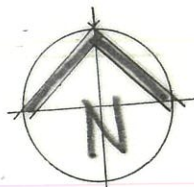
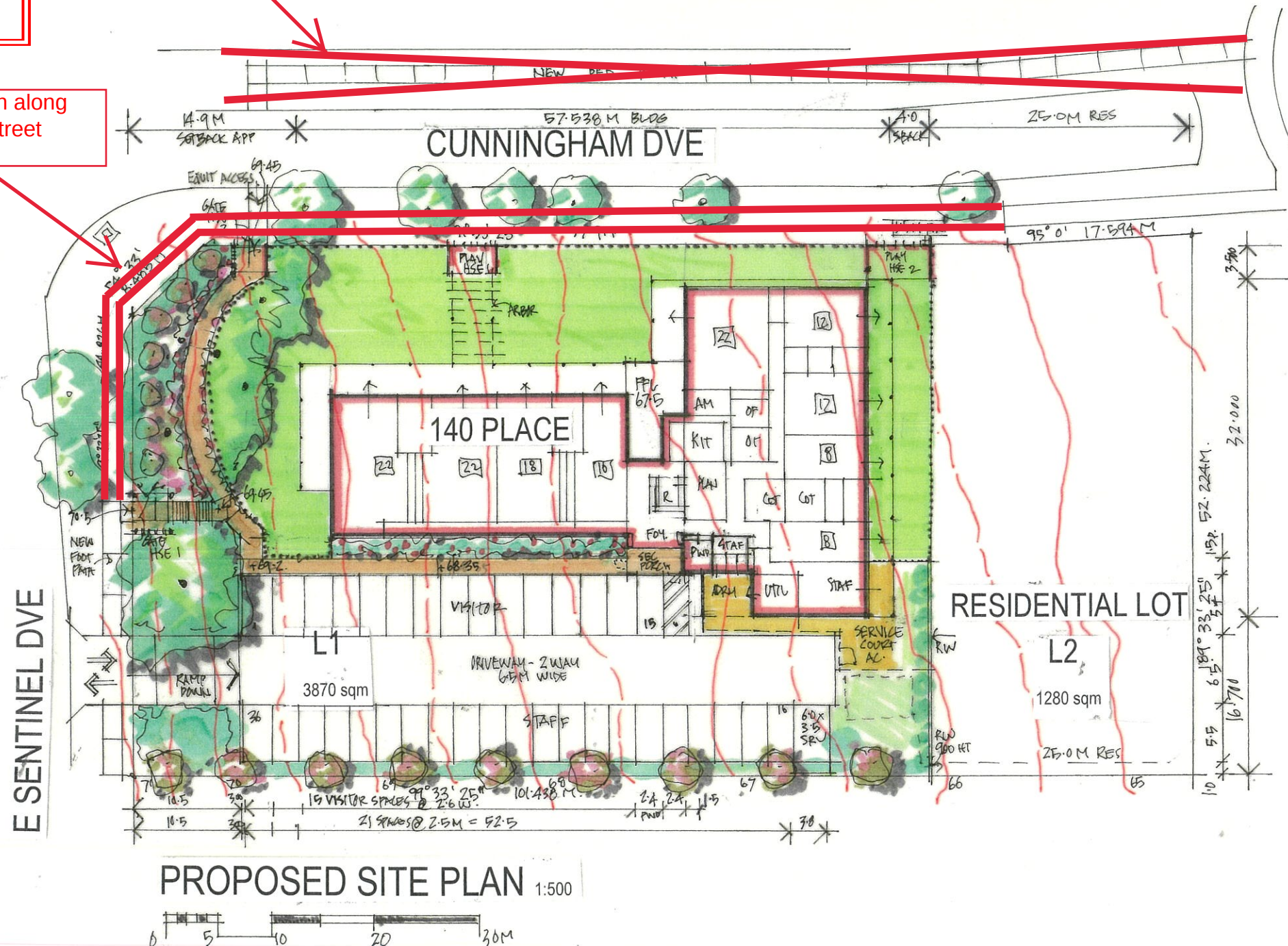


By: M. BAIS
Date: 7 September 2023



Provide footpath along extent of both street frontages



Approval no: DEV2023/1400
Date: 24/10/2023



By: M. BAIS
Date: 12 October 2023



at	CNR SENTINEL & CUNNINGHAM DRIVES, FLAGSTONE QLD 4280	
for	PARMAC PROPERTY GROUP	2

drawing title / scale

PO Box 380, 9/661 Oxley Road, Corinda QLD 4075
p: 07 3379-7611 e: bris@elia.com.au

drawing no
©
230401
project no
4-08-23
date

Refer to Ground Floor Plan prepared
by Elia Architecture, 230401 CD01-01
Rev 01 for car parking provision



elia  architecture

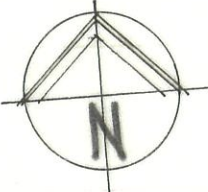
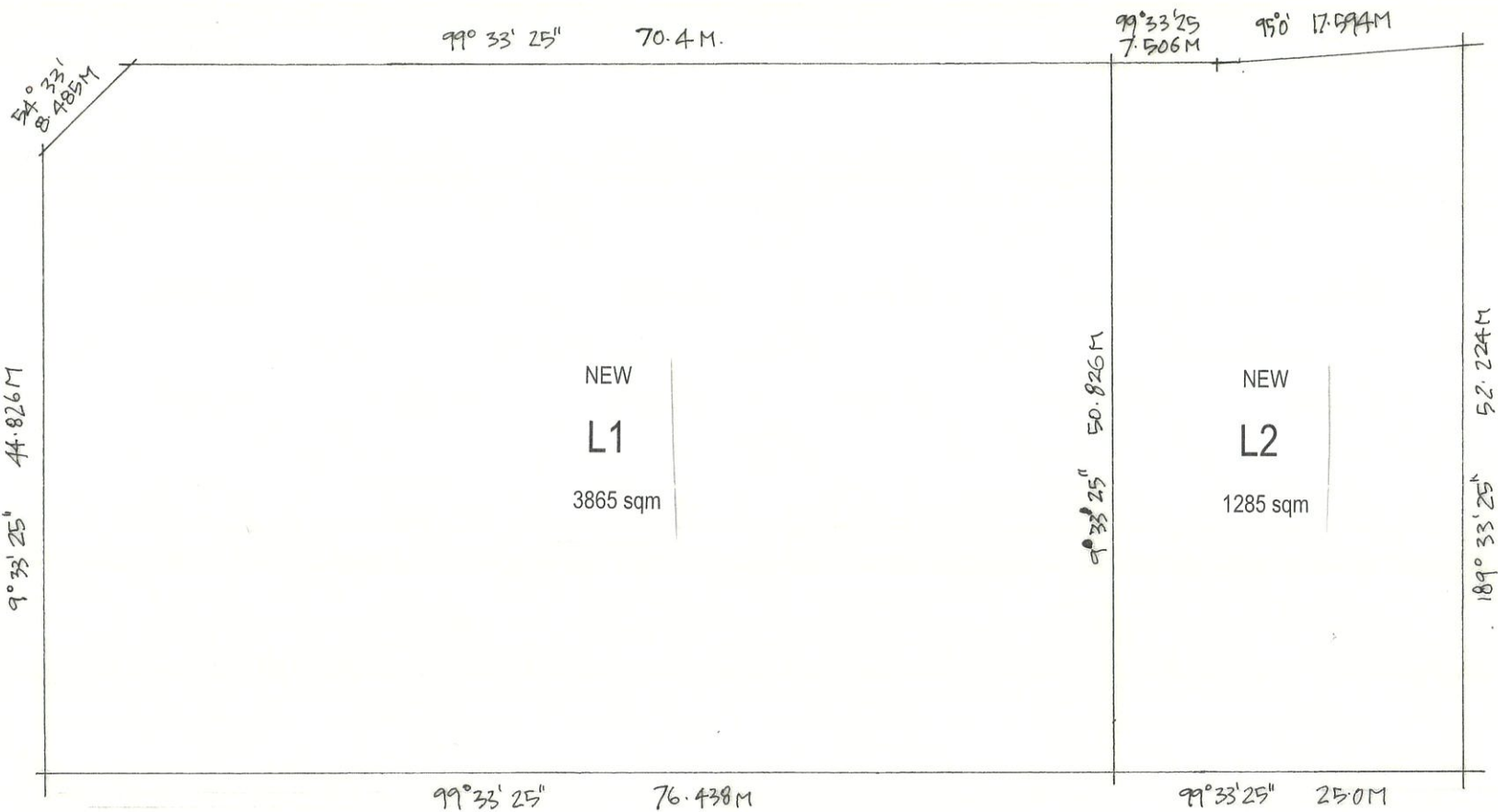
drawing title / scale

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CUNNINGHAM DVE

SENTINEL DVE



Reconfigure A Lot Plan 1:500

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2023/1400

Date: 24/10/2023



COVELLA CHILDCARE

SD0-03

at CNR SENTINEL & CUNNINGHAM DRIVES, FLAGSTONE QLD 4280

for PARMAC PROPERTY GROUP

drawing no

230401

project no

26-7-23

date



RAL PLAN

drawing title / scale

PO Box 380, 9/661 Oxley Road, Corinda QLD 4075

p: 07 3379-7611 e: bris@elia.com.au

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Provide footpath along extent of both street frontages

AMENDED IN RED
By: M. BAIS
Date: 12 October 2023

EAST SENTINEL DRIVE

CUNNINGHAM DRIVE

FLOOR PLAN
scale 1:250 @A3

rev	description	date
00	PRELIMINARY ISSUE	18.09.2023
01	BUILDING REVISED	26.09.2023

print date: 12/02/2024 12:59:27 PM
ORIGINAL SHEET SIZE: 594 x 841 - A1 size

PLANS AND DOCUMENTS referred to in the PDA
DEVELOPMENT APPROVAL
Approval no: DEV2023/1400
Date: 24/10/2023



AREA :
PLAY AREA = 824.92 + 58.75 + 142.50 + 46.48
(PLAY) (PLAY HOUSE) (VERANDAH) (OUTDOOR DINING)
+ ARBOR
= 1072.65 SQM (7.66 SQM/CHILD)
BUILDING AREA = 998.8 SQM

PRELIMINARY



COVELLA ROAD
CHILDCARE
CNR SENTINEL & CUNNINGHAM
DRIVES, FLAGSTONE QLD
4280

client: PARMAC PROPERTY GROUP
date: 18.09.2023
drawn: FF
checked: SL
designer: LE

scale: As indicated
project: 230401
date: 18.09.2023
issue: PRELIMINARY
sheet: CD01-01
revision: 01

GROUND FLOOR PLAN