAINAGE LAYOUT PLAN SHEET 2 OF 2
DA1420	3	STORMWATER DRAINAGE INTERNAL CATCHMENT PLAN SHEET 1 OF 2
DA1421	3	STORMWATER DRAINAGE INTERNAL CATCHMENT PLAN SHEET 2 OF 2
DA1430	1	OVERLAND FLOW STRATEGY SHEET 1 OF 2
DA1431	1	OVERLAND FLOW STRATEGY SHEET 2 OF 2
DA1500	3	SERVICES LAYOUT PLAN SHEET 1 OF 2
DA1501	3	SERVICES LAYOUT PLAN SHEET 2 OF 2
DA1600	3	SEWERAGE RETICULATION LAYOUT PLAN SHEET 1 OF 2
DA1601	3	SEWERAGE RETICULATION LAYOUT PLAN SHEET 2 OF 2
DA1700	3	WATER RETICULATION LAYOUT PLAN SHEET 1 OF 2
DA1701	3	WATER RETICULATION LAYOUT PLAN SHEET 2 OF 2
DA1800	3	VEHICLE SWEEP PATHS CONCEPT PLAN SHEET 1 OF 2
DA1801	3	VEHICLE SWEEP PATHS CONCEPT PLAN SHEET 2 OF 2
DA2000	3	WASTE COLLECTION CONCEPT PLAN SHEET 1 OF 2
DA2001	3	WASTE COLLECTION CONCEPT PLAN SHEET 2 OF 2



LOCALITY PLAN

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2023/1405

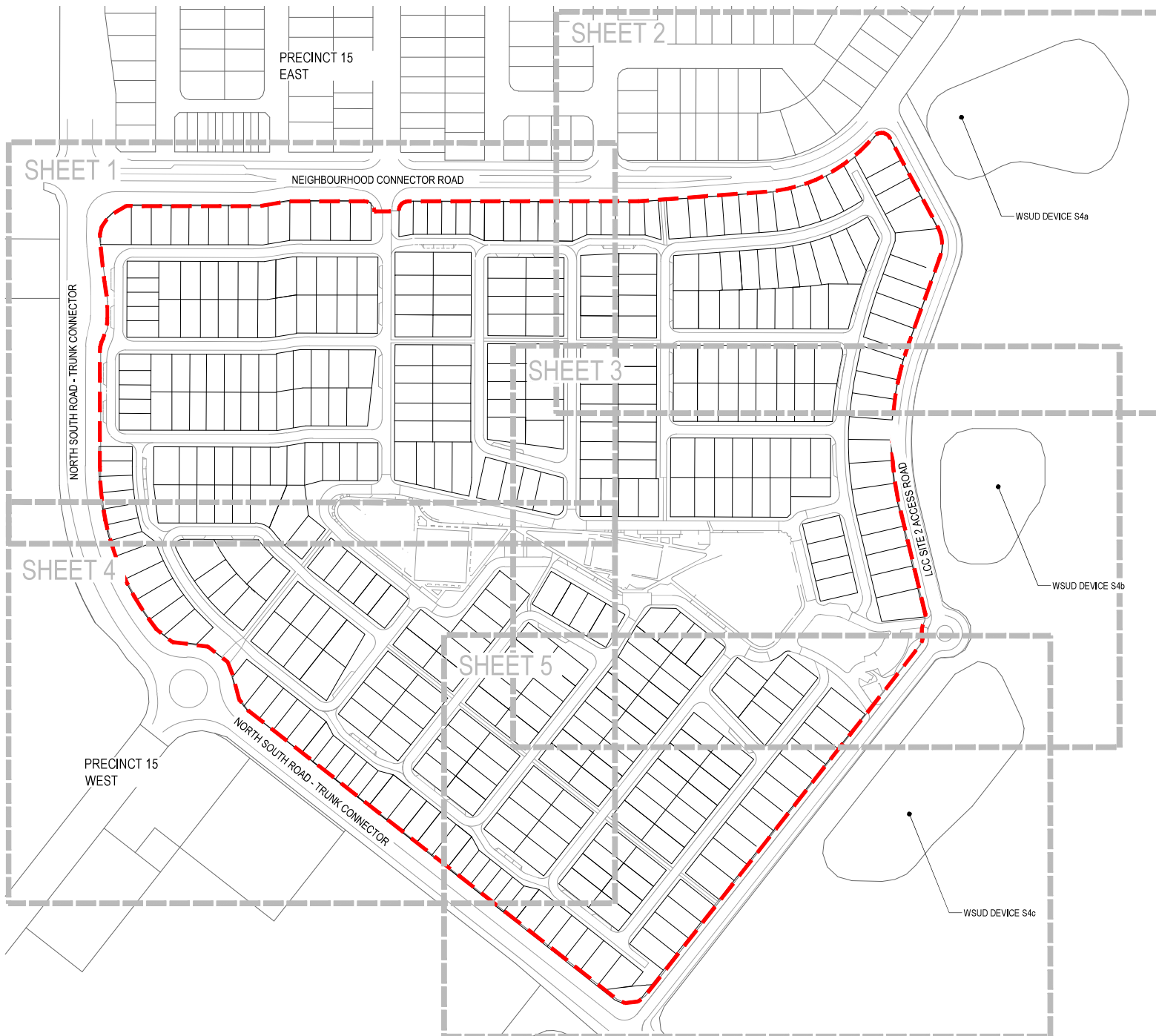
Date: 27 November 2023



IMAGINE. CREATE. ACHIEVE.
a sustainable future

PROJECT No: 23-000051 STAGE: - MILESTONE: DA REVISION DATE: 16/10/2023 DRAWING No: 1000 REVISION: 3



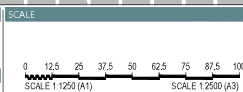


LEGEND

LLC SITE 2 BOUNDARY

REVISION	DATE	DES	DRN	CHK	APP	DATE	AMENDMENT DETAILS
1	MB	RT	HS	MW	17.05.23		ISSUED FOR APPROVAL
2	HS	MB	BK	MW	18.09.23		UPDATED TO EGIS TEMPLATE, UPDATED EARTHWORKS LEVELS
3	HS	IB	HS	MW	13.10.23		UPDATED MASTERPLAN

STATUS	ISSUED FOR APPROVAL
APPROVED BY:	NO:
SIGN:	DATE:



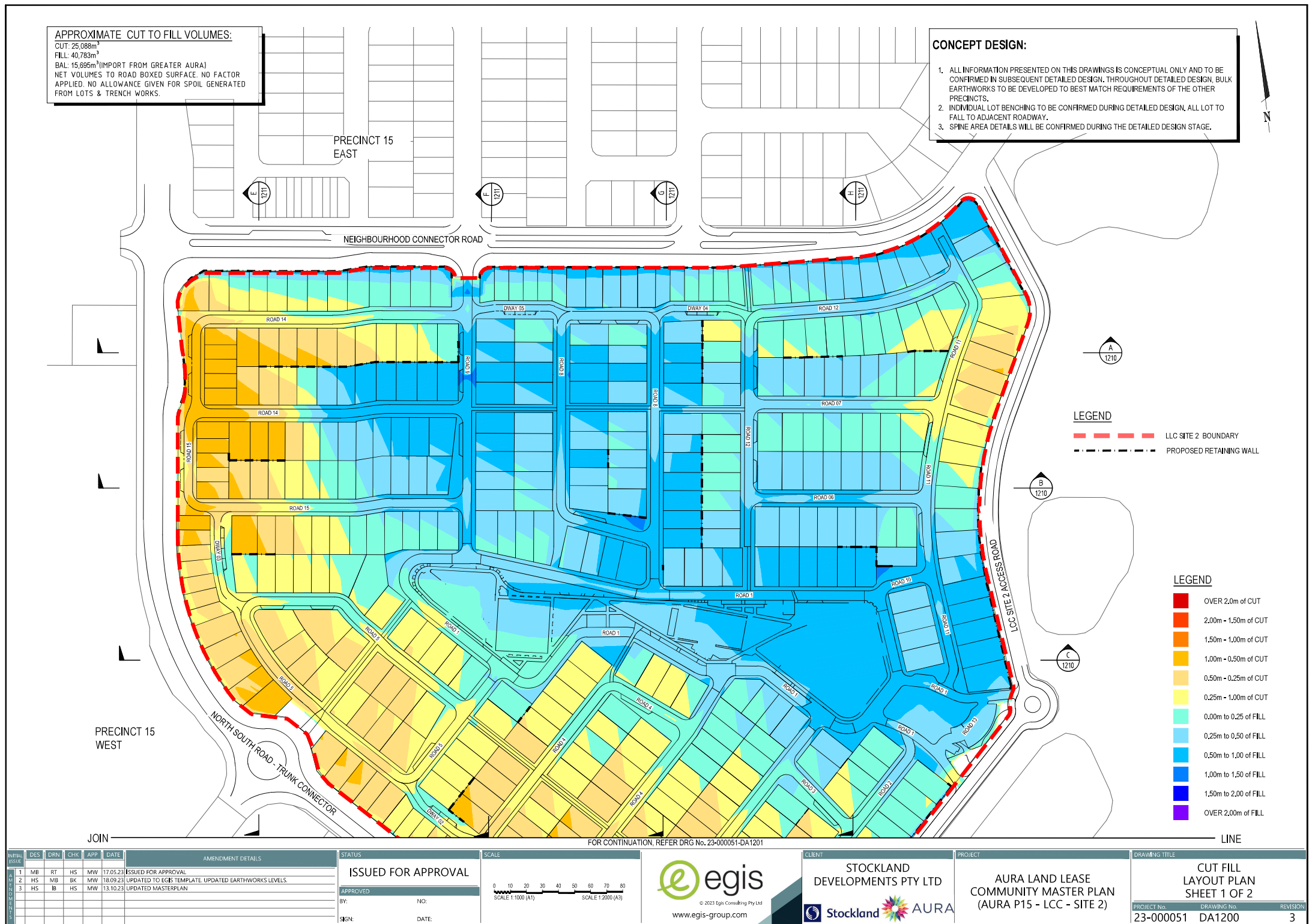
CLIENT	STOCKLAND DEVELOPMENTS PTY LTD
PROJECT	AURA LAND LEASE COMMUNITY MASTER PLAN (AURA P15 - LCC - SITE 2)

DRAWING TITLE		
OVERALL LAYOUT PLAN		
PROJECT No.	DRAWING No.	REVISION
23-000051	DA1100	3

APPROXIMATE CUT TO FILL VOLUMES:
CUT: 25,088m³
FILL: 40,783m³
BAL: 15,695m³(IMPORT FROM GREATER AURA)
NET VOLUMES TO ROAD BOXED SURFACE, NO FACTOR
APPLIED, NO ALLOWANCE GIVEN FOR SPOIL GENERATED
FROM LOTS & TRENCH WORKS.

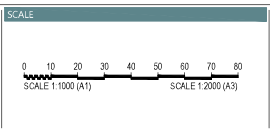
CONCEPT DESIGN:

1. ALL INFORMATION PRESENTED ON THIS DRAWINGS IS CONCEPTUAL ONLY AND TO BE CONFIRMED IN SUBSEQUENT DETAILED DESIGN. THROUGHOUT DETAILED DESIGN, BULK EARTHWORKS TO BE DEVELOPED TO BEST MATCH REQUIREMENTS OF THE OTHER PRECINCTS.
2. INDIVIDUAL LOT BENCHING TO BE CONFIRMED DURING DETAILED DESIGN, ALL LOT TO FALL TO ADJACENT ROADWAY.
3. SPINE AREA DETAILS WILL BE CONFIRMED DURING THE DETAILED DESIGN STAGE.



INITIAL	DES	DRN	CHK	APP	DATE	AMENDMENT DETAILS
1	MB	RT	HS	MW	17.05.23	ISSUED FOR APPROVAL
2	HS	MB	BK	MW	18.09.23	UPDATED TO EGIS TEMPLATE, UPDATED EARTHWORKS LEVELS.
3	HS	IB	HS	MW	13.10.23	UPDATED MASTERPLAN

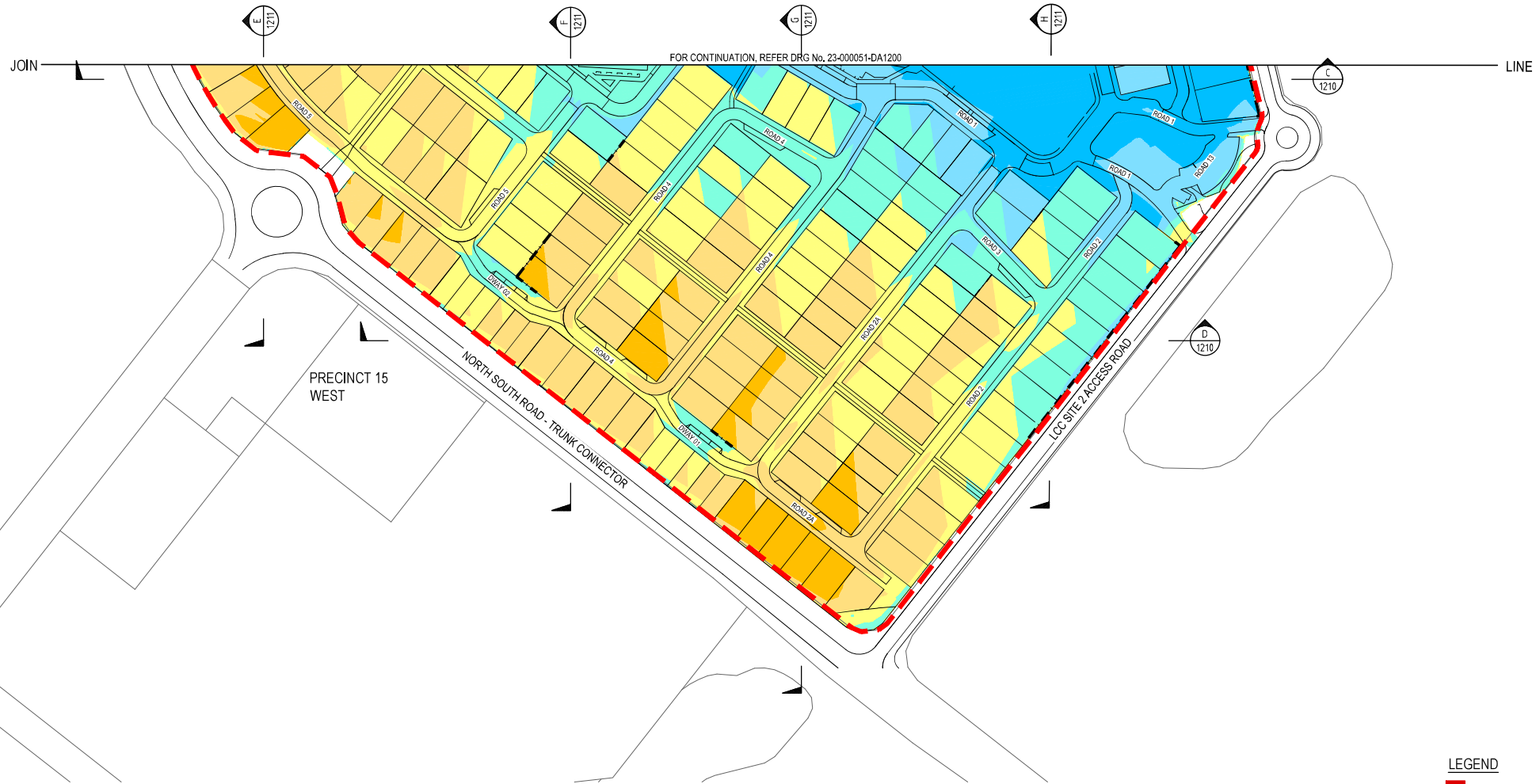
STATUS	
ISSUED FOR APPROVAL	
APPROVED	
BY:	NO:
SIGN:	DATE:



CLIENT
STOCKLAND DEVELOPMENTS PTY LTD

PROJECT
AURA LAND LEASE
COMMUNITY MASTER PLAN
(AURA P15 - LCC - SITE 2)

DRAWING TITLE	
CUT FILL LAYOUT PLAN SHEET 1 OF 2	
PROJECT No.	DRAWING No.
23-000051	DA1200
REVISION	3



LEGEND

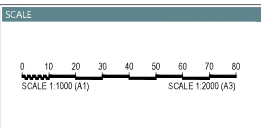
- LLC SITE 2 BOUNDARY
- - - - - PROPOSED RETAINING WALL

LEGEND

- OVER 2,0m of CUT
- 2,00m - 1,50m of CUT
- 1,50m - 1,00m of CUT
- 1,00m - 0,50m of CUT
- 0,50m - 0,25m of CUT
- 0,25m - 1,00m of CUT
- 0,00m to 0,25 of FILL
- 0,25m to 0,50 of FILL
- 0,50m to 1,00 of FILL
- 1,00m to 1,50 of FILL
- 1,50m to 2,00 of FILL
- OVER 2,00m of FILL

INITIAL ISSUE	DES	DRN	CHK	APP	DATE	AMENDMENT DETAILS
1	MB	RT	HS	MW	17.05.23	ISSUED FOR APPROVAL
2	HS	MB	BK	MW	18.09.23	UPDATED TO EGIS TEMPLATE, UPDATED EARTHWORKS LEVELS.
3	HS	IB	HS	MW	13.10.23	UPDATED MASTERPLAN

STATUS	
ISSUED FOR APPROVAL	
APPROVED	
BY:	NO:
SIGN:	DATE:



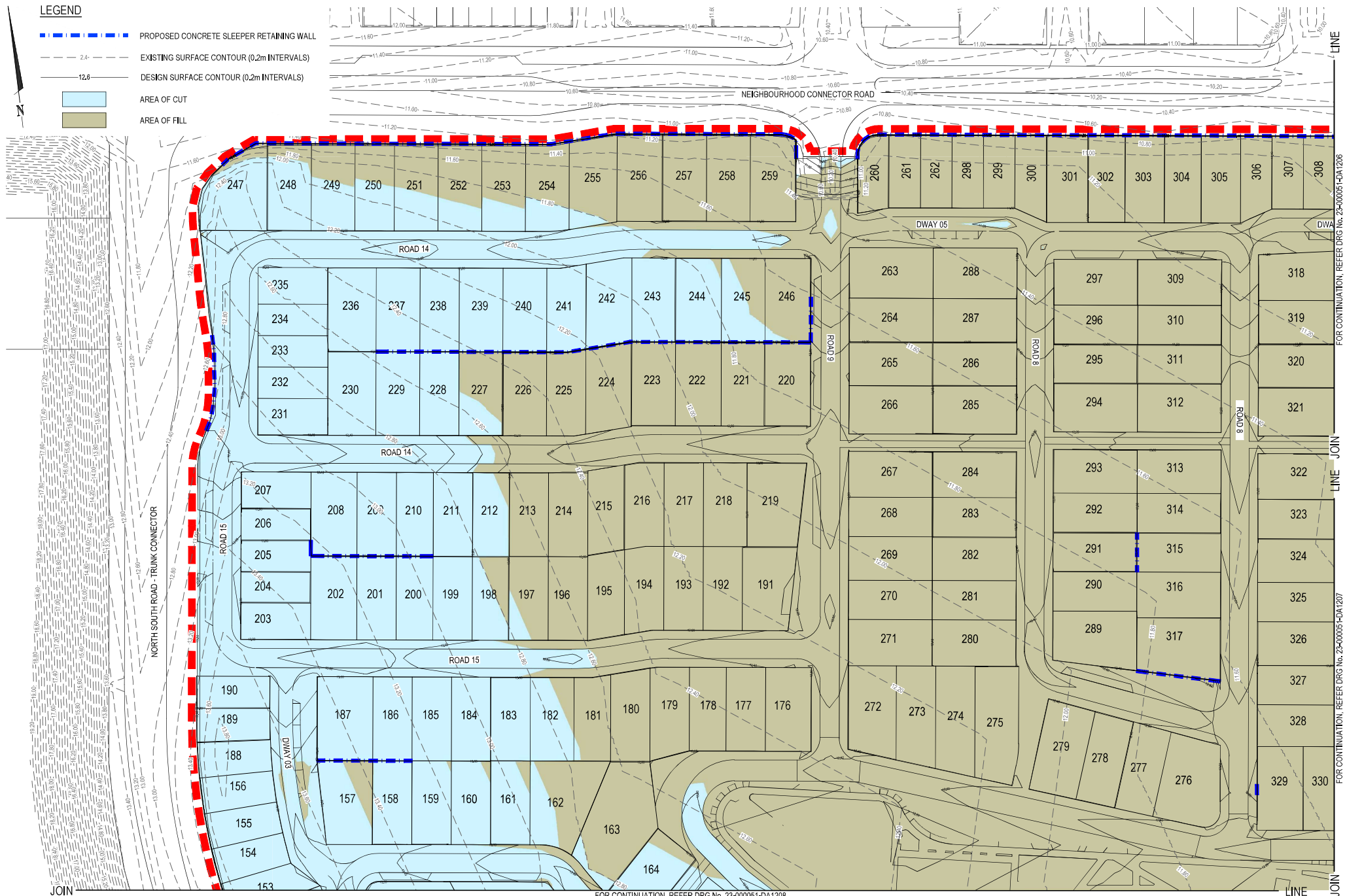
CLIENT
STOCKLAND DEVELOPMENTS PTY LTD
AURA

PROJECT
AURA LAND LEASE COMMUNITY MASTER PLAN (AURA P15 - LCC - SITE 2)

DRAWING TITLE		
CUT FILL LAYOUT PLAN SHEET 2 OF 2		
PROJECT No.	DRAWING No.	REVISION
23-000051	DA1201	3

LEGEND

- PROPOSED CONCRETE SLEEPER RETAINING WALL
- EXISTING SURFACE CONTOUR (0.2m INTERVALS)
- DESIGN SURFACE CONTOUR (0.2m INTERVALS)
- AREA OF CUT
- AREA OF FILL



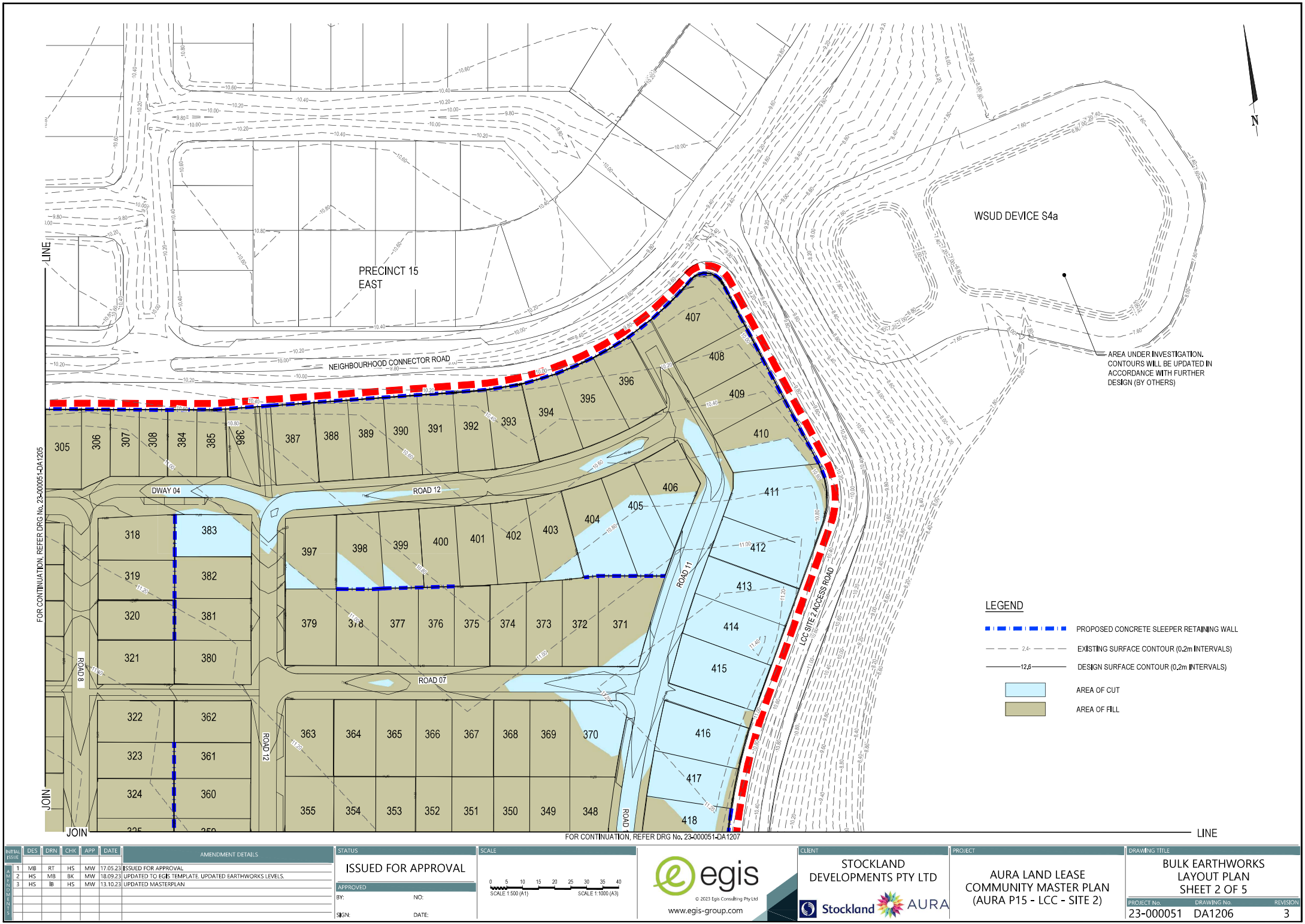
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1	MB	RT	HS	MW	17.05.23	ISSUED FOR APPROVAL		ISSUED FOR APPROVAL			AURA LAND LEASE COMMUNITY MASTER PLAN (AURA P15 - LCC - SITE 2)	BULK EARTHWORKS LAYOUT PLAN SHEET 1 OF 5	
2	HS	MB	BK	MW	18.09.23	UPDATED TO EGIS TEMPLATE, UPDATED EARTHWORKS LEVELS.							
3	HS	IB	HS	MW	13.10.23	UPDATED MASTERPLAN							
APPROVED						BY: _____ NO: _____		DATE: _____					
SIGN: _____						DATE: _____							

DECLAIMER: ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE.

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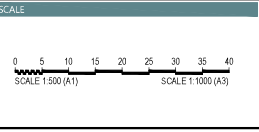
FOR CONTINUATION, REFER DRG No. 23-000051-DA1208

FOR CONTINUATION, REFER DRG No. 23-000051-DA1207



INITIALS	DES	DRN	CHK	APP	DATE	AMENDMENT DETAILS
1	MB	RT	HS	MW	17.05.23	ISSUED FOR APPROVAL
2	HS	MB	BK	MW	18.09.23	UPDATED TO EGIS TEMPLATE, UPDATED EARTHWORKS LEVELS.
3	HS	IB	HS	MW	13.10.23	UPDATED MASTERPLAN

STATUS	
ISSUED FOR APPROVAL	
APPROVED	
BY:	NO:
SIGN:	DATE:





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CLIENT

STOCKLAND DEVELOPMENTS PTY LTD



PROJECT

AURA LAND LEASE
COMMUNITY MASTER PLAN
(AURA P15 - LCC - SITE 2)

DRAWING TITLE

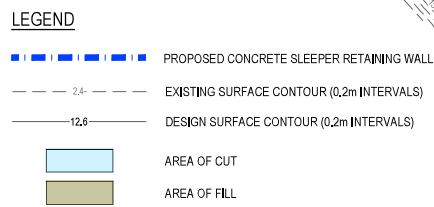
BULK EARTHWORKS
LAYOUT PLAN
SHEET 2 OF 5

PROJECT No.	DRAWING No.	REVISION
23-000051	DA1206	3

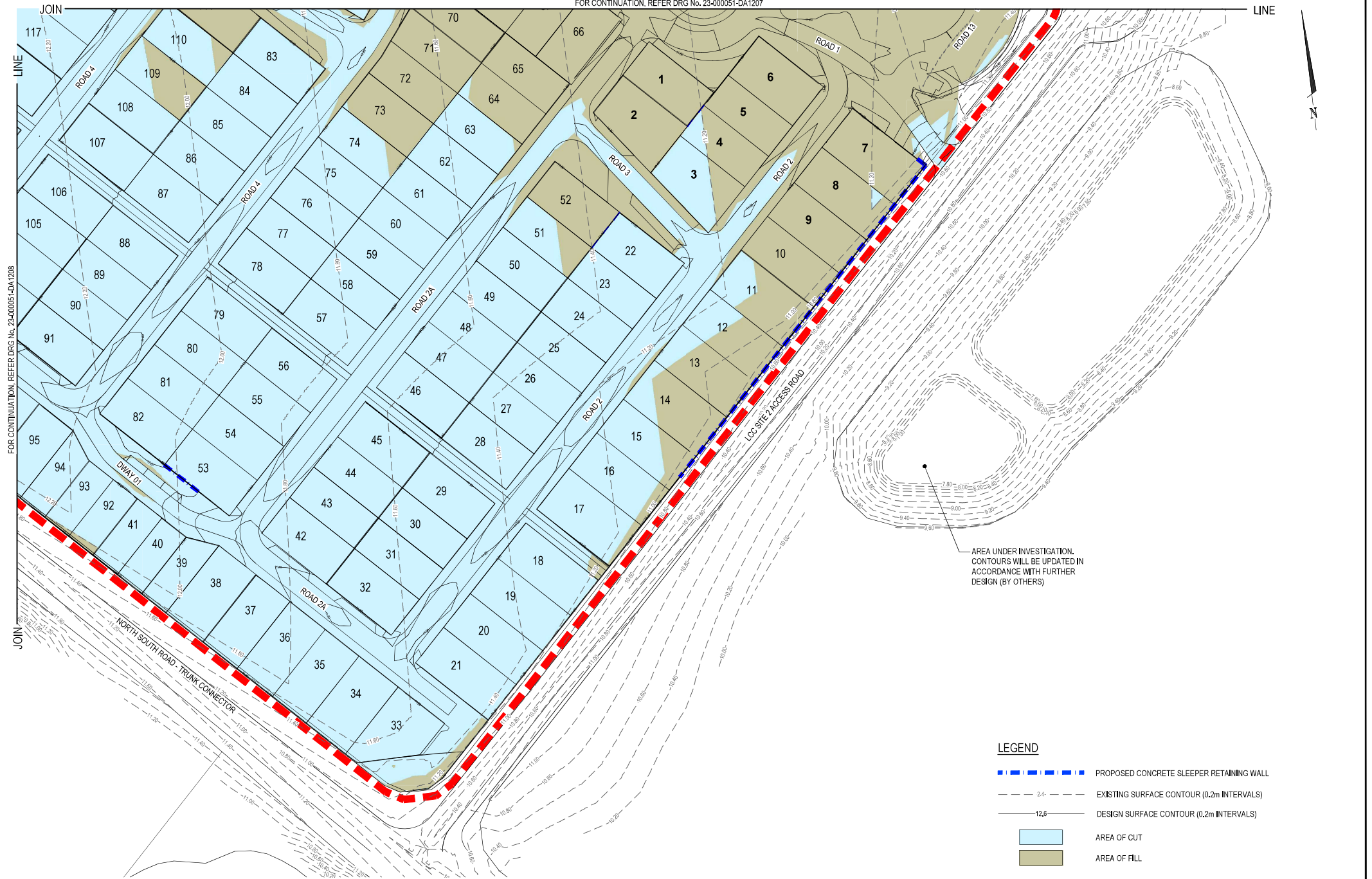
DISCLAIMER: ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE.



DISCLAIMER: ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE.

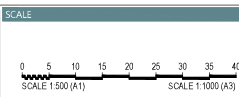


DRAWING TITLE		
BULK EARTHWORKS LAYOUT PLAN SHEET 4 OF 5		
PROJECT No.	DRAWING No.	REVISION
23-000051	DA1208	3



INITIAL ISSUE	DES	DRN	CHK	APP	DATE	AMENDMENT DETAILS
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2	HS	MB	BK	MW	18.09.23	UPDATED TO EGIS TEMPLATE, UPDATED EARTHWORKS LEVELS.
3	HS	IB	HS	MW	13.10.23	UPDATED MASTERPLAN

ISSUED FOR APPROVAL

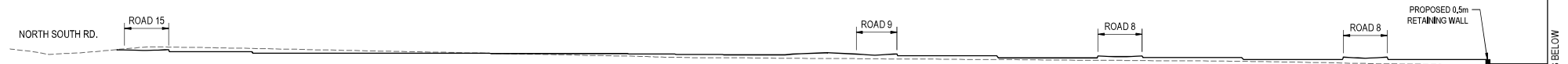
APPROVED
BY: NO: SIGN: DATE:



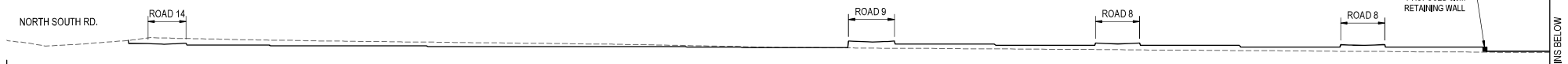
SECTION D
SCALE (V): 1:500
SCALE (H): 1:1000



SECTION C
SCALE (V): 1:500
SCALE (H): 1:1000



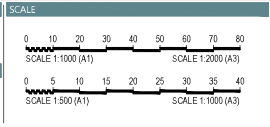
SECTION B
SCALE (V): 1:500
SCALE (H): 1:1000



SECTION A
SCALE (V): 1:500
SCALE (H): 1:1000

INITIAL	DES	DRN	CHK	APP	DATE	AMENDMENT DETAILS
1	MB	RT	HS	MW	17.05.23	ISSUED FOR APPROVAL
2	HS	MB	BK	MW	18.09.23	UPDATED TO EGIS TEMPLATE, UPDATED EARTHWORKS LEVELS.
3	HS	IB	HS	MW	13.10.23	UPDATED MASTERPLAN

STATUS	
ISSUED FOR APPROVAL	
APPROVED	
BY:	NO:
SIGN:	DATE:



CLIENT

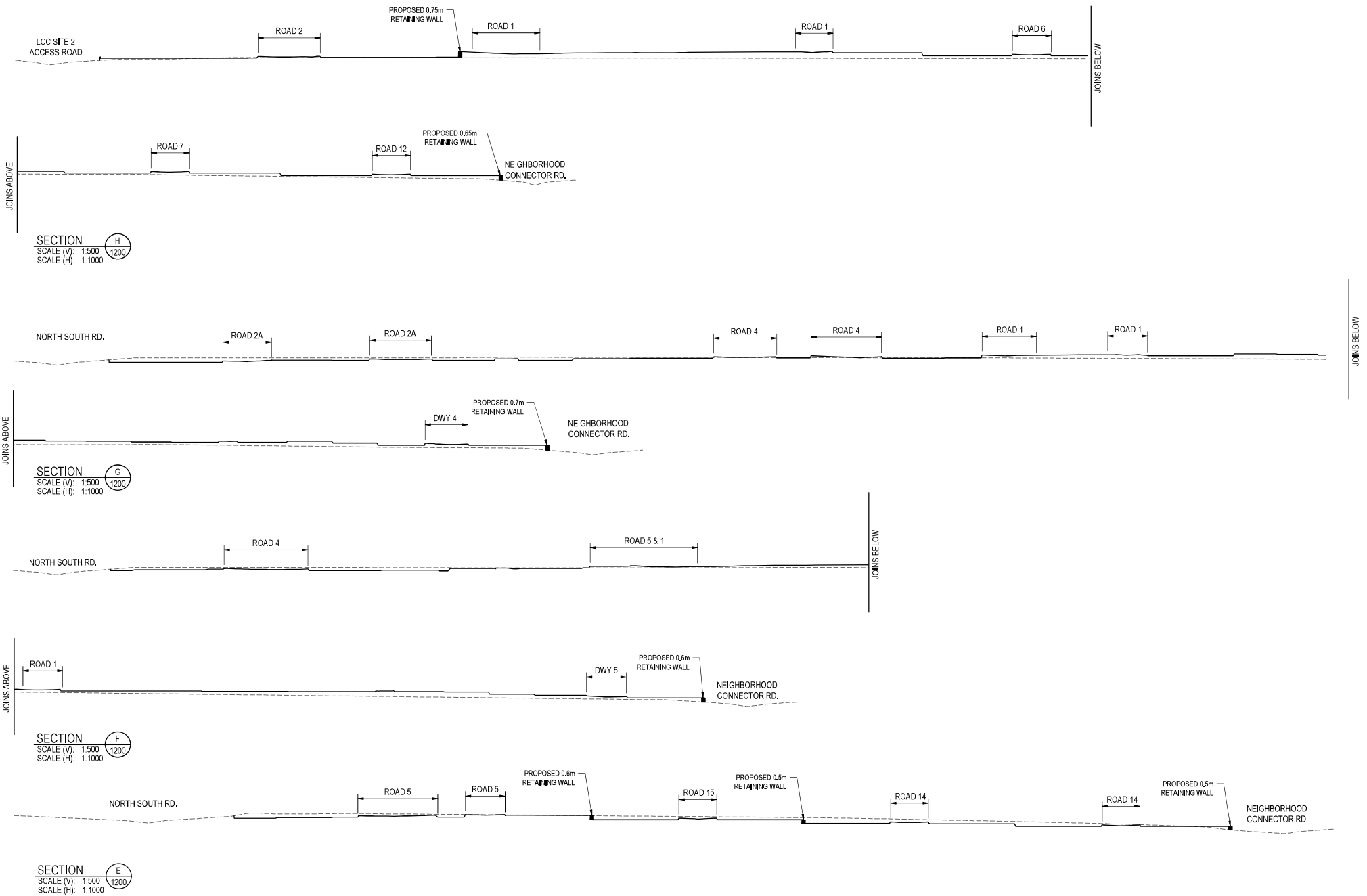
STOCKLAND DEVELOPMENTS PTY LTD

PROJECT

AURA LAND LEASE
COMMUNITY MASTER PLAN
(AURA P15 - LCC - SITE 2)

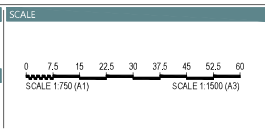
DRAWING TITLE		
BULK EARTHWORKS SECTIONS SHEET 1 OF 2		
PROJECT No.	DRAWING No.	REVISION
23-000051	DA1210	3

DISCLAIMER: ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE.



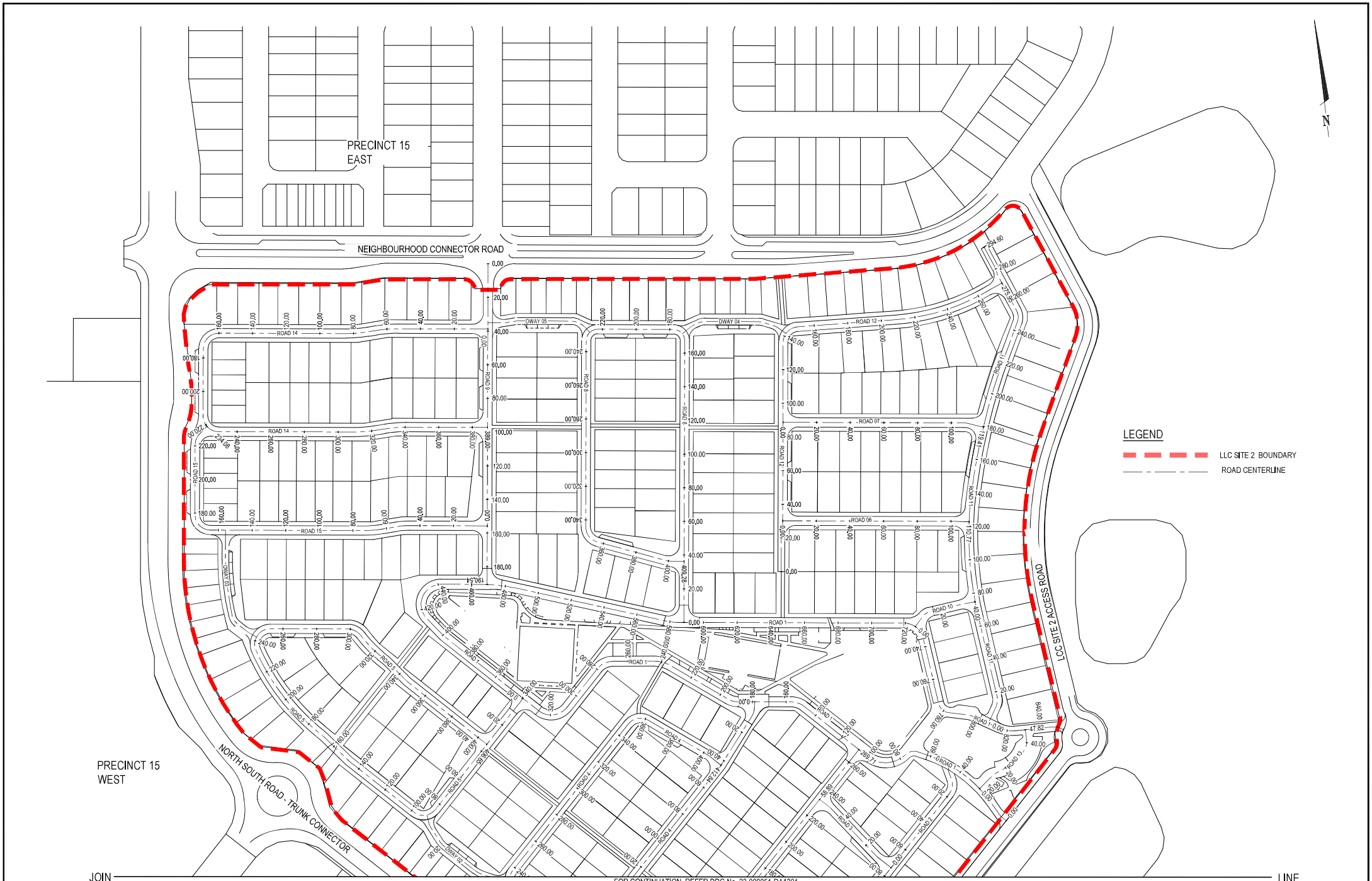
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1	MB	RT	HS	MW	17.05.23	ISSUED FOR APPROVAL
2	HS	MB	BK	MW	18.09.23	UPDATED TO EGIS TEMPLATE, UPDATED EARTHWORKS LEVELS.
3	HS	IB	HS	MW	13.10.23	UPDATED MASTERPLAN

STATUS
ISSUED FOR APPROVAL
APPROVED
BY: NO:
SIGN: DATE:



PROJECT
AURA LAND LEASE
COMMUNITY MASTER PLAN
(AURA P15 - LCC - SITE 2)

DRAWING TITLE		
BULK EARTHWORKS SECTIONS SHEET 2 OF 2		
PROJECT No.	DRAWING No.	REVISION
23-000051	DA1211	3



INITIAL ISSUE						AMENDMENT DETAILS		STATUS		SCALE		CLIENT		PROJECT		DRAWING TITLE													
1	MB	RT	HS	MW	17.05.23	ISSUED FOR APPROVAL		ISSUED FOR APPROVAL		0 10 20 30 40 50 60 70 80 SCALE 1:1000 (A1) SCALE 1:2000 (A3)		STOCKLAND DEVELOPMENTS PTY LTD		AURA LAND LEASE COMMUNITY MASTER PLAN (AURA P15 - LCC - SITE 2)		ROADWORKS LAYOUT PLAN SHEET 1 OF 2													
2	HS	MB	BK	MW	18.09.23	UPDATED TO EGIS TEMPLATE, UPDATED EARTHWORKS LEVELS.		APPROVED		BY: NO:		egis © 2023 Egis Consulting Pty Ltd www.egis-group.com		Stockland AURA		23-000051 DA1300		REVISION 3											
3	HS	IB	HS	MW	13.10.23	UPDATED MASTERPLAN		SIGN: DATE:																					
DECLAMER: ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE.																				www.egis-group.com									

JOIN

FOR CONTINUATION, REFER DRG No. 23-000051-DA1300

LINE

PRECINCT 15
WEST

NORTH SOUTH ROAD - TRUNK CONNECTOR

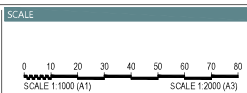
LCC SITE 2 ACCESS ROAD

LEGEND

- LLC SITE 2 BOUNDARY
- ROAD CENTERLINE

INITIALS	DES	DRN	CHK	APP	DATE	AMENDMENT DETAILS
1	MB	RT	HS	MW	17.05.23	ISSUED FOR APPROVAL
2	HS	MB	BK	MW	18.09.23	UPDATED TO EGIS TEMPLATE, UPDATED EARTHWORKS LEVELS.
3	HS	IB	HS	MW	13.10.23	UPDATED MASTERPLAN

STATUS
ISSUED FOR APPROVAL
APPROVED
BY: NO:
SIGN: DATE:

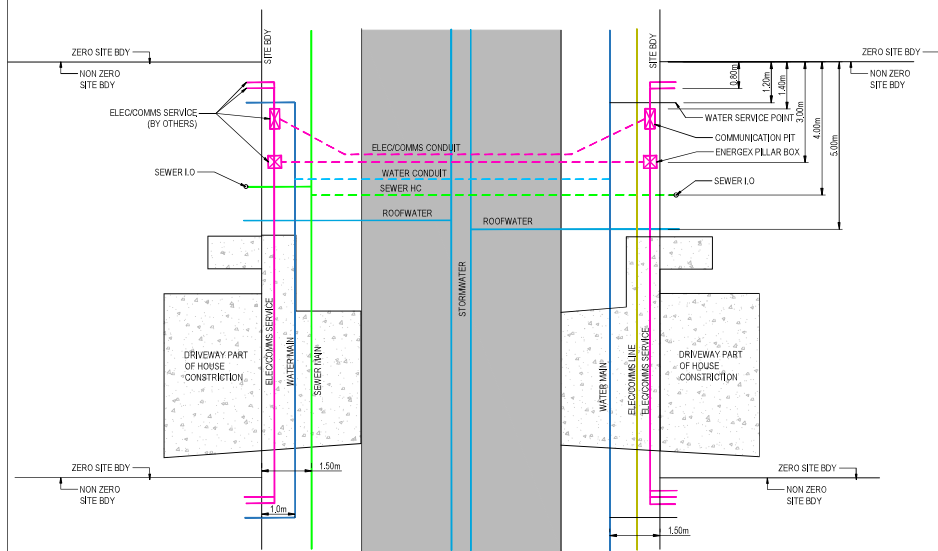


PROJECT

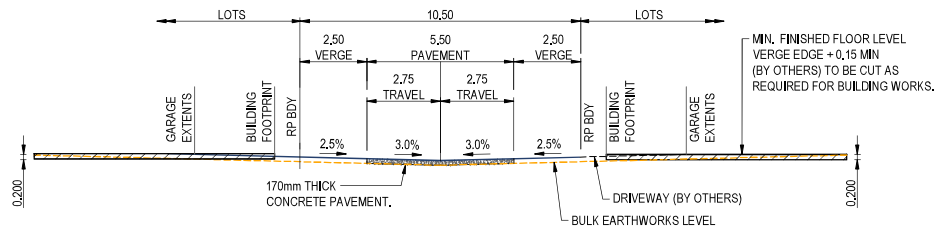
STOCKLAND
DEVELOPMENTS PTY LTD

AURA LAND LEASE
COMMUNITY MASTER PLAN
(AURA P15 - LCC - SITE 2)

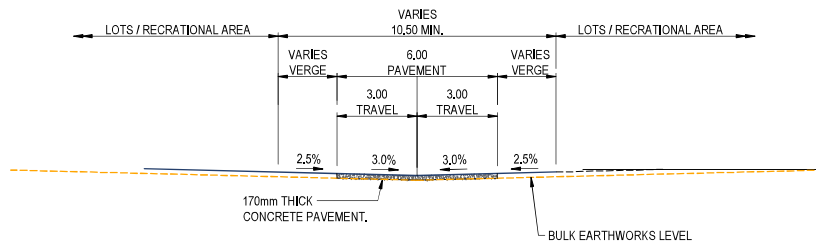
DRAWING TITLE		
ROADWORKS LAYOUT PLAN SHEET 2 OF 2		
PROJECT No.	DRAWING No.	REVISION
23-000051	DA1301	3



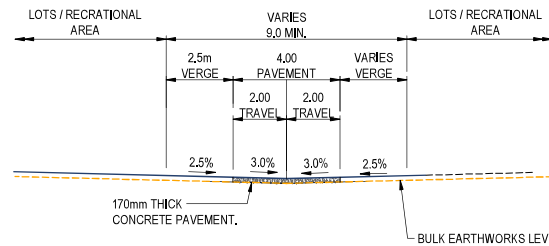
TYPICAL SERVICES LAYOUT
SUBJECTED TO DETAILED DESIGN (NTS)



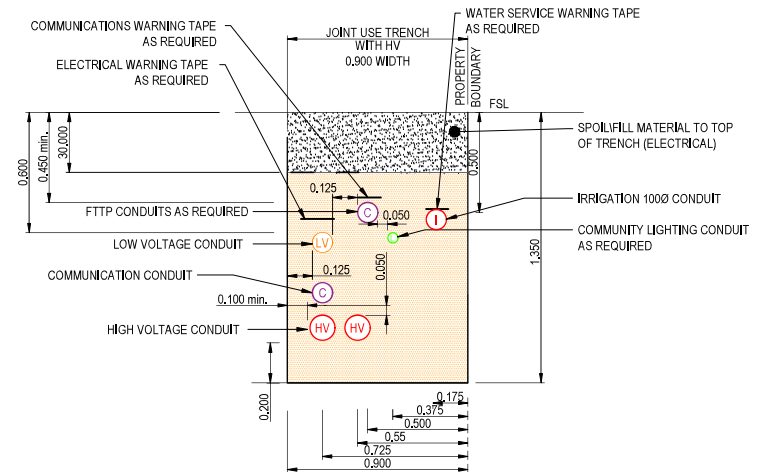
TYPICAL ROAD CROSS SECTION - ACCESS ROAD
SCALE (A1): 1:100
SCALE (A3): 1:200



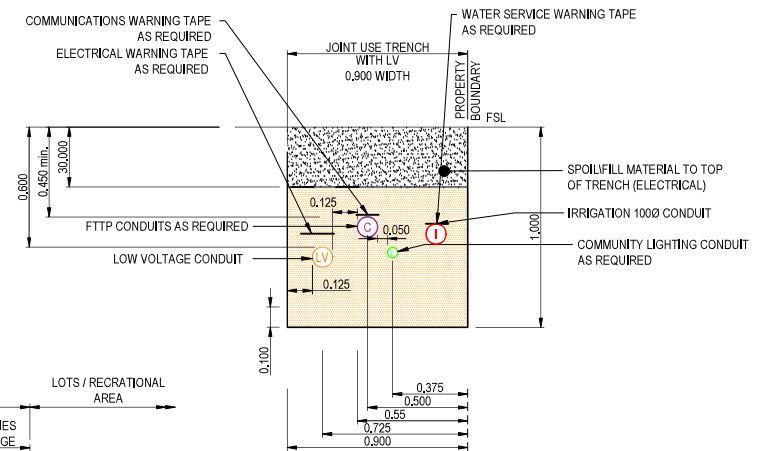
TYPICAL ROAD CROSS SECTION - MAIN ENTRY/EXIT ROAD
SCALE (A1): 1:100
SCALE (A3): 1:200



TYPICAL ROAD CROSS SECTION - DRIVEWAY/LANEWAY
SCALE (A1): 1:100
SCALE (A3): 1:200



TYPICAL SERVICES TRENCH (LV)
INDICATIVE ONLY - SUBJECTED TO DETAILED DESIGN (NTS)



TYPICAL SERVICES TRENCH (HV)
INDICATIVE ONLY - SUBJECTED TO DETAILED DESIGN (NTS)

INITIAL ISSUE	DES	DRN	CHK	APP	DATE	AMENDMENT DETAILS
1	MB	RT	HS	MW	17.05.23	ISSUED FOR APPROVAL
2	HS	MB	BK	MW	18.09.23	UPDATED TO EGIS TEMPLATE, UPDATED EARTHWORKS LEVELS.
3	HS	IB	HS	MW	13.10.23	UPDATED MASTERPLAN

STATUS	SCALE
ISSUED FOR APPROVAL	0 7.5 15 22.5 30 37.5 45 52.5 60 SCALE 1:750 (A1) SCALE 1:1500 (A3)
APPROVED	
BY:	NO:
SIGN:	DATE:



PROJECT
AURA LAND LEASE
COMMUNITY MASTER PLAN
(AURA P15 - LCC - SITE 2)

DRAWING TITLE	PROJECT No.	DRAWING No.	REVISION
ROADWORKS TYPICAL SECTIONS	23-000051	DA1302	3

AMENDMENT DETAILS
ISSUED FOR APPROVAL UPDATED TO ECR TEMPLATE. UPDATED EARTHWORKS LEVELS. UPDATED MASTERPLAN

STOCKLAND DEVELOPMENTS PTY LTD


Stockland


DRAWING TITLE	
ROAD 1 LONGITUDINAL SECTIONS SHEET 1 OF 2	
PROJECT No.	DRAWING No.
23-000051	DA1310
REVISION	
3	

HORIZ SCALE: 1000
VERTICAL SCALE: 100



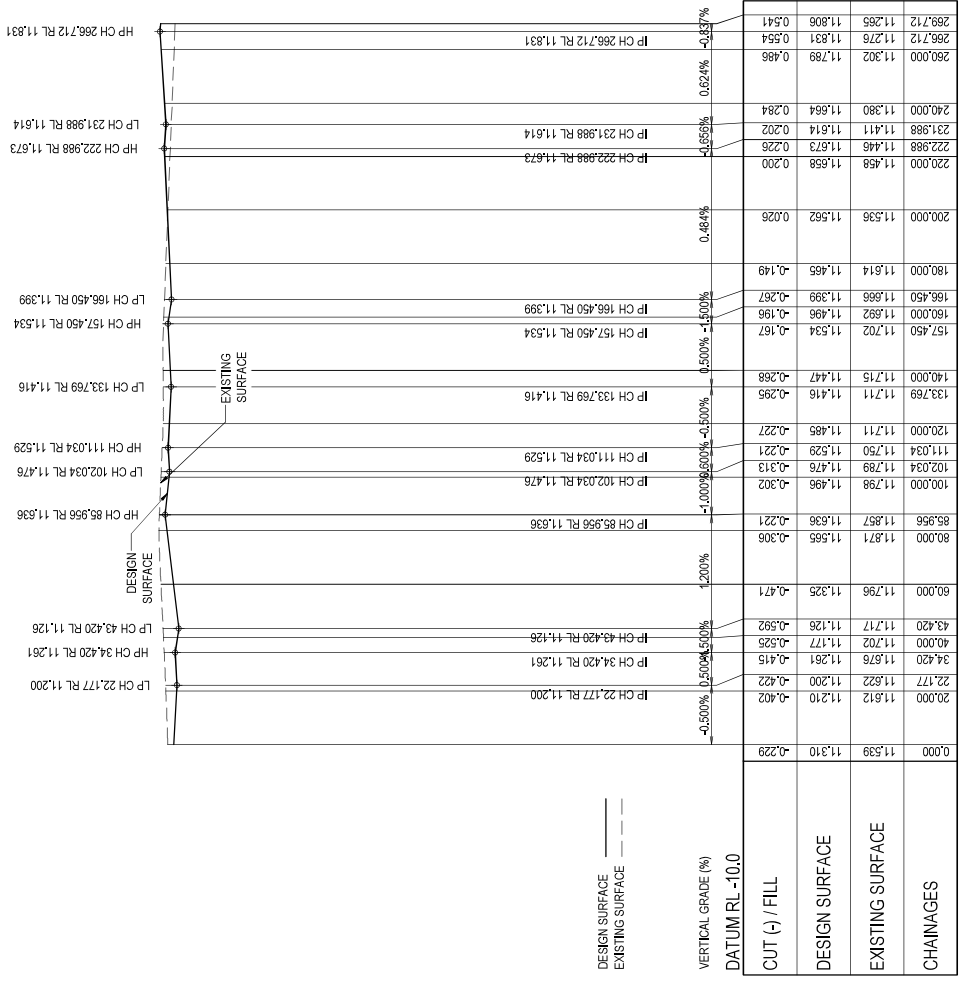
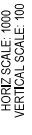
AMENDMENT DETAILS
ISSUED FOR APPROVAL UPDATED TO ECR TEMPLATE. UPDATED EARTHWORKS LEVELS. UPDATED MASTERPLAN

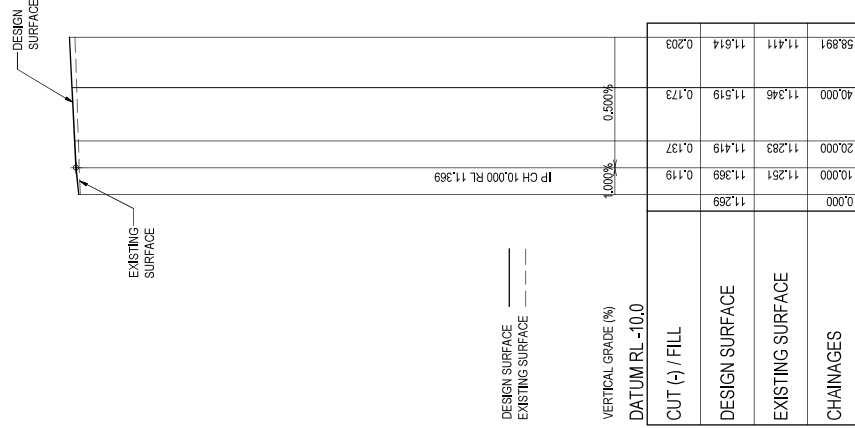
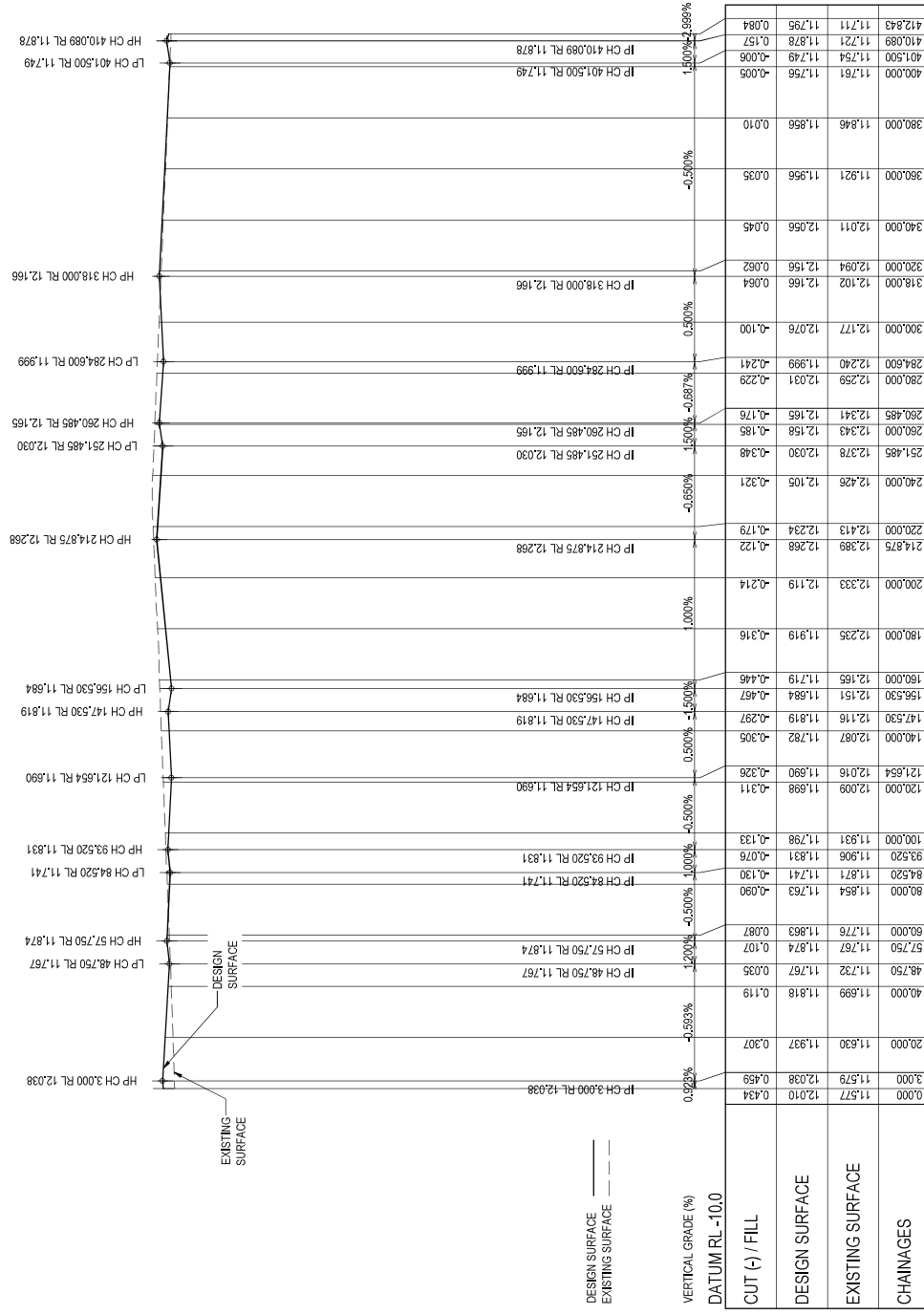
CLIENT

STOCKLAND
DEVELOPMENTS PTY LTD

 Stockland  AURA

DRAWING TITLE	
ROAD 2 & ROAD 2A LONGITUDINAL SECTIONS	
PROJECT No.	DRAWING No.
23-000051	DA1312
REVISION	3

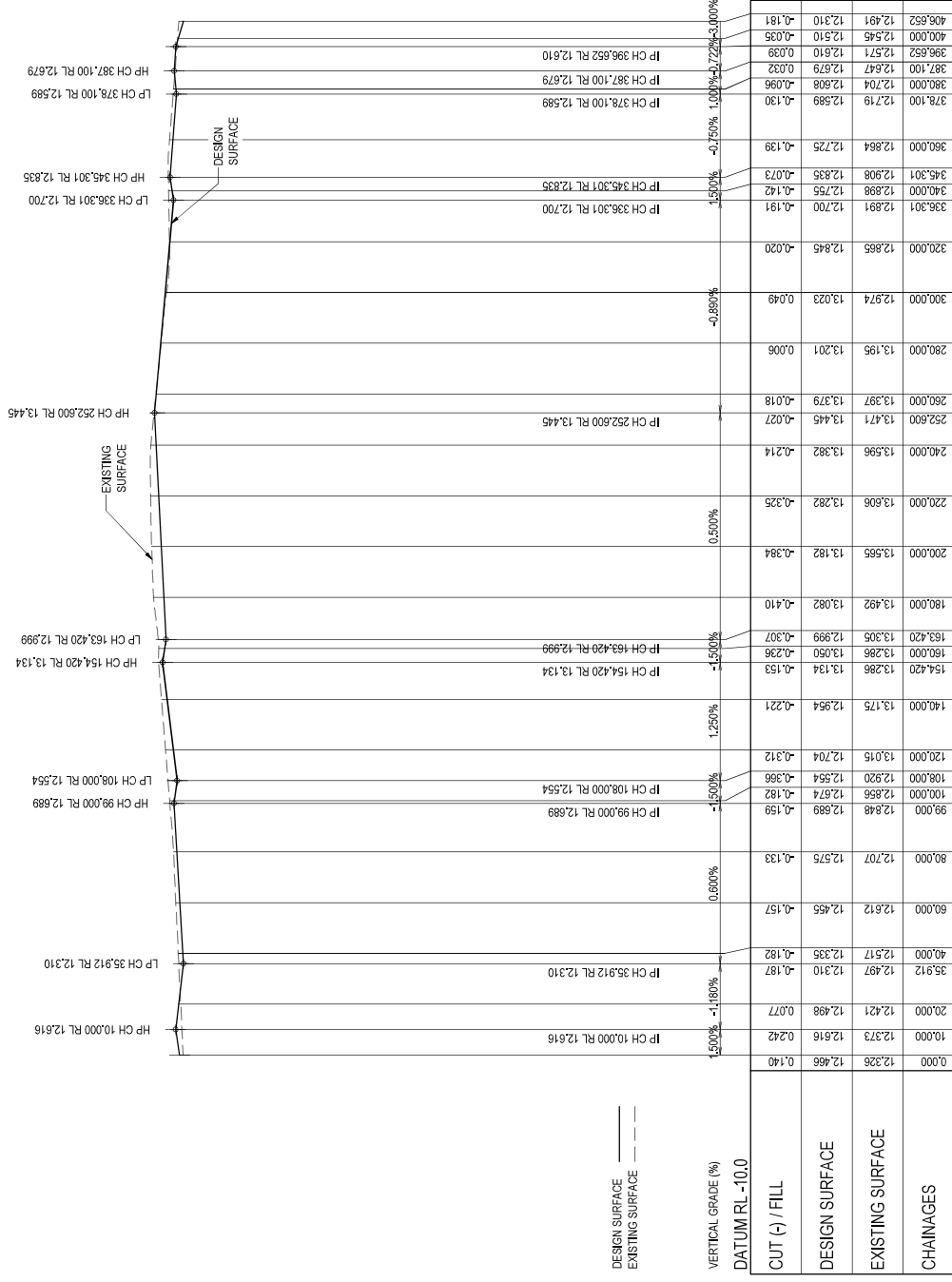




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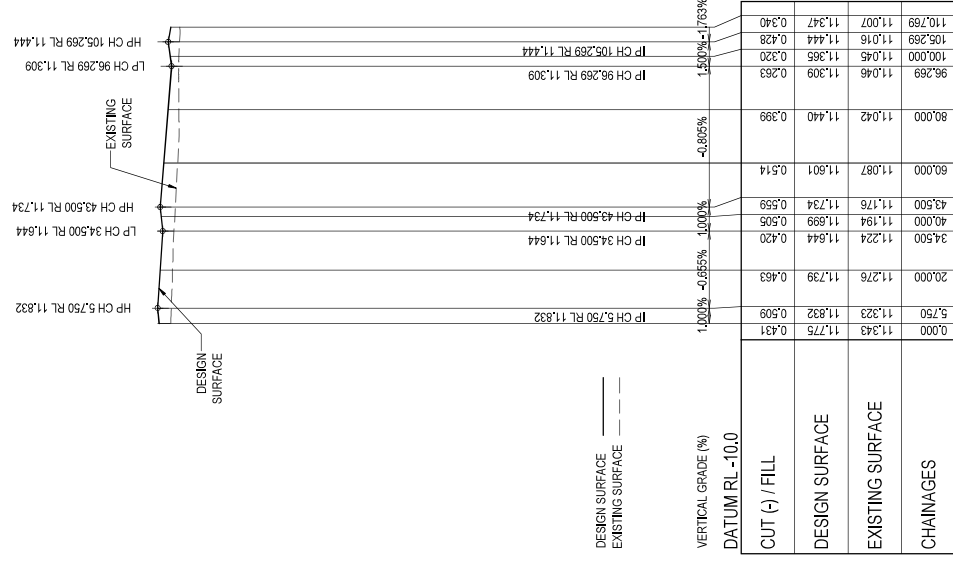
LONGITUDINAL SECTION - ROAD 5

HORIZ SCALE: 1000
VERTICAL SCALE: 100



LONGITUDINAL SECTION - ROAD 6

HORIZ SCALE: 1000
VERTICAL SCALE: 100



11 MB RT HS

12 HS

13 HS

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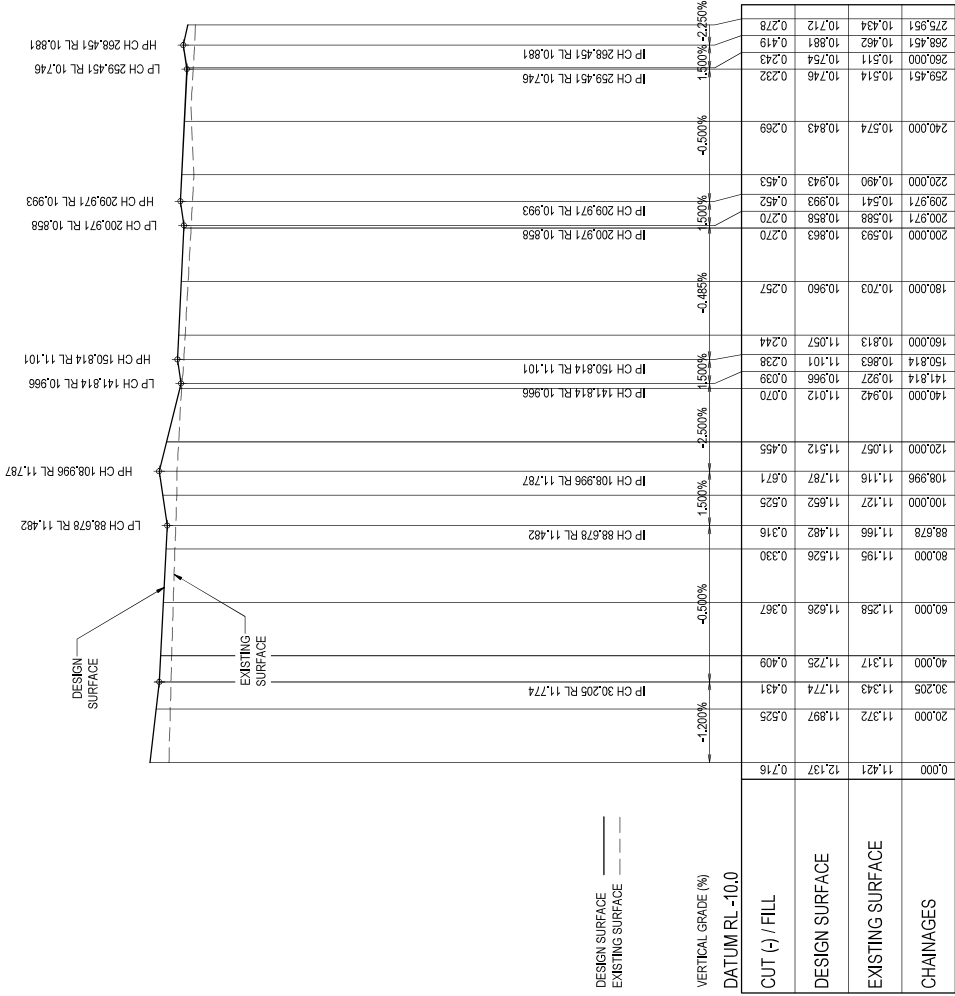
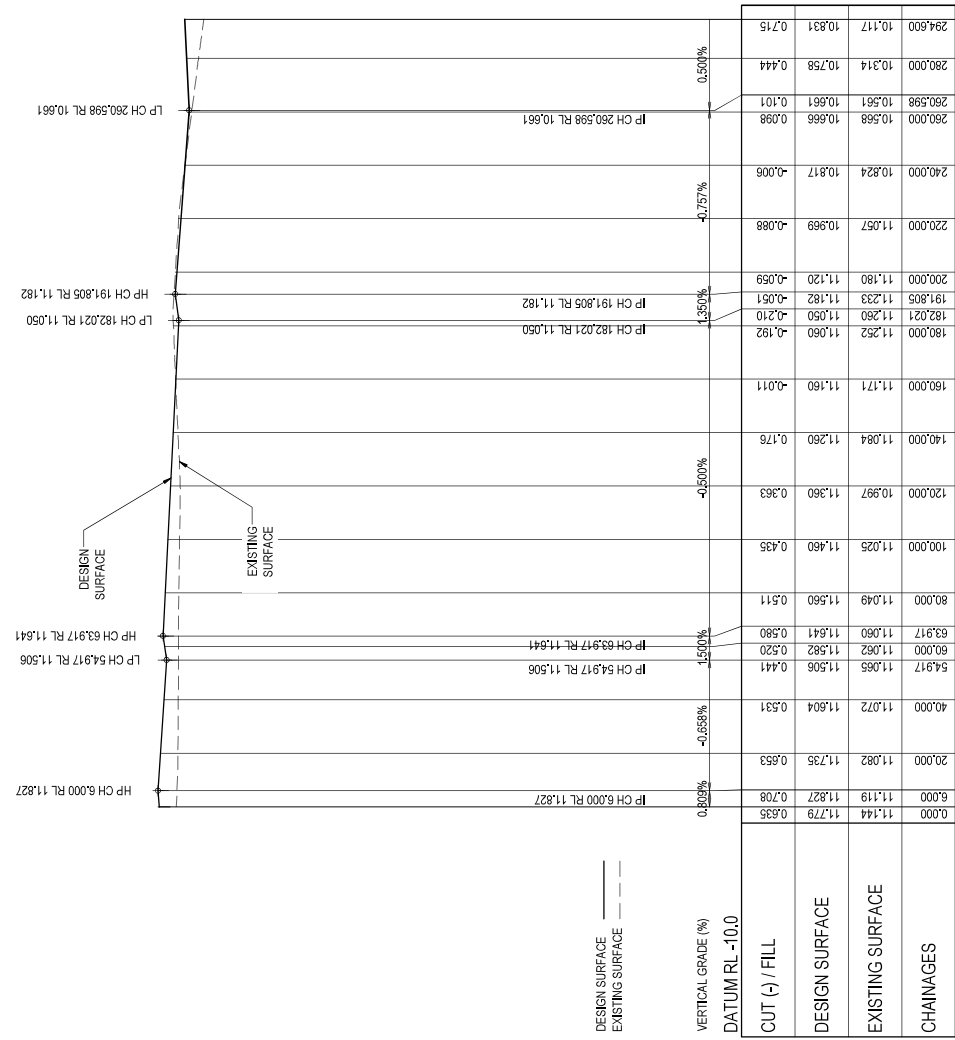
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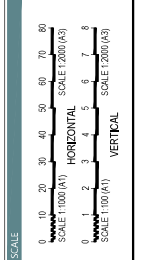


DO NOT SCALE DIMENSIONS TO CONSTRUCTION. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR TO BE 3/16" MIN. TOLERANCE.



REV	DATE	BY	CHK	APP	DATE
1	17.05.23	HS	MM	MM	17.05.23
2	18.09.23	BK	MM	MM	18.09.23
3	16.10.23	HS	MM	MM	16.10.23

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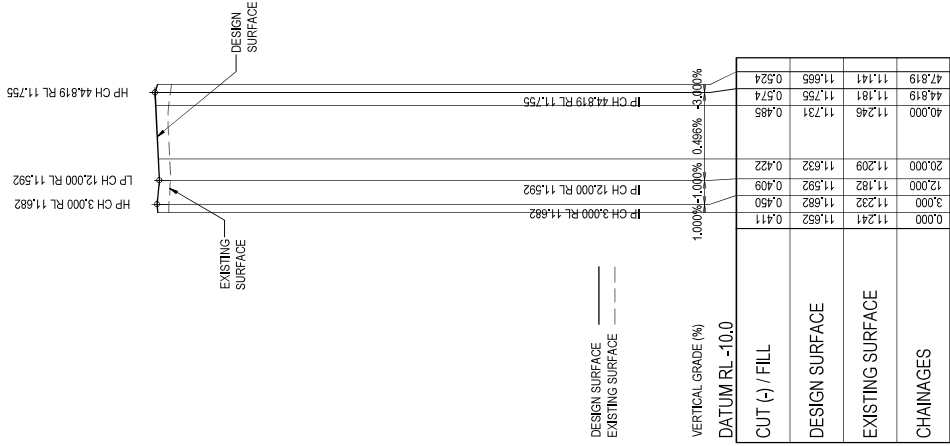
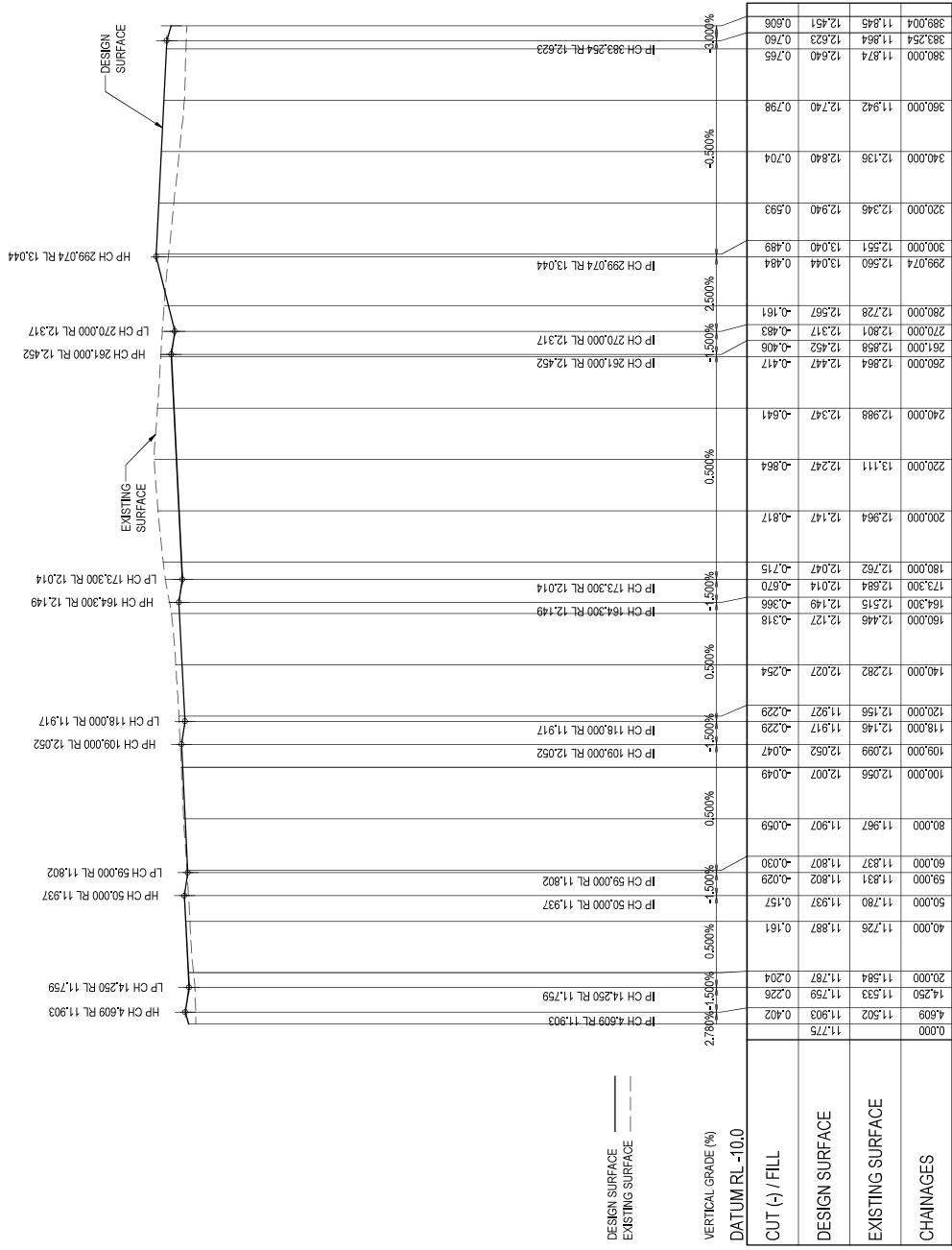


CLIENT

STOCKLAND DEVELOPMENTS PTY LTD

PROJECT

AURA LAND LEASE
COMMUNITY MASTER PLAN
(AURA P15 - LCC - SITE 2)



ISSUED FOR APPROVAL

APPROVED

BY: _____

NO: _____

DATE: _____

STATUS

AMENDMENT DETAILS

REV	DATE	APP	CHK	BY	DATE
1	17.05.23	ISSUED FOR APPROVAL	HS	RT	
2	18.09.23	UPDATED TO L&E TEMPLATE, UPDATED EARTHWORKS LEVELS.	BK	HS	
3	16.10.23	UPDATED MASTERPLAN	HS	IB	

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STOCKLAND DEVELOPMENTS PTY LTD

AURA

PROJECT

AURA LAND LEASE
COMMUNITY MASTER PLAN
(AURA P15 - LCC - SITE 2)

DRAWING TITLE

ROAD 13 & 14
LONGITUDINAL SECTIONS

PROJECT No.

23-000051

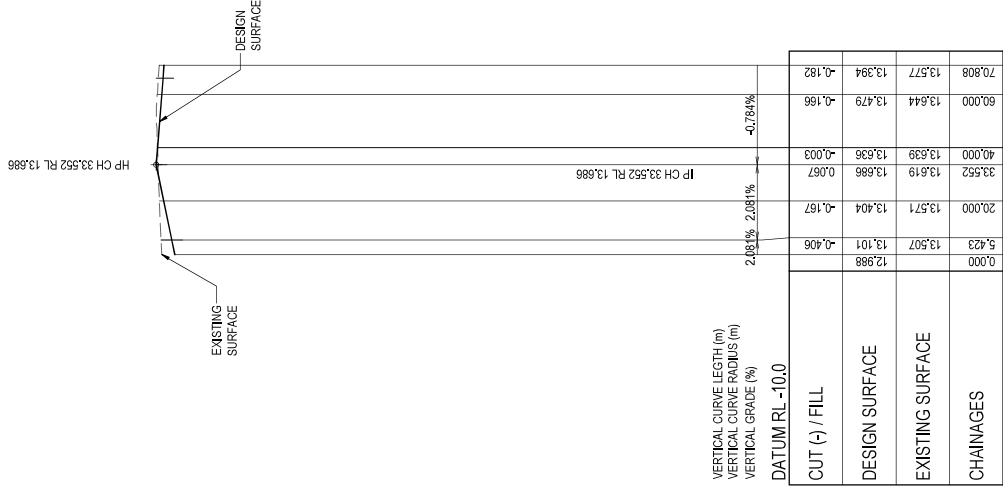
DRAWING No.

DA1318

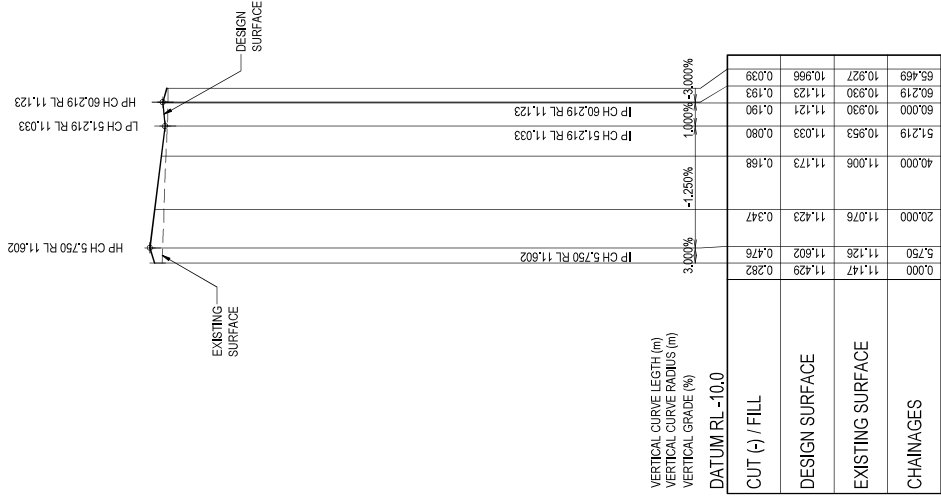
REVISION

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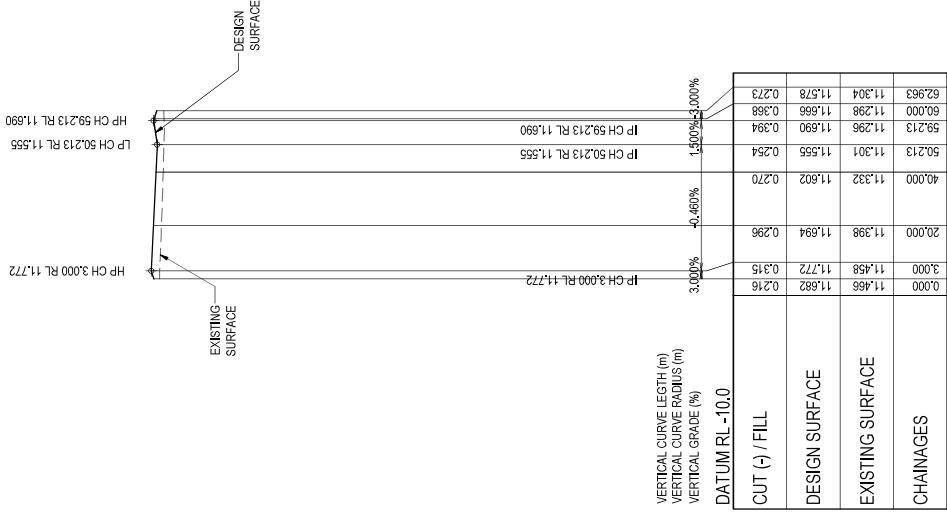
DISCLAIMER: ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE.



LONGITUDINAL SECTION - DRIVEWAY 03
HORIZ SCALE: 1000
VERTICAL SCALE: 100



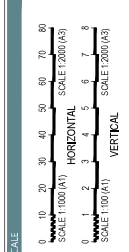
LONGITUDINAL SECTION - DRIVEWAY 04
HORIZ SCALE: 1000
VERTICAL SCALE: 100



LONGITUDINAL SECTION - DRIVEWAY 05
HORIZ SCALE: 1000
VERTICAL SCALE: 100

REVISION				AMENDMENT DETAILS				STATUS			
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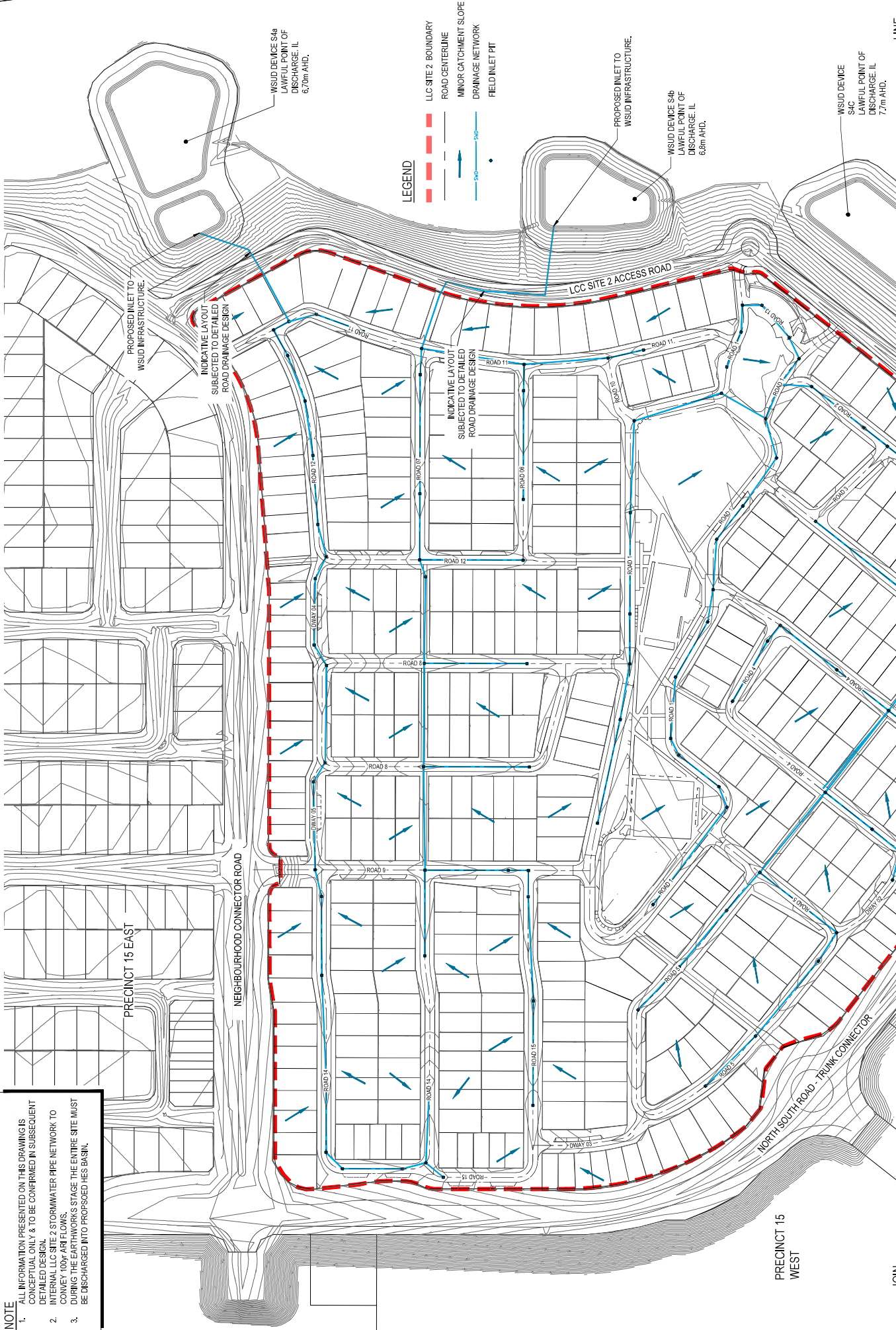


CLIENT
STOCKLAND DEVELOPMENTS PTY LTD
PROJECT
AURA LAND LEASE COMMUNITY MASTER PLAN (AURA P15 - LCC - SITE 2)

DRAWING TITLE
DRIVEWAY 3, 4, & 5 LONGITUDINAL SECTIONS

NOTE

1. ALL INFORMATION PRESENTED ON THIS DRAWING IS CONCEPTUAL ONLY & TO BE CONFIRMED IN SUBSEQUENT DETAILED DESIGN.
2. INTERNAL LLC SITE 2 STORMWATER PIPE NETWORK TO CONVEY 100% ARI FLOWS.
3. DURING THE EARTHWORKS STAGE THE ENTIRE SITE MUST BE DISCHARGED INTO PROPOSED HES BASIN.



LEGEND

- LLC SITE 2 BOUNDARY
- ROAD CENTERLINE
- MINOR CATCHMENT SLOPE
- DRAINAGE NETWORK
- FIELD INLET PIT

REV	DATE	APP	CHK	BY	DATE
1	17.05.23	ISSUED FOR APPROVAL			
2	18.09.23	UPDATED TO EIR TEMPLATE			
3	16.10.23	UPDATED MASTERPLAN			

AMENDMENT DETAILS	
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SIGN:	DATE:

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0 10 20 30 40 50 60 70 80	SCALE 1:2000 (A3)

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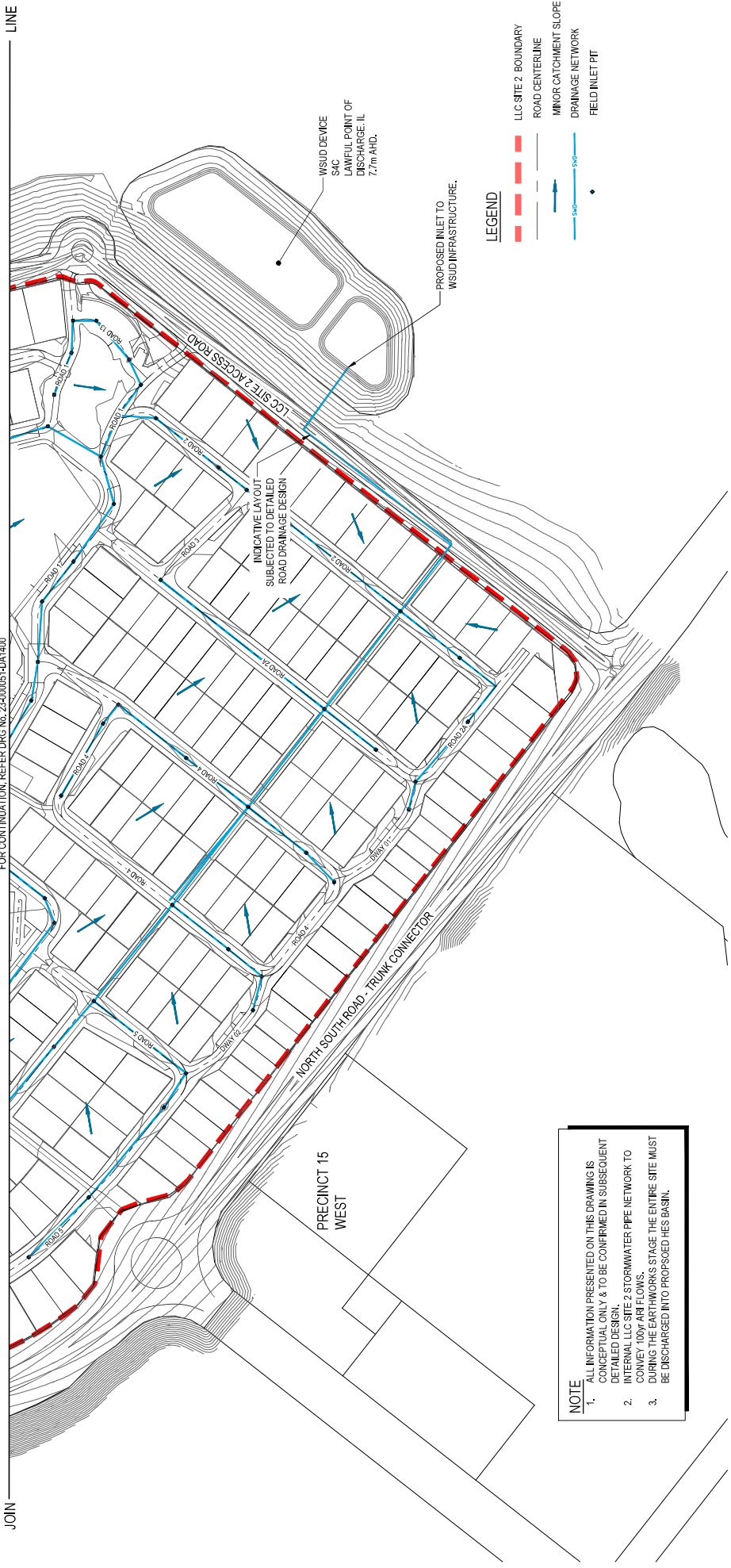
STOCKLAND DEVELOPMENTS PTY LTD
AURA
Stockland

AURA LAND LEASE
COMMUNITY MASTER PLAN
(AURA P15 - LCC - SITE 2)

CONCEPT STORMWATER DRAINAGE LAYOUT PLAN
SHEET 1 OF 2
PROJECT No. 23-000051
DRAWING No. DA1400
REVISION 3

JOIN _____ LINE

FOR CONTINUATION, REFER DRG No. 23-000051-DA1400



NOTE

1. ALL INFORMATION PRESENTED ON THIS DRAWING IS CONCEPTUAL ONLY & TO BE CONFIRMED IN SUBSEQUENT DETAILED DESIGN.

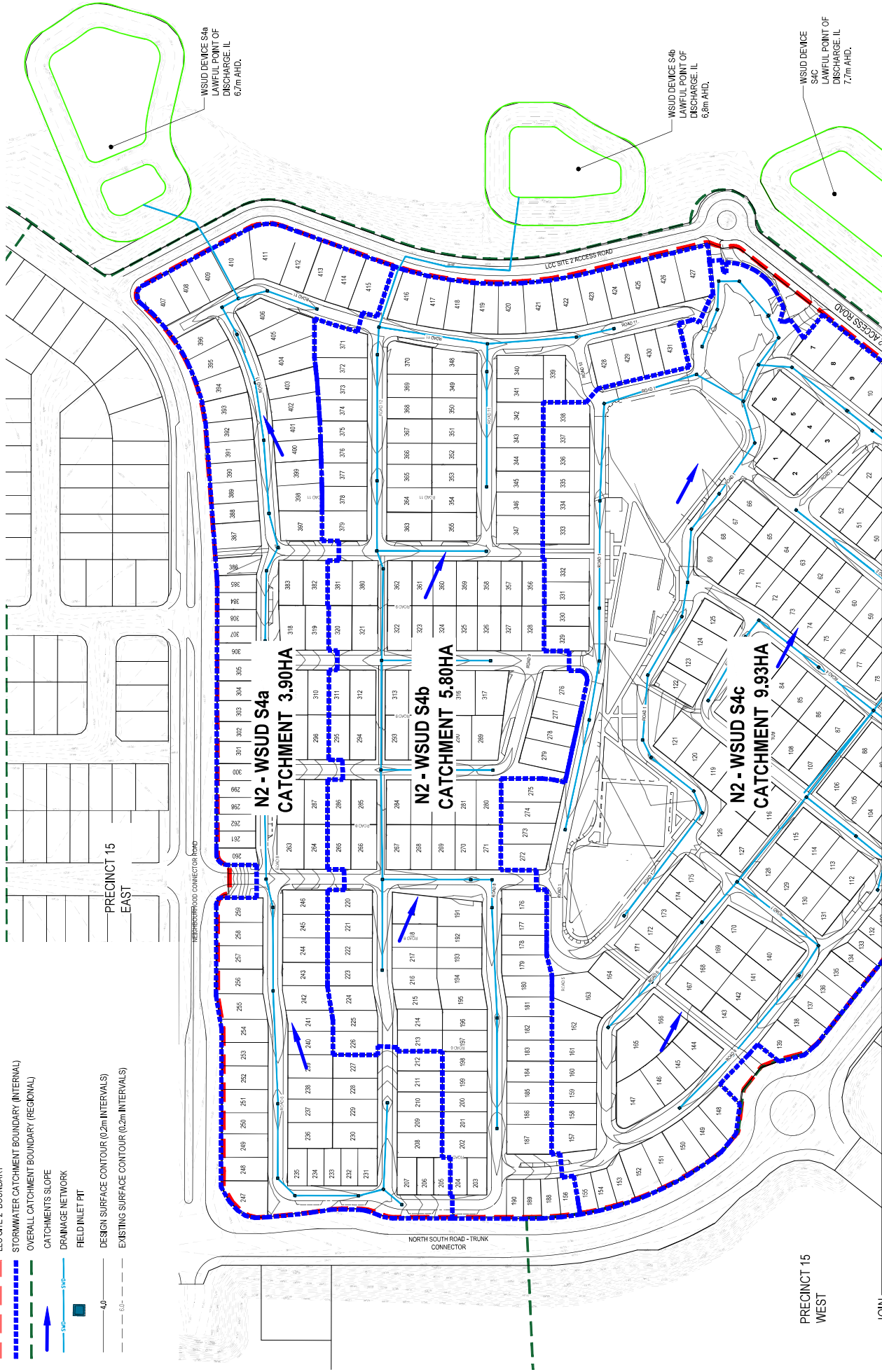
2. INTERNAL LLC SITE 2 STORMWATER PIPE NETWORK TO CONVEY 100yr ARI FLOWS.

3. DURING THE EARTHWORKS STAGE THE ENTIRE SITE MUST BE DISCHARGED INTO PROPOSED HES BASIN.

DRAWING TITLE		PROJECT		CLIENT		STATUS		AMENDMENT DETAILS		REVISION	
CONCEPT STORMWATER DRAINAGE LAYOUT PLAN SHEET 2 OF 2		AURA LAND LEASE COMMUNITY MASTER PLAN (AURA P15 - LCC - SITE 2)		STOCKLAND DEVELOPMENTS PTY LTD		ISSUED FOR APPROVAL				PROJECT No. 23-000051	
DRAWING No. DA1401		AURA		www.egis-group.com		APPROVED				REVISION 3	
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LEGEND

- LLC SITE 2 BOUNDARY
- STORMWATER CATCHMENT BOUNDARY (INTERNAL)
- OVERALL CATCHMENT BOUNDARY (REGIONAL)
- CATCHMENTS SLOPE
- DRAINAGE NETWORK
- FIELD INLET PIT
- DESIGN SURFACE CONTOUR (0.2m INTERVALS)
- EXISTING SURFACE CONTOUR (0.2m INTERVALS)



PRECINCT 15 WEST JOIN

PRECINCT 15 EAST

FOR CONTINUATION, REFER DRG No. 23-00005-1-04-1421

LINE

REV	DATE	BY	CHK	APP	DATE	AMENDMENT DETAILS
1	17.05.23	ISSUED FOR APPROVAL				
2	18.09.23	ISSUED TO EIR TEMPLATE, UPDATED EARTHWORKS LEVELS.				
3	16.10.23	ISSUED MASTERPLAN				

STATUS	
ISSUED FOR APPROVAL	
APPROVED	
BY:	NO:
SIGN:	DATE:

SCALE
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SCALE 1:1000 (A1)
SCALE 1:2000 (A3)

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STOCKLAND DEVELOPMENTS PTY LTD

AURA

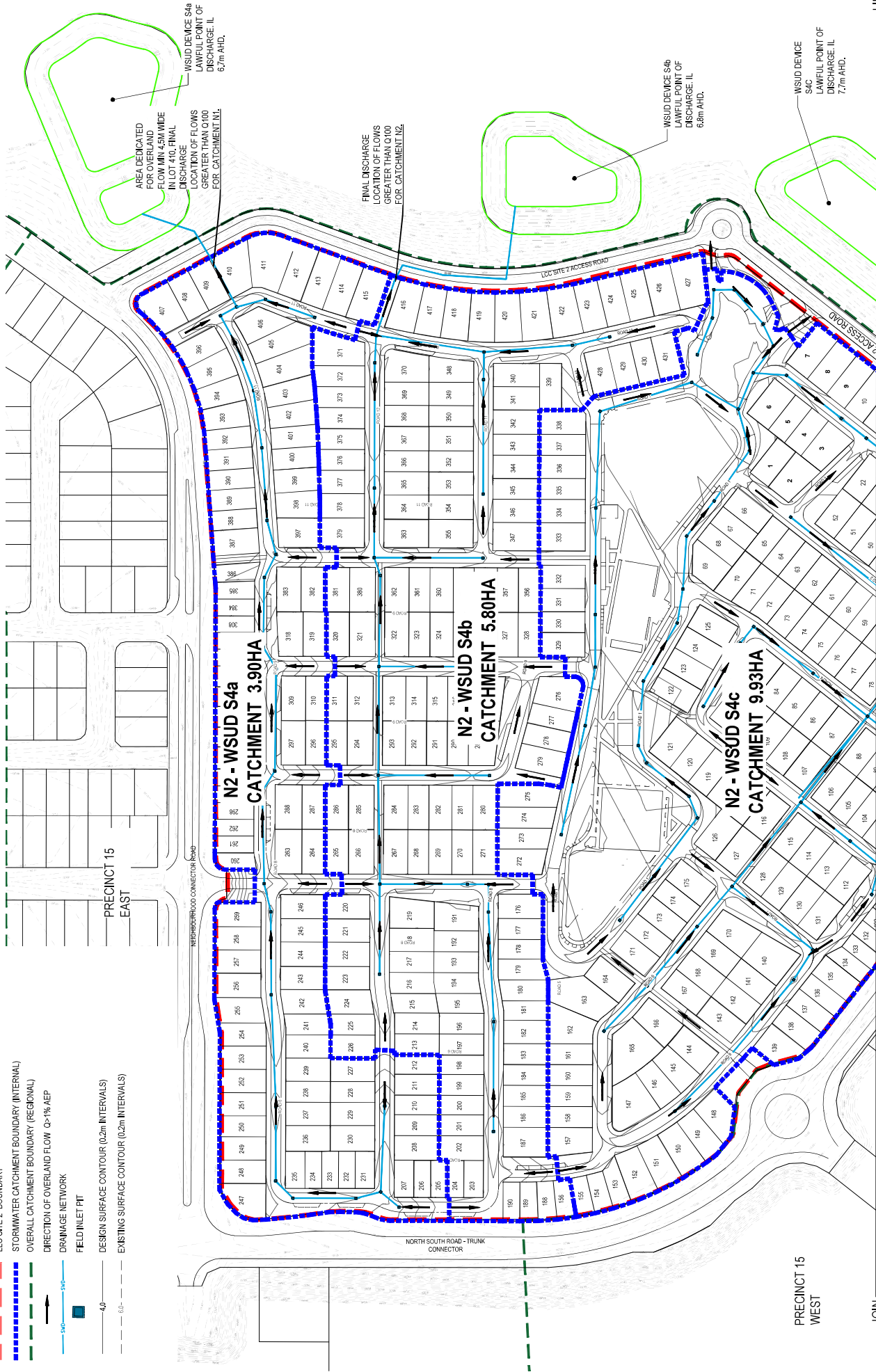
STORMWATER DRAINAGE
INTERNAL CATCHMENT PLAN
SHEET 1 OF 2

AURA LAND LEASE
COMMUNITY MASTER PLAN
(AURA P15 - LLC - SITE 2)

DRAWING TITLE	PROJECT	CLIENT
STORMWATER DRAINAGE INTERNAL CATCHMENT PLAN SHEET 1 OF 2	AURA LAND LEASE COMMUNITY MASTER PLAN (AURA P15 - LLC - SITE 2)	STOCKLAND DEVELOPMENTS PTY LTD
PROJECT No.	DRAWING No.	REVISION
23-000051	DA1420	3

LEGEND

- LLC SITE 2 BOUNDARY
- STORMWATER CATCHMENT BOUNDARY (INTERNAL)
- OVERALL CATCHMENT BOUNDARY (REGIONAL)
- DIRECTION OF OVERLAND FLOW Q>1% AEP
- DRAINAGE NETWORK
- FIELD INLET PIT
- DESIGN SURFACE CONTOUR (0.2m INTERVALS)
- EXISTING SURFACE CONTOUR (0.2m INTERVALS)



PRECINCT 15 WEST

PRECINCT 15 EAST

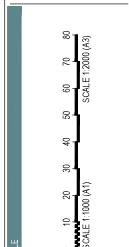
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LINE

FOR CONTINUATION, REFER DRG No. 23-00005-LJA-421

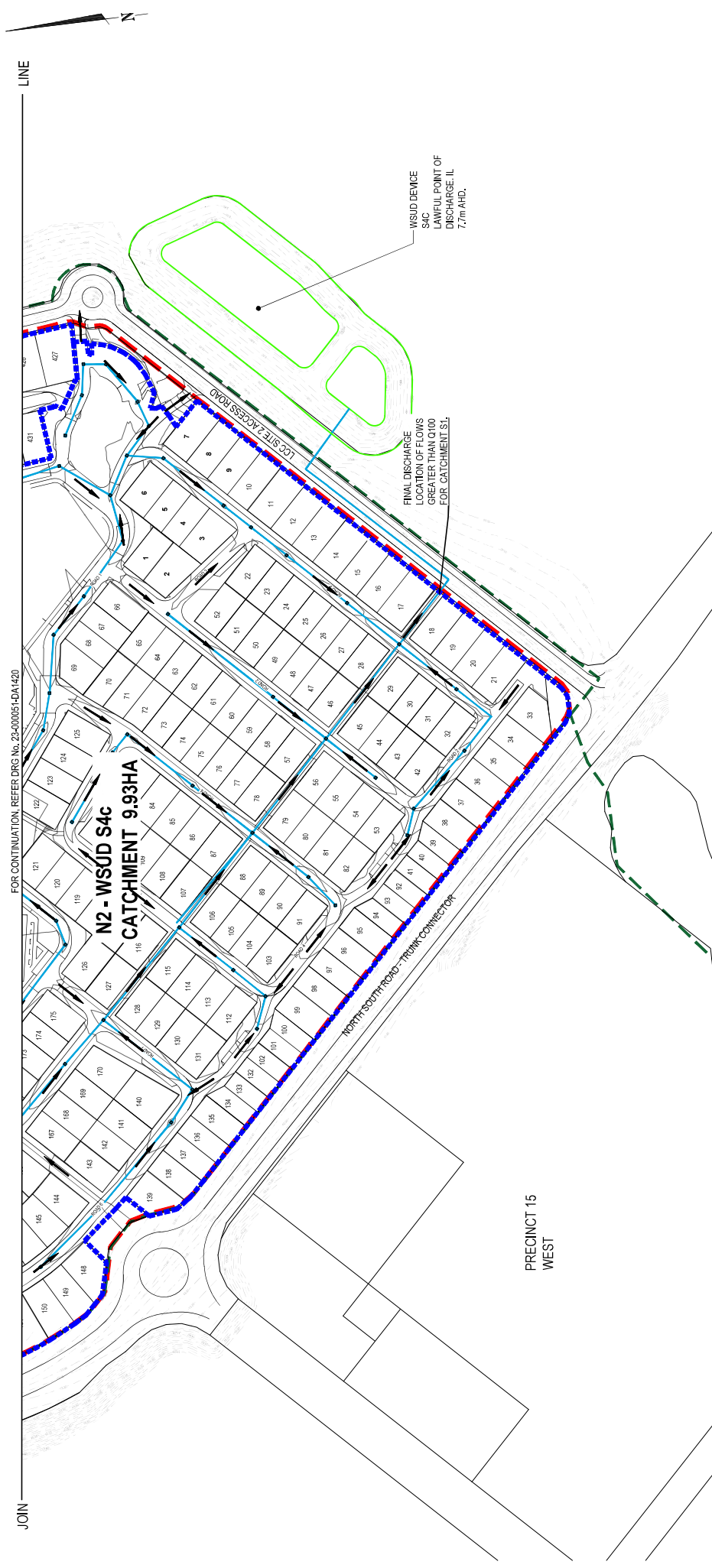
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APPROVED	15
BY	15
NO	15
DATE	15



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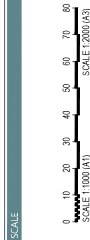
Stockland
DEVELOPMENTS PTY LTD
AURA

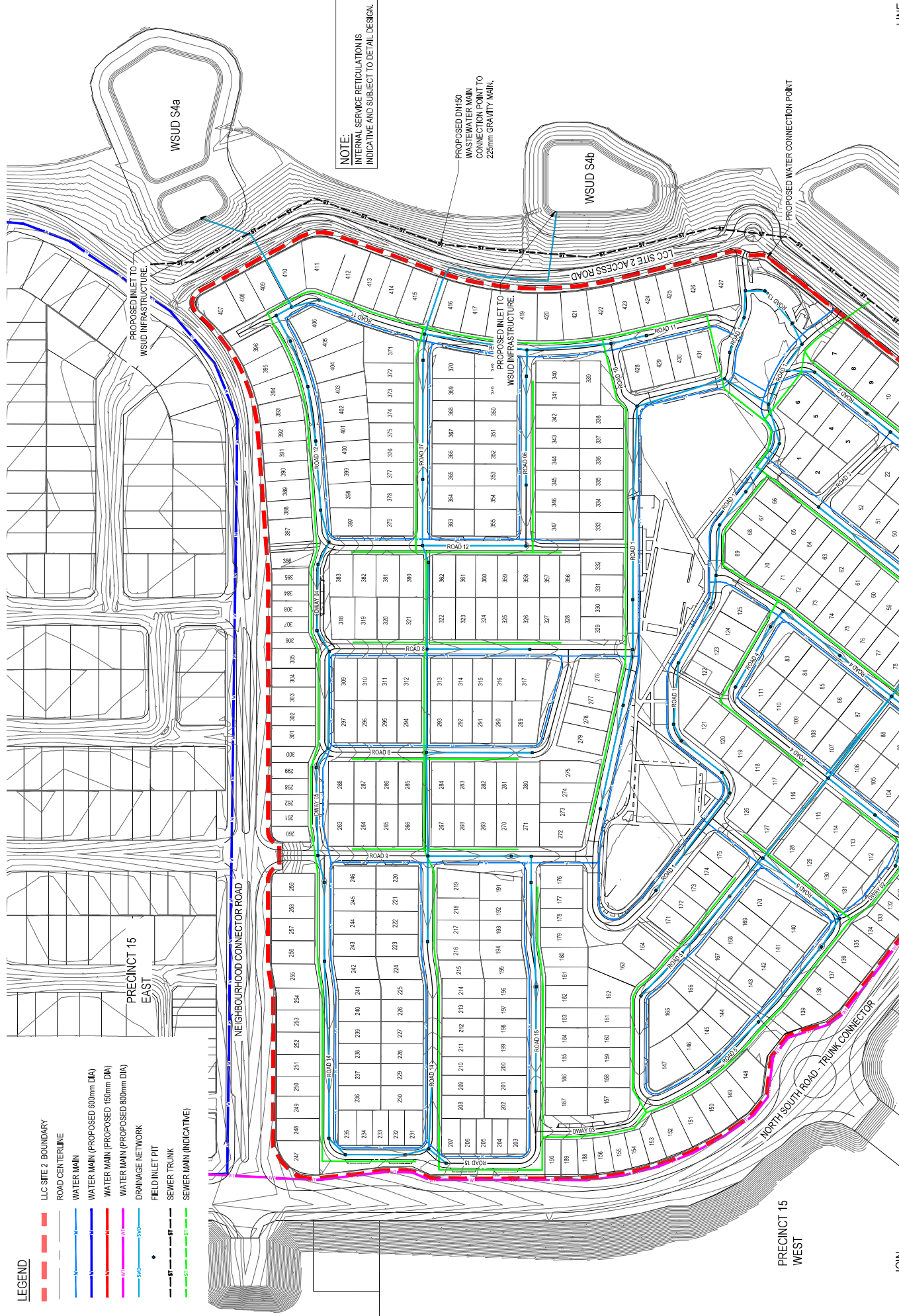


- LEGEND**
- LLC SITE 2 BOUNDARY
 - STORMWATER CATCHMENT BOUNDARY (INTERNAL)
 - OVERALL CATCHMENT BOUNDARY (REGIONAL)
 - DIRECTION OF OVERLAND FLOW $Q > 1\%$ AEP
 - DRAINAGE NETWORK
 - FIELD INLET PIT
 - DESIGN SURFACE CONTOUR (0.2m INTERVALS)
 - EXISTING SURFACE CONTOUR (0.2m INTERVALS)

[illegible]

STATUS	
ISSUED FOR APPROVAL	
APPROVED	
BY:	NO:
SIGN:	DATE:





LEGEND

- LLC SITE 2 BOUNDARY
- ROAD CENTERLINE
- WATER MAIN
- WATER MAIN (PROPOSED 600mm DIA)
- WATER MAIN (PROPOSED 150mm DIA)
- WATER MAIN (PROPOSED 800mm DIA)
- DRAINAGE NETWORK
- FIELD INLET PIT
- SEWER TRUNK
- SEWER MAIN (INDICATIVE)

NOTE:
INTERNAL SERVICE RETICULATION IS
INDICATIVE AND SUBJECT TO DETAIL DESIGN.

PROPOSED DN150
WASTEWATER MAIN
CONNECTION POINT TO
225mm GRAVITY MAIN.

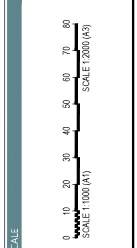
PRECINCT 15
WEST

PRECINCT 15
EAST

JOIN LINE

REV	DATE	BY	CHK	APP	DATE
1	17.05.23	MB	RT	H5	MW
2	18.09.23	MB	BK	H5	MW
3	16.10.23	H5	IB	H5	MW

AMENDMENT DETAILS	
ISSUED FOR APPROVAL	APPROVED
BY:	NO:
SEN:	DATE:



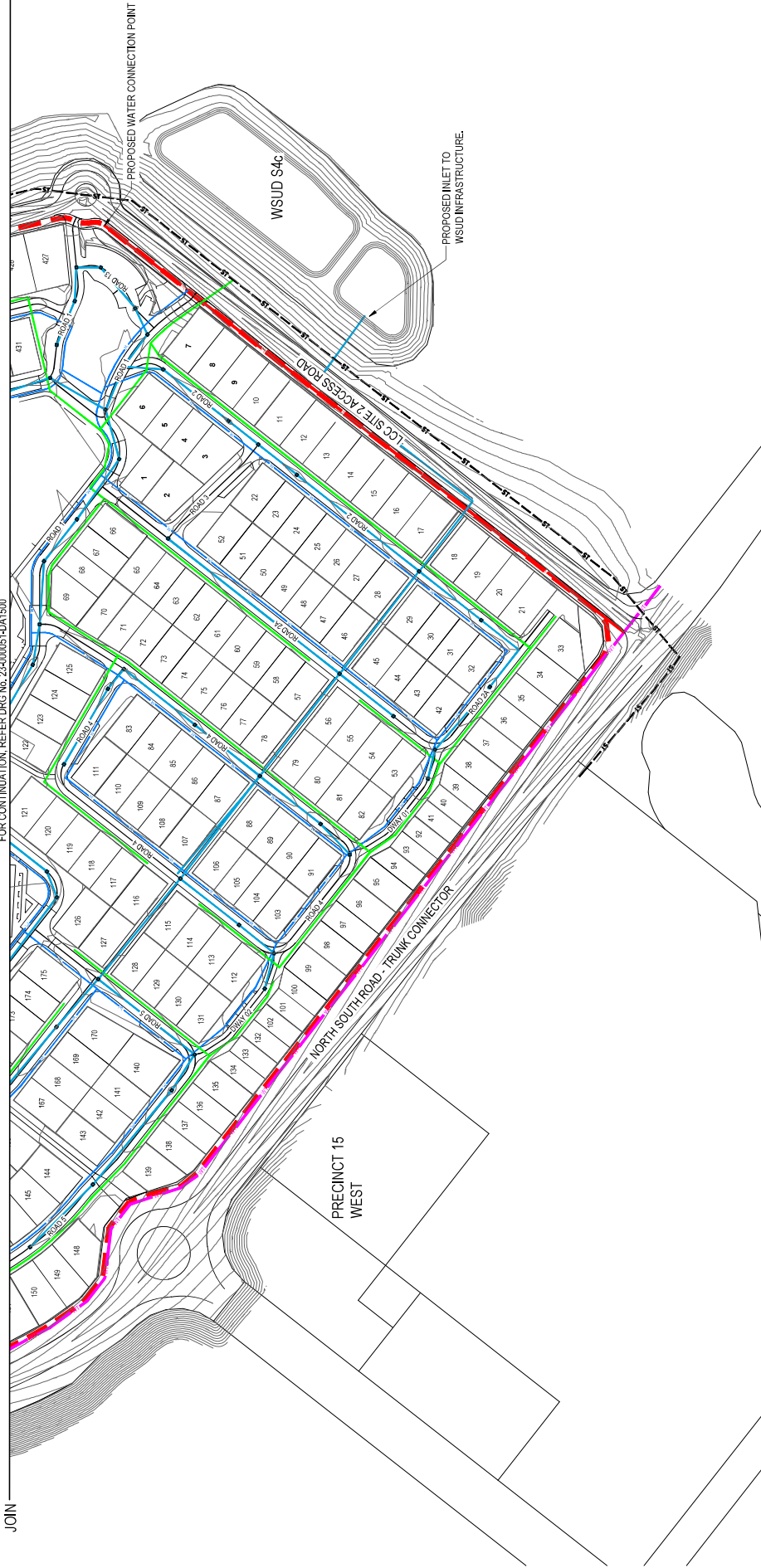
STOCKLAND
DEVELOPMENTS PTY LTD
AURA
AURA LAND LEASE
COMMUNITY MASTER PLAN
(AURA P15 - LLC - SITE 2)

SERVICES
LAYOUT PLAN
SHEET 1 OF 2
PROJECT No. 23-000051 DA1500
DRAWING No. DA1500
REVISION 3

JOIN

FOR CONTINUATION, REFER DRG No. 23-000051-DA1500

LINE



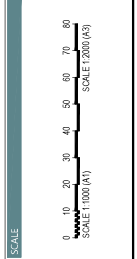
LEGEND

- LLC SITE 2 BOUNDARY
- ROAD CENTERLINE
- WATER MAIN
- WATER MAIN (PROPOSED 600mm DIA)
- WATER MAIN (PROPOSED 150mm DIA)
- WATER MAIN (PROPOSED 800mm DIA)
- DRAINAGE NETWORK
- FIELD INLET PIT
- SEWER TRUNK
- SEWER MAIN (PROPOSED)

NOTE:
INTERNAL SERVICE RETICULATION IS
INDICATIVE AND SUBJECT TO DETAIL DESIGN.

REVISION				AMENDMENT DETAILS			
NO.	DATE	BY	CHK	DATE	APP	DATE	
1	17.05.23	ISSUED FOR APPROVAL					
2	18.09.23	IGS TEMPLATE UPDATE, UPDATED EARTHWORKS LEVELS & WATER CONNECTION					
3	16.10.23	UPDATED MASTERPLAN					

STATUS		ISSUED FOR APPROVAL	
APPROVED	BY:	NO:	DATE:



CLIENT		PROJECT	
STOCKLAND DEVELOPMENTS PTY LTD		AURA LAND LEASE COMMUNITY MASTER PLAN (AURA P15 - LCC - SITE 2)	

DRAWING TITLE		PROJECT	
SERVICES LAYOUT PLAN SHEET 2 OF 2		AURA LAND LEASE COMMUNITY MASTER PLAN (AURA P15 - LCC - SITE 2)	
PROJECT No.	23-000051	DRAWING No.	DA1501
REVISION			3

JOIN

FOR CONTINUATION, REFER DRG No. 23-000051-DA1600

LINE

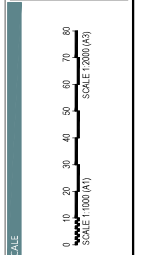


LEGEND

- LLC SITE 2 BOUNDARY
- ROAD CENTERLINE
- SEWER TRUNK
- SEWER MAIN (INDICATIVE)

REV	DATE	APP	CHK	DES	BY	DATE	AMENDMENT DETAILS
1	17.05.23	HS	RT	MB	MB	17.05.23	ISSUED FOR APPROVAL
2	18.09.23	HS	RT	MB	MB	18.09.23	ISSUED FOR APPROVAL
3	16.10.23	HS	RT	MB	MB	16.10.23	ISSUED FOR APPROVAL

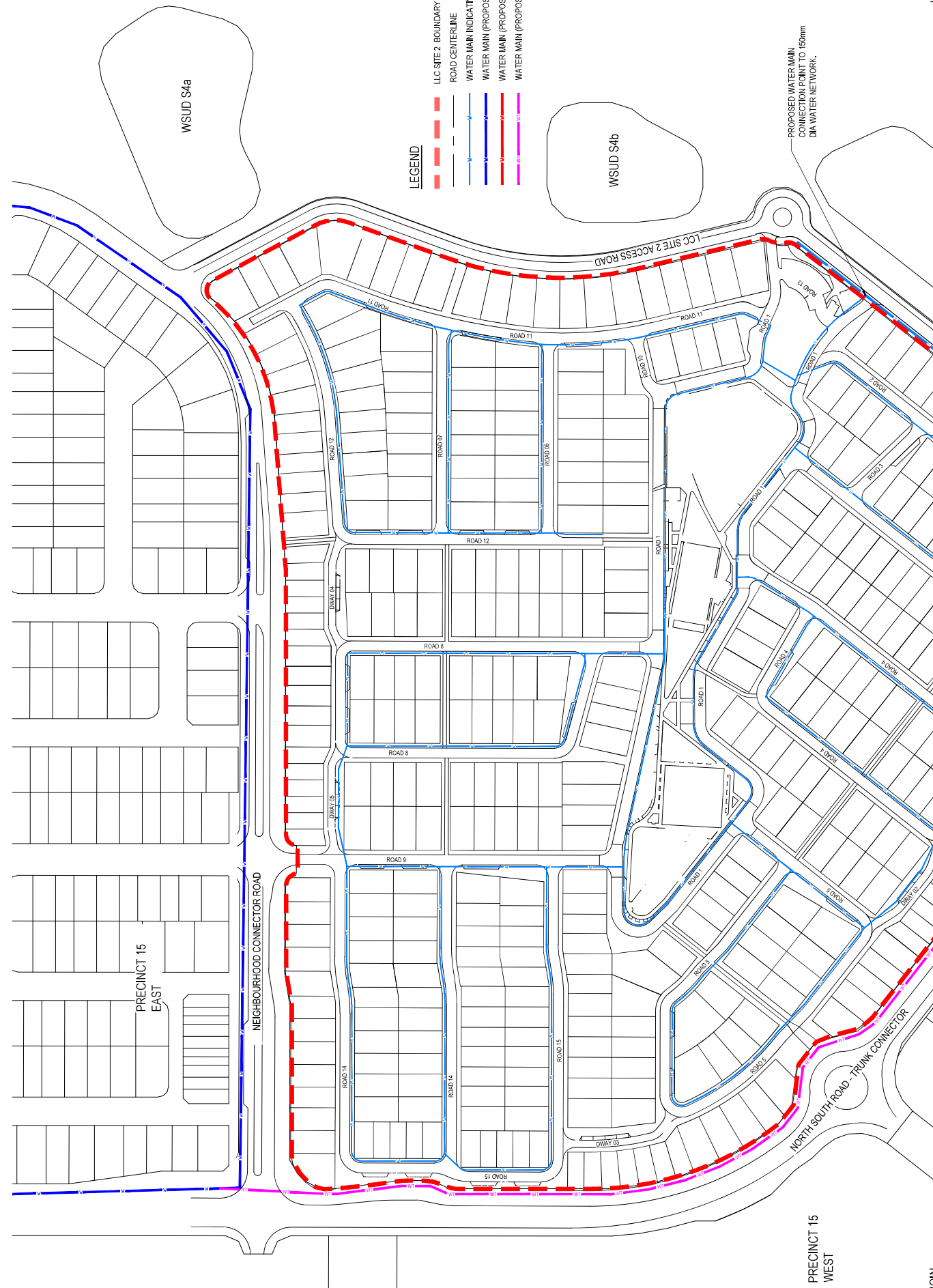
STATUS	
APPROVED	ISSUED FOR APPROVAL
BY:	NO:
SIGN:	DATE:



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AURA LAND LEASE
COMMUNITY MASTER PLAN
(AURA P15 - LCC - SITE 2)

SEWERAGE RETICULATION
LAYOUT PLAN
SHEET 2 OF 2
PROJECT No. 23-000051
DRAWING No. DA1601
REVISION 3



- LEGEND**
- LLC SITE 2 BOUNDARY
 - ROAD CENTERLINE
 - WATER MAIN INDICATIVE
 - WATER MAIN (PROPOSED 600mm DIA)
 - WATER MAIN (PROPOSED 150mm DIA)
 - WATER MAIN (PROPOSED 800mm DIA)

PROPOSED WATER MAIN
CONNECTION POINT TO 150mm
DIA WATER NETWORK.

JOIN _____ LINE

AMENDMENT DETAILS

REV	DATE	BY	CHK	APP
1	17.05.23	MW	HS	
2	18.09.23	MW	BK	
3	16.10.23	MW	HS	

ISSUED FOR APPROVAL

APPROVED	BY	NO.	DATE

STATUS

FOR CONTINUATION, REFER DRG No. 23-000051-DA1701

CLIENT

STOCKLAND DEVELOPMENTS PTY LTD

PROJECT

AURA LAND LEASE
COMMUNITY MASTER PLAN
(AURA P15 - LLC - SITE 2)

DRAWING TITLE

WATER RETICULATION
LAYOUT PLAN
SHEET 1 OF 2

PROJECT No.

23-000051

DRAWING No.

DA1700

REVISION

3

Stockland

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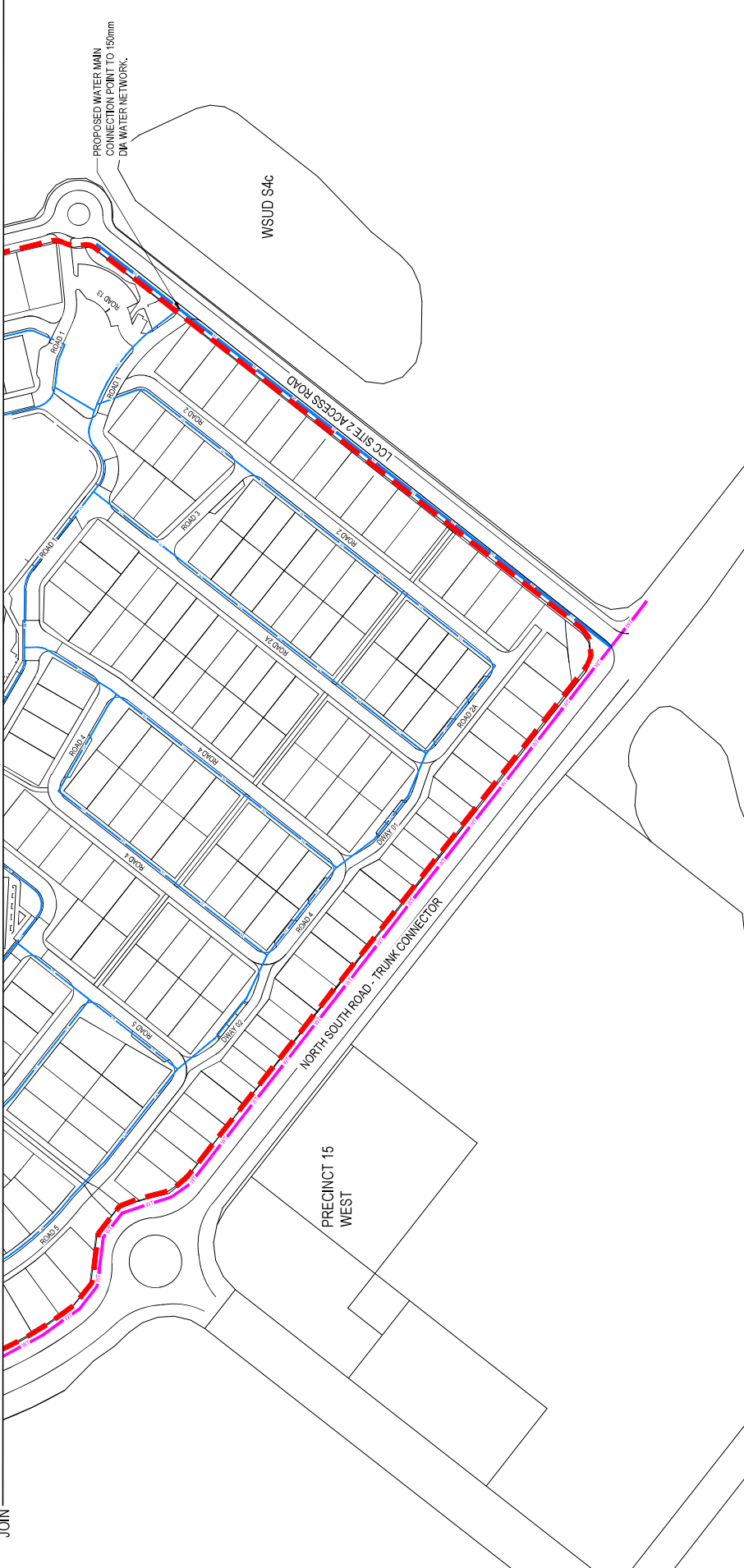
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NOT TO SCALE. ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE.

JOIN

FOR CONTINUATION, REFER DRG No. 23-000051-DA1700

LINE



- LEGEND**
- LCC SITE 2 BOUNDARY
 - ROAD CENTERLINE
 - WATER MAIN INDICATIVE
 - WATER MAIN (PROPOSED 600mm DIA)
 - WATER MAIN (PROPOSED 150mm DIA)
 - WATER MAIN (PROPOSED 800mm DIA)

REVISION				AMENDMENT DETAILS				STATUS	
NO.	DATE	BY	CHK	DESCRIPTION	DATE	BY	CHK	ISSUED FOR APPROVAL	
1	17.05.23	MW	HS	ISSUED FOR APPROVAL				APPROVED	
2	18.09.23	MW	BK	IGIS TEMPLATE UPDATE, UPDATED EARTHWORKS LEVELS & WATER CONNECTION					
3	16.10.23	MW	HS	IGIS TEMPLATE UPDATE, MASTERPLAN					

SCALE

0 10 20 30 40 50 60 70 80

SCALE 1:1000 (A1)

0 10 20 30 40 50 60 70 80

SCALE 1:2000 (A3)

DATE: _____

NO: _____

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DEVELOPMENTS PTY LTD

AURA

AURA LAND LEASE

COMMUNITY MASTER PLAN

(AURA P15 - LCC - SITE 2)

WATER RETICULATION

LAYOUT PLAN

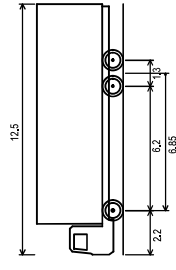
SHEET 2 OF 2

PROJECT No. 23-000051

DRAWING No. DA1701

REVISION 3

NOT TO SCALE. ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE.



WASTE COLLECTION VEHICLE DETAIL
SCALE: NTS

* DENOTES RECOMMENDED KERB RETURN RADIUS, NO ALLOWANCE IS GIVEN FOR 300MM CLEARANCE BEYOND DRIVEWAY EDGE

LEGEND

- STAGE BOUNDARY
- DIRECTION OF MOVEMENT
- BIN COLLECTION AREA (INDICATIVE)
- COMPOST LOCATION (INDICATIVE)

NEIGHBOURHOOD CONNECTOR ROAD

PROPOSED EMERGENCY ACCESS

NORTH SOUTH ROAD - TRUNK CONNECTOR

MAIN ROAD

MAIN ROAD

LCC SITE 2 ACCESS ROAD

CAR PARK ENTRY

COMMUNITY ENTRY

JOIN

FOR CONTINUATION, REFER DRG No. 23-000001-DA1801

REV	DATE	BY	CHK	APP	DATE
1	17.05.23	HW	RT	HS	17.05.23
2	18.09.23	HW	BK	BK	18.09.23
3	04.10.23	HW	BK	BK	04.10.23

AMENDMENT DETAILS	
ISSUED FOR APPROVAL	
APPROVED	
BY:	NO:
SIGN:	DATE:

STATUS	
ISSUED FOR APPROVAL	
APPROVED	
BY:	NO:
SIGN:	DATE:

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SCALE 1:500 (A1)	SCALE 1:500 (A3)

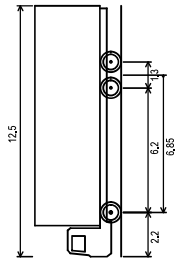
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STOCKLAND DEVELOPMENTS PTY LTD
CLIENT

AURA
PROJECT

AURA LAND LEASE
COMMUNITY MASTER PLAN
(AURA P15 - LCC - SITE 2)

FOR CONTINUATION, REFER DRG No. 23-000000-DA1800



WASTE COLLECTION VEHICLE DETAIL

SCALE: MTS

Overall Length
12.500m
Overall Width
2.500m
Overall Body Height
4.300m
Overall Wheelbase
10.000m
Track Width
2.500m
Lock-to-lock time
6.00m
Curb to Curb Turning Radius
12.500m

- LEGEND**
- STAGE BOUNDARY
 - DIRECTION OF MOVEMENT
 - BIN COLLECTION AREA (INDICATIVE)
 - COMPOST LOCATION (INDICATIVE)

* DENOTES RECOMMENDED KERB RETURN RADIUS, NO ALLOWANCE IS GIVEN FOR 300MM CLEARANCE BEYOND DRIVEWAY EDGE

AMENDMENT DETAILS			
REV	DATE	BY	CHK
1	17.05.23	MW	HS
2	18.09.23	MW	HS
3	04.10.23	MW	HS

ISSUED FOR APPROVAL	
APPROVED	BY:
DATE:	NO:

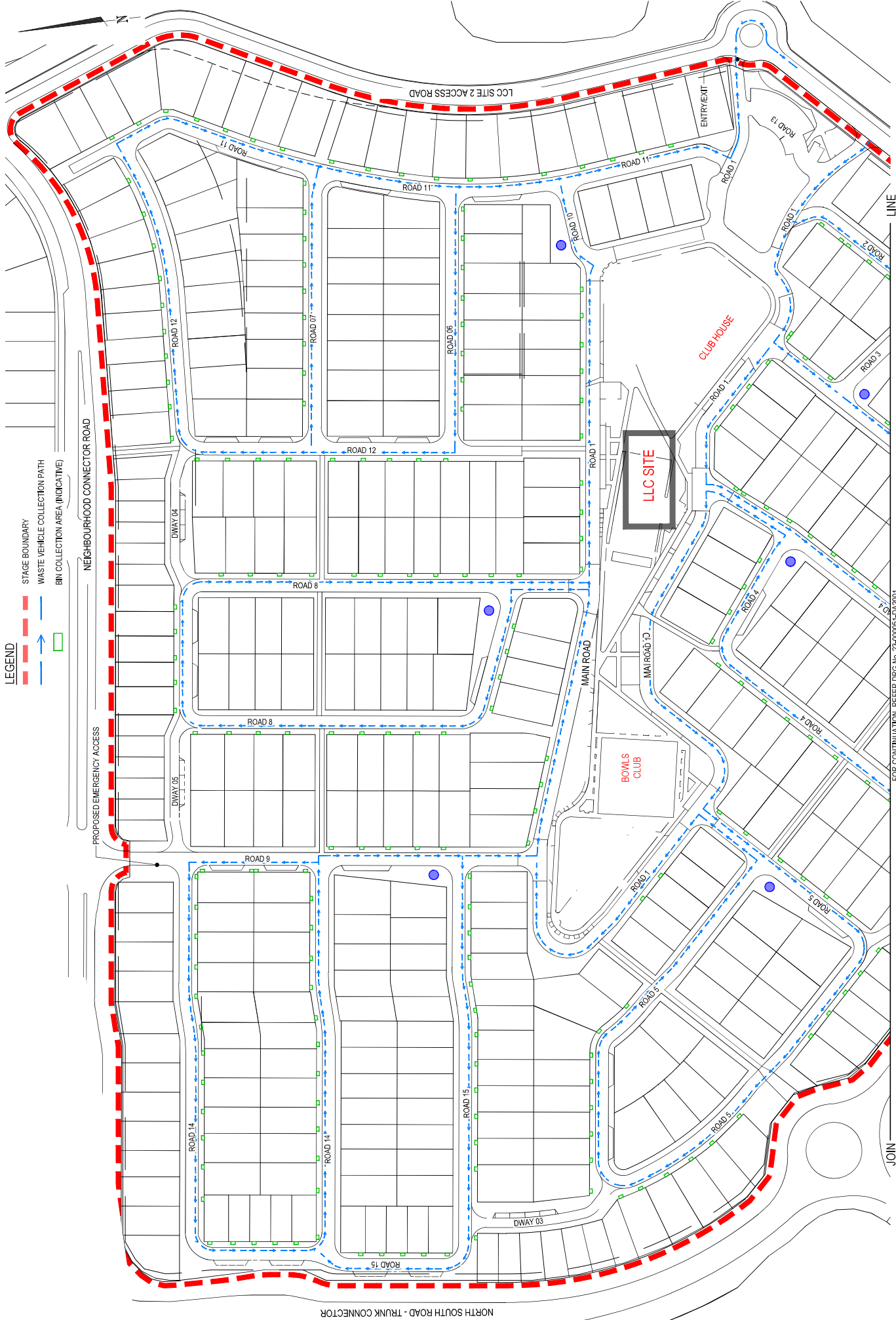
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Stockland
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AURA

AURA LAND LEASE
COMMUNITY MASTER PLAN
(AURA P15 - LCC - SITE 2)

VEHICLE SWEEP PATHS
CONCEPT PLAN
SHEET 2 OF 2
PROJECT No. 23-000001 DA1801
DRAWING No. DA1801



- LEGEND**
- STAGE BOUNDARY
 - WASTE VEHICLE COLLECTION PATH
 - WASTE COLLECTION AREA (INDICATIVE)

PROPOSED EMERGENCY ACCESS

NEIGHBOURHOOD CONNECTOR ROAD

NORTH SOUTH ROAD - TRUNK CONNECTOR

LCC SITE 2 ACCESS ROAD

LLC SITE

CLUB HOUSE

BOWLS CLUB

ENTRY/EXIT

ROAD 1

ROAD 2

ROAD 3

ROAD 4

ROAD 5

ROAD 6

ROAD 7

ROAD 8

ROAD 9

ROAD 10

ROAD 11

ROAD 12

ROAD 13

ROAD 14

ROAD 15

DWAY 03

DWAY 04

DWAY 05

MAIN ROAD

MA ROAD 13

MA ROAD 14

MA ROAD 15

MA ROAD 16

MA ROAD 17

MA ROAD 18

MA ROAD 19

MA ROAD 20

MA ROAD 21

MA ROAD 22

MA ROAD 23

MA ROAD 24

MA ROAD 25

ENTRY/EXIT

ROAD 1

ROAD 2

ROAD 3

ROAD 4

ROAD 5

ROAD 6

ROAD 7

ROAD 8

ROAD 9

ROAD 10

ROAD 11

ROAD 12

ROAD 13

ROAD 14

ROAD 15

DWAY 03

DWAY 04

DWAY 05

MAIN ROAD

MA ROAD 13

MA ROAD 14

MA ROAD 15

MA ROAD 16

MA ROAD 17

MA ROAD 18

MA ROAD 19

MA ROAD 20

MA ROAD 21

MA ROAD 22

MA ROAD 23

MA ROAD 24

MA ROAD 25

ENTRY/EXIT

ROAD 1

ROAD 2

ROAD 3

ROAD 4

ROAD 5

ROAD 6

ROAD 7

ROAD 8

ROAD 9

ROAD 10

ROAD 11

ROAD 12

ROAD 13

ROAD 14

ROAD 15

DWAY 03

DWAY 04

DWAY 05

MAIN ROAD

MA ROAD 13

MA ROAD 14

MA ROAD 15

MA ROAD 16

MA ROAD 17

MA ROAD 18

MA ROAD 19

MA ROAD 20

MA ROAD 21

MA ROAD 22

MA ROAD 23

MA ROAD 24

MA ROAD 25

ENTRY/EXIT

ROAD 1

ROAD 2

ROAD 3

ROAD 4

ROAD 5

ROAD 6

ROAD 7

ROAD 8

ROAD 9

ROAD 10

ROAD 11

ROAD 12

ROAD 13

ROAD 14

ROAD 15

DWAY 03

DWAY 04

DWAY 05

MAIN ROAD

MA ROAD 13

MA ROAD 14

MA ROAD 15

MA ROAD 16

MA ROAD 17

MA ROAD 18

MA ROAD 19

MA ROAD 20

MA ROAD 21

MA ROAD 22

MA ROAD 23

MA ROAD 24

MA ROAD 25

ENTRY/EXIT

ROAD 1

ROAD 2

ROAD 3

ROAD 4

ROAD 5

ROAD 6

ROAD 7

ROAD 8

ROAD 9

ROAD 10

ROAD 11

ROAD 12

ROAD 13

ROAD 14

ROAD 15

DWAY 03

DWAY 04

DWAY 05

MAIN ROAD

MA ROAD 13

MA ROAD 14

MA ROAD 15

MA ROAD 16

MA ROAD 17

MA ROAD 18

MA ROAD 19

MA ROAD 20

MA ROAD 21

MA ROAD 22

MA ROAD 23

MA ROAD 24

MA ROAD 25

ENTRY/EXIT

ROAD 1

ROAD 2

ROAD 3

ROAD 4

ROAD 5

ROAD 6

ROAD 7

ROAD 8

ROAD 9

ROAD 10

ROAD 11

ROAD 12

ROAD 13

ROAD 14

ROAD 15

DWAY 03

DWAY 04

DWAY 05

MAIN ROAD

MA ROAD 13

MA ROAD 14

MA ROAD 15

MA ROAD 16

MA ROAD 17

MA ROAD 18

MA ROAD 19

MA ROAD 20

MA ROAD 21

MA ROAD 22

MA ROAD 23

MA ROAD 24

MA ROAD 25

ENTRY/EXIT

ROAD 1

ROAD 2

ROAD 3

ROAD 4

ROAD 5

ROAD 6

ROAD 7

ROAD 8

ROAD 9

ROAD 10

ROAD 11

ROAD 12

ROAD 13

ROAD 14

ROAD 15

DWAY 03

DWAY 04

DWAY 05

MAIN ROAD

MA ROAD 13

MA ROAD 14

MA ROAD 15

MA ROAD 16

MA ROAD 17

MA ROAD 18

MA ROAD 19

MA ROAD 20

MA ROAD 21

MA ROAD 22

MA ROAD 23

MA ROAD 24

MA ROAD 25

ENTRY/EXIT

ROAD 1

ROAD 2

ROAD 3

ROAD 4

ROAD 5

ROAD 6

ROAD 7

ROAD 8

ROAD 9

ROAD 10

ROAD 11

ROAD 12

ROAD 13

ROAD 14

ROAD 15

DWAY 03

DWAY 04

DWAY 05

MAIN ROAD

MA ROAD 13

MA ROAD 14

MA ROAD 15

MA ROAD 16

MA ROAD 17

MA ROAD 18

MA ROAD 19

MA ROAD 20

MA ROAD 21

MA ROAD 22

MA ROAD 23

MA ROAD 24

MA ROAD 25

ENTRY/EXIT

ROAD 1

ROAD 2

ROAD 3

ROAD 4

ROAD 5

ROAD 6

ROAD 7

ROAD 8

ROAD 9

ROAD 10

ROAD 11

ROAD 12

ROAD 13

ROAD 14

ROAD 15

DWAY 03

DWAY 04

DWAY 05

MAIN ROAD

MA ROAD 13

MA ROAD 14

MA ROAD 15

MA ROAD 16

MA ROAD 17

MA ROAD 18

MA ROAD 19

MA ROAD 20

MA ROAD 21

MA ROAD 22

MA ROAD 23

MA ROAD 24

MA ROAD 25

ENTRY/EXIT

ROAD 1

ROAD 2

ROAD 3

ROAD 4

ROAD 5

ROAD 6

ROAD 7

ROAD 8

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ROAD 14

ROAD 15

DWAY 03

DWAY 04

DWAY 05

MAIN ROAD

MA ROAD 13

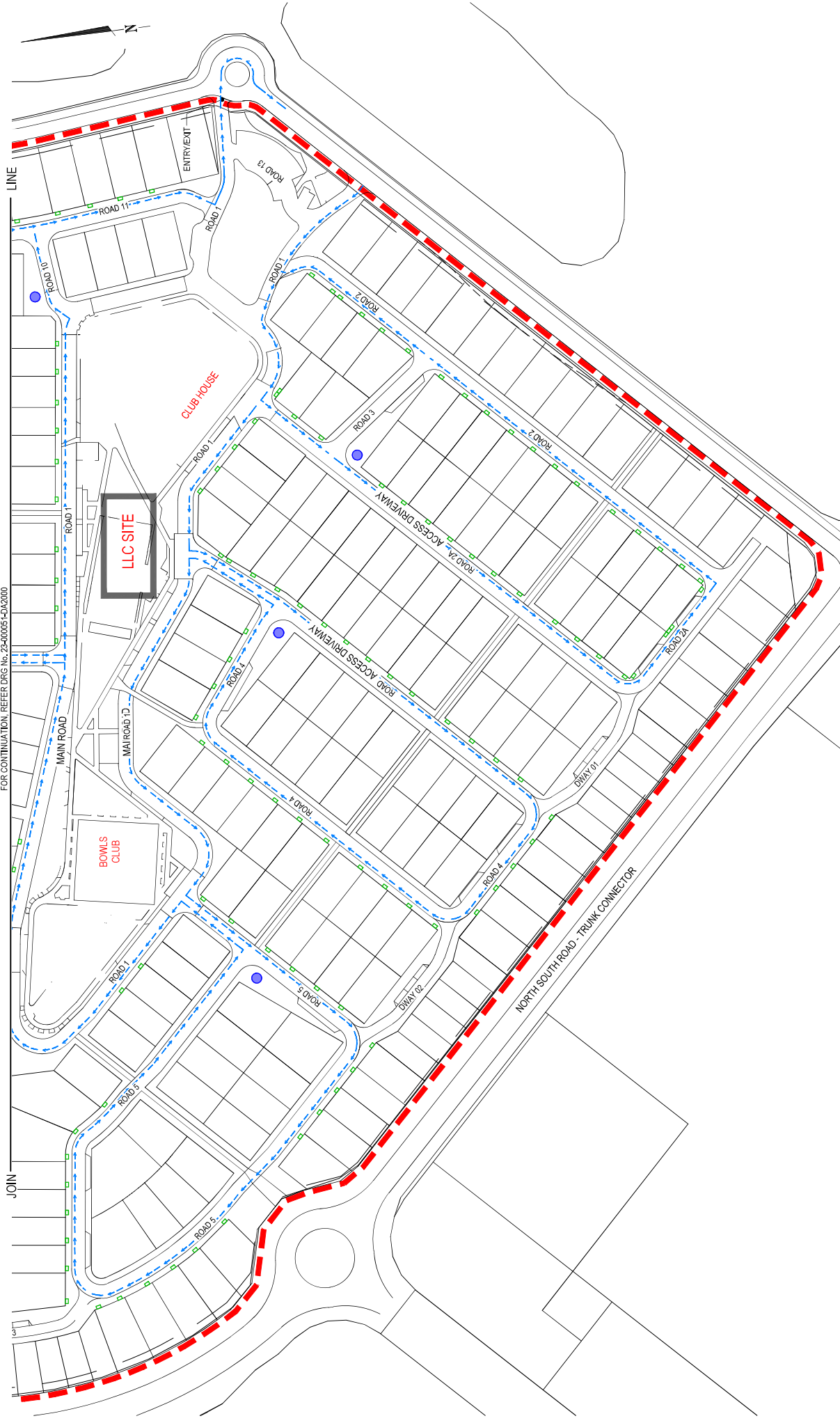
MA ROAD 14

MA ROAD 15

MA ROAD 16

</

FOR CONTINUATION, REFER DRG No. 23-000005-0A2000



- LEGEND**
- STAGE BOUNDARY
 - WASTE VEHICLE COLLECTION PATH
 - WASTE COLLECTION AREA (INDICATIVE)

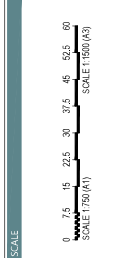
REV	DATE	BY	CHK	APP	DATE	AMENDMENT DETAILS
1	17.05.23	HS	RT	HS	17.05.23	ISSUED FOR APPROVAL
2	18.09.23	BK	HS	BK	18.09.23	UPDATED TO LCC TEMPLATE, UPDATED EARTHWORKS LEVELS.
3	16.10.23	HS	IB	HS	16.10.23	UPDATED MASTERPLAN

STATUS

ISSUED FOR APPROVAL

APPROVED BY: _____ NO: _____

SIGN: _____ DATE: _____



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STOCKLAND DEVELOPMENTS PTY LTD

AURA

WASTE COLLECTION CONCEPT PLAN

SHEET 2 OF 2

AURA LAND LEASE

COMMUNITY MASTER PLAN

(AURA P15 - LCC - SITE 2)

Egis Consulting Pty Ltd

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+61 7 3895 3444

