



LEGEND

- ▲ VEHICLE, CYCLE & PEDESTRIAN ACCESS
- △ EMERGENCY VEHICLE ACCESS
- △ PEDESTRIAN & CYCLE ACCESS
- PEDESTRIAN GATE
- ➡ CONNECTIONS TO POINTS OF INTEREST
- ▬ FUTURE ROAD
 - TYPE 1. TRUNK CONNECTOR
 - TYPE 2. NEIGHBOURHOOD CONNECTOR
 - TYPE 3. ESPLANADE
 - TYPE 4. ONEWAY ESPLANADE
- ➡ FUTURE CYCLE WAY

| | | | |
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| 3 | JS | ISSUED FOR DA | 18.10.2023 |
| 2 | DJ | ISSUED FOR DA | 17.05.2023 |
| 1 | DJ | DRAFT DA | 12.05.2023 |
| Rev | Initial | Description | Date |

PLANNING APPROVAL

Client
Stockland | Halcyon Communities

Archipelago

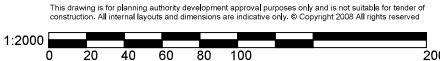
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Project
22006
Halcyon Blu
Bells Creek Road, Banya, 4055
PRECINCT

DRAWING TITLE
CONTEXT PLAN

DRAWN BY DJ, JR
CHECKED JS, DC
DATE PRINTED 20/10/2023 10:10:51 AM
SCALE 1 : 2000 @ A1

| DISC | PHASE | DWG NO | REVISION |
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| AR | DA | 0.0.101 | 3 |



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL
Approval no: DEV2023/1405
Date: 27 November 2023





LEGEND

- SITE ACCESS**
 - 1. SITE ENTRY
 - 2. SITE EXIT
 - 3. EMERGENCY ACCESS / EXIT ONLY PEDESTRIAN & CYCLE ACCESS
 - 4. SECONDARY PEDESTRIAN/CYCLE ACCESS
 - 5. PEDESTRIAN ACCESS GATE
- COMMUNITY FACILITIES**
 - 6. VISITOR (PUBLIC) CAR PARK + DROP OFF
 - 7. ENTRY + SALES OFFICE
 - 8. CLUBHOUSE
 - 9. LEISURE PRECINCT
 - 10. WELLNESS CENTRE
 - 11. LIVING LOOP
- RESIDENTIAL FACILITIES**
 - 12. NEIGHBOURHOOD STREET
 - 13. PEDESTRIAN LINKS
 - 14. NEIGHBOURHOOD NOOKS (MAILBOXES)
 - 15. LANE EXTENTS
 - 16. STANDARD TYPOLOGY REFER BUILDING CONTROLS
 - 17. LANEWAY LIVING TYPOLOGY REFER BUILDING CONTROLS
- #** AMOUNT OF VISITOR PARKING TOTAL: 115

| | | | |
|-----|---------|----------------------|------------|
| 10 | JS | FOR COORDINATION | 18.10.2023 |
| 9 | JS | FOR COORDINATION | 16.10.2023 |
| 8 | JS | FOR COORDINATION | 13.10.2023 |
| 7 | DJ | ISSUED FOR DA | 18.05.2023 |
| 6 | DJ | ISSUED FOR DA | 17.05.2023 |
| 5 | DJ | DRAFT DA | 12.05.2023 |
| 4 | JS | DRAFT DA | 20.04.2023 |
| 3 | JS | PRE-LODGEEMENT ISSUE | 23.03.2023 |
| 2 | DJ | PRE-LODGEEMENT ISSUE | 22.03.2023 |
| 1 | JS | PRE-LODGEEMENT ISSUE | 21.03.2023 |
| Rev | Initial | Description | Date |

PLANNING APPROVAL

Client
Stockland | Halcyon Communities

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Project
22006
Halcyon Blu
Bells Creek Road, Banyu, 4055
PRECINCT

DRAWING TITLE
SITE PLAN

DRAWN BY DJ, JR
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DATE PRINTED 17/10/2023 6:23:22 PM
SCALE 1 : 1000 @ A1

| DISC | PHASE | DWG NO | REVISION |
|------|-------|---------|----------|
| AR | DA | 0.0.200 | 10 |

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1:1000
0 10 20 30 40 50 100

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL
Approval no: DEV2023/1405
Date: 27 November 2023



AMENDED IN RED
By: Andrew McKnight
Date: 14 November 2023



Where dwellings are identified as being Noise Affected in the Road Traffic Noise Assessment, prepared by Trinity Consultants, dated 16th May 2023 (Ref 227401.0209.R01V02), the dwellings must be designed and constructed using materials which ensure that any habitable rooms meet the required noise criteria as set out in that report



LEGEND

LOT ORIENTATION

- 38.3% NORTH to SOUTH
- 24.4% EAST to WEST
- 37.3% NORTH/WEST to SOUTH/EAST
NORTH/EAST to SOUTH/WEST

| | | | |
|-----|---------|------------------|------------|
| 4 | JS | FOR COORDINATION | 18.10.2023 |
| 3 | JS | FOR COORDINATION | 16.10.2023 |
| 2 | JS | FOR COORDINATION | 13.10.2023 |
| 1 | JS | FOR COORDINATION | 24.07.2023 |
| Rev | Initial | Description | Date |

PLANNING APPROVAL

Client
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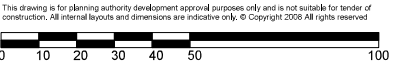
Project
22006
Halcyon Blu
Bells Creek Road, Banya, 4055
PRECINCT

DRAWING TITLE
LOT ORIENTATION PLAN

DRAWN BY DJ, JR
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DATE PRINTED 17/10/2023 6:24:10 PM
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| DISC | PHASE | DWG NO | REVISION |
| AR | DA | 0.0.201 | 4 |



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2023/1405

Date: 27 November 2023

LEGEND

DEVELOPMENT SITES

LANDSCAPE VERGE

CENTRAL COMMON FACILITIES

ENTRY & SALES PRECINCT

CLUBHOUSE PRECINCT

LEISURE PRECINCT

WELLNESS RETREAT

PRIMARY STREETS

SECONDARY STREETS

LANEWAYS

PEDESTRIAN LINKS

VEHICLE ACCESS

EMERGENCY VEHICLE ACCESS

PEDESTRIAN & CYCLE ACCESS

PEDESTRIAN GATE

AREAS

COMMUNAL FACILITIES TOTAL GFA
1,733m² 0.9%

RESIDENTIAL DEVELOPMENT SITES
130,988m² 66.2%

ROAD
25,964m² 13.1%

LANDSCAPE & COMMUNAL
39,103m² 19.8% Balance of site area excluding residential development sites, communal facilities GFA and roads

TOTAL SITE
197,788m² 100%

| | | | |
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| 10 | JS | FOR COORDINATION | 18.10.2023 |
| 9 | JS | FOR COORDINATION | 16.10.2023 |
| 8 | JS | FOR COORDINATION | 13.10.2023 |
| 7 | DJ | ISSUED FOR DA | 18.05.2023 |
| 6 | DJ | ISSUED FOR DA | 17.05.2023 |
| 5 | DJ | DRAFT DA | 12.05.2023 |
| 4 | JS | DRAFT DA | 20.04.2023 |
| 3 | JS | PRE-LODGEEMENT ISSUE | 21.03.2023 |
| 2 | DJ | 60% ISSUE | 07.03.2023 |
| 1 | JS | VIP DA ISSUE | 22.02.2023 |
| Rev | Initial | Description | Date |

PLANNING APPROVAL

Client

 Stockland

 Halcyon Communities

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Project
22006
Halcyon Blu
Bells Creek Road, Banyu, 4055
PRECINCT

DRAWING TITLE
STRUCTURE PLAN

DRAWN BY

JS/DJ

CHECKED

JS/DC

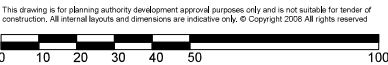
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| DISC | PHASE | DWG NO | REVISION |
|------|-------|---------|----------|
| AR | DA | 0.0.210 | 10 |



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL



Approval no: DEV2023/1405
Date: 27 November 2023

BUILDING CONTROLS - STANDARD TYPOLOGY

All future dwellings are to be designed and sited in accordance with this Plan of Development and the Manufactured Homes (Residential Parks) Act 2003. These Dwelling Controls guide development and specific dwelling designs do not require individual endorsement from EDQ provided they comply with this PoD. These Dwelling Controls are to be read in conjunction with the **Built Form Elements Plan – Standard Typology** as defined below.

1.0 Permitted Development Parameters

| | | |
|-----|---|---|
| 1.1 | Development Yield (inclusive of both Standard & Laneway Living Typologies) | Min: 400 dwellings Max: 500 dwellings |
| 1.2 | Dwelling Site Area - Detached | Min: 175 m ² per dwelling site |
| 1.3 | Dwelling Site Area - Attached | Min: 120 m ² per dwelling site |
| 1.4 | Site Cover per Dwelling Site | Max: 80% |

2.0 Building Type & Envelope

- A range of detached and attached dwellings are permitted.
- An Attached Dwelling does not incorporate more than 10 dwellings in a row.
- Buildings and structures shall conform to the setbacks as defined in **Table 1**.
- A minimum of 10% of total development yield to comprise of Gold Level Liveable Housing Australia (LHA) homes, with the remaining minimum requirement being Silver Level LHA homes.
- There is to be no repetition of the same front façade within two (2) houses either side of a Standard dwelling typology, unless an attached and/or Laneway Living dwelling typology, the same façade may take precedence (Refer to **Figure 1**).
- All Dwelling roofs must meet a solar absorptance rating of less than 0.5

3.0 Built to Boundary (Zero Lot Walls)

- Zero lot walls may be built to boundary on the Dwelling Site. However, this requirement is not mandatory.
- Second storey built to boundary walls may have the same setback as the ground storey.
- The maximum length of the zero-lot wall shall be the length of the side boundary less front and rear wall setbacks.
- Zero lot walls must not have any openings or windows, except where located on a boundary that is not adjacent to another Dwelling Site.

4.0 Setbacks

- Setbacks are to be measured horizontally from the vertical projection of the Dwelling Site boundary to the wall or columns which support structures unless otherwise stated.
- The following are permitted within the setbacks:
 - non-structural elements fixed to the wall / roof;
 - fascia, gutters and downpipes;
 - eaves with non-combustible roof cladding and non-combustible lining;
 - flues, chimneys, pipes, domestic fuel tanks, cooling or heating appliances or other services;
 - light fittings, electricity or gas meters, aerials or antennas;
 - pergolas, sunblinds or water tanks; and
 - unroofed terraces, landings, steps and ramps not more than 1m in height.
- Zero lot walls shall be setback 200 – 900mm, where not part of an Attached Dwelling.

5.0 Building Height

- Buildings are 2 storeys maximum and maximum 8.5m above finished ground level.

6.0 Parking

- Maximum of 2 covered spaces per dwelling.
- Garages have a minimum dimension as follows:
 - 5.75m deep and 3m wide for single garages; and
 - 5.75m deep and 5.715m wide for double garages.

7.0 Fencing

- Zero-lot courtyard walls are to be minimum 1.8m height to maximise height of the zero-lot wall it forms a part of. The courtyard wall shall be of masonry, Hebel or similar construction to match the zero-lot wall.
- Solid fencing between Dwelling Sites shall not extend forward of the front building line however screen blades are permitted.

8.0 Private Open Space

- Private amenity space must be provided and is not less than 15m² per dwelling with a minimum dimension of 3m. This space is to be directly accessible from a ground floor living area and can include an undercover patio.

9.0 Acoustic Attenuation

- Where dwellings are identified as being Noise Affected in the Road Traffic Noise Assessment, prepared by Trinity Consultants, dated 16th May 2023 (Ref 227401.0209.R01V02), the dwellings must be designed and constructed using materials which ensure that any habitable rooms meet the required noise criteria as set out in that report.

10.0 Public Interface

- Where the site has eastern frontage south of the community entry point (as identified in **Figure 2**), the following shall take precedence;
 - Rear setback of 3m from site boundary to the wall or columns which support structures unless otherwise stated.
 - Rear façade roofline to comprise of a secondary material (i.e. colorbond & FC sheeting).
 - Shared gatehouse providing direct connection onto the Esplanade Road (one Gatehouse per two dwellings).
- Where the site has eastern frontage north of the community entry point (as identified in **Figure 2**), the following shall take precedence;
 - Rear setback of 3m from site boundary to the wall or columns which support structures unless otherwise stated.
 - Rear façade roofline to comprise of a secondary material (i.e. colorbond & FC sheeting).
- Where the site backs onto the northern boundary (as identified in **Figure 2**), the following shall take precedence;
 - Rear setback of 2.5m from site boundary to the wall or columns which support structures unless otherwise stated.

11.0 Rainwater Tank

- Each home shall be provided with a 3,000 Litre Rainwater tank.
- Rainwater tank to be sited clear of the 15m² Private Open Space Area required of Item 8.1 above.

Figure 1

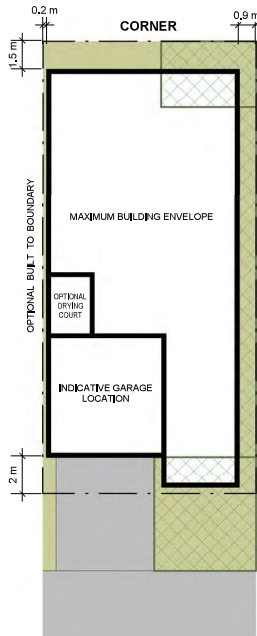
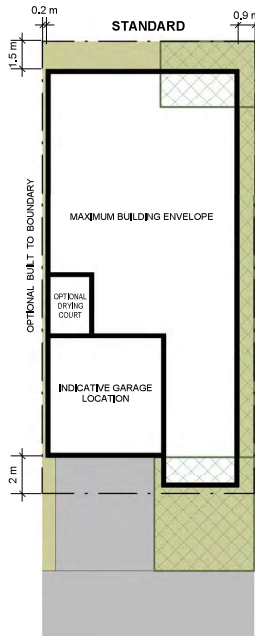
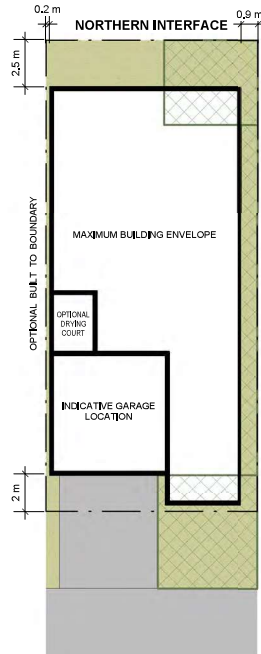
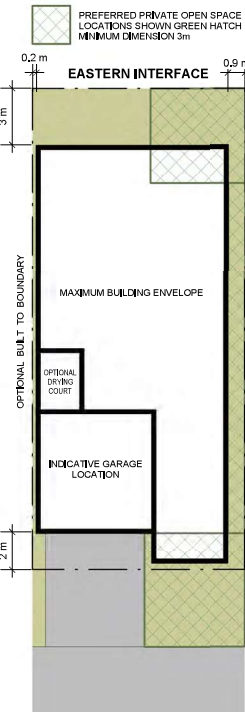
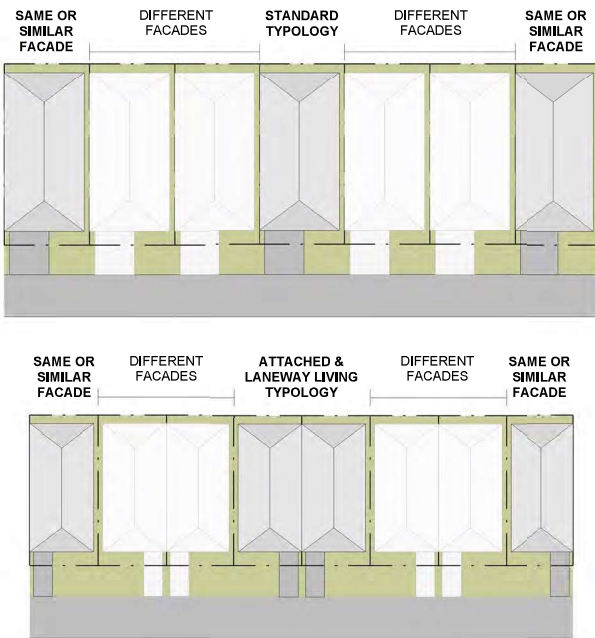


Figure 2

- NORTHERN INTERFACE
- EASTERN INTERFACE - NORTH OF ACCESS
- EASTERN INTERFACE - SOUTH OF ACCESS

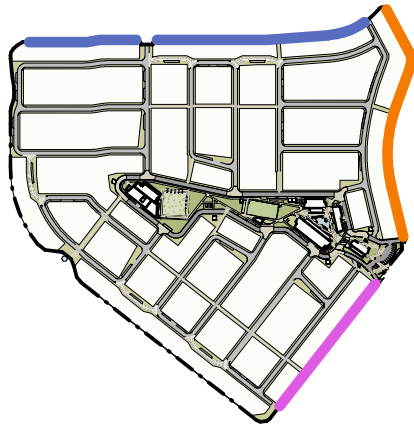


TABLE 1

| Setback | Building Element | Ground Floor Minimum Setback | First Floor Minimum Setback |
|---------|---|------------------------------|-----------------------------|
| Front | Single Garage | 2.0 m | 2.0 m |
| | Double Garage | 2.0 m | 2.0 m |
| | Roofed Patios and Support Columns | 0.0 m | 0.0 m |
| | Front corner truncation | 0.0 m | 0.0 m |
| Side | Wall | 2.0 m | 2.0 m |
| | Built to Boundary | 0.2 m | 0.2 m |
| | Non-built to Boundary | 0.9 m | 0.9 m |
| Rear | Secondary Frontage | 0.9 m | 0.9 m |
| | Rear | 1.5 m | 3.0 m |
| | Rear (Northern Frontage) - per Section 10 | 2.5 m | 3.0 m |
| | Rear (Eastern Frontage) - per Section 10 | 3.0 m | 3.0 m |

Definitions:

Dwelling Site – the area of land subject to a Dwelling Site: The area of land subject to a site agreement under the Manufactured Homes (Residential Parks) Act 2003.

Laneway Living Typology – a dwelling with a maximum 135sqm GFA allowance and may be detached or attached.

Standard Typology – any product greater than 135sqm GFA and may be detached or attached.

Attached Dwelling - two or more dwellings that have the appearance of being attached or touching another dwelling in a horizontal plane.

Site Cover - the proportion of the site covered by buildings, including roof overhangs.

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL
Approval no: DEV2023/1405
Date: 27 November 2023



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| 2 | JS | FOR COORDINATION | 18.10.2023 |
| 1 | JS | FOR COORDINATION | 16.10.2023 |
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PLANNING APPROVAL

Client

Stockland | **Halcyon Communities**

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Project

22006

Halcyon Blu

Bells Creek Road, Banyu, 4055

PRECINCT

DRAWING TITLE

**PLAN OF DEVELOPMENT -
STANDARD TYPOLOGY**

DRAWN BY JR/DJ
CHECKED JS/DC
DATE PRINTED 17/10/2023 6:25:10 PM
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| DISC | PHASE | DWG NO | REVISION |
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| AR | DA | 0.0,211 | 2 |

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BUILDING CONTROLS - LANEWAY LIVING TYPOLOGIES

All future dwellings are to be designed and sited in accordance with this Plan of Development and the Manufactured Homes (Residential Parks) Act 2003. These Dwelling Controls guide development and specific dwelling designs do not require individual endorsement from EDQ provided they comply with this PoD. These Dwelling Controls are to be read in conjunction with the **Built Form Elements Plan – Laneway Living Typology** as defined below.

1.0 Permitted Development Parameters

| | | |
|-----|---|---|
| 1.1 | Development Yield (Laneway Living Typologies) | Min: 10% of total development yield |
| 1.2 | Dwelling Site Area - Detached | Max: 235 m ² per dwelling site |
| 1.3 | Dwelling Site Area - Attached | Max: 235 m ² per dwelling site |
| 1.4 | Site Cover per Dwelling Site | Max: 85% |

2.0 Building Type & Envelope

- 2.1 A range of detached and attached dwellings are permitted within an allocated 'Laneway Living' site.
- 2.2 Laneway Living dwellings are to make up a minimum of 10% of the total development yield and be dispersed throughout the development.
- 2.3 An Attached Dwelling does not incorporate more than 10 dwellings in a row.
- 2.4 Buildings and structures shall conform to the setbacks as defined in **Table 2**.
- 2.5 All dwellings are to have a Minimum Silver Level Liveable Housing Australia (LHA) requirement.
- 2.6 There is to be no repetition of the same front façade within two (2) houses either side of a Standard Typology, unless an attached and/or Laneway Living dwelling typology, the same façade may take precedence (Refer to **Figure 1**).
- 2.7 All Dwelling roofs must meet a solar absorptance rating of less than 0.5.

3.0 Built to Boundary (Zero Lot Walls)

- 3.1 Zero lot walls may be built to boundary on the Dwelling Site. However, this requirement is not mandatory.
- 3.2 Second storey built to boundary walls may have the same setback as the ground storey.
- 3.3 The maximum length of the zero-lot wall shall be the length of the side boundary less front and rear wall setbacks.
- 3.4 Zero lot walls must not have any openings or windows, except where located on a boundary that is not adjacent to another Dwelling Site.

4.0 Setbacks

- 4.1 Setbacks are to be measured horizontally from the vertical projection of the Dwelling Site boundary to the wall or columns which support structures unless otherwise stated.
- 4.2 The following are permitted within the setbacks:
 - i) non-structural elements fixed to the wall / roof;
 - ii) fascia, gutters and downpipes;
 - iii) eaves with non-combustible roof cladding and non-combustible lining;
 - iv) flues, chimneys, pipes, domestic fuel tanks, cooling or heating appliances or other services;
 - v) light fittings, electricity or gas meters, aerials or antennas;
 - vi) pergolas, sunblinds or water tanks; and
 - vii) unroofed terraces, landings, steps and ramps not more than 1m in height.
- 4.3 Zero lot walls shall be setback 200 – 900mm, where not part of an Attached Dwelling.

5.0 Building Height

- 5.1 Buildings are 2 storeys maximum and maximum 8.5m above finished ground level.

6.0 Parking

- 6.1 Maximum of 1 covered space per dwelling.
- 6.2 Garages have a minimum dimension as follows:
 - i. 5.75m deep and 3m wide.

7.0 Fencing

- 7.1 Zero-lot courtyard walls are to be minimum 1.8m height to maximise height of the zero-lot wall it forms a part of. The courtyard wall shall be of masonry, Hebel or similar construction to match the zero-lot wall.
- 7.2 Solid fencing between Dwelling Sites shall not extend forward of the front building line however screen blades are permitted.

8.0 Private Open Space

- 8.1 Private amenity space must be provided and is not less than 15m² per dwelling with a minimum dimension of 3m. This space is to be directly accessible from a ground floor living area and can include an undercover patio.

9.0 Acoustic Attenuation

- 9.1 Where dwellings are identified as being Noise Affected in the Road Traffic Noise Assessment, prepared by Trinity Consultants, dated 16th May 2023 (Ref 227401.0209.R01V02), the dwellings must be designed and constructed using materials which ensure that any habitable rooms meet the required noise criteria as set out in that report.

10.0 Public Interface

- 10.1 Where the site has eastern frontage south of the community entry point (as identified in **Figure 2**), the following shall take precedence;
 - i. Rear setback of 3m from site boundary to the wall or columns which support structures unless otherwise stated.
 - ii. Rear façade roofline to comprise of a secondary material (i.e. colorbond & FC sheeting).
 - iii. Shared gatehouse providing direct connection onto the Esplanade Road (one Gatehouse per two dwellings).
- 10.2 Where the site has eastern frontage north of the community entry point (as identified in **Figure 2**), the following shall take precedence;
 - i. Rear setback of 3m from site boundary to the wall or columns which support structures unless otherwise stated.
 - ii. Rear façade roofline to comprise of a secondary material (i.e. colorbond & FC sheeting).
- 10.3 Where the site backs onto the northern boundary (as identified in **Figure 2**), the following shall take precedence;
 - i. Rear setback of 1.5m from site boundary to the wall or columns which support structures unless otherwise stated.

11.0 Rainwater Tank

- 11.1 Each home shall be provided with a 3,000 Litre Rainwater tank.
- 11.2 Rainwater tank to be sited clear of the 15m² Private Open Space Area required of Item 8.1 above.

Figure 1

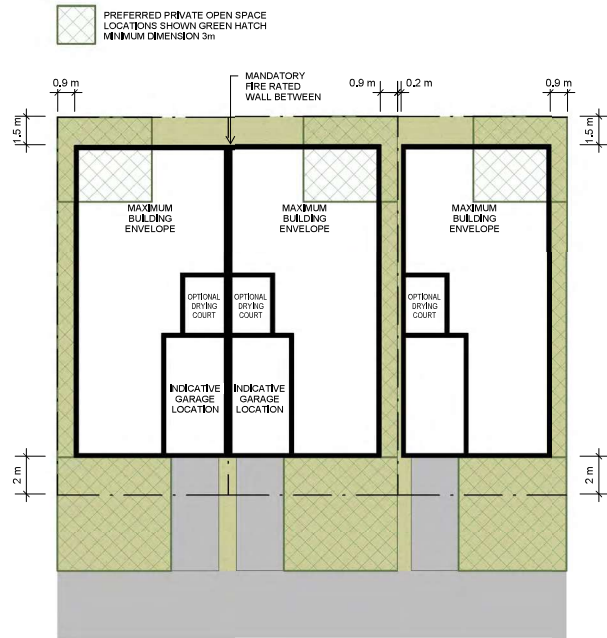
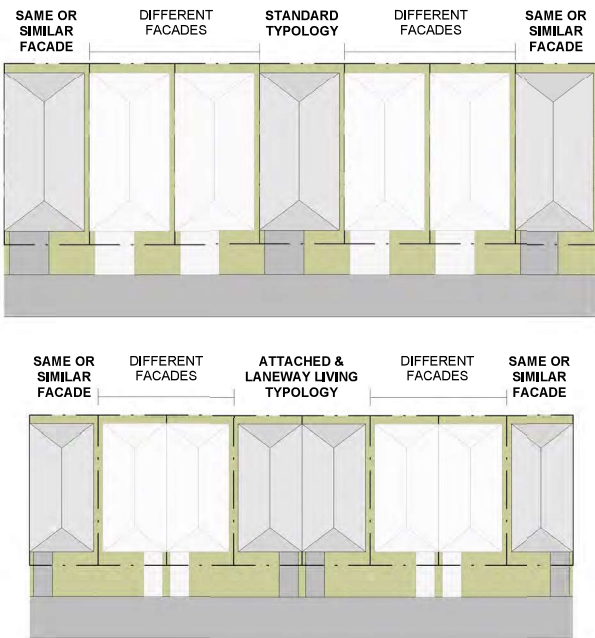


TABLE 2

| Setback | Building Element | Ground Floor Minimum Setback | First Floor Minimum Setback |
|---------|--|------------------------------|-----------------------------|
| Front | Single Garage | 2.0 m | 2.0 m |
| | Roofed Patios and Support Columns | 0.0 m | 0.0 m |
| | Front corner truncation | 0.0 m | 0.0 m |
| | Wall | 2.0 m | 2.0 m |
| Side | Built to Boundary (for detached dwellings) | 0.2 m | 0.2 m |
| | Non-built to Boundary | 0.9 m | 0.9 m |
| | Secondary Frontage | 0.9 m | 0.9 m |
| Rear | Rear | 1.5 m | 1.5 m |
| | Rear (Northern Frontage) - per Section 10 | 1.5 m | 1.5 m |
| | Rear (Eastern Frontage) - per Section 10 | 3.0 m | 3.0 m |

Definitions:

Dwelling Site – the area of land subject to a Dwelling Site: The area of land subject to a site agreement under the Manufactured Homes (Residential Parks) Act 2003.

Laneway Living Typology – a dwelling with a maximum 135sqm GFA allowance and may be detached or attached.

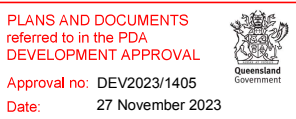
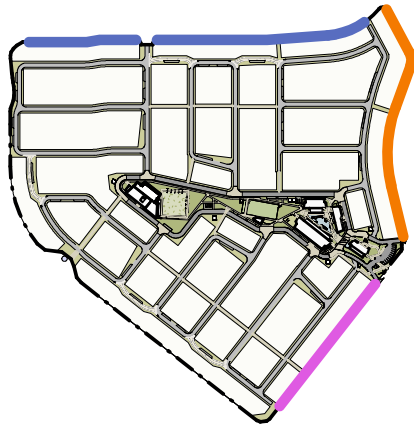
Standard Typology – any product greater than 135sqm GFA and may be detached or attached.

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Site Cover - the proportion of the site covered by buildings, including roof overhangs.

Figure 2

- NORTHERN INTERFACE
- EASTERN INTERFACE - NORTH OF ACCESS
- EASTERN INTERFACE - SOUTH OF ACCESS



| | | | |
|-----|---------|------------------|------------|
| 2 | JS | FOR COORDINATION | 18.10.2023 |
| 1 | JS | FOR COORDINATION | 16.10.2023 |
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PLANNING APPROVAL

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Project

22006

Halcyon Blu

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PRECINCT

DRAWING TITLE
PLAN OF DEVELOPMENT -
LANEWAY LIVING TYPOLOGY

DRAWN BY JR/DJ
CHECKED JS/DC
DATE PRINTED 17/10/2023 6:25:25 PM
SCALE As indicated

| DISC | PHASE | DWG NO | REVISION |
|------|-------|---------|----------|
| AR | DA | 0.0,212 | 2 |

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LEGEND

RESIDENTIAL LOTS

LANDSCAPE VERGE

COMMON FACILITIES

LIVING LINKS - WALKWAYS

NEIGHBOURHOOD NOOKS

PEDESTRIAN CONNECTIONS

LANEWAY CONNECTIONS

PRIMARY STREET
11.5m = RESERVE WIDTH
6m = CARRIAGE WAY

SECONDARY STREET
10.5m = RESERVE WIDTH
5.5m = CARRIAGE WAY

CROSSING / SHARED ZONE
& PEDESTRIAN FOOTPATHS

EMERGENCY ACCESS

ENTRY GATE LOCATION

SITE BOUNDARY

NOTE: REFER TO LANDSCAPE ARCHITECTURE REPORT FOR FURTHER DETAIL

| | | | |
|-----|---------|----------------------|------------|
| 10 | JS | FOR COORDINATION | 18.10.2023 |
| 9 | JS | FOR COORDINATION | 16.10.2023 |
| 8 | JS | FOR COORDINATION | 13.10.2023 |
| 7 | DJ | ISSUED FOR DA | 18.05.2023 |
| 6 | DJ | ISSUED FOR DA | 17.05.2023 |
| 5 | DJ | DRAFT DA | 12.05.2023 |
| 4 | JS | DRAFT DA | 20.04.2023 |
| 3 | JS | PRE-LODGEEMENT ISSUE | 21.03.2023 |
| 2 | DJ | 60% ISSUE | 07.03.2023 |
| 1 | JS | VIP DA ISSUE | 22.02.2023 |
| Rev | Initial | Description | Date |

PLANNING APPROVAL

Client

Stockland

Halcyon Communities

Archipelago

Archipelago

Mezzanine Floor, 33 Queen Street, Brisbane QLD 4000
T +617 3236 4606 www.archipelago.com.au

Project

22006

Halcyon Blu

Bells Creek Road, Banya, 4055

PRECINCT

DRAWING TITLE

LANDSCAPE PLAN

DRAWN BY

JS/DJ

CHECKED

JS/DC

DATE PRINTED

17/10/2023 6:26:43 PM

SCALE

1 : 1000 @ A1

DISC

AR

PHASE

DA

DWG NO

0.0.240

REVISION

10

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

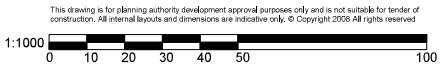
Approval no:

DEV2023/1405

Date:

27 November 2023

Queensland Government





LEGEND

- PRIMARY STREET**
11.5m = RESERVE WIDTH
6m = CARRIAGE WAY
- SECONDARY STREET**
10.5m = RESERVE WIDTH
5.5m = CARRIAGE WAY
- LANEWAYS**
varies = RESERVE WIDTH
4m = CARRIAGE WAY
- CROSSING / SHARED ZONE & PEDESTRIAN FOOTPATHS**
- VISITOR PARKING BAYS**
CURRENT = 79
- EMERGENCY ACCESS**
- ENTRY GATE LOCATION**
- SITE BOUNDARY**
- AMOUNT OF VISITOR PARKING**
TOTAL: 115
- ADDITIONAL VISITOR PARKING AREA PROVIDED AT PRIMARY STREET INTERFACE TO RESIDENTIAL LOTS (REFER BUILDING CONTROLS PLAN)**

NOTE: REFER TO LANDSCAPE ARCHITECTURE REPORT FOR FURTHER DETAIL

| | | | |
|-----|---------|------------------|------------|
| 3 | JS | FOR COORDINATION | 18.10.2023 |
| 2 | JS | FOR COORDINATION | 13.10.2023 |
| 1 | JS | FOR COORDINATION | 21.07.2023 |
| Rev | Initial | Description | Date |

PLANNING APPROVAL

Client

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Project

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Halcyon Blu

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PRECINCT

DRAWING TITLE
PARKING & ROAD HIERARCHY PLAN

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DATE PRINTED 17/10/2023 6:21:22 PM
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| DISC | PHASE | DWG NO | REVISION |
|------|-------|---------|----------|
| AR | DA | 0.0.241 | 3 |

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1:1000
0 10 20 30 40 50 100





LEGEND

- CIVIL STAGE 1
- CIVIL STAGE 2
- CIVIL STAGE 3

| | | | |
|-----|---------|------------------|------------|
| 8 | JS | FOR COORDINATION | 18.10.2023 |
| 7 | DJ | ISSUED FOR DA | 18.05.2023 |
| 6 | DJ | ISSUED FOR DA | 17.05.2023 |
| 5 | DJ | DRAFT DA | 12.05.2023 |
| 4 | JS | DRAFT DA | 20.04.2023 |
| 3 | JS | FOR COORDINATION | 20.04.2023 |
| 2 | DJ | 60% ISSUE | 07.03.2023 |
| 1 | JS | VIP DA ISSUE | 22.02.2023 |
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PLANNING APPROVAL

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Project
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Halcyon Blu

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PRECINCT

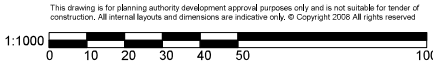
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INDICATIVE STAGING STRATEGY

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| DISC | PHASE | DWG NO | REVISION |
|------|-------|---------|----------|
| AR | DA | 0.0.260 | 8 |





1 MASTERPLAN - DA - FACILITIES MASTERPLAN
0.0.102 1:500

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL
Approval no: DEV2023/1405
Date: 27 November 2023



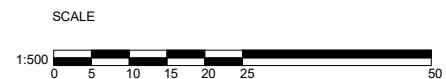
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DRAWING TITLE
FACILITIES MASTERPLAN
PLANNING APPROVAL

| | | | |
|-----|---------|----------------------|------------|
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| 9 | DJ | ISSUED FOR DA | 18.05.2023 |
| 8 | DJ | ISSUED FOR DA | 17.05.2023 |
| 7 | DJ | DRAFT DA | 12.05.2023 |
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| Rev | Initial | Description | Date |



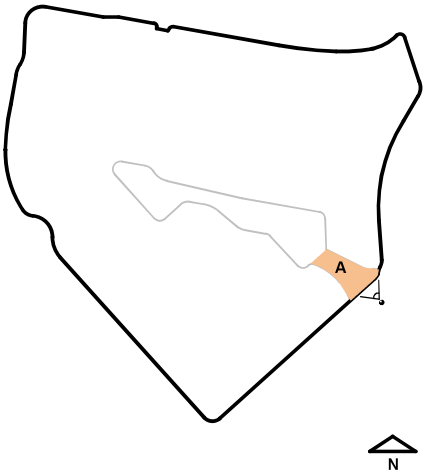
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ENTRY & SALES PRECINCT



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|----|----|----------------------|------------|
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| 7 | DJ | DRAFT DA | 12.05.2023 |
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| 5 | JS | PRE-LODGEEMENT ISSUE | 23.03.2023 |
| 4 | DJ | PRE-LODGEEMENT ISSUE | 22.03.2023 |
| 3 | JS | PRE-LODGEEMENT ISSUE | 21.03.2023 |
| 2 | DJ | 60% ISSUE | 07.03.2023 |
| 1 | JS | WIP DA ISSUE | 22.02.2023 |

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PRECINCT
ENTRY & SALES

DRAWING TITLE
COVER SHEET & PERSPECTIVES

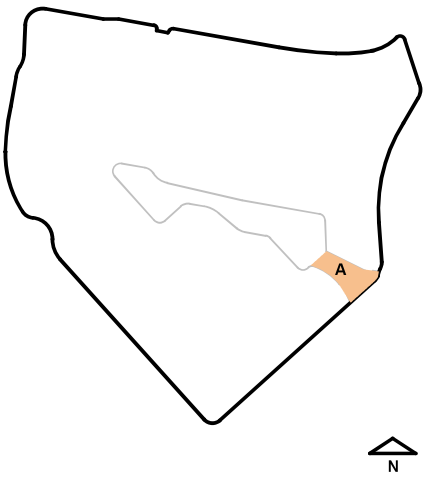
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| DISC | PHASE | DWG NO | REVISION |
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| AR | DA | A.0.000 | 10 |

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1 ENTRY & SALES SITE PLAN
A1.300 1:250



| | | | |
|-----|---------|---------------|------------|
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| 6 | DJ | ISSUED FOR DA | 18.05.2023 |
| 5 | DJ | ISSUED FOR DA | 17.05.2023 |
| 4 | DJ | DRAFT DA | 12.05.2023 |
| 3 | DJ | DRAFT DA | 20.04.2023 |
| 2 | DJ | 60% ISSUE | 07.03.2023 |
| 1 | JS | VMP DA ISSUE | 22.02.2023 |
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PRECINCT
ENTRY & SALES

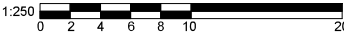
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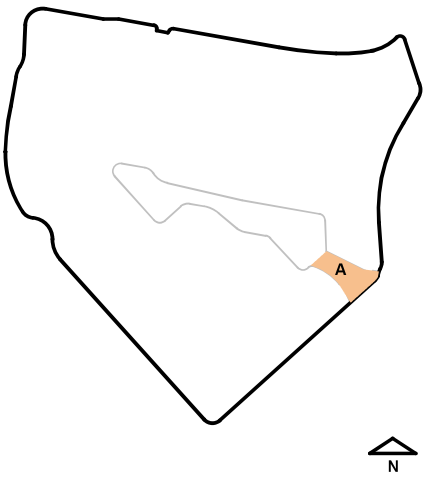
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| DISC | PHASE | DWG NO | REVISION |
| AR | DA | A.0.100 | 8 |

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1 ENTRY & SALES GENERAL ARRANGEMENT PLAN
A1.300 / 1:100

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| 7 | DC | VM ISSUE | 14.08.2023 |
| 6 | DJ | ISSUED FOR DA | 18.05.2023 |
| 5 | DJ | ISSUED FOR DA | 17.05.2023 |
| 4 | DJ | DRAFT DA | 12.05.2023 |
| 3 | DJ | DRAFT DA | 20.04.2023 |
| 2 | DJ | 60% ISSUE | 07.03.2023 |
| 1 | JS | WIP DA ISSUE | 22.02.2023 |

| Rev | Initial | Description | Date |
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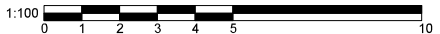
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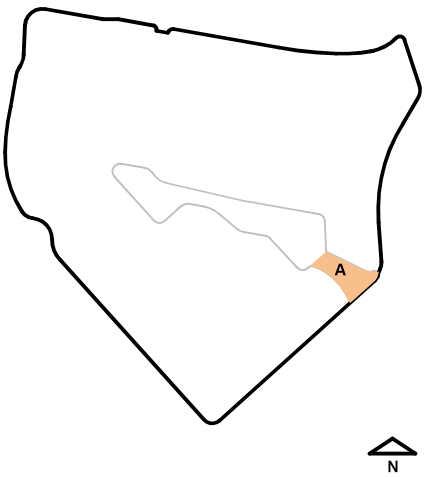
Project
22006
Halcyon Blu
Bells Creek Road, Banya, 4055
PRECINCT
ENTRY & SALES
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GENERAL ARRANGEMENT PLAN

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CHECKED JS/DC
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| DISC | PHASE | DWG NO | REVISION |
|------|-------|---------|----------|
| AR | DA | A.1.200 | 8 |

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| | | | |
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| 5 | JS | ISSUED FOR DA | 18.10.2023 |
| 4 | DC | VM ISSUE | 14.08.2023 |
| 3 | DJ | ISSUED FOR DA | 18.05.2023 |
| 2 | DJ | ISSUED FOR DA | 17.05.2023 |
| 1 | DJ | DRAFT DA | 12.05.2023 |

| Rev | Initial | Description | Date |
|-----|---------|-------------|------|
|-----|---------|-------------|------|

PLANNING APPROVAL

Client
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22006
Halcyon Blu

Bells Creek Road, Banya, 4055

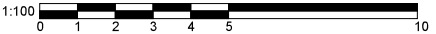
PRECINCT
ENTRY & SALES

DRAWING TITLE
LEGACY PLAN

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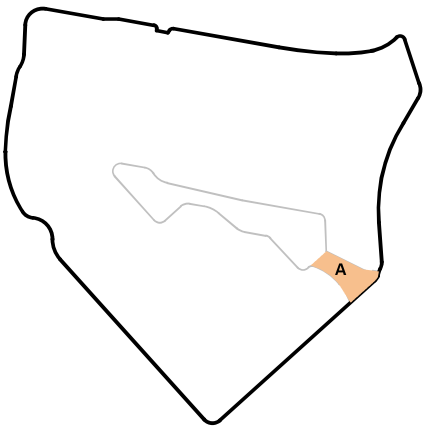
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PLANS AND DOCUMENTS
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DEVELOPMENT APPROVAL
Approval no: DEV2023/1405
Date: 27 November 2023





MATERIALS LEGEND

- FACE BLOCK
- FC WEATHERBOARD VERTICALLY EXPRESSED
- ROOF SHEETING
Maximum Solar Absorbance: 0.5
- GLAZING
- LOUVRES
- VERTICAL BATTEN
- HORIZONTAL BATTEN

| 8 | JS | ISSUED FOR DA | 18.10.2023 |
|-----|---------|---------------|------------|
| 7 | DC | VM ISSUE | 14.08.2023 |
| 6 | DJ | ISSUED FOR DA | 18.05.2023 |
| 5 | DJ | ISSUED FOR DA | 17.05.2023 |
| 4 | DJ | DRAFT DA | 12.05.2023 |
| 3 | DJ | DRAFT DA | 20.04.2023 |
| 2 | DJ | 60% ISSUE | 07.03.2023 |
| 1 | JS | VIP DA ISSUE | 22.02.2023 |
| Rev | Initial | Description | Date |

PLANNING APPROVAL

Client
Stockland | Halcyon Communities

Archipelago

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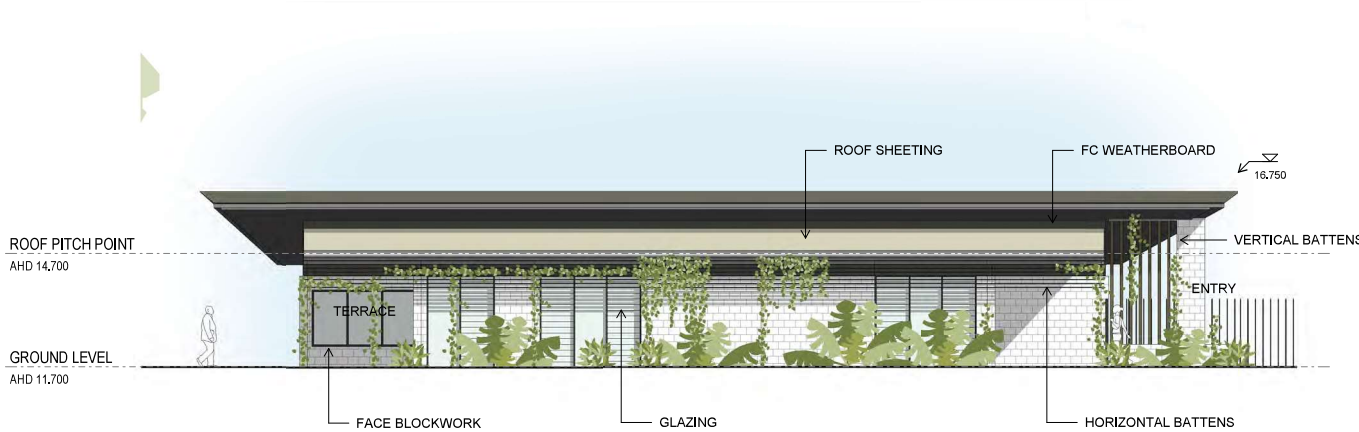
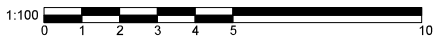
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Project
22006
Halcyon Blu
Bells Creek Road, Banya, 4055
PRECINCT
ENTRY & SALES
DRAWING TITLE
BUILDING ELEVATIONS

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DATE PRINTED 18/10/2023 3:54:38 PM
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| DISC | PHASE | DWG NO | REVISION |
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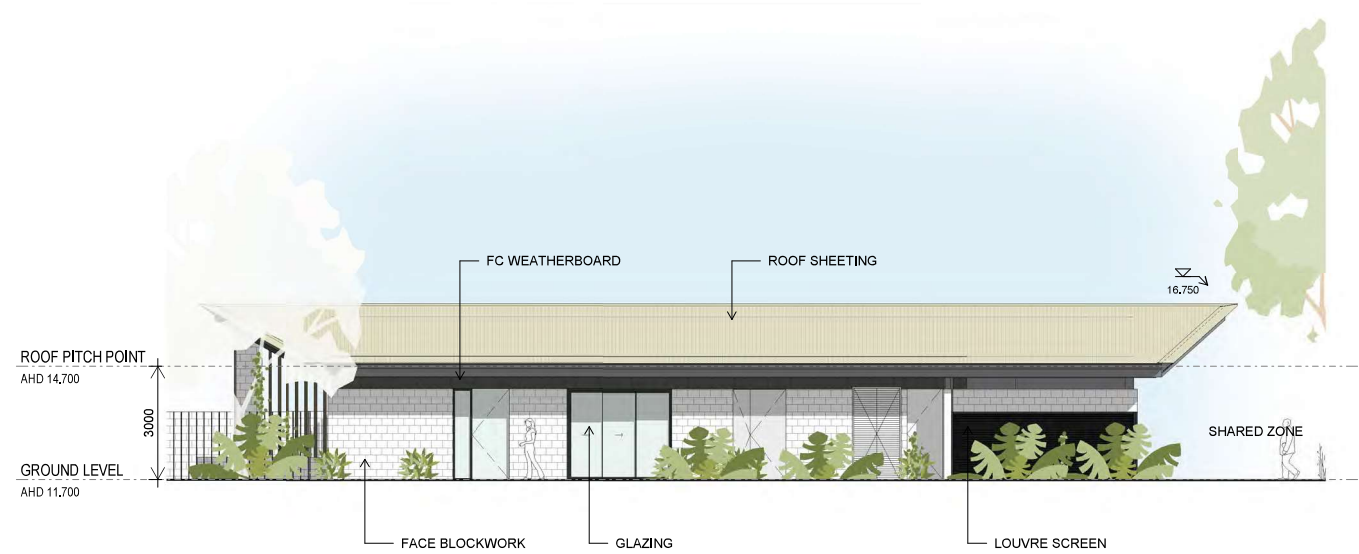
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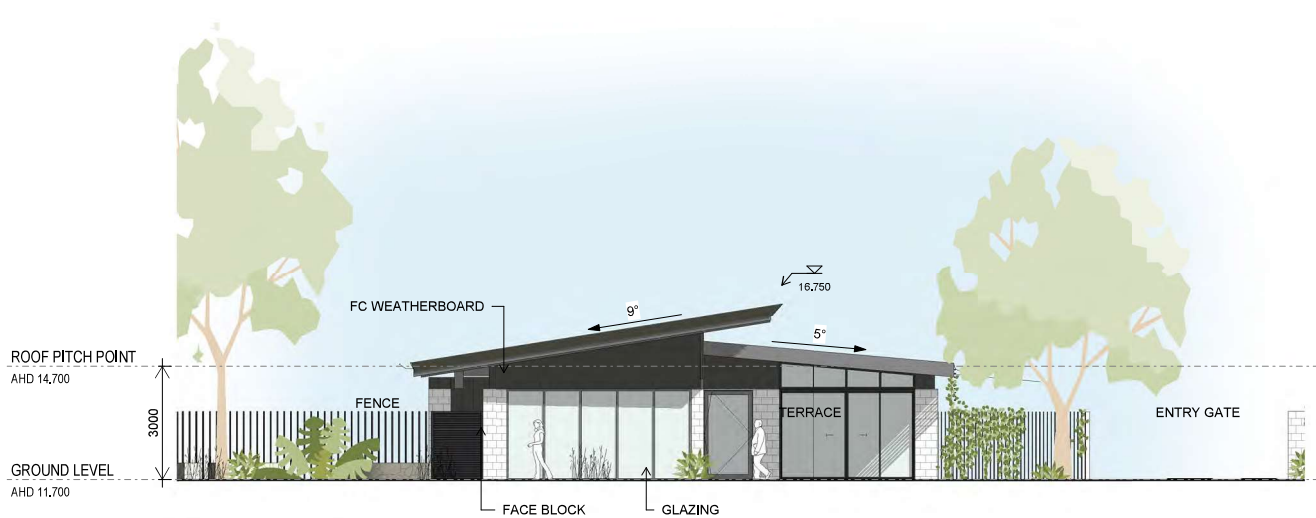
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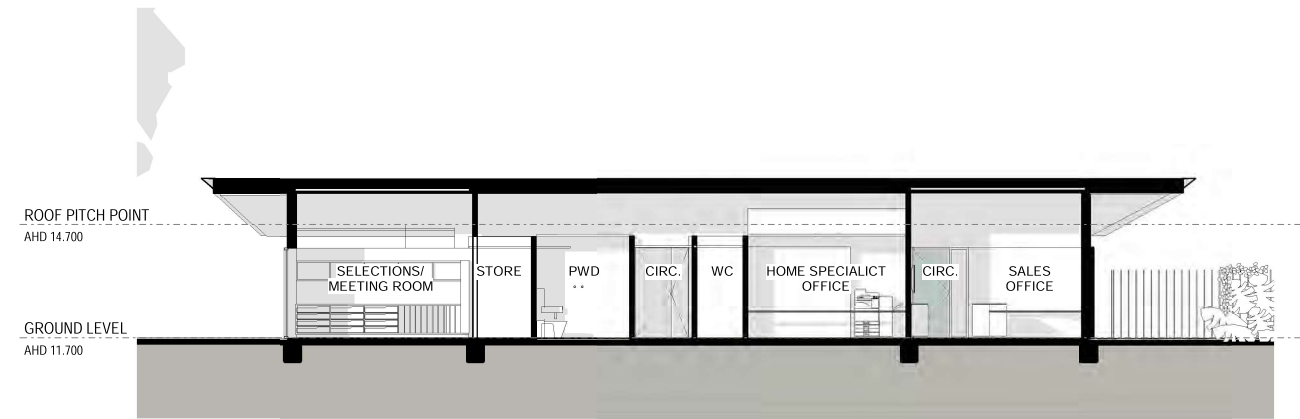


3 ENTRY & SALES NORTH-EAST ELEVATION
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4 ENTRY & SALES NORTH-WEST ELEVATION
A.1.200 1 : 100





1 ENTRY & SALES SECTION A
A.1.200 1:100



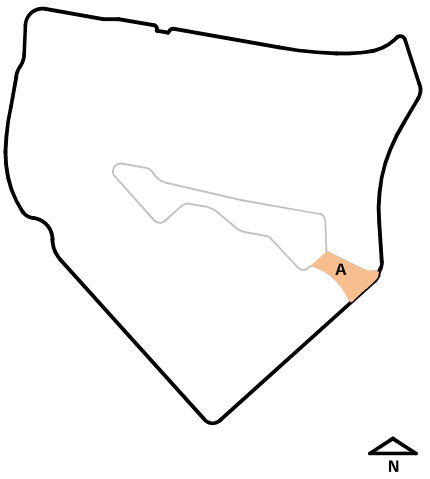
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4 ENTRY & SALES SECTION C
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2 ENTRY & SALES SECTION D
A.1.200 1:100



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| 6 | DJ | ISSUED FOR DA | 18.05.2023 |
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| 3 | DJ | DRAFT DA | 20.04.2023 |
| 2 | DJ | 60% ISSUE | 07.03.2023 |
| 1 | JS | WIP DA ISSUE | 22.02.2023 |

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PRECINCT
ENTRY & SALES

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BUILDING SECTIONS

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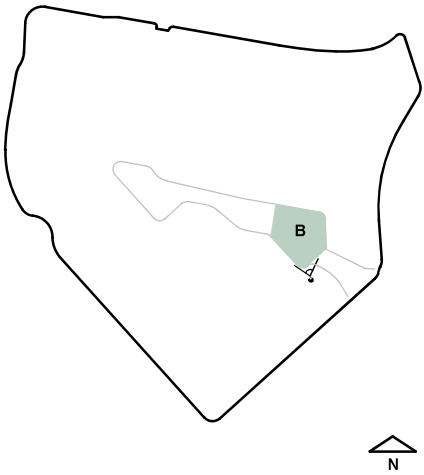
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| AR | DA | A.1.400 | 7 |

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1:100
0 1 2 3 4 5 10



CLUBHOUSE PRECINCT



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| | | | |
|----|----|----------------------|------------|
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| 6 | DJ | DRAFT DA | 20.04.2023 |
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| 4 | DJ | PRE-LODGEEMENT ISSUE | 22.03.2023 |
| 3 | JS | PRE-LODGEEMENT ISSUE | 21.03.2023 |
| 2 | DJ | 60% ISSUE | 07.03.2023 |
| 1 | JS | WIP DA DRAFT ISSUE | 22.02.2023 |

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Halcyon Aura #2

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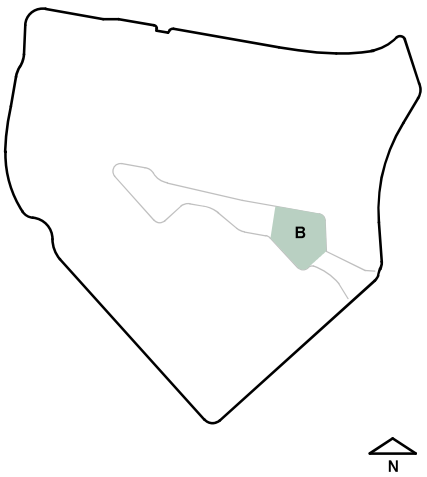
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CLUBHOUSE

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COVER SHEET & PERSPECTIVES

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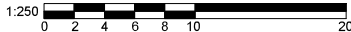
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PRECINCT
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SITE PLAN

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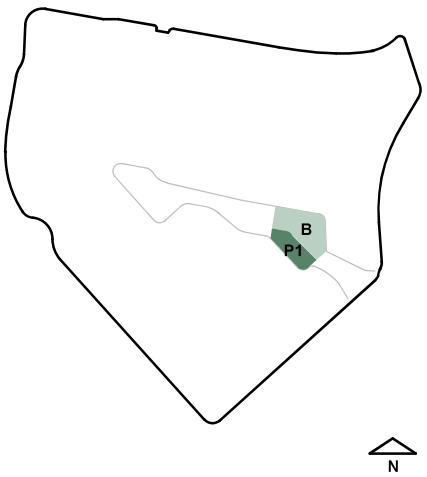
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| 8 | JS | ISSUED FOR DA | 18.10.2023 |
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| 5 | DJ | ISSUED FOR DA | 17.05.2023 |
| 4 | DJ | DRAFT DA | 12.05.2023 |
| 3 | DJ | DRAFT DA | 20.04.2023 |
| 2 | DJ | 60% ISSUE | 07.03.2023 |
| 1 | JS | WIP DA DRAFT ISSUE | 22.02.2023 |
| Rev | Initial | Description | Date |

PLANNING APPROVAL

Client
Stockland | Halcyon Communities

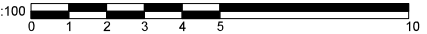
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Project
22006
Halcyon Aura #2
Bells Creek Road, Banya, 4055
PRECINCT
CLUBHOUSE - PAVILION 1
DRAWING TITLE
GENERAL ARRANGEMENT PLAN

DRAWN BY DJ, JR, EP
CHECKED DC, JS
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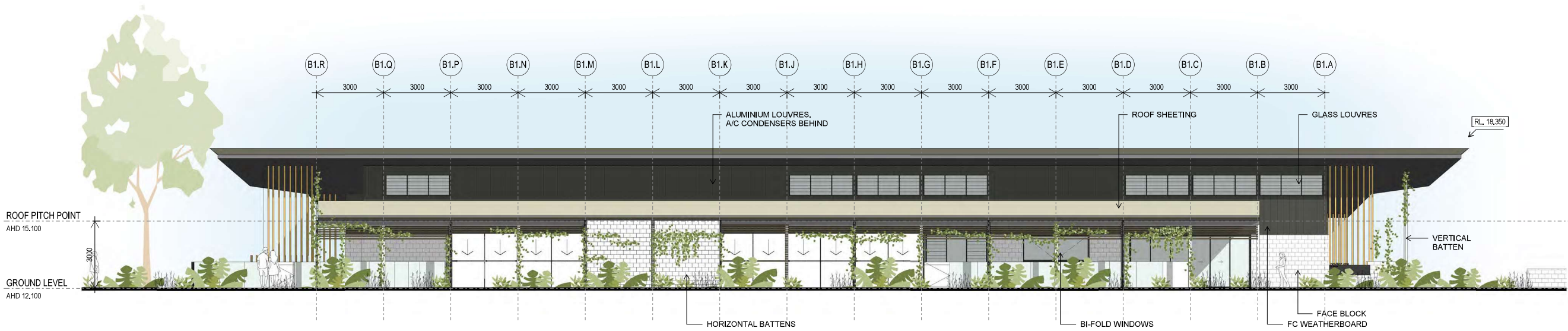
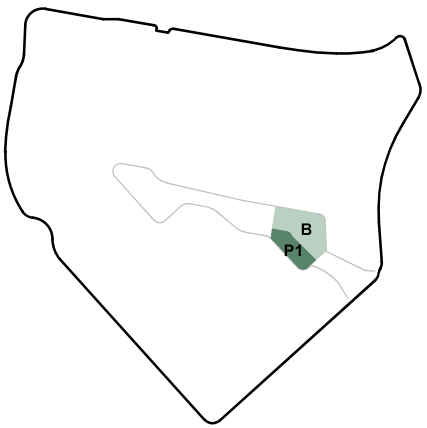
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| DISC | PHASE | DWG NO | REVISION |
| AR | DA | B.1.200 | 8 |

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PLANS AND DOCUMENTS
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DEVELOPMENT APPROVAL
Approval no: DEV2023/1405
Date: 27 November 2023





1 CLUBHOUSE PAVILION 1 NORTH ELEVATION
B.1,200 1:100

MATERIALS LEGEND

- FACE BLOCK
- FC WEATHERBOARD
VERTICALLY EXPRESSED
- ROOF SHEETING
Maximum Solar Absorbance: 0.5
- GLAZING
- LOUVRES
- VERTICAL BATTEN
- HORIZONTAL BATTEN

| | | | |
|-----|---------|--------------------|------------|
| 8 | JS | ISSUED FOR DA | 18.10.2023 |
| 7 | DC | VM ISSUE | 14.08.2023 |
| 6 | DJ | ISSUED FOR DA | 18.05.2023 |
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| 2 | DJ | 60% ISSUE | 07.03.2023 |
| 1 | JS | VMP DA DRAFT ISSUE | 22.02.2023 |
| Rev | Initial | Description | Date |

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Halcyon Aura #2

Bells Creek Road, Banya, 4055

PRECINCT

CLUBHOUSE - PAVILION 1

DRAWING TITLE

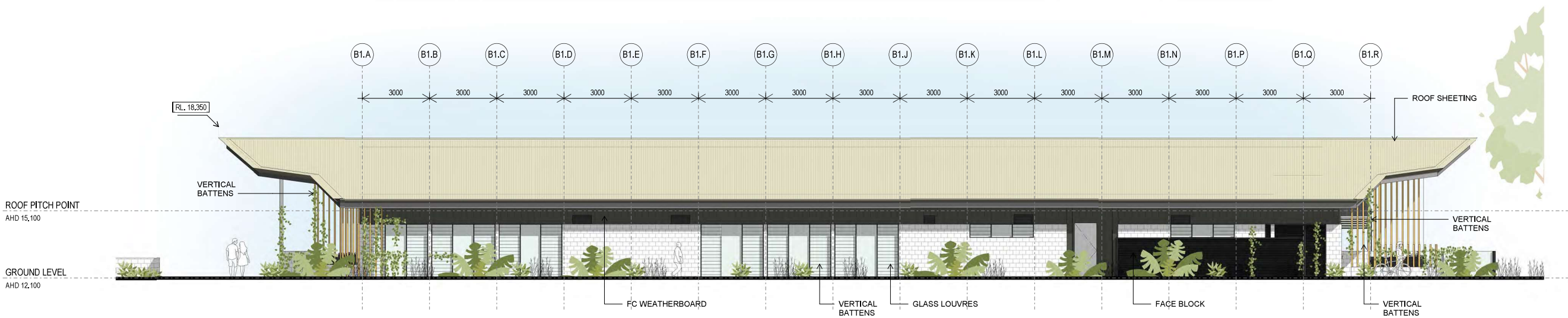
BUILDING ELEVATIONS

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DATE PRINTED 18/10/2023 3:40:19 PM
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| DISC | PHASE | DWG NO | REVISION |
|------|-------|---------|----------|
| AR | DA | B.1,300 | 8 |

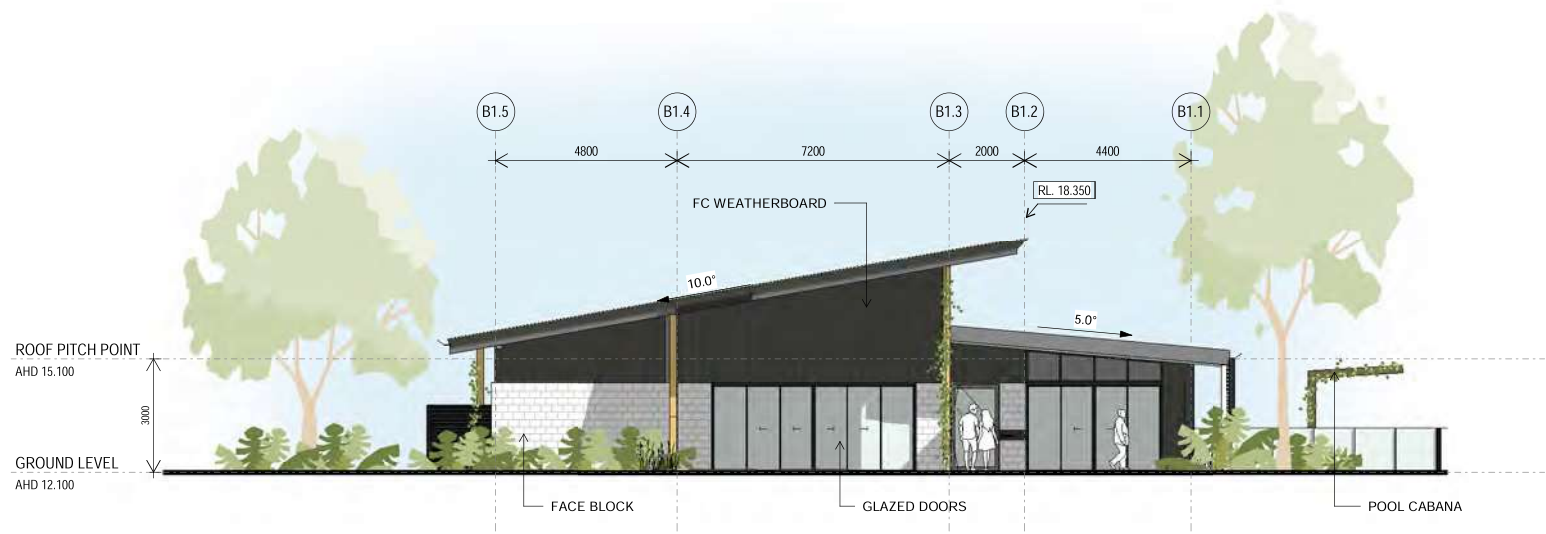
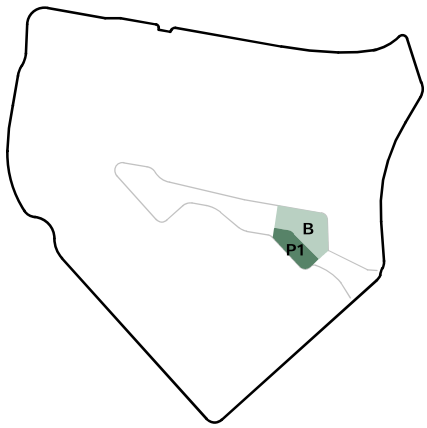
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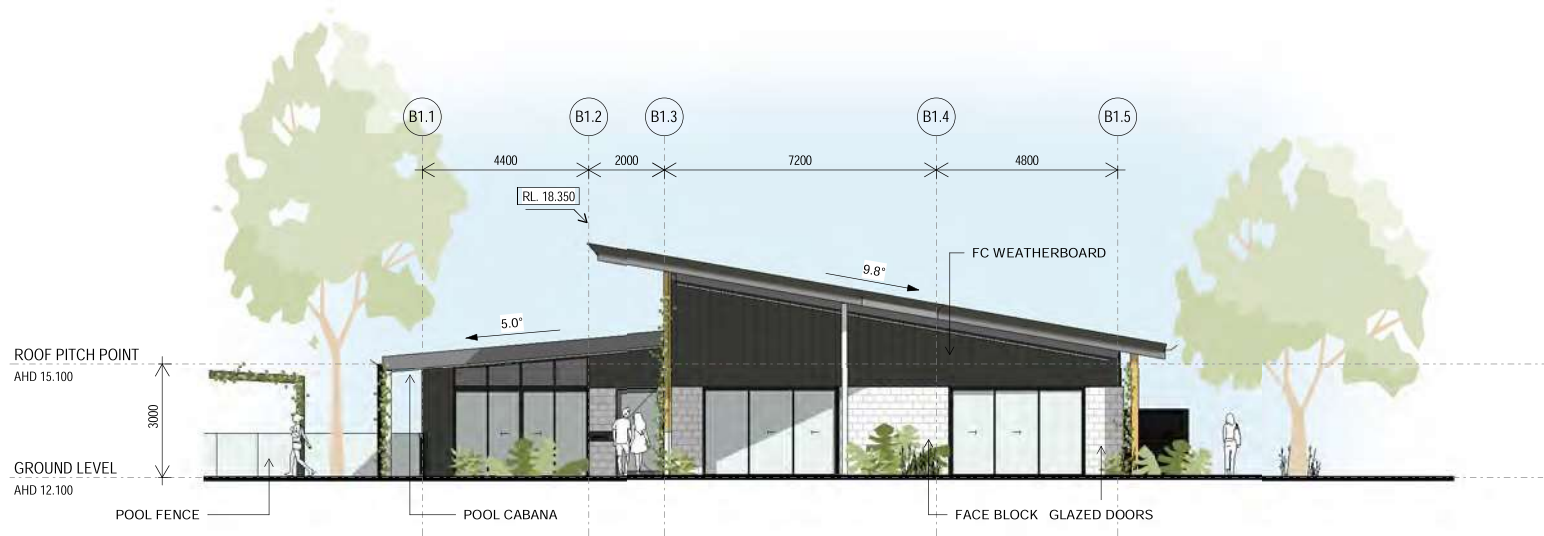


2 CLUBHOUSE PAVILION 1 SOUTH ELEVATION
B.1,200 1:100





1 CLUBHOUSE PAVILION 1 EAST ELEVATION
B.1.200 1:100



2 CLUBHOUSE PAVILION 1 WEST ELEVATION
B.1.200 1:100

MATERIALS LEGEND

FACE BLOCK

FC WEATHERBOARD
VERTICALLY EXPRESSED

ROOF SHEETING
Maximum Solar Absorbance: 0.5

GLAZING

LOUVRES

VERTICAL BATTEN

HORIZONTAL BATTEN

| | | | |
|-----|---------|---------------|------------|
| 6 | JS | ISSUED FOR DA | 18.10.2023 |
| 5 | DC | VM ISSUE | 14.08.2023 |
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| 2 | DJ | DRAFT DA | 12.05.2023 |
| 1 | DJ | DRAFT DA | 20.04.2023 |
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22006
Halcyon Aura #2
Bells Creek Road, Banyu, 4055
PRECINCT
CLUBHOUSE - PAVILION 1
DRAWING TITLE
BUILDING ELEVATIONS

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|--------------|-----------------------|
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| DISC | PHASE | DWG NO | REVISION |
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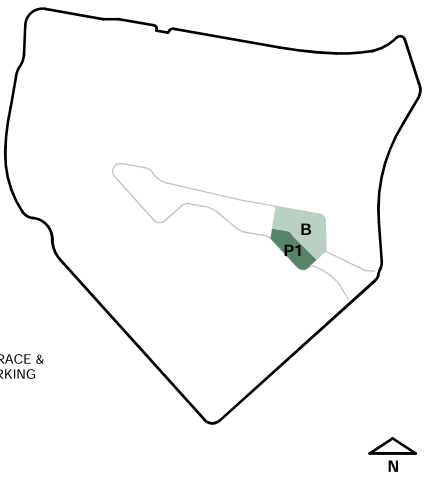
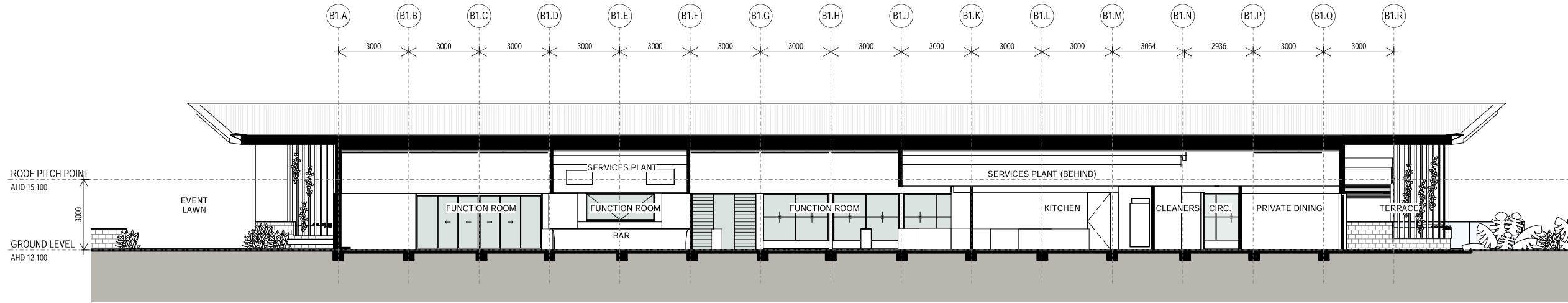
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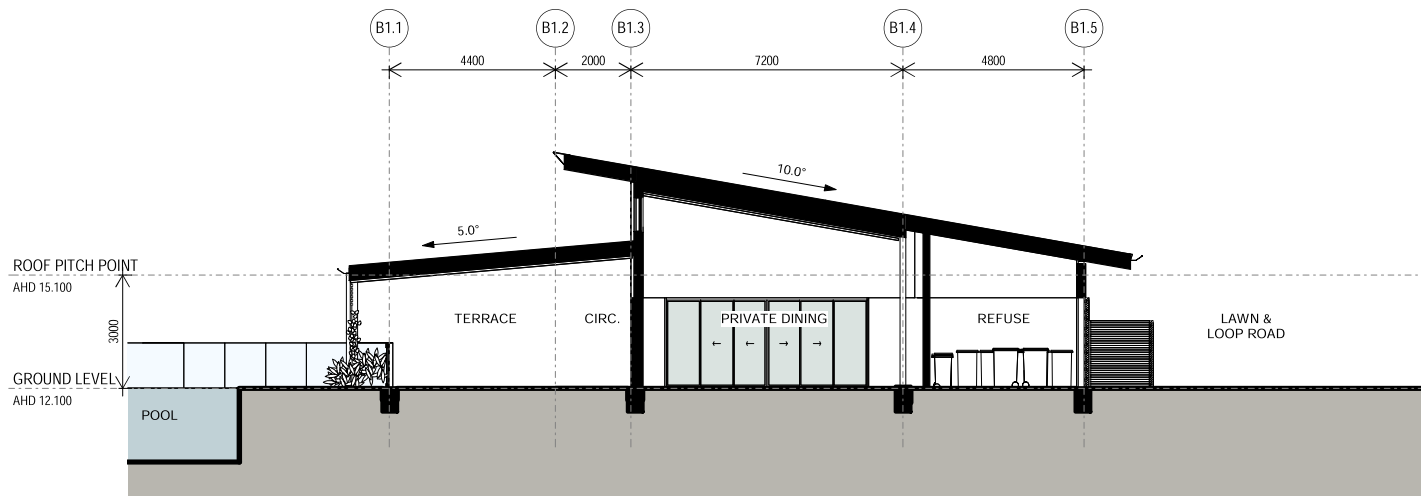
PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2023/1405
Date: 27 November 2023

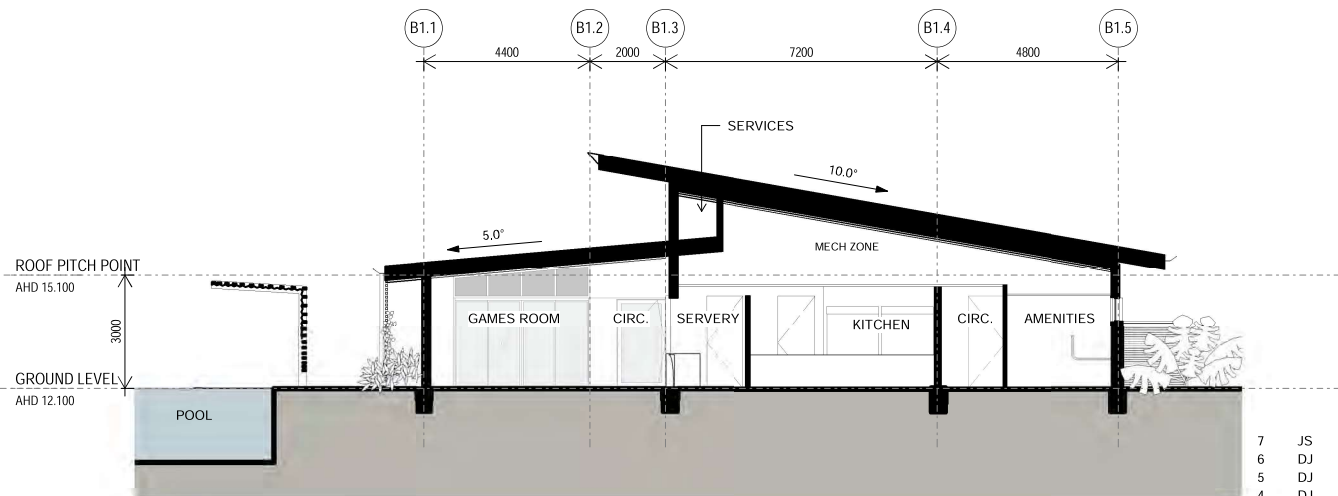




1 CLUBHOUSE PAVILION 1 SECTION A
B.1.200 1:100



2 CLUBHOUSE PAVILION 1 SECTION B
B.1.200 1:100



3 CLUBHOUSE PAVILION 1 SECTION C
B.1.200 1:100

| | | | |
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| 6 | DJ | ISSUED FOR DA | 18.05.2023 |
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| 3 | DJ | DRAFT DA | 20.04.2023 |
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| 1 | JS | WIP DA DRAFT ISSUE | 22.02.2023 |

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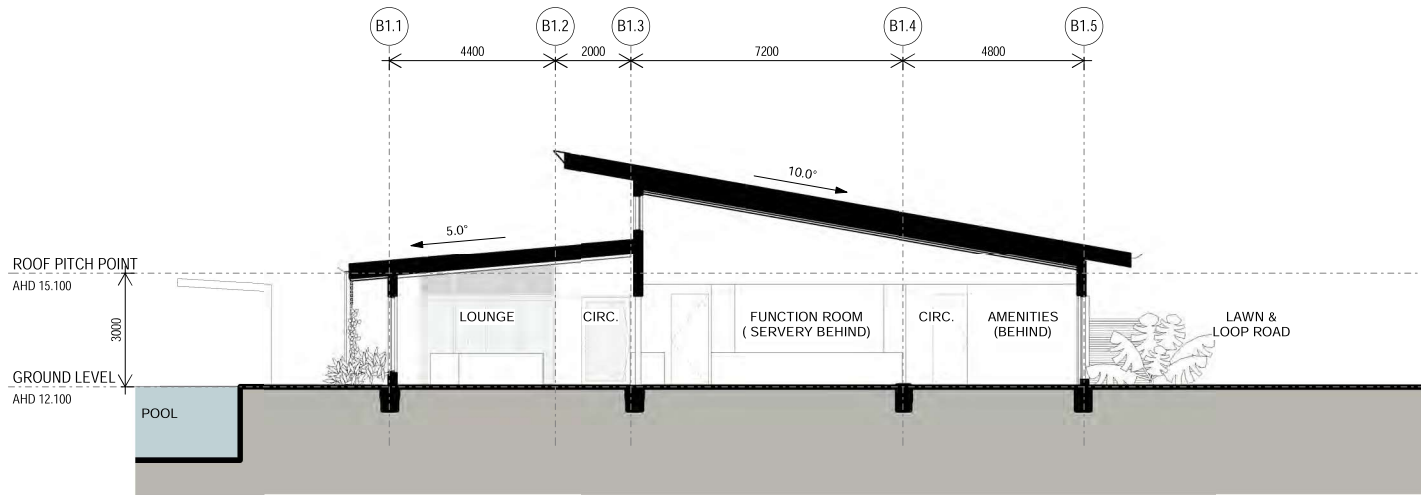
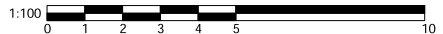
Project
22006
Halcyon Aura #2
Bells Creek Road, Banya, 4055

PRECINCT
CLUBHOUSE - PAVILION 1
DRAWING TITLE
BUILDING SECTIONS

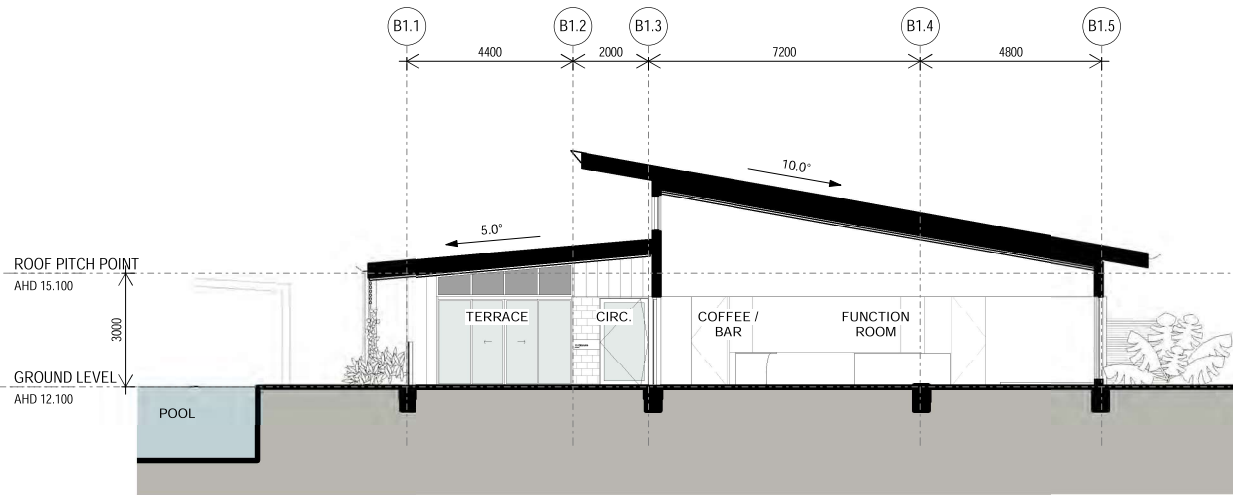
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| AR | DA | B.1.400 | 7 |

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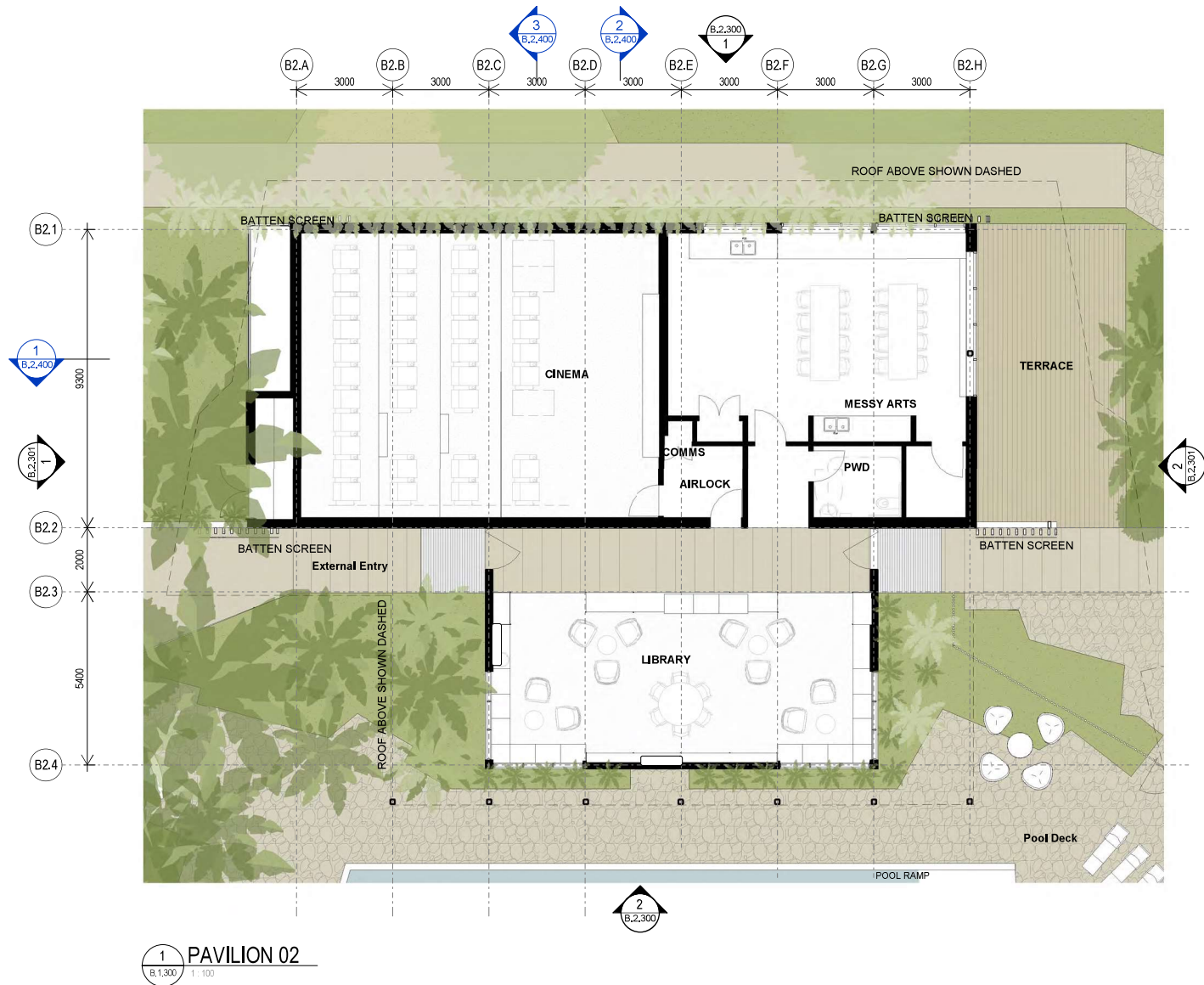
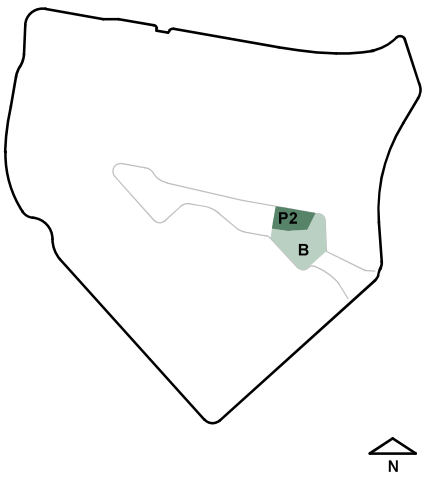


4 CLUBHOUSE PAVILION 1 SECTION D
B.1.200 1:100



5 CLUBHOUSE PAVILION 1 SECTION E1
B.1.200 1:100





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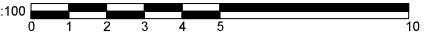
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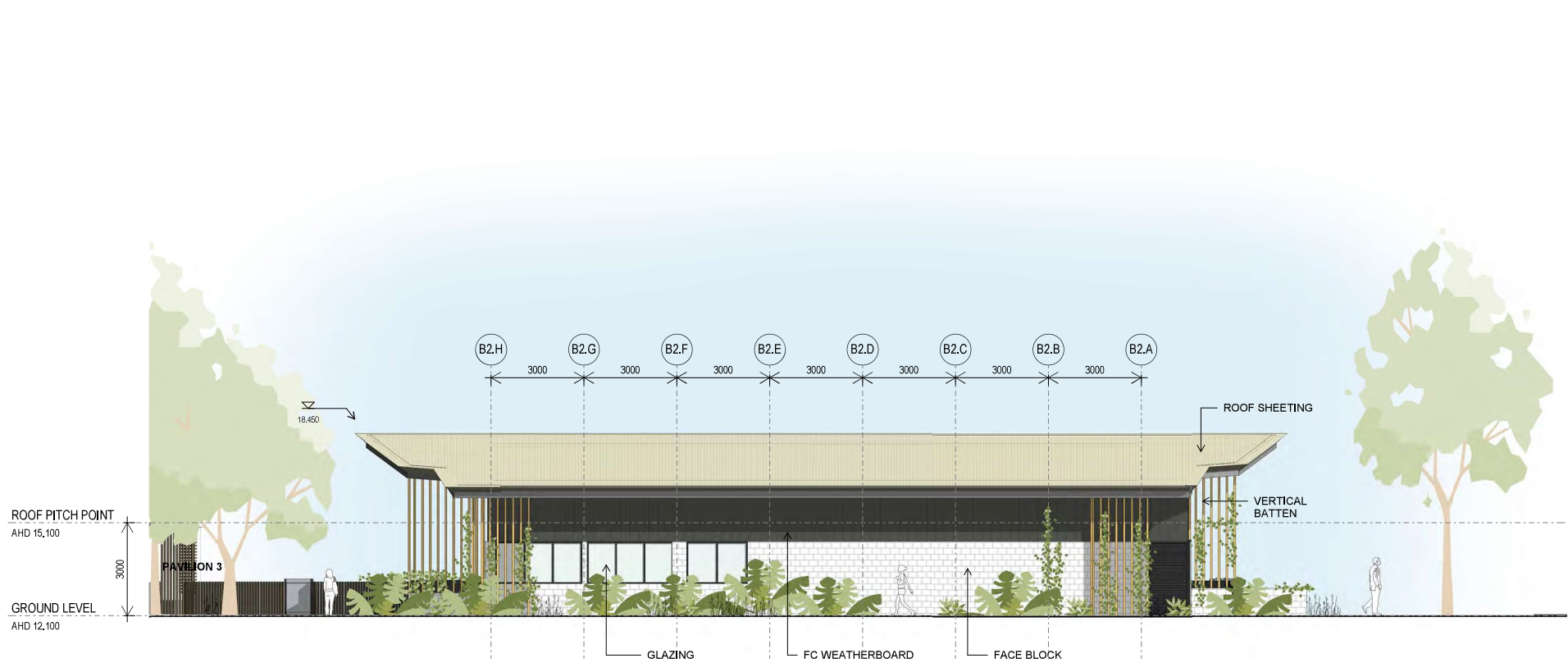
Project
22006
Halcyon Aura #2
Bells Creek Road, Banya, 4055
PRECINCT
CLUBHOUSE - PAVILION 2
DRAWING TITLE
GENERAL ARRANGEMENT PLAN

DRAWN BY DJ, JR, EP
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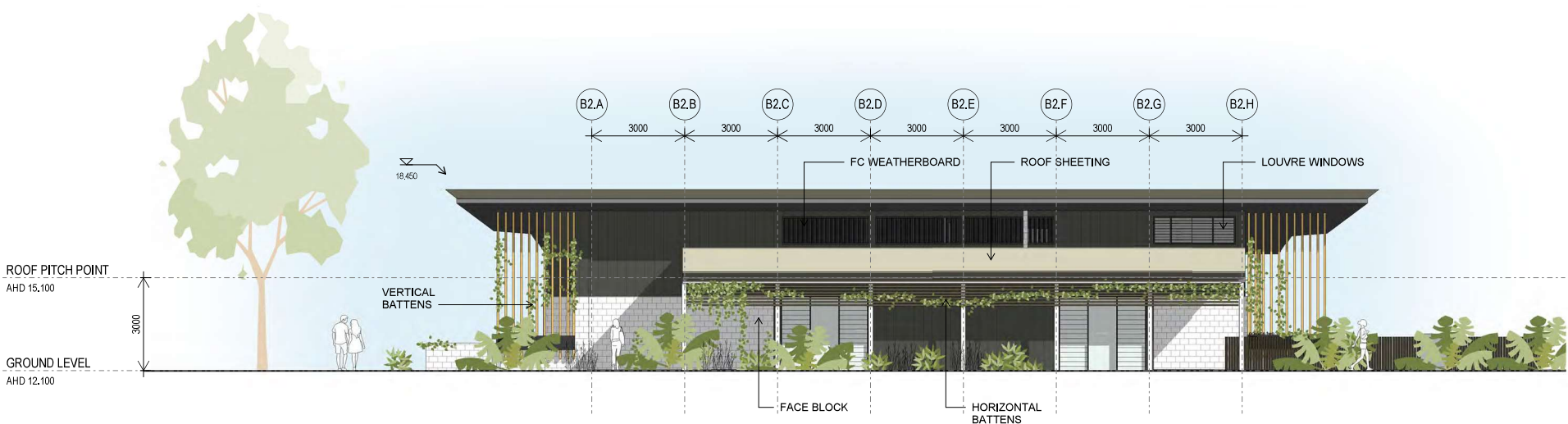
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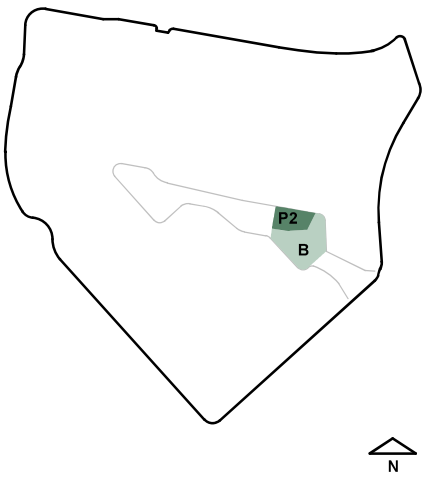




1 CLUBHOUSE PAVILION 2 NORTH ELEVATION



2 CLUBHOUSE PAVILION 2 SOUTH ELEVATION



MATERIALS LEGEND

- FACE BLOCK
- FC WEATHERBOARD VERTICALLY EXPRESSED
- ROOF SHEETING
Maximum Solar Absorbance: 0.5
- GLAZING
- LOUVRES
- VERTICAL BATTEN
- HORIZONTAL BATTEN

| | | | |
|---|----|--------------------|------------|
| 8 | JS | ISSUED FOR DA | 18.10.2023 |
| 7 | DC | VM ISSUE | 14.08.2023 |
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| 1 | JS | VIP DA DRAFT ISSUE | 22.02.2023 |

| Rev | Initial | Description | Date |
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PLANNING APPROVAL

Client
Stockland | Halcyon Communities

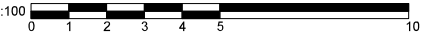
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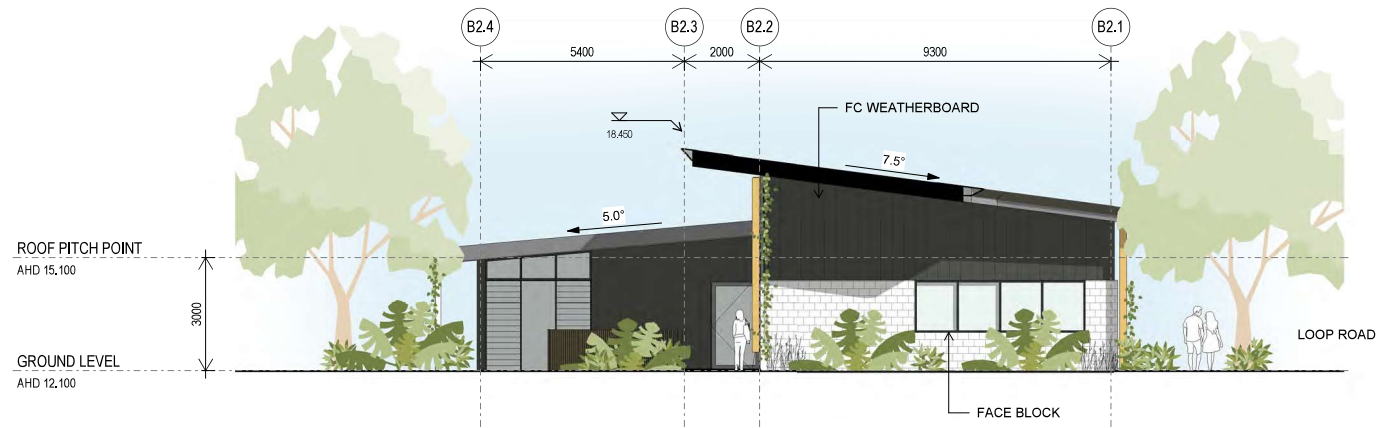
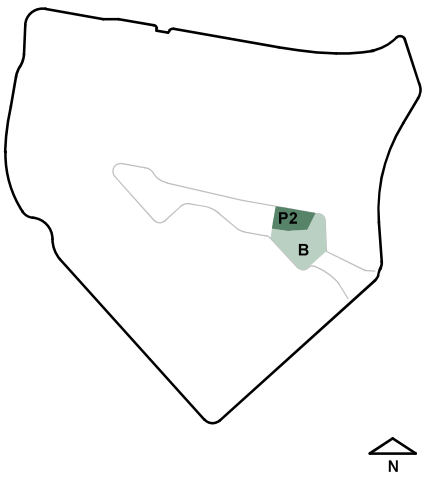
Project
22006
Halcyon Aura #2
Bells Creek Road, Banya, 4055
PRECINCT
CLUBHOUSE - PAVILION 2
DRAWING TITLE
BUILDING ELEVATIONS

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DATE PRINTED 18/10/2023 3:41:29 PM
SCALE 1 : 100 @ A1

| DISC | PHASE | DWG NO | REVISION |
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| AR | DA | B.2.300 | 8 |

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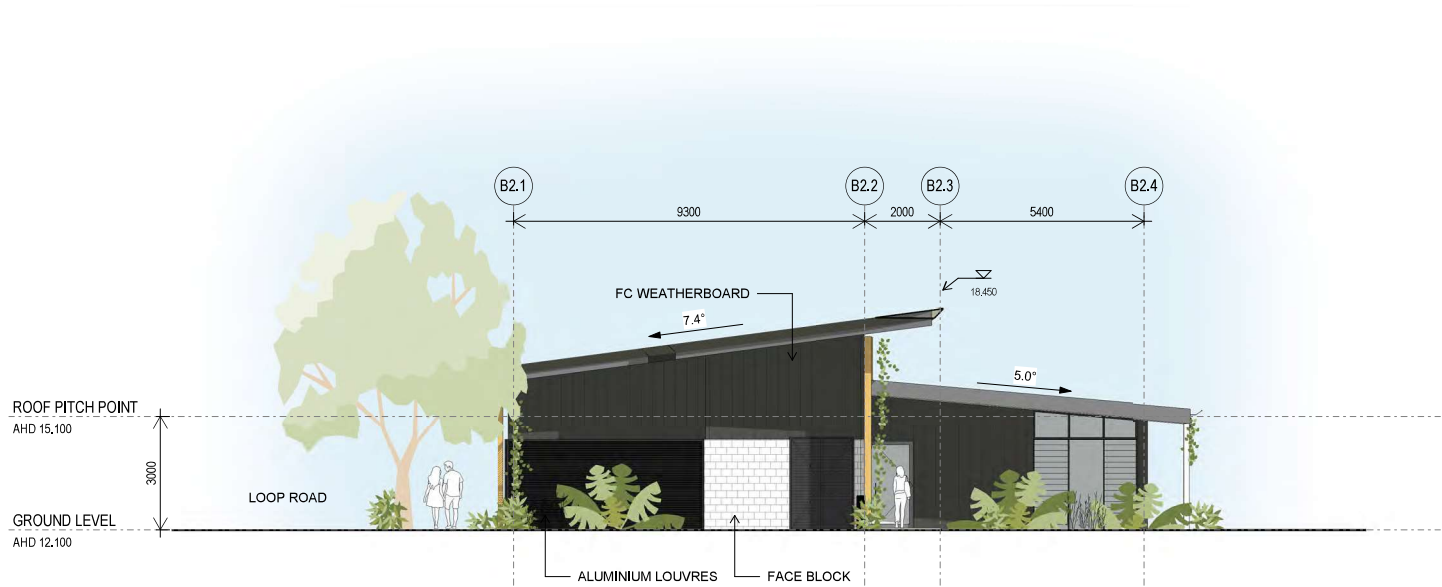




2 CLUBHOUSE PAVILION 2 EAST ELEVATION
B.1.210 1:100

MATERIALS LEGEND

- FACE BLOCK
- FC WEATHERBOARD
VERTICALLY EXPRESSED
- ROOF SHEETING
Maximum Solar Absorbance: 0.5
- GLAZING
- LOUVRES
- VERTICAL BATTEN
- HORIZONTAL BATTEN



1 CLUBHOUSE PAVILION 2 WEST ELEVATION
B.1.207 1:100

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| 1 | DJ | DRAFT DA | 20.04.2023 |

| Rev | Initial | Description | Date |
|-----|---------|-------------|------|
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Halcyon Aura #2

Bells Creek Road, Banya, 4055

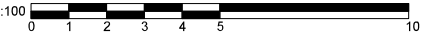
PRECINCT
CLUBHOUSE - PAVILION 2

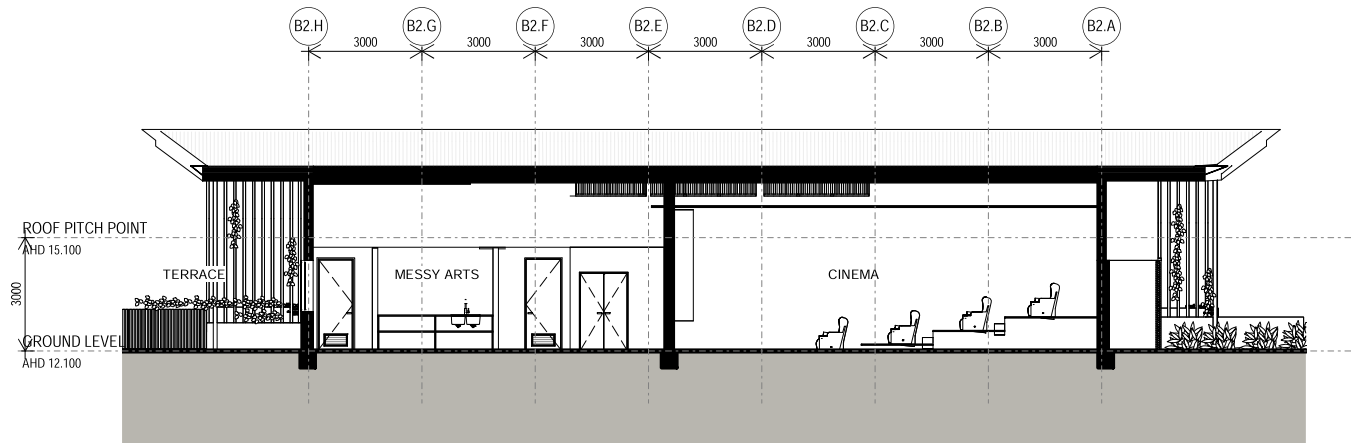
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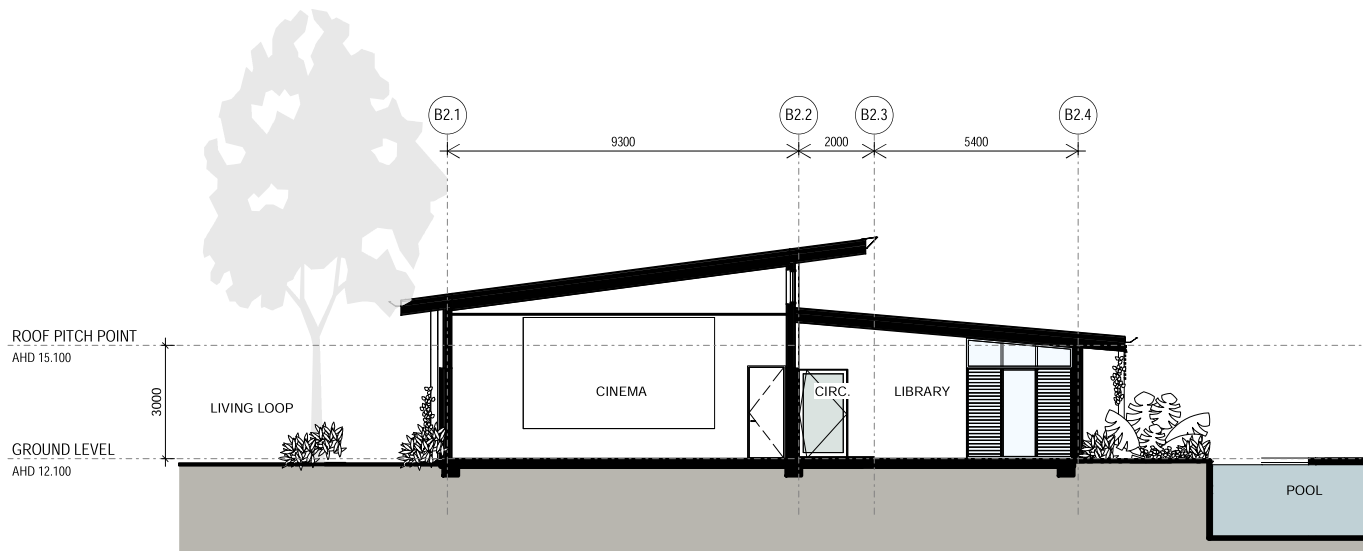
| DISC | PHASE | DWG NO | REVISION |
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| AR | DA | B.2.301 | 6 |

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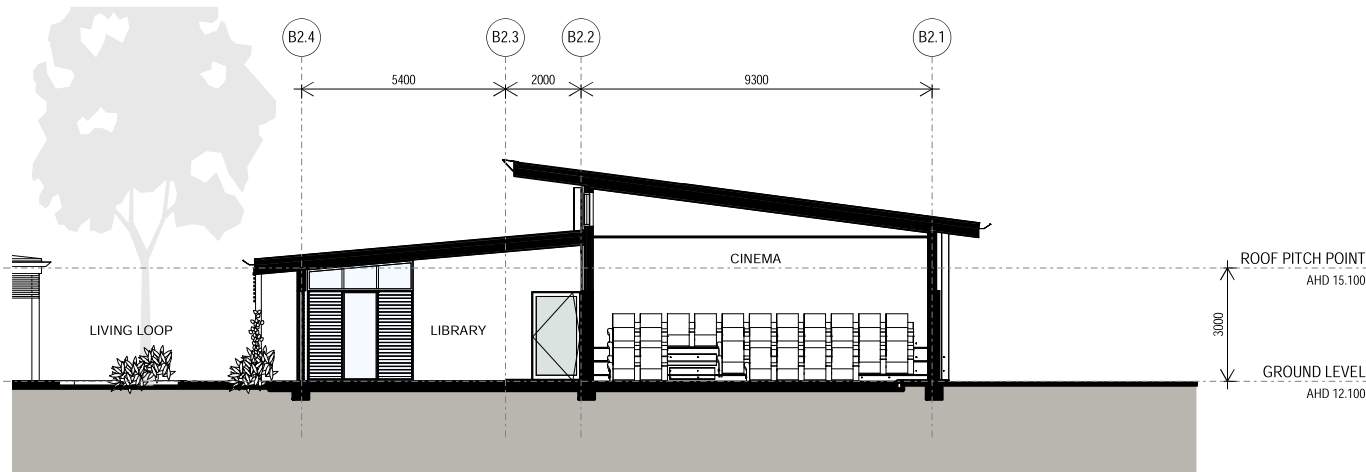




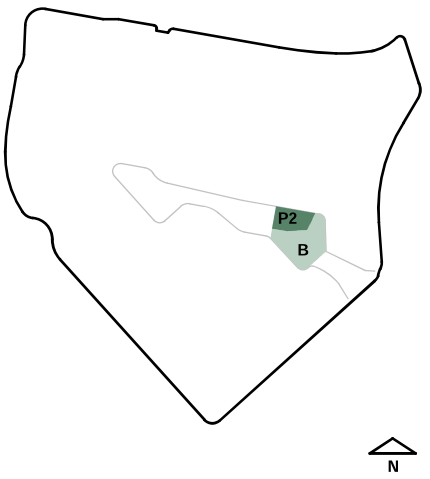
1 CLUBHOUSE PAVILION 2 SECTION A
B.2.200 1:100



2 CLUBHOUSE PAVILION 2 SECTION B
B.2.200 1:100



3 CLUBHOUSE PAVILION 2 SECTION C
B.2.200 1:100



| | | | |
|---|----|--------------------|------------|
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| 6 | DJ | ISSUED FOR DA | 18.05.2023 |
| 5 | DJ | ISSUED FOR DA | 17.05.2023 |
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| 3 | DJ | DRAFT DA | 20.04.2023 |
| 2 | DJ | 60% ISSUE | 07.03.2023 |
| 1 | JS | WIP DA DRAFT ISSUE | 22.02.2023 |

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PLANNING APPROVAL

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Halcyon Aura #2

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PRECINCT
CLUBHOUSE - PAVILION 2

DRAWING TITLE
BUILDING SECTIONS

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DATE PRINTED 18/10/2023 4:40:34 PM
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| DISC | PHASE | DWG NO | REVISION |
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| AR | DA | B.2.400 | 7 |

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1 CL
B.1.300 1 : 100

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Halcyon Aura #2

Bells Creek Road, Banya, 4055

PRECINCT
CLUBHOUSE - PAVILION 3

DRAWING TITLE
GENERAL ARRANGEMENT PLAN

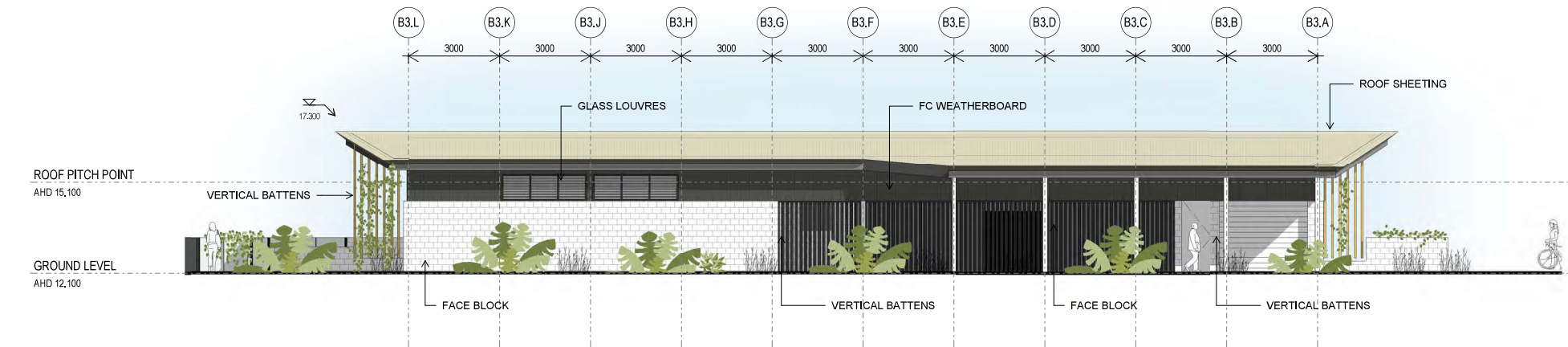
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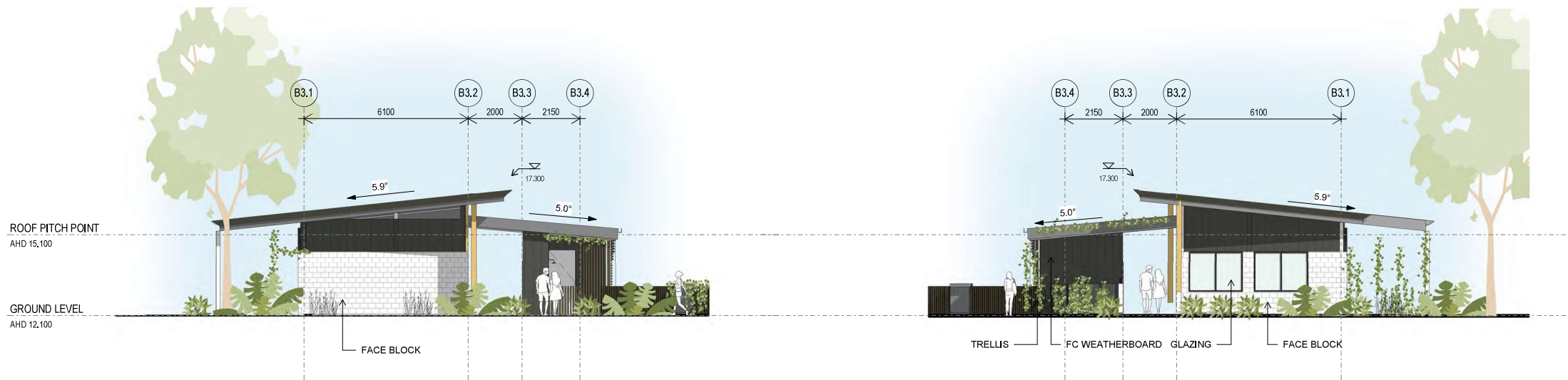
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| DISC | PHASE | DWG NO | REVISION |
| AR | DA | B.3.200 | 8 |

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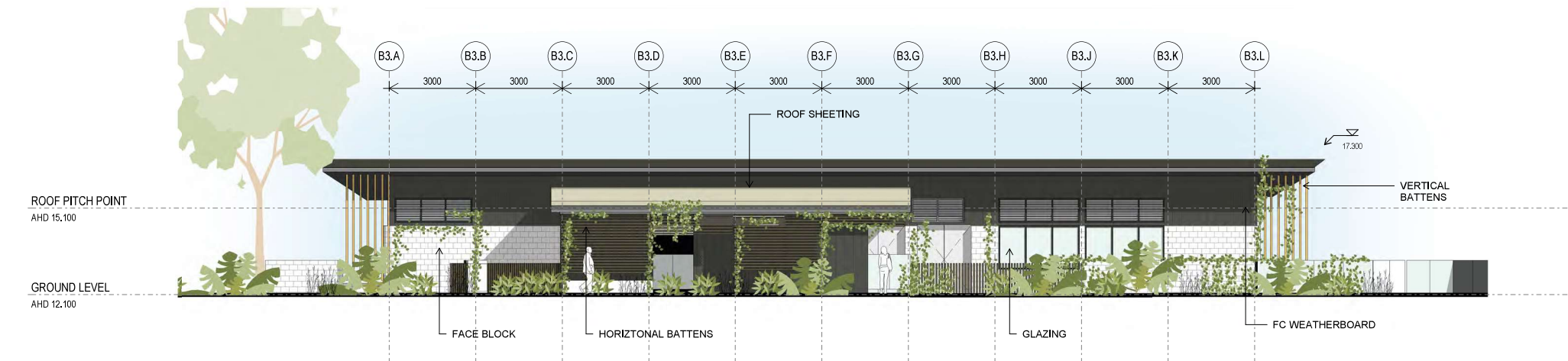


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B.3.200 1:100

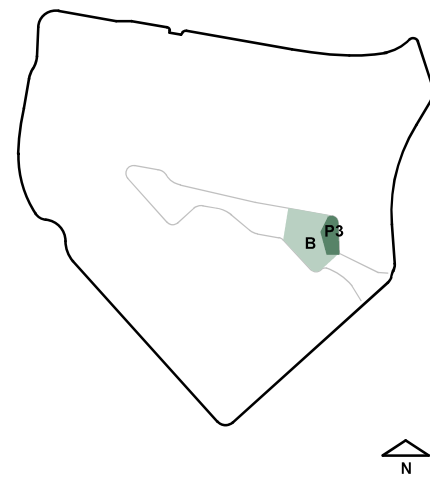


2 CLUBHOUSE PAVILION 3 NORTH ELEVATION
B.2.200 1:100

3 CLUBHOUSE PAVILION 3 SOUTH ELEVATION
B.1.201 1:100



4 CLUBHOUSE PAVILION 3 WEST ELEVATION
B.1.201 1:100



MATERIALS LEGEND

- FACE BLOCK
- FC WEATHERBOARD VERTICALLY EXPRESSED
- ROOF SHEETING
Maximum Solar Absorbance: 0.5
- GLAZING
- LOUVRES
- VERTICAL BATTEN
- HORIZONTAL BATTEN

| | | | |
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| 8 | JS | ISSUED FOR DA | 18.10.2023 |
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| 2 | DJ | 60% ISSUE | 07.03.2023 |
| 1 | JS | WIP DA DRAFT ISSUE | 22.02.2023 |
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PLANNING APPROVAL

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PRECINCT
CLUBHOUSE - PAVILION 3

DRAWING TITLE
BUILDING ELEVATIONS

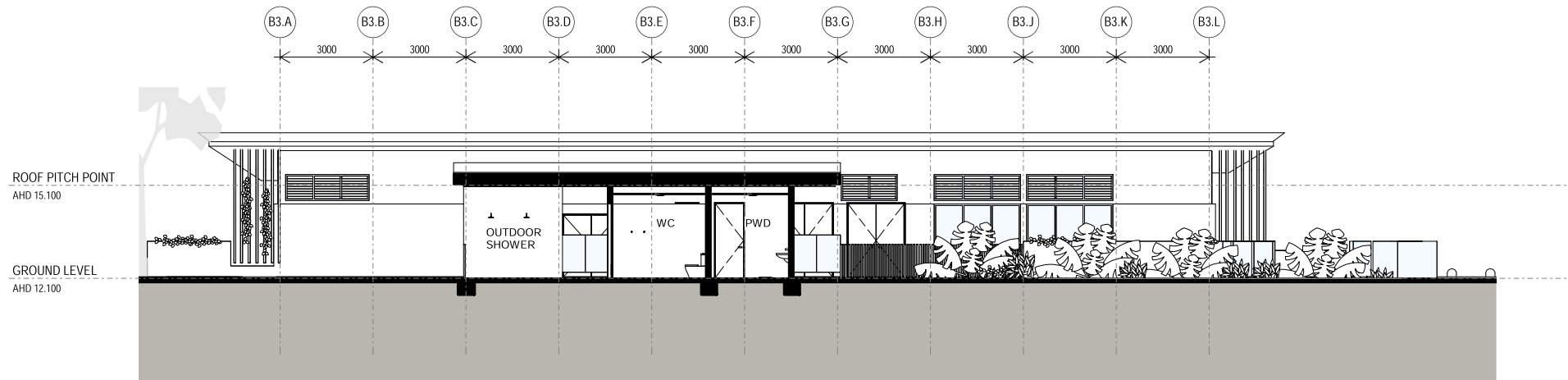
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| AR | DA | B.3.300 | 8 |

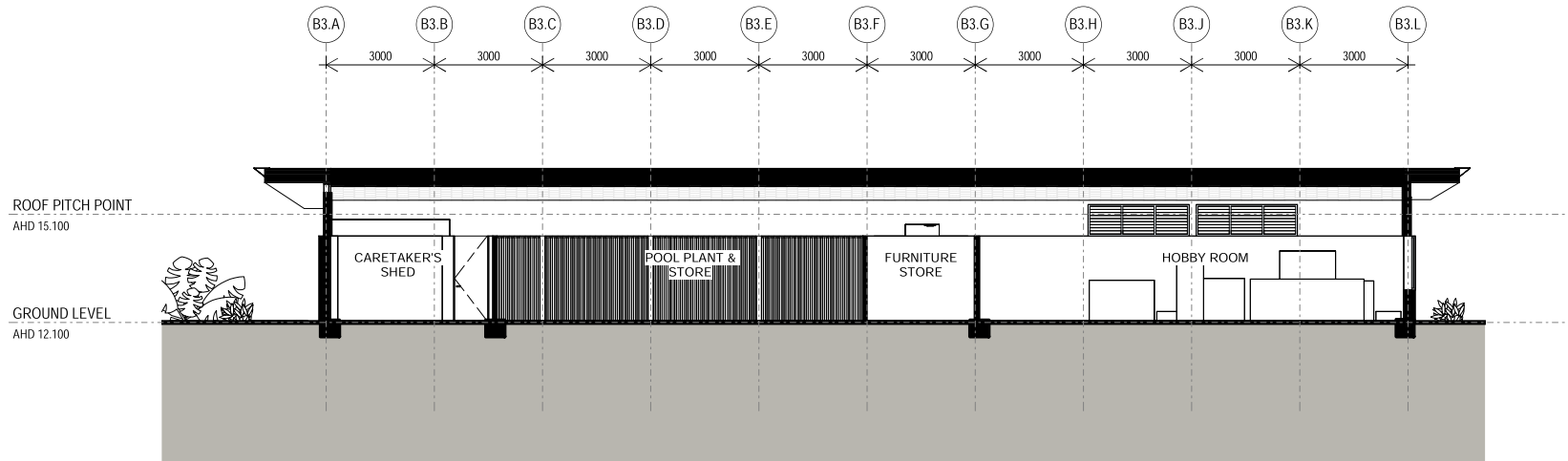
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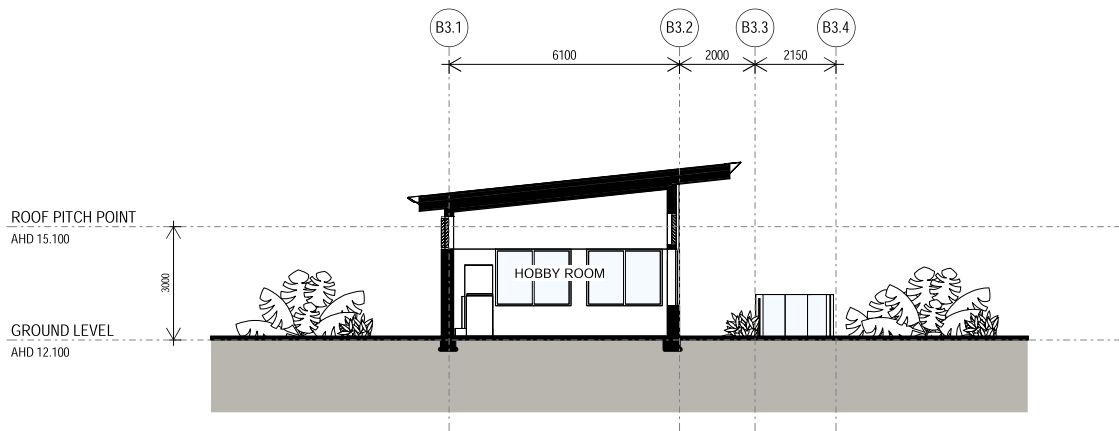




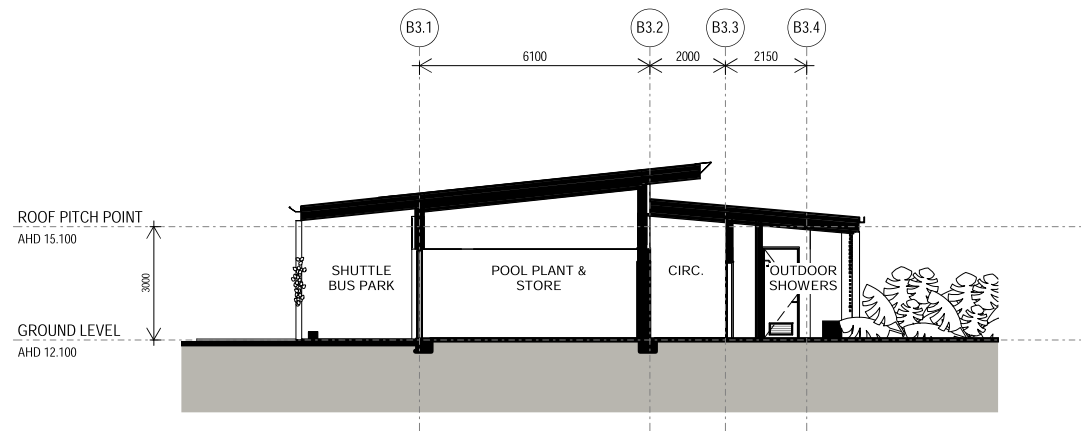
5 CLUBHOUSE PAVILION 3 SECTION A
B.3.230 1:100



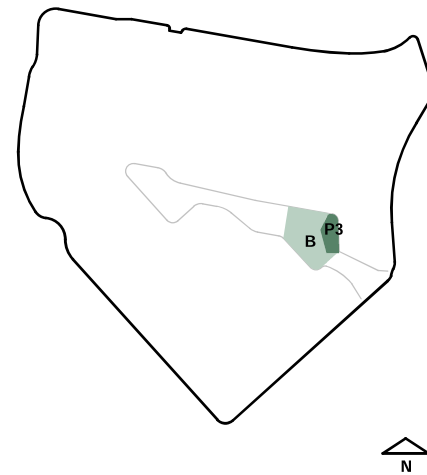
8 CLUBHOUSE PAVILION 3 SECTION D
B.3.200 1:100



6 CLUBHOUSE PAVILION 3 SECTION B
B.3.200 1:100



7 CLUBHOUSE PAVILION 3 SECTION C
B.3.200 1:100



| | | | |
|---|----|---------------|------------|
| 5 | JS | ISSUED FOR DA | 18.10.2023 |
| 4 | DJ | ISSUED FOR DA | 18.05.2023 |
| 3 | DJ | ISSUED FOR DA | 17.05.2023 |
| 2 | DJ | DRAFT DA | 12.05.2023 |
| 1 | DJ | DRAFT DA | 20.04.2023 |

| Rev | Initial | Description | Date |
|-----|---------|-------------|------|
|-----|---------|-------------|------|

PLANNING APPROVAL

Client
Stockland | **Halcyon Communities**

Archipelago

Turrbal and Yuggera/Jagera Country
Mezzanine Floor, 33 Queen Street Brisbane QLD 4000
www.archipelago.com.au

studiospillane
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Project
22006
Halcyon Aura #2

Bells Creek Road, Banya, 4055

PRECINCT
CLUBHOUSE - PAVILION 3

DRAWING TITLE
BUILDING SECTIONS

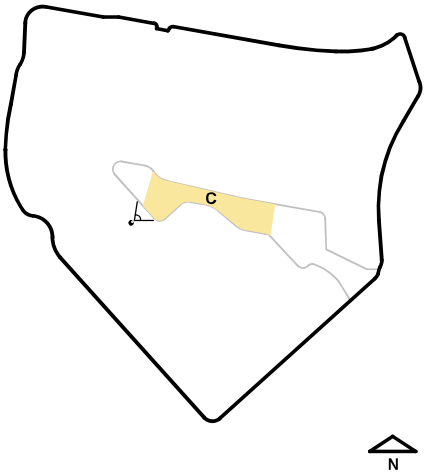
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| DISC | PHASE | DWG NO | REVISION |
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| AR | DA | B.3.400 | 5 |

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LEISURE FACILITIES



PLANS AND DOCUMENTS
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DEVELOPMENT APPROVAL
Approval no: DEV2023/1405
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| | | | |
|-----|---------|----------------------|------------|
| 9 | JS | ISSUED FOR DA | 18.10.2023 |
| 8 | DC | VM ISSUE | 17.08.2023 |
| 7 | DJ | ISSUED FOR DA | 18.05.2023 |
| 6 | DJ | ISSUED FOR DA | 17.05.2023 |
| 5 | DJ | DRAFT DA | 12.05.2023 |
| 4 | DJ | DRAFT DA | 20.04.2023 |
| 3 | JS | PRE-LODGEEMENT ISSUE | 21.03.2023 |
| 2 | DJ | 60% ISSUE | 07.03.2023 |
| 1 | JS | VM DA ISSUE | 22.02.2023 |
| Rev | Initial | Description | Date |

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Halcyon Aura #2

Bells Creek Road, Banya, 4055

PRECINCT

LEISURE PAVILION

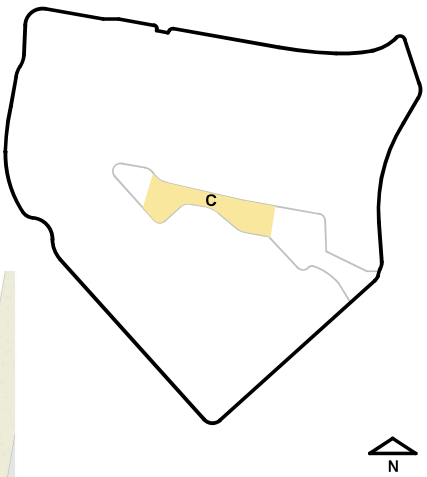
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COVER SHEET & PERSPECTIVES

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SCALE NTS

| DISC | PHASE | DWG NO | REVISION |
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| AR | DA | C.0.000 | 9 |

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| 2 | DJ | 60% ISSUE | 07.03.2023 |
| 1 | JS | VMP DA ISSUE | 22.02.2023 |
| Rev | Initial | Description | Date |

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PRECINCT
LEISURE PAVILION

DRAWING TITLE
SITE PLAN

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DATE PRINTED 18/10/2023 11:00:04 AM
SCALE 1 : 250 @ A1



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| DISC | PHASE | DWG NO | REVISION |
| AR | DA | C.0.100 | 8 |


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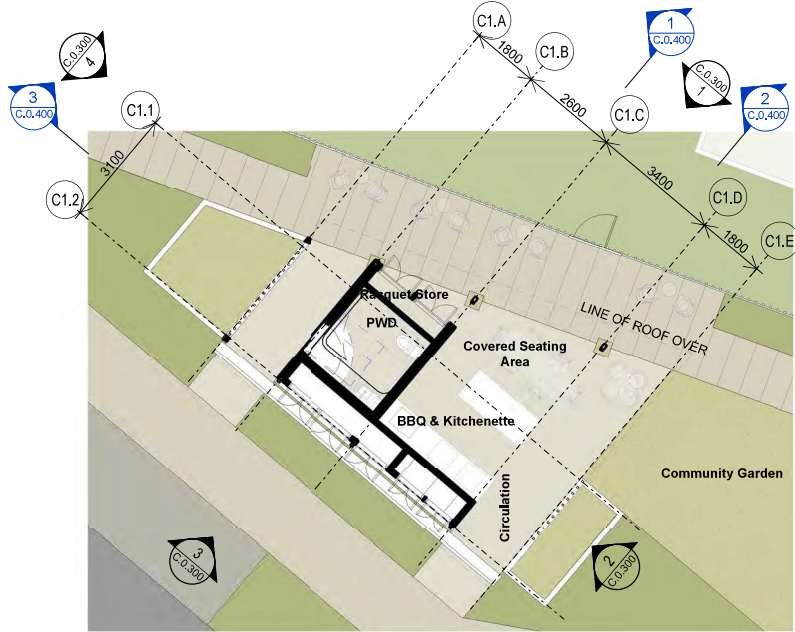


PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

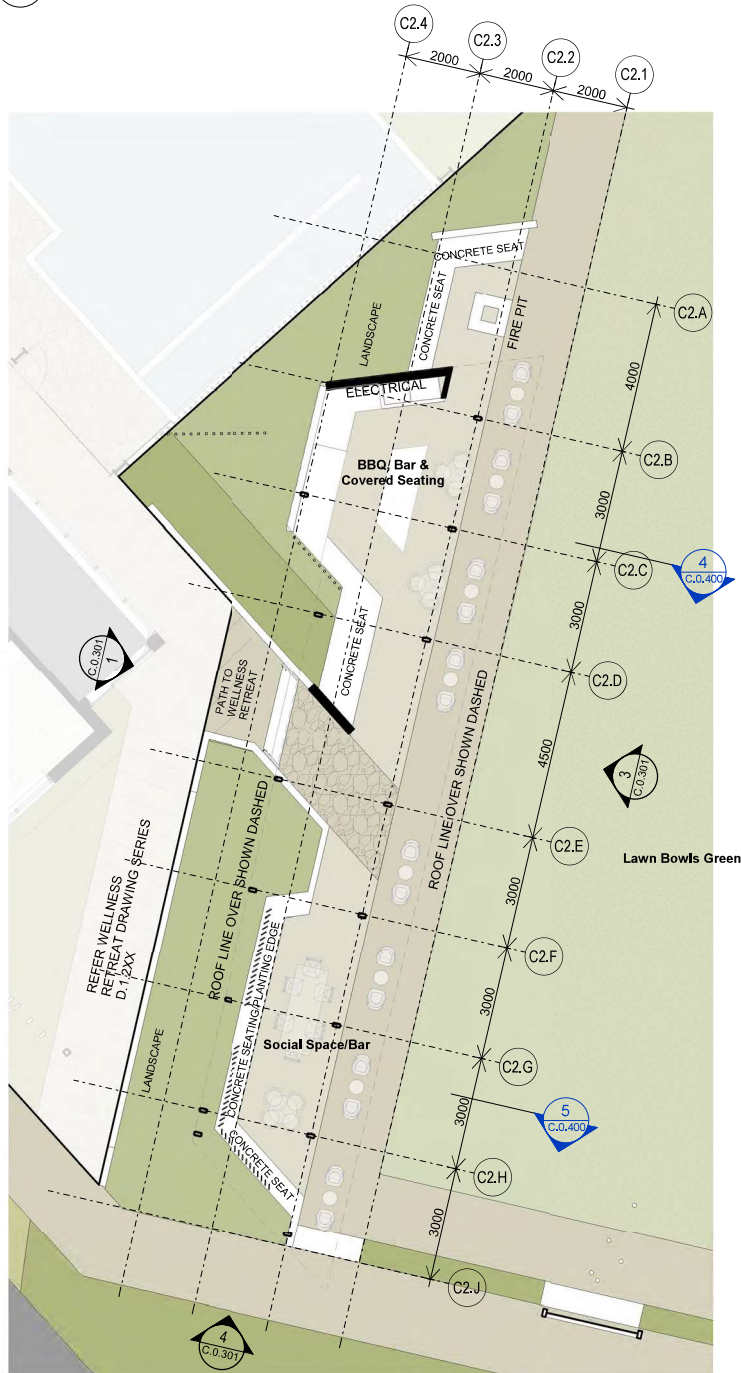
Approval no: DEV2023/1405

Date: 27 November 2023

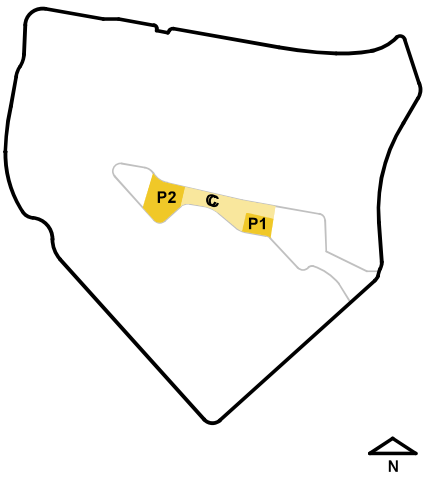




1 PICKLE BALL - PAVILION 01 - GENERAL ARRANGEMENT PLAN



2 LAWN BOWLS - PAVILION 02 - GENERAL ARRANGEMENT PLAN



| | | | |
|---|----|---------------|------------|
| 8 | JS | ISSUED FOR DA | 18.10.2023 |
| 7 | DC | VM ISSUE | 17.08.2023 |
| 6 | DJ | ISSUED FOR DA | 18.05.2023 |
| 5 | DJ | ISSUED FOR DA | 17.05.2023 |
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| 3 | DJ | DRAFT DA | 20.04.2023 |
| 2 | DJ | 60% ISSUE | 07.03.2023 |
| 1 | JS | WIP DA ISSUE | 22.02.2023 |

| Rev | Initial | Description | Date |
|-----|---------|-------------|------|
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Halcyon Aura #2

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PRECINCT

LEISURE PAVILION 1 - PICKLE BALL

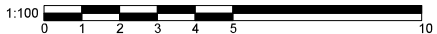
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GENERAL ARRANGEMENT PLAN

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CHECKED JS/DC
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| DISC | PHASE | DWG NO | REVISION |
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| AR | DA | C.0.200 | 8 |

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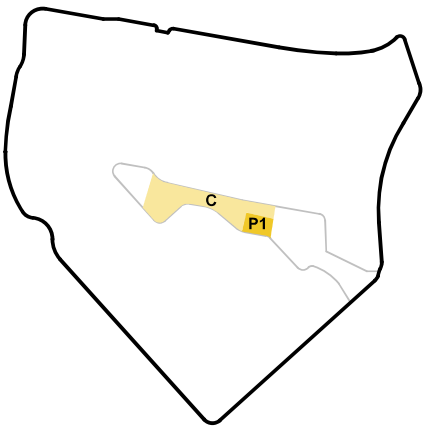


PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2023/1405

Date: 27 November 2023





MATERIALS LEGEND

- FACE BLOCK
- FC WEATHERBOARD VERTICALLY EXPRESSED
- ROOF SHEETING
Maximum Solar Absorbance: 0.5
- GLAZING
- LOUVRES
- VERTICAL BATTEN
- HORIZONTAL BATTEN

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|-----|---------|---------------|------------|
| 8 | JS | ISSUED FOR DA | 18.10.2023 |
| 7 | DC | VM ISSUE | 17.08.2023 |
| 6 | DJ | ISSUED FOR DA | 18.05.2023 |
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| 4 | DJ | DRAFT DA | 12.05.2023 |
| 3 | DJ | DRAFT DA | 20.04.2023 |
| 2 | DJ | 60% ISSUE | 07.03.2023 |
| 1 | JS | WIP DA ISSUE | 22.02.2023 |
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PLANNING APPROVAL

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Halcyon Aura #2

Bells Creek Road, Banya, 4055

PRECINCT

LEISURE PAVILION 1 - PICKLE BALL

DRAWING TITLE

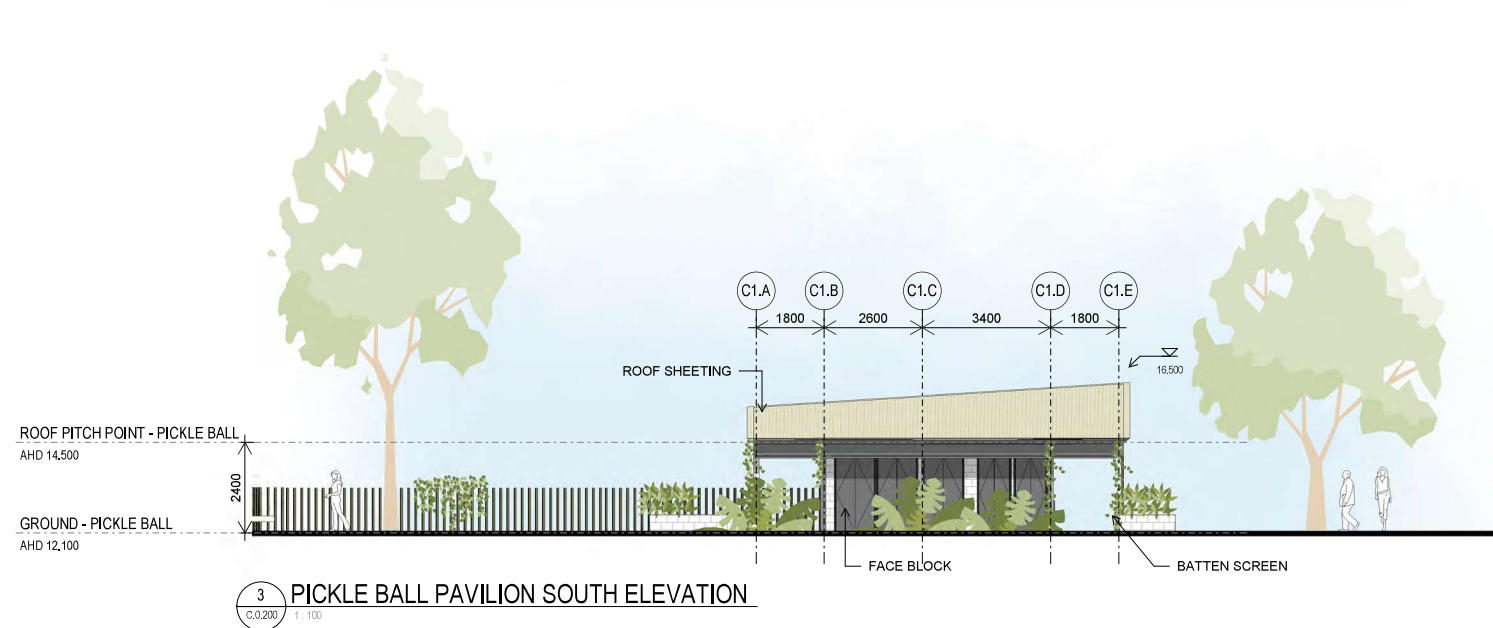
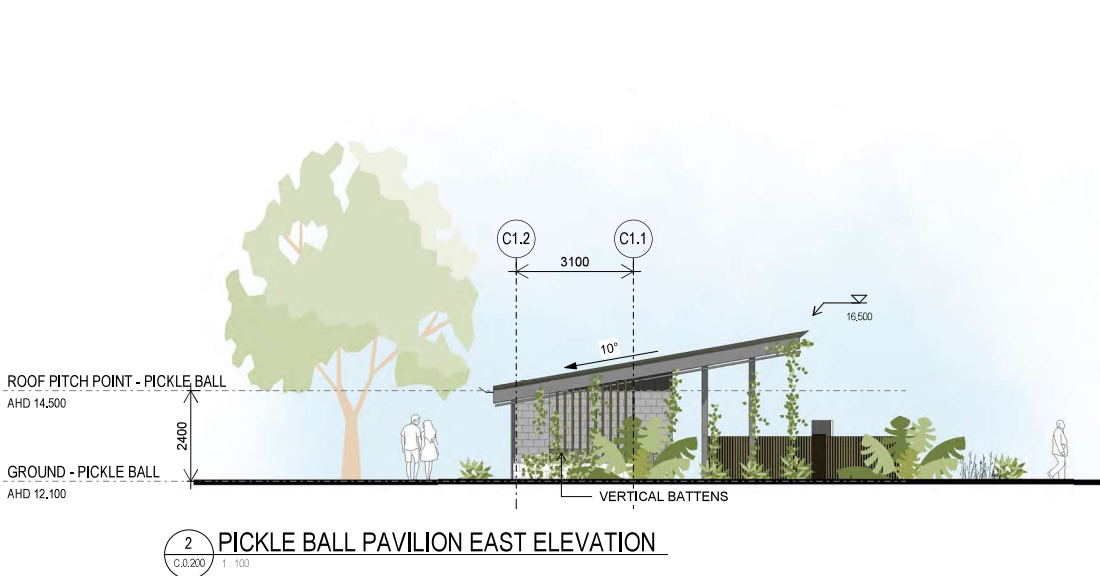
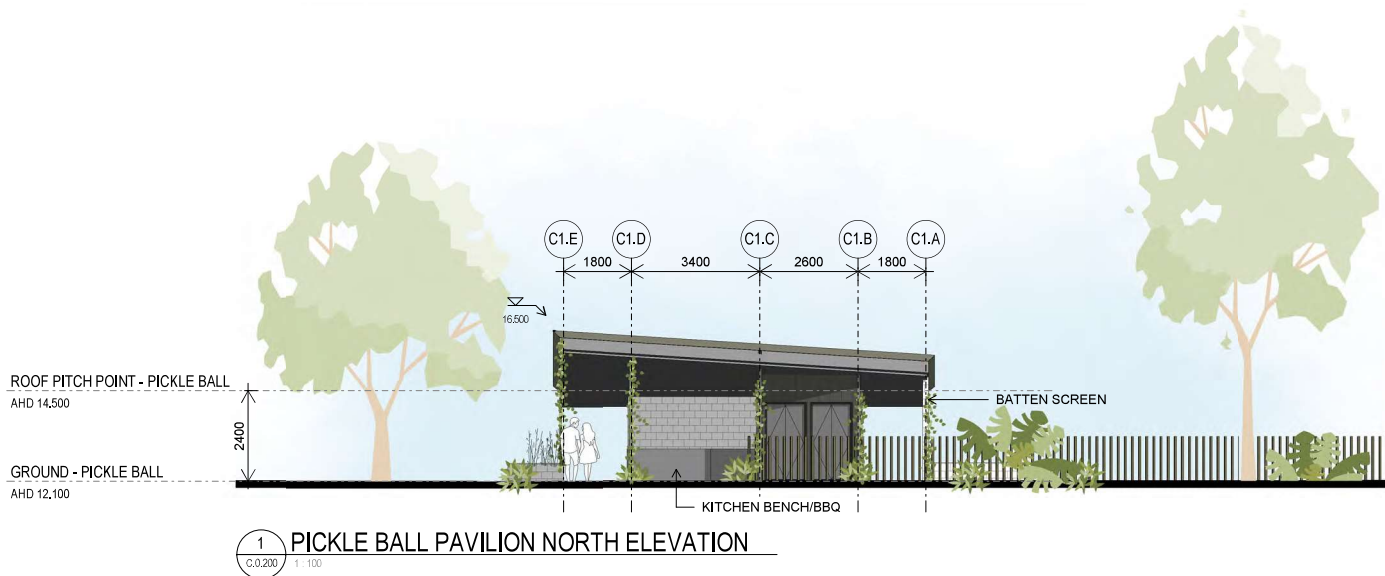
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| DISC | PHASE | DWG NO | REVISION |
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| AR | DA | C.0.300 | 8 |

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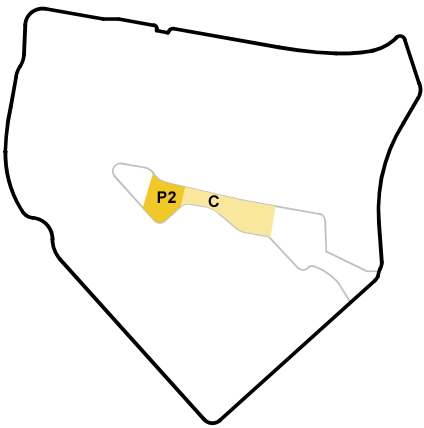
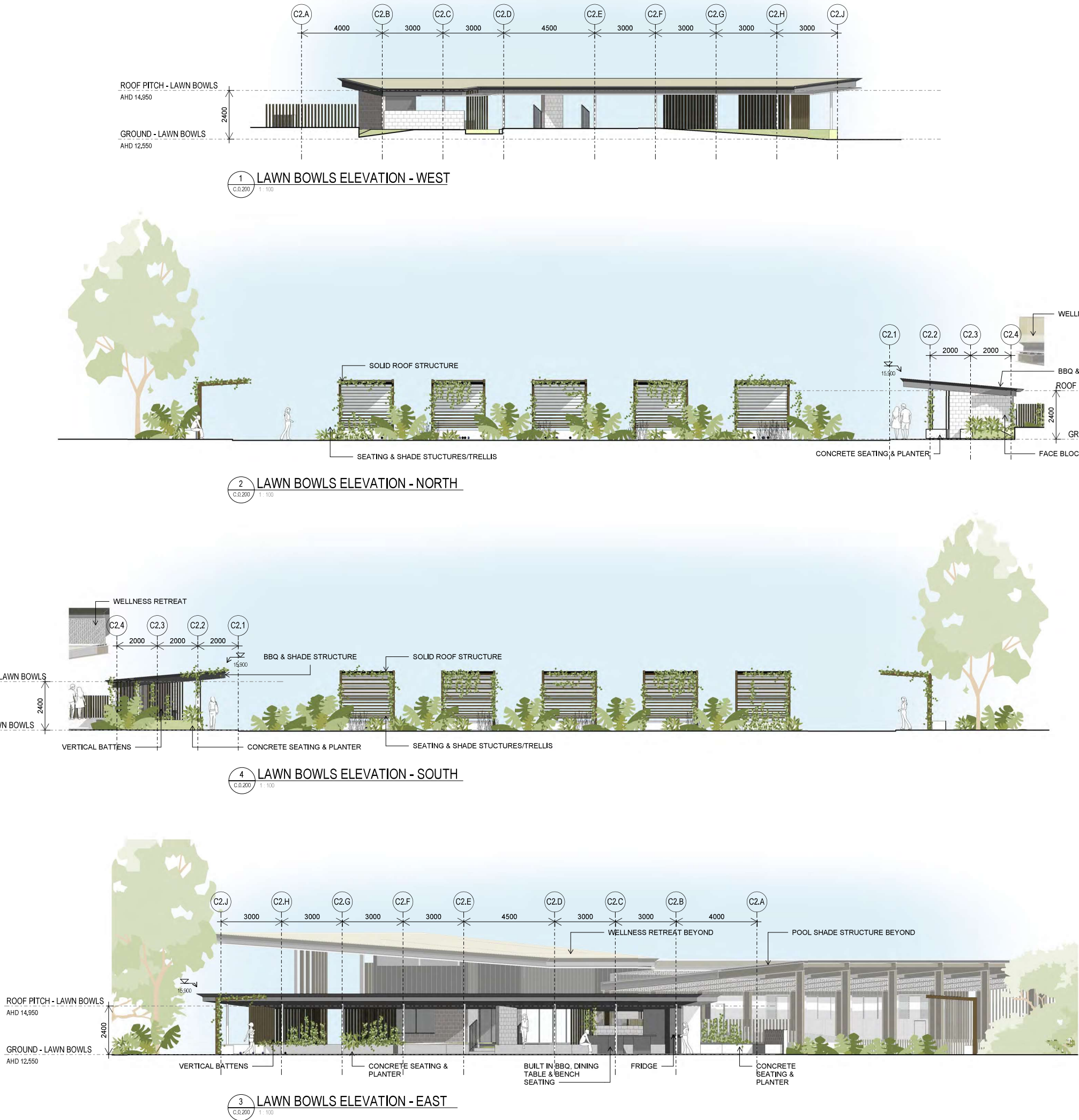
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PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2023/1405
Date: 27 November 2023





MATERIALS LEGEND

- FACE BLOCK
- FC WEATHERBOARD
VERTICALLY EXPRESSED
- ROOF SHEETING
Maximum Solar Absorbance: 0.5
- GLAZING
- LOUVRES
- VERTICAL BATTEN
- HORIZONTAL BATTEN

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| 6 | DC | VM ISSUE | 17.08.2023 |
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| 3 | DJ | DRAFT DA | 12.05.2023 |
| 2 | DJ | DRAFT DA | 20.04.2023 |
| 1 | DJ | 60% ISSUE | 07.03.2023 |

Rev Initial Description Date

PLANNING APPROVAL

Client
Stockland | Halcyon Communities

Archipelago

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www.studiospillane.com.au

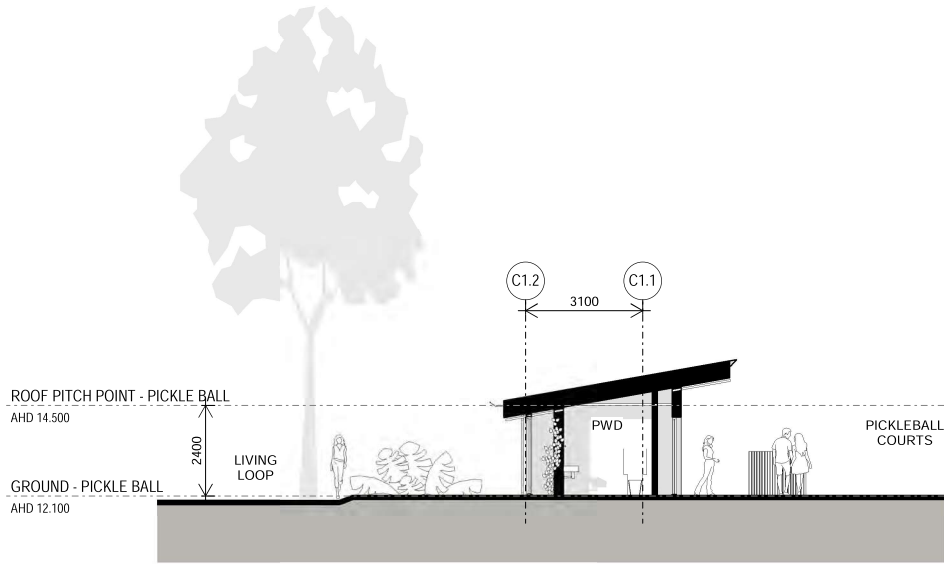
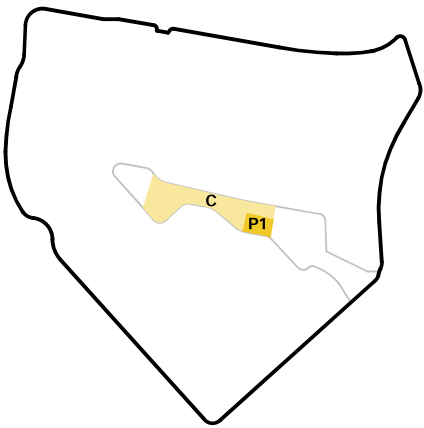
Project
22006
Halcyon Aura #2
Bells Creek Road, Banya, 4055
PRECINCT
LEISURE PAVILION 2 - LAWN BOWLS
DRAWING TITLE
BUILDING ELEVATIONS

DRAWN BY JR/DJ
CHECKED JS/DC
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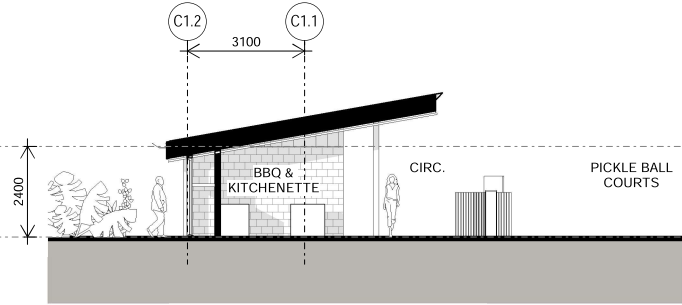
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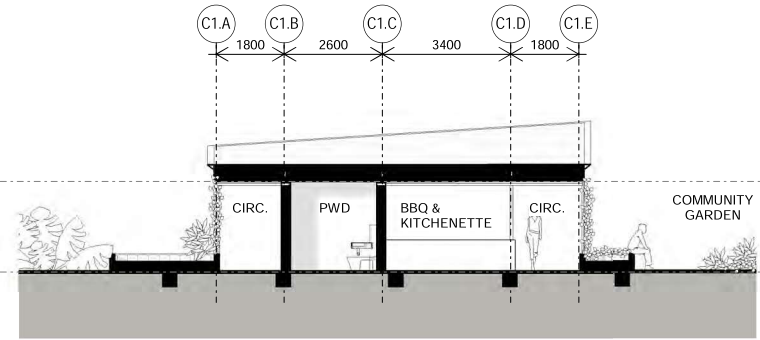
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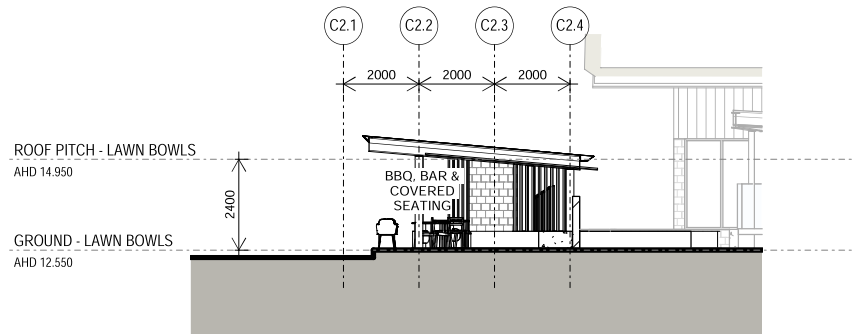
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C.O.200 1:100



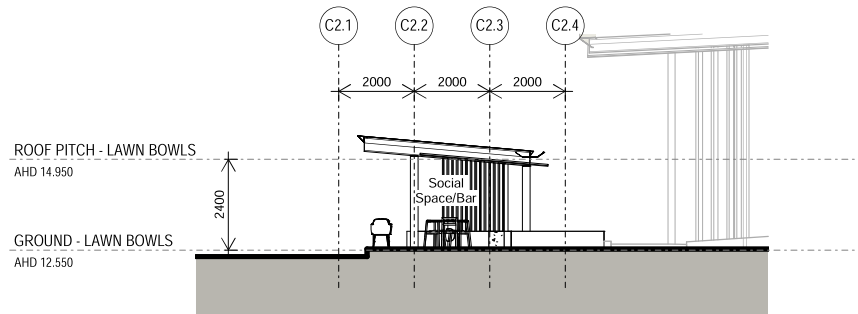
2 PICKLE BALL PAVILION SECTION B
C.O.200 1:100



3 PICKLE BALL PAVILION SECTION C
C.O.200 1:100



4 LAWN BOWLS PAVILION SECTION A
C.O.200 1:100



5 LAWN BOWLS PAVILION SECTION B
C.O.200 1:100

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| 6 | DJ | ISSUED FOR DA | 18.05.2023 |
| 5 | DJ | ISSUED FOR DA | 17.05.2023 |
| 4 | DJ | DRAFT DA | 12.05.2023 |
| 3 | DJ | DRAFT DA | 20.04.2023 |
| 2 | DJ | 60% ISSUE | 07.03.2023 |
| 1 | JS | WIP DA ISSUE | 22.02.2023 |

| Rev | Initial | Description | Date |
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PLANNING APPROVAL

Client
Stockland | Halcyon Communities

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Project
22006
Halcyon Aura #2

Bells Creek Road, Banya, 4055

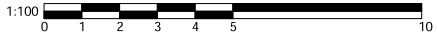
PRECINCT
LEISURE PAVILION 1 - PICKLE BALL

DRAWING TITLE
BUIDING SECTIONS

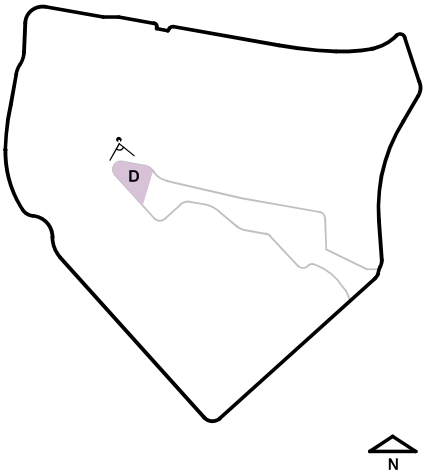
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| DISC | PHASE | DWG NO | REVISION |
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| AR | DA | C.O.400 | 7 |

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WELLNESS RETREAT



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Queensland
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| 8 | JS | ISSUED FOR DA | 18.10.2023 |
| 7 | DJ | ISSUED FOR DA | 18.05.2023 |
| 6 | DJ | ISSUED FOR DA | 17.05.2023 |
| 5 | DJ | DRAFT DA | 12.05.2023 |
| 4 | DJ | DRAFT DA | 20.04.2023 |
| 3 | JS | PRE-LODGEMENT ISSUE | 21.03.2023 |
| 2 | DJ | 60% ISSUE | 07.03.2023 |
| 1 | JS | VMP DA ISSUE | 22.02.2023 |
| Rev | Initial | Description | Date |

PLANNING APPROVAL

Client
 **Stockland** | **Halcyon Communities**

Archipelago

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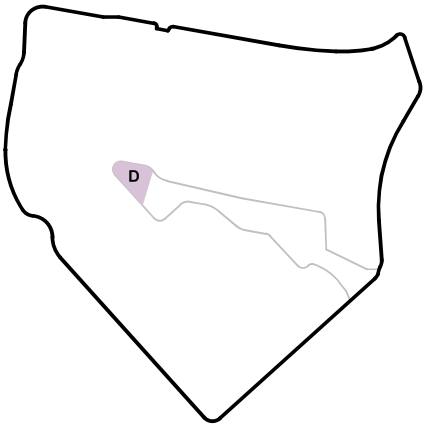
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PRECINCT
WELLNESS RETREAT
DRAWING TITLE
COVER SHEET & PERSPECTIVES

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SCALE NTS

| DISC | PHASE | DWG NO | REVISION |
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| AR | DA | D.0.000 | 8 |

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| 2 | DJ | 60% ISSUE | 07.03.2023 |
| 1 | JS | VMP DA ISSUE | 22.02.2023 |
| Rev | Initial | Description | Date |

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PRECINCT
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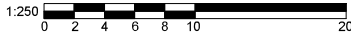
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SITE PLAN

DRAWN BY DJ, JR, EP
CHECKED JS, DC
DATE PRINTED 18/10/2023 4:24:44 PM
SCALE 1 : 250 @ A1



| DISC | PHASE | DWG NO | REVISION |
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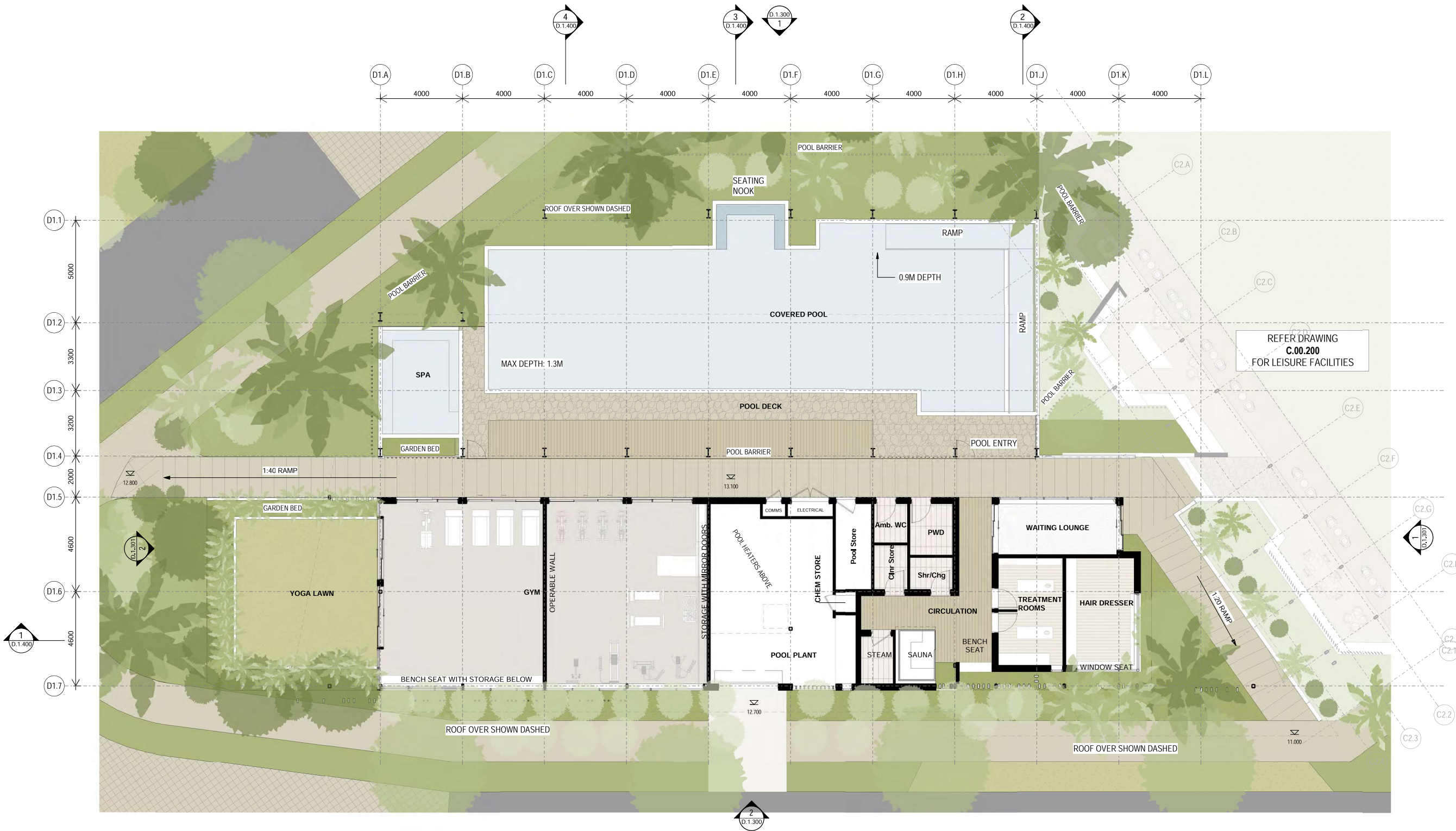
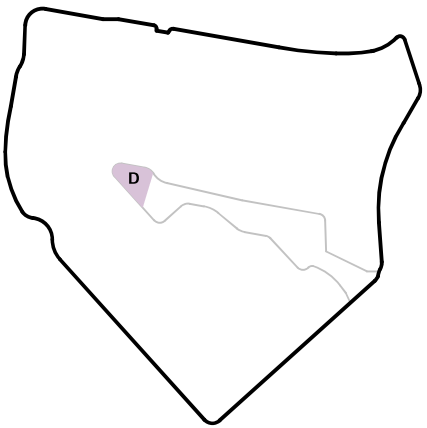
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Approval no: DEV2023/1405
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| | | | |
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| 2 | DJ | 60% ISSUE | 07.03.2023 |
| 1 | JS | WIP DA ISSUE | 22.02.2023 |

| Rev | Initial | Description | Date |
|-----|---------|-------------|------|
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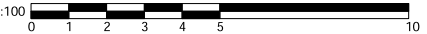
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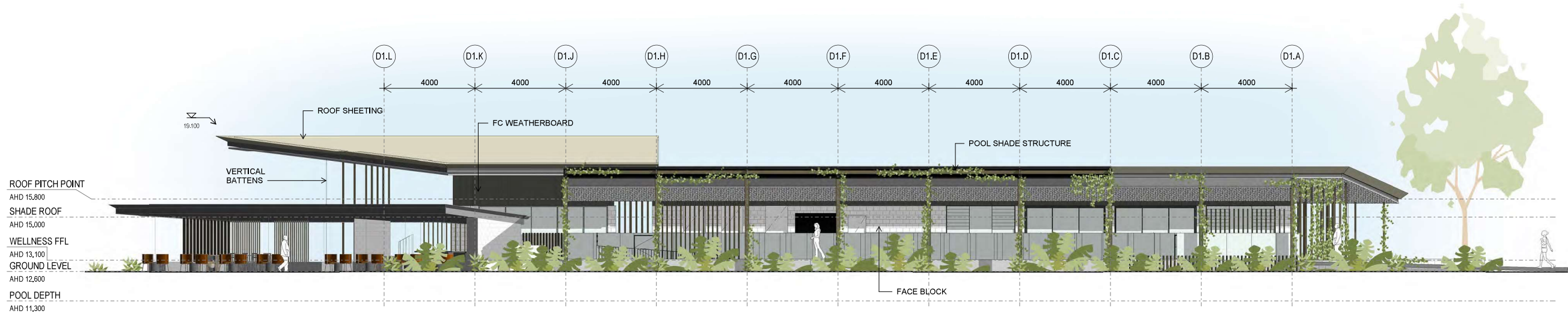
Project
22006
Halcyon Blu
Bells Creek Road, Banya, 4055
PRECINCT
WELLNESS RETREAT
DRAWING TITLE
GENERAL ARRANGEMENT PLAN

DRAWN BY DJ, JR, EP
CHECKED JS, DC
DATE PRINTED 18/10/2023 4:30:53 PM
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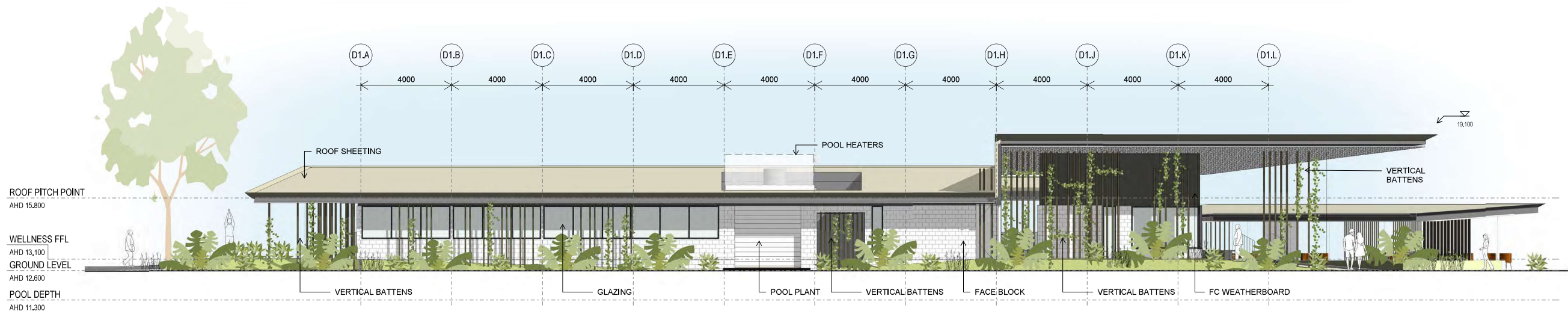
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| AR | DA | D.1.200 | 8 |

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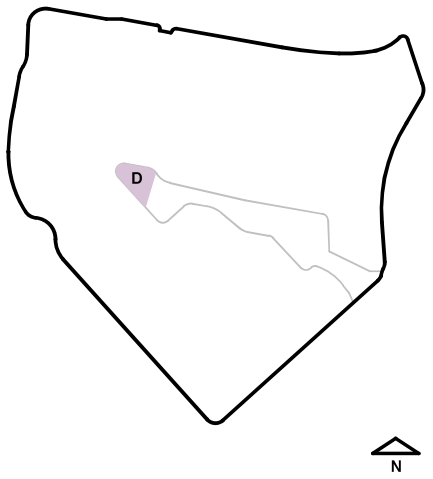




1 WELLNESS CENTRE NORTH ELEVATION
D1.200 1:100



2 WELLNESS CENTRE SOUTH ELEVATION
D1.200 1:100



MATERIALS LEGEND

- FACE BLOCK
- FC WEATHERBOARD VERTICALLY EXPRESSED
- ROOF SHEETING
Maximum Solar Absorbance: 0.5
- GLAZING
- LOUVRES
- VERTICAL BATTEN
- HORIZONTAL BATTEN

| | | | |
|-----|---------|---------------|------------|
| 8 | JS | ISSUED FOR DA | 18.10.2023 |
| 7 | DC | VM ISSUE | 14.08.2023 |
| 6 | DJ | ISSUED FOR DA | 18.05.2023 |
| 5 | DJ | ISSUED FOR DA | 17.05.2023 |
| 4 | DJ | DRAFT DA | 12.05.2023 |
| 3 | DJ | DRAFT DA | 20.04.2023 |
| 2 | DJ | 60% ISSUE | 07.03.2023 |
| 1 | JS | WIP DA ISSUE | 22.02.2023 |
| Rev | Initial | Description | Date |

PLANNING APPROVAL

Client
Stockland | Halcyon Communities

Archipelago

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Mezzanine Floor, 33 Queen Street Brisbane QLD 4000
www.archipelago.com.au

studiospillane

www.studiospillane.com.au

Project
22006
Halcyon Blu

Bells Creek Road, Banya, 4055

PRECINCT
WELLNESS RETREAT

DRAWING TITLE
BUILDING ELEVATIONS

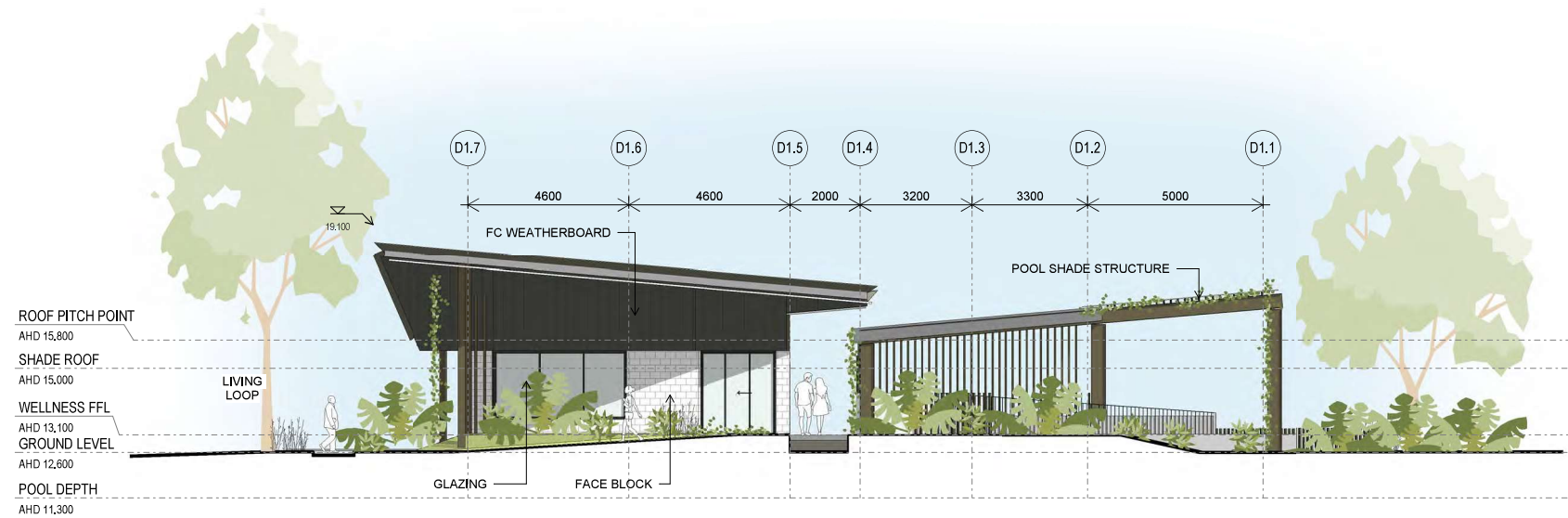
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CHECKED JS, DC
DATE PRINTED 18/10/2023 4:25:23 PM
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| DISC | PHASE | DWG NO | REVISION |
|------|-------|---------|----------|
| AR | DA | D.1.300 | 8 |

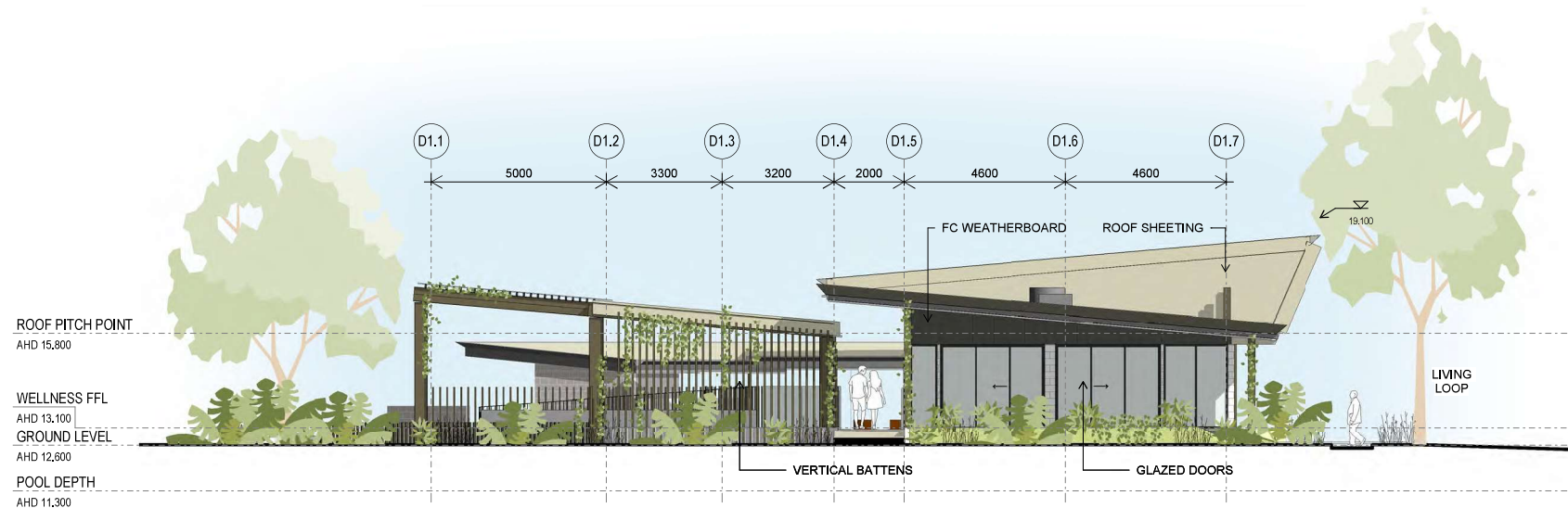
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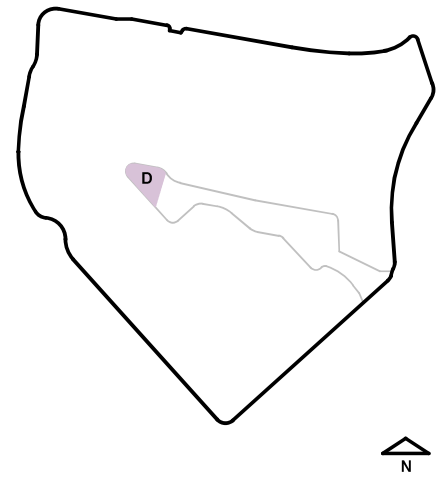




1 WELLNESS CENTRE SOUTH EAST ELEVATION
D.1.200 1:100



2 WELLNESS CENTRE WEST ELEVATION
D.1.200 1:100



MATERIALS LEGEND

- FACE BLOCK
- FC WEATHERBOARD VERTICALLY EXPRESSED
- ROOF SHEETING
Maximum Solar Absorbance: 0.5
- GLAZING
- LOUVRES
- VERTICAL BATTEN
- HORIZONTAL BATTEN

| | | | |
|---|----|---------------|------------|
| 6 | JS | ISSUED FOR DA | 18.10.2023 |
| 5 | DC | VM ISSUE | 14.08.2023 |
| 4 | DJ | ISSUED FOR DA | 18.05.2023 |
| 3 | DJ | ISSUED FOR DA | 17.05.2023 |
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PRECINCT
WELLNESS RETREAT

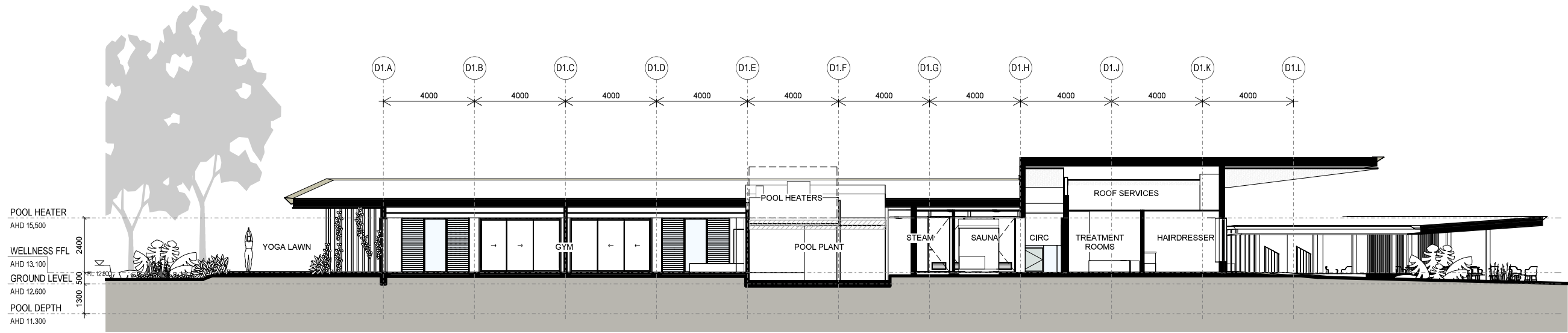
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BUILDING ELEVATIONS

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CHECKED JS, DC
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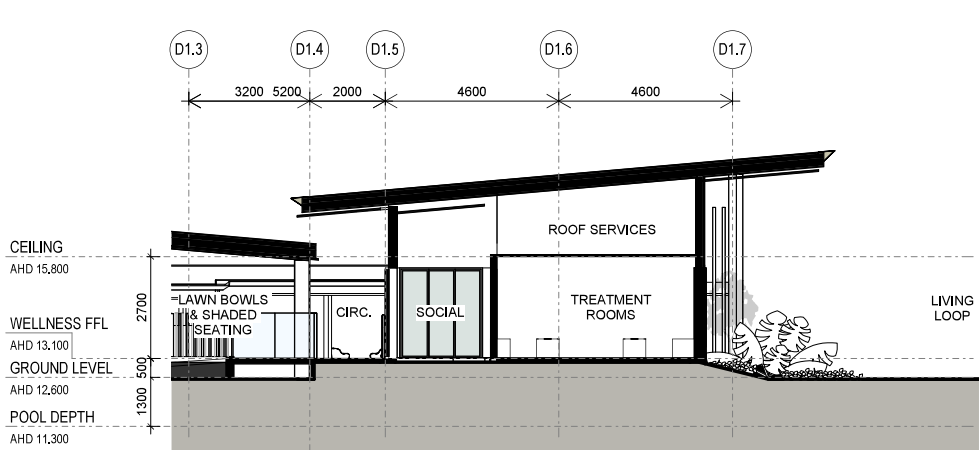
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|------|-------|---------|----------|
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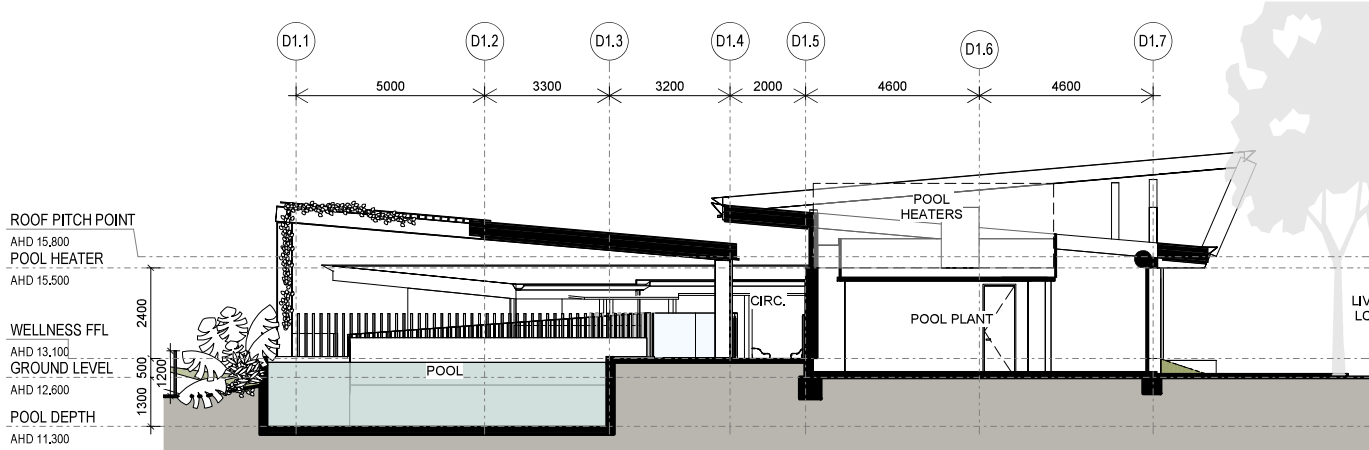




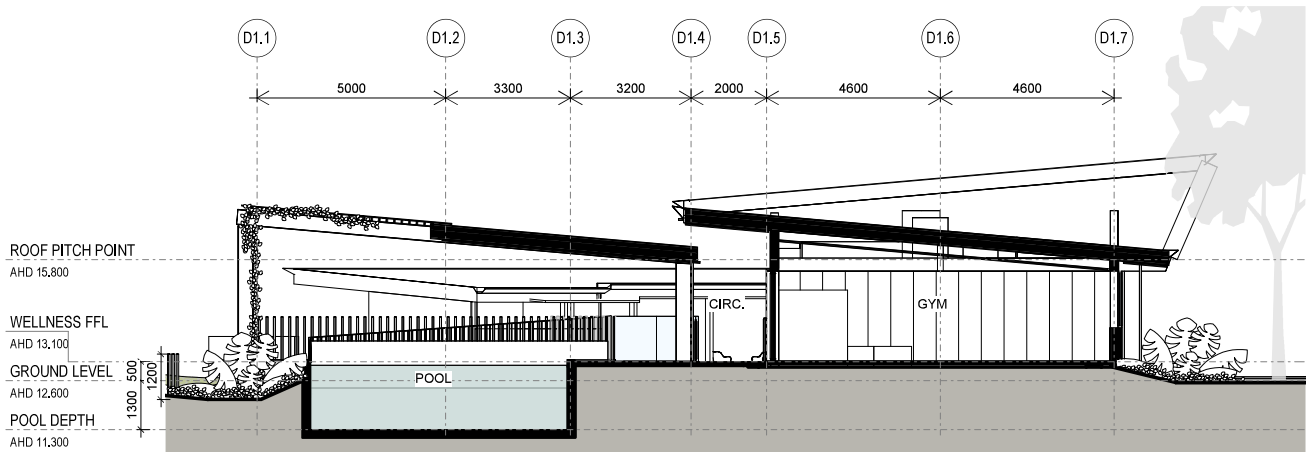
1 WELLNESS CENTRE SECTION A
D1.200 1:100



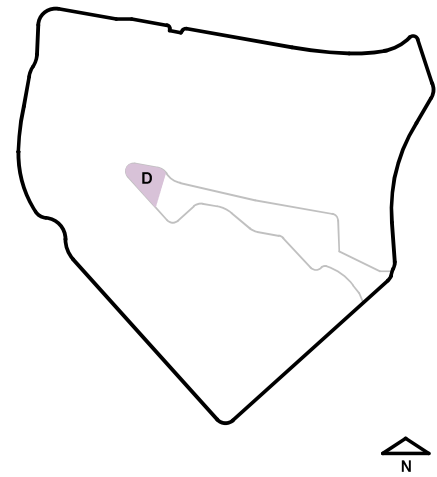
2 WELLNESS CENTRE SECTION B
D1.200 1:100



3 WELLNESS CENTRE SECTION C
D1.200 1:100



4 WELLNESS CENTRE SECTION D
D1.200 1:100



| | | | |
|-----|---------|---------------|------------|
| 7 | JS | ISSUED FOR DA | 18.10.2023 |
| 6 | DJ | ISSUED FOR DA | 18.05.2023 |
| 5 | DJ | ISSUED FOR DA | 17.05.2023 |
| 4 | DJ | DRAFT DA | 12.05.2023 |
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| 2 | DJ | 60% ISSUE | 07.03.2023 |
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PRECINCT
WELLNESS RETREAT
DRAWING TITLE
BUILDING SECTIONS

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|------|-------|---------|----------|
| DISC | PHASE | DWG NO | REVISION |
| AR | DA | D.1.400 | 7 |

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