

# **Bella Baia**

**57 Banana Street, Redland Bay**

## **Engineering Services Report**

**Fortezza Group**

4 August 2023




## DOCUMENT VERIFICATION

Job Title            **Bella Baia**  
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Document Title    Engineering Services Report

## DOCUMENT CONTROL

Date	Document / Description	Revision No.	Author	Reviewer
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## APPROVAL FOR ISSUE

Name	Signature	Date
William Nuthun		04.08.23
Matthew Brown		04.08.23

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# 1 INTRODUCTION

## 1.1 General

ADG Engineers (Aust.) Pty Ltd has been engaged by Fortezza Group to prepare an Engineering Services Report (ESR) in support of a Development Application associated with a proposed residential development, which is located within the Weinam Creek Priority Development Area (PDA) at 57 Banana Street, Redland Bay 4165 QLD, henceforth referred to as *the site*.

This ESR has been revised following changes to the site layout and the commencement of roadworks and service relocation surrounding the site, which necessitate modification to the engineering services strategy.

The development consists of a multi-storey apartment building over a basement carpark.

The purpose of this ESR is to provide advice as to the development proposal detailed in the Architectural drawings in **Appendix A**. The works described herein are subject to further Council approvals as well as any nominated agencies and cover works required to service the proposed development with regards to earthworks, roadworks, stormwater drainage, sewerage and water supply, electricity, communications and gas.

## 1.2 Background

This report was compiled using information from the following sources:

- Architectural plans supplied by HAL Architects (refer to **Appendix A**);
- Detailed Surveys (refer to **Appendix B**);
- ADG Preliminary Civil Drawings (refer to **Appendix C**);
- Engineering Solutions Qld (ESQ) Approved Design Drawings for ongoing Weinam Creek Priority Development Area Stage 3A (refer to **Appendix D**);
- 'Dial Before You Dig' (DBYD) information (refer to **Appendix E**); and
- Google Maps and Nearmap Aerial Imagery.



## 2 THE SITE

### 2.1 Location

The site is located in Redland Bay, Queensland. The site is bound by existing residential lots to the north and south, Banana Street to the east and Outridge Street to the west. The existing vacant lot to the north of the site has been resumed and roadworks are presently underway that will result in construction of a new road (Hamilton Street) along the northern boundary of the site as shown in Figure 2.

The titles that make up the site are given in Table 1. Refer to the architectural drawings in Appendix A for further details. Figure 1 displays the locality of the site.

Table 1 – Property Details

Lot Title	Lot 8 on RP80201
Street Address	57 Banana Street, Redland Bay 4165 QLD
Site Area	835m <sup>2</sup>



Figure 1 - Locality Map (Accessed on 01.06.2022 from Google Map)



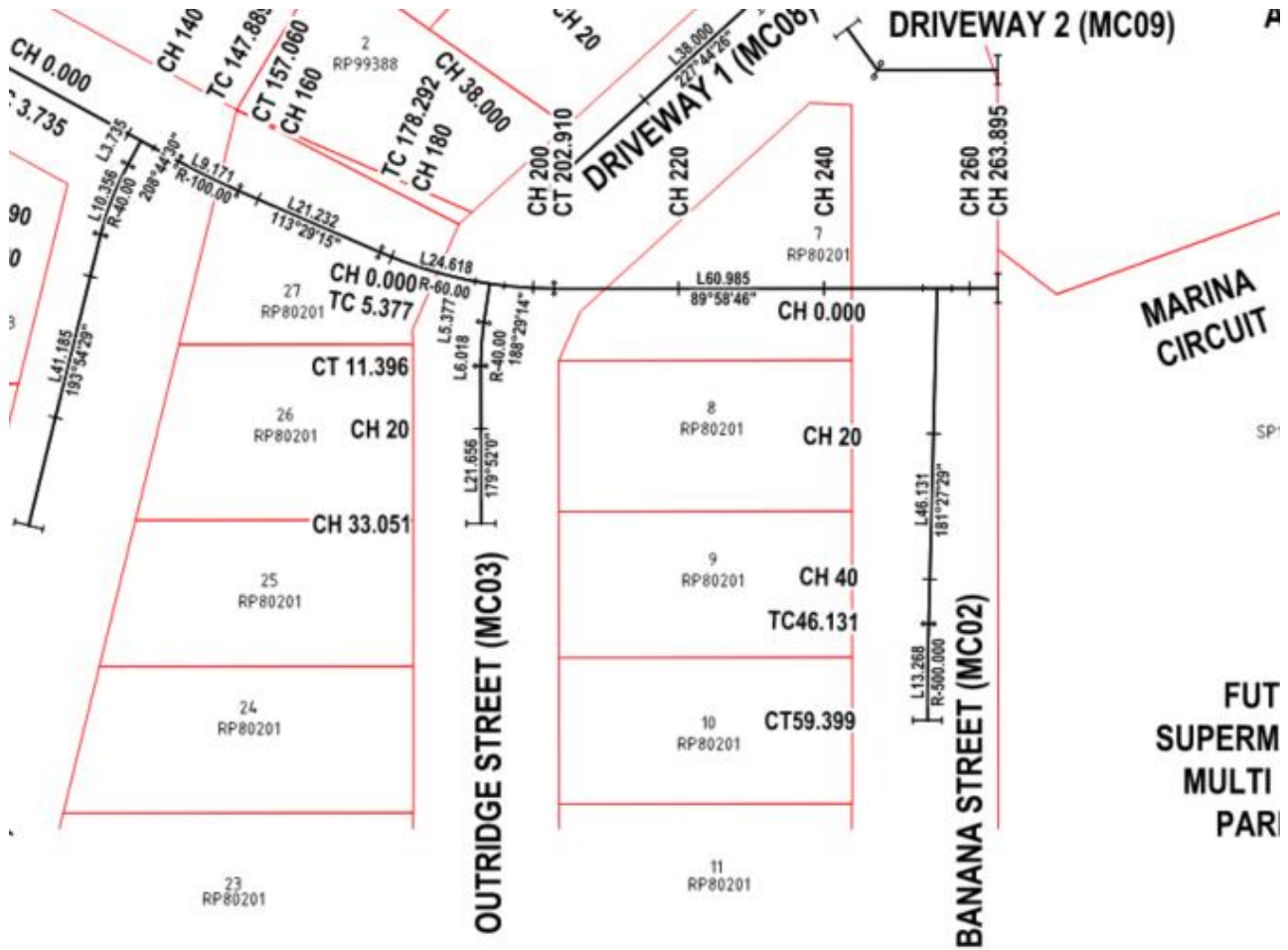


Figure 2 - New Road Alignment (EDQ Design Drawing C-1005[5], dated 06/10/2022)



### 3 PLAN OF DEVELOPMENT

#### 3.1 The Proposal

The proposed development as described in the architectural drawings in **Appendix A** is for a multi-storey residential apartment building over basement carpark. **Figure 2** illustrates the proposed development.



Figure 3 - Proposed Development



## 4 CHARACTERISTICS OF THE LAND AND SURROUNDING AREA

### 4.1 Description

The site is currently occupied by a two-storey detached dwelling with existing access driveways to both Banana Street and Outridge Street, and is located within the Weinam Creek Priority Development Area.

### 4.2 Dimensions

The proposed development has an area of 835m<sup>2</sup> with a road frontage of 20.74m to both Banana Street to the east and Outridge Street to the west. The north and south boundaries of the site are 40.24m wide.

### 4.3 Topography

Based on Council topographic records, a single catchment has been identified across that site that generally falls from west to east towards Banana Street with an average grade of approximately 1%.

### 4.4 Features

The existing site is occupied by a multi-storey residential building and two driveways, and a small, planted garden located in the north-western corner of site. The balance of the site is characterised by good grass cover. The features described above result in an existing fraction impervious across the development site equal to approximately 36%. **Figure 3** illustrate the existing site features.

### 4.5 Accessibility

Access to the site is currently gained via driveways to both Banana Street at the eastern site boundary and Outridge Street at the south-west site boundary. As a part of the proposed development one (1) new driveway will be constructed to suit the site layout and existing redundant crossovers are to be demolished. Refer to the architectural drawings in **Appendix A** for further detail. The primary vehicle access to the site will be gained via the western boundary of site to Outridge Street and will facilitate access to the proposed carparking areas.

### 4.6 Easements

No easements have been identified across the existing site.

### 4.7 Surrounding Land Use

As discussed in Section 2.1, the site bound by Outridge Street to the west, Banana Street to the east, and residential allotments to the south.

### 4.8 Coastal Erosion Hazard

Council's City Plan Coastal Erosion Hazard overlay mapping has identified the site as an erosion prone area. Refer to the Stormwater Management Plan by ADG Engineers (Report ID: 26164 SMP) for details regarding stormwater quality control, including erosion and sediment control.





Figure 4 – Site Condition (Nearmap Image dated 22.03.2022)



## 5 EARTHWORKS

### 5.1 Proposed Earthworks

The proposed development will require excavation to facilitate the construction of the basement car parking level that extend across the proposed development. Due to the proximity of the basement extent to the site boundaries shoring will be required to facilitate the basement construction.

Detailed earthworks drawings will be designed in accordance with specialist Geotechnical reports and will be provided as part of a future operational works application during detailed design.

### 5.2 Slope Stability

Council's City Plan has identified that the site is not located in an area subject to slope instability.

### 5.3 Acid Sulfate Soils

Acid Sulfate Soils are soils which contain iron sulphides generally found in low-lying coastal areas below 20m AHD. The levels across the site vary from a low point of 2.0m AHD to a high point of 2.75m AHD. These levels are below 20m AHD, indicating the site may be subject to Acid Sulfate Soils.

The development may encounter Acid Sulfate Soils during excavation of the basement. If Acid Sulfate Soils are encountered and Acid Sulfate Soils management plan will be prepared and enacted.



## 6 ROADWORKS

### 6.1 Existing Infrastructure

The site is fronted by Banana Street to the east and Outridge Street to the west. The existing vacant lot to the north of the site has been resumed and roadworks are presently underway that will result in construction of a new road (Hamilton Street) along the northern boundary of the site.

Banana Street consists of an approximately 12.50m wide road pavement which facilitates a 3.50m wide travel lane in each direction, and 2.75m parking lanes on both sides of the road. The pavement cross-section of Banana Street consists of a two-way cross fall and crown in the centre such that stormwater flows away from the crest towards a kerb and channel located on both sides of the road. The travel lanes on Banana Street are divided by a broken centre line opposite the site. A no-stopping zone extends across much of the site frontage on both sides of the road preventing on-street parking in some sections.

Outridge Street consists of an approximately 8m wide road pavement. The pavement cross-section of Outridge Street consists of a two-way cross fall and a crown in the centre such that stormwater flows away from the crest and towards a mountable kerb and channel located on both sides of the road. There is no line marking on Outridge Street opposite the site.

Refer to the detailed site survey in **Appendix B** for further information of the existing infrastructure.

### 6.2 Proposed Infrastructure

As discussed in Section 4.5, one (1) new driveway is proposed via the western boundary of site to Outridge Street and will facilitate access to the proposed carparking areas. Any existing redundant vehicular crossovers are to be removed and kerb and channel reinstated to match existing. No other roadworks are proposed as part of the development. Refer to Section 4.5 and the architectural drawings in **Appendix A** for further information.



## 7 WATER SUPPLY

### 7.1 Existing Infrastructure

The following water infrastructure assets have been identified in the vicinity of the site using the detailed site survey:

- A DN100 Asbestos Cement (AC) water main (Asset ID: 8245) runs parallel to the site boundary along the development side verge of Banana Street;
- A DN100 Asbestos Cement (AC) water main (Asset ID: 8244) runs parallel to the site boundary along the non-development side verge of Outridge Street.

EDQ Approved Design Drawings for ongoing Weinam Creek Priority Development Area Stage 3A has identified the following under construction water infrastructure within the vicinity of the site:

- A DN150 water main is presently being constructed parallel to the north, east and west site boundaries along the development side verges of Hamilton Street, Banana Street and Outridge Street.

Refer to the detailed site survey in **Appendix B** and EDQ Approved Design Drawings in **Appendix D** for more details on the existing water infrastructures.

### 7.2 Proposed Infrastructure

It is expected that the existing watermain along the development side of Hamilton Street will facilitate a new property connection. The proposed connection will be provided to the development site within a dedicated, on-site easement in accordance with the latest RCC standard drawings. The final size of the connection/s are to be confirmed by the hydraulic engineer at the detailed design phase. Any redundant connections found that remain following these works will be decommissioned in accordance with Council guidelines.

Council has advised that the existing water infrastructure has insufficient capacity to support the proposed development. ADG understand that EDQ and RCC are currently upgrading this infrastructure to cater to the Weinam Creek PDA. Once this infrastructure is in place the network will have sufficient capacity to service this development.

A preliminary layout of the proposed connection network prepared by ADG can be found on C50 in **Appendix C**. Detailed water reticulation drawings will be provided as part of future operational works application once the development has been approved.



## 8 SEWER RETICULATION

### 8.1 Existing Infrastructure

The following sewer infrastructure have been identified in the vicinity of the site using detailed site survey:

- A DN150 unplasticised Poly Vinyl Chloride (uPVC) gravity sewer main (Asset ID: 29600) located within the development side verge of Outridge Street flows north; and
- A DN100 uPVC property connection (Asset ID: 117304) services the site from the abovementioned sewer main, located in the south-west corner of the site.

EDQ Approved Design Drawings for ongoing Weinam Creek Priority Development Area Stage 3A has identified the following under construction sewer infrastructure within the vicinity of the site:

- A DN150 uPVC gravity sewer main located within the development side verge of Hamilton Street flows west to the below mentioned maintenance hole; and
- A DN1050 maintenance hole located adjacent to the north-western corner of the site.

Refer to the detailed site survey in **Appendix B** and EDQ Approved Design Drawings in **Appendix D** for more details on the existing water infrastructures.

### 8.2 Proposed Infrastructure

The minimum sewer property connection size for this development is likely to be DN150. It is proposed to connect to the abovementioned DN1050 maintenance hole located adjacent to the north-western corner of the site to service the development. The details of the proposed sewer connection will be confirmed during detailed design.

Council has advised that the existing sewer infrastructure has insufficient capacity to support the proposed development. ADG understand that EDQ and RCC are currently upgrading this infrastructure to cater to the Weinam Creek PDA. Once this infrastructure is in place the network will have sufficient capacity to service this development.

A preliminary layout of the proposed sewer connection prepared by ADG can be found on drawing C60 in **Appendix C**. Detailed sewer connection drawings will be provided as part of future operational works application once the development has been approved.



## 9 STORMWATER DRAINAGE

### 9.1 Existing Infrastructure

The detailed site survey has identified the following stormwater infrastructure within the vicinity of the site:

- A gully pit in the Outridge Street kerb & channel immediately west of the site;
- A DN300 Fibre Reinforced Concrete Pipe (FRC) flows from the abovementioned gully pit to a maintenance hole on the non-development side of Outridge Street;
- A DN450 Reinforced Concrete Pipe (RCP) flows from the abovementioned maintenance hole, to the north-east along Outridge Street to the intersection with Banana Street.

EDQ Approved Design Drawings for ongoing Weinam Creek Priority Development Area Stage 3A has identified the following under construction stormwater infrastructure within the vicinity of the site:

- The stormwater infrastructure on Outridge Street opposite the site is proposed to be replaced with larger pipes and structures in adjusted locations; and
- A new lip-in-line stormwater gully pit on Hamilton Street, over a DN450 SRCP CL3 pipe flowing north under the road, joining the stormwater infrastructure draining from Outridge Street.

Refer to the detailed survey in **Appendix B** and the EDQ Approved Design Drawings in **Appendix D** for more details on the existing stormwater infrastructures.

### 9.2 Proposed Infrastructure

A stormwater connection will be provided from the proposed development to the existing gully pit on the development side of Hamilton Street.

Refer to the Stormwater Management Plan (26164 C SMP) prepared by ADG, which demonstrates the proposed stormwater management measures required to meet relevant guidelines.

The drainage proposed within the development will comply with the following documents:

- RCC Stormwater Drainage Guidelines;
- Queensland Urban Drainage Manual (QUDM 2017); and
- AS 3500.3 Plumbing and Drainage – Stormwater Drainage.

### 9.3 Flood Consideration

A review of RCC Flood and Storm Tide Hazard Overlay Map has identified that the site is affected by the 2016 and 2100 Storm Tide Inundation Areas. Refer to the Stormwater Management Plan by ADG Engineers (Report ID: 26164 SMP) which discusses flooding considerations in more detail with regard to the proposed development.

Pothole survey of the verge is recommended to ensure that this proposed stormwater connection will not clash with existing services in the verge.



## 10 ELECTRICAL SUPPLY

The Energex map provided by DBYD and site investigation has identified that there are currently overhead electrical cables which run in close proximity to the site which include:

- Overhead electrical infrastructure and streetlights running along the non-development side of Banana Street, with a single street light supplied with power by an overhead line located on the development side of the verge near the north-east corner of the site;
- Overhead electrical infrastructure on the development side of Outridge Street; and
- The site appears to be serviced by the abovementioned overhead electrical infrastructure on Outridge Street.

The Electrical Consultant will determine the extent of the upgrading and connection works that will be required to facilitate the required electrical reticulation for the proposed development at the detailed design stage.

Refer to the DBYD Information in **Appendix E** for further details on the existing electrical reticulation.

## 11 COMMUNICATION

The following telecommunication services have been identified in the vicinity of the site using DBYD search:

- A 50mm diameter Poly Vinyl Chloride (PVC) conduit owned by Telstra containing one cable runs from a size 5 pit on the non-development side of Banana Street to a size 5 pit opposite the north-east corner of site on the development side of Banana Street;
- A 50mm diameter PVC conduit owned by Telstra containing one cable continues north along Banana Street from the abovementioned 5 pit;
- A 15mm Other Carrier (OC) telecommunication cable runs along the development side verge of Outridge Street; and
- The site is serviced by an aerial cable from Outridge Street.

It is proposed that the telecommunications consultant will negotiate with the relevant carriers regarding the requirements of the proposed development telecommunications connection and the extent of any upgrading and possible relocation works to the system if necessary.

## 12 GAS

A DBYD search has not identified any gas services in the vicinity of the site.



## 13 CONCLUSION

The site appears to be adequately serviced by public utilities, however it is noted that there are issues with the existing sewer and water infrastructure. It is understood that EDQ and RCC are currently working through the process to upgrade this infrastructure. Information discussed in this report is inferred from detailed site survey and DBYD records.

It is proposed to provide a new water connection the water main being constructed adjacent to the site boundary within the Hamilton Street verge as a part of Stage 3A of the Weinam Creek PDA works.

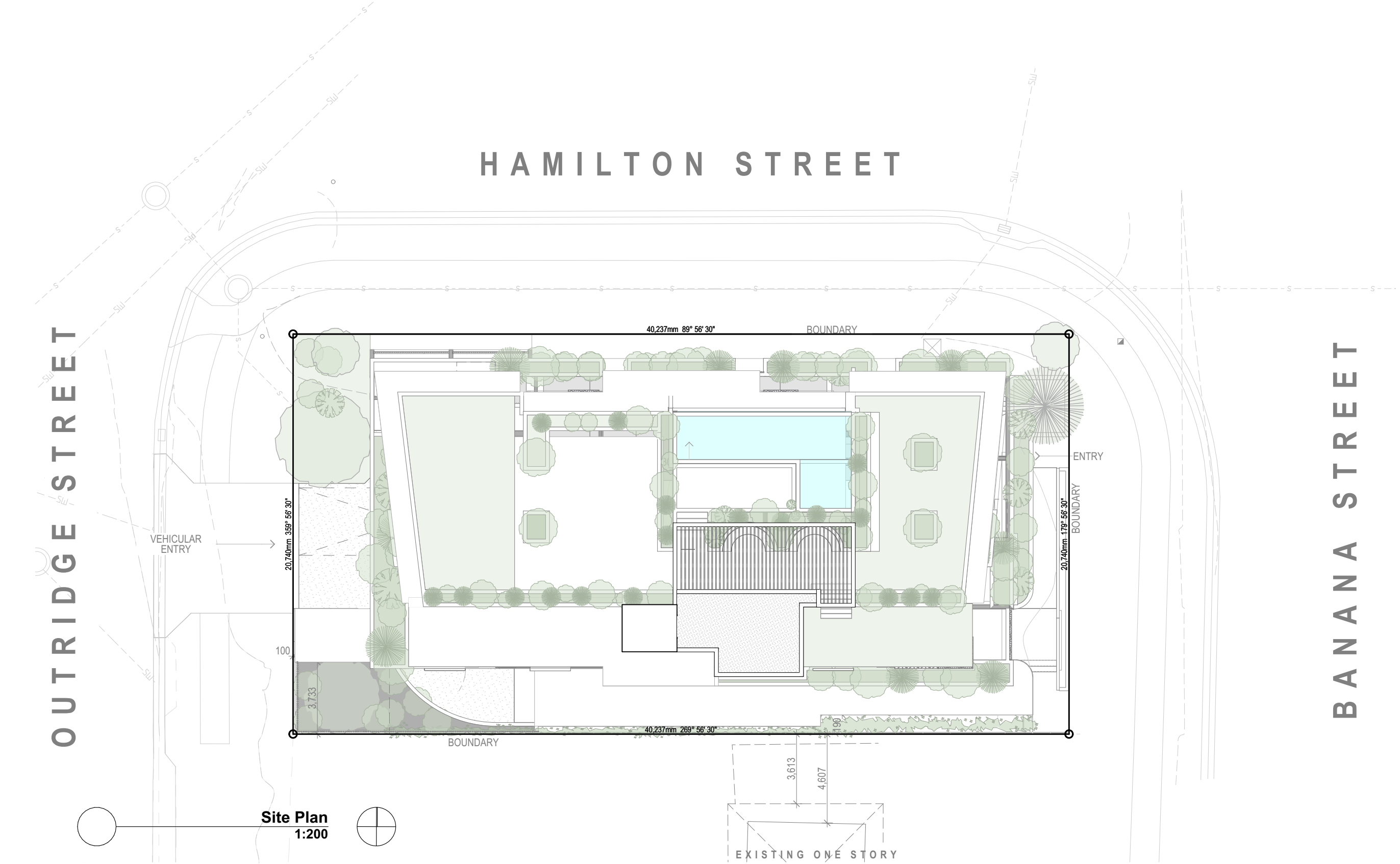
It is proposed to provide a new sewer connection the DN1050 sewer maintenance hole being constructed adjacent to the north-western corner of the site as a part of Stage 3A of the Weinam Creek PDA works.

A stormwater connection will be provided from the proposed development to the gully pit on the development side of Hamilton Street being constructed as a part of Stage 3A of the Weinam Creek PDA works. Refer to the Stormwater Management Plan (26164 C SMP) prepared by ADG, which demonstrates the proposed stormwater management measures required to meet relevant guidelines.



## Appendix A Architectural Drawings by HAL Architects





ChID	Change Name

TOWN PLANNING  
DRAWINGS

General Notes

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ADAPTABLE UNIT

DEEP PLANTING AREA

24/07/23	P	SW Pit Added	RH
15/05/23	N	Revised Town Planning	EA
07/02/23	M	Roof Terrace Reconfiguration	EA
01/02/23	L	Loft Removed	EA
22/12/22	K	Lvl 4-6 Kitchen Layout	EA
10/12/22	J	Revised Window Schedule	EA
10/12/22	I	TP Information Request	EA
30/11/22	H	Window Schedule	EA
24/10/22	G	Futher Issues Response	EA
05/10/22	F	Futher Issues Response	EA
15/09/22	E	IR Response	EA
01/09/22	D	Prelim IR Response	EA
20/07/22	C	Updated Facade	EA
14/07/22	B	Detention tanks added	EA
09/06/22	A	Lodgement Issue	EA

Date	Issue Details	Checked
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ARCHITECTS  
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Project  
**Apartment Development**  
57 Banana Street, Redland Bay,  
QLD 4165

Drawing Title  
**Site Plan**

Scale @ A3	Drawn:	Checked:
1:200	RH	RH
Project Number	Drawing Number	Issue
H4474BAN	TP104	P

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57 Banana Street, Redland Bay,  
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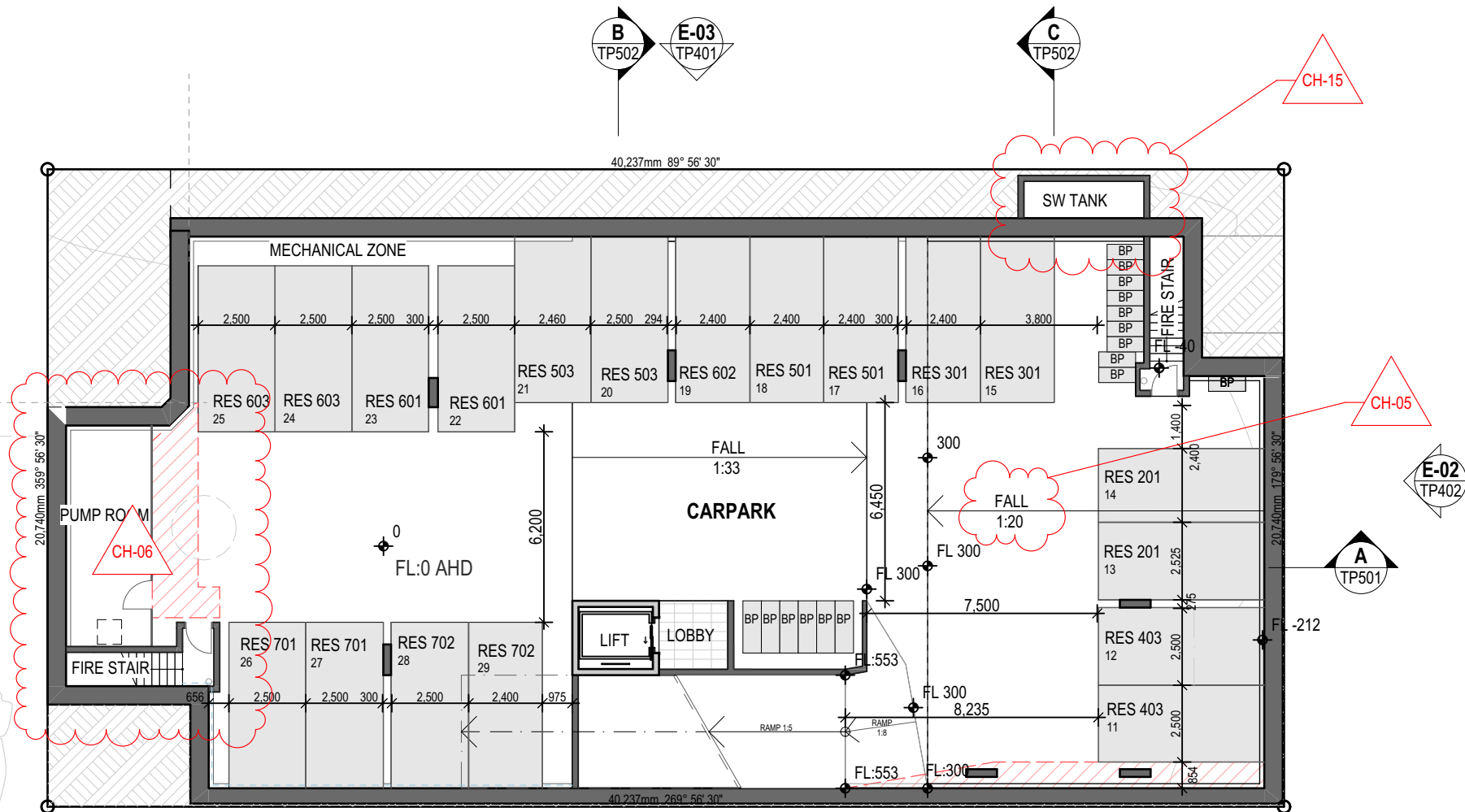
Drawing Title  
**Basement -1 Floor Plan**

Scale @ A3	Drawn:	Checked:
1:200	RH	RH
Project Number	Drawing Number	Issue
H4474BAN	TP201	P

HAMILTON STREET

BANANA STREET

OUTRIDGE STREET



Basement -1  
1:200

ChID	Change Name
CH-05	Fall in Basement Added
CH-06	Pump Room and MSSB Moved
CH-15	SW Tank Added

NOTE:  
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Project  
**Apartment Development**  
57 Banana Street, Redland Bay,  
QLD 4165

Drawing Title  
**Ground Floor Plan**

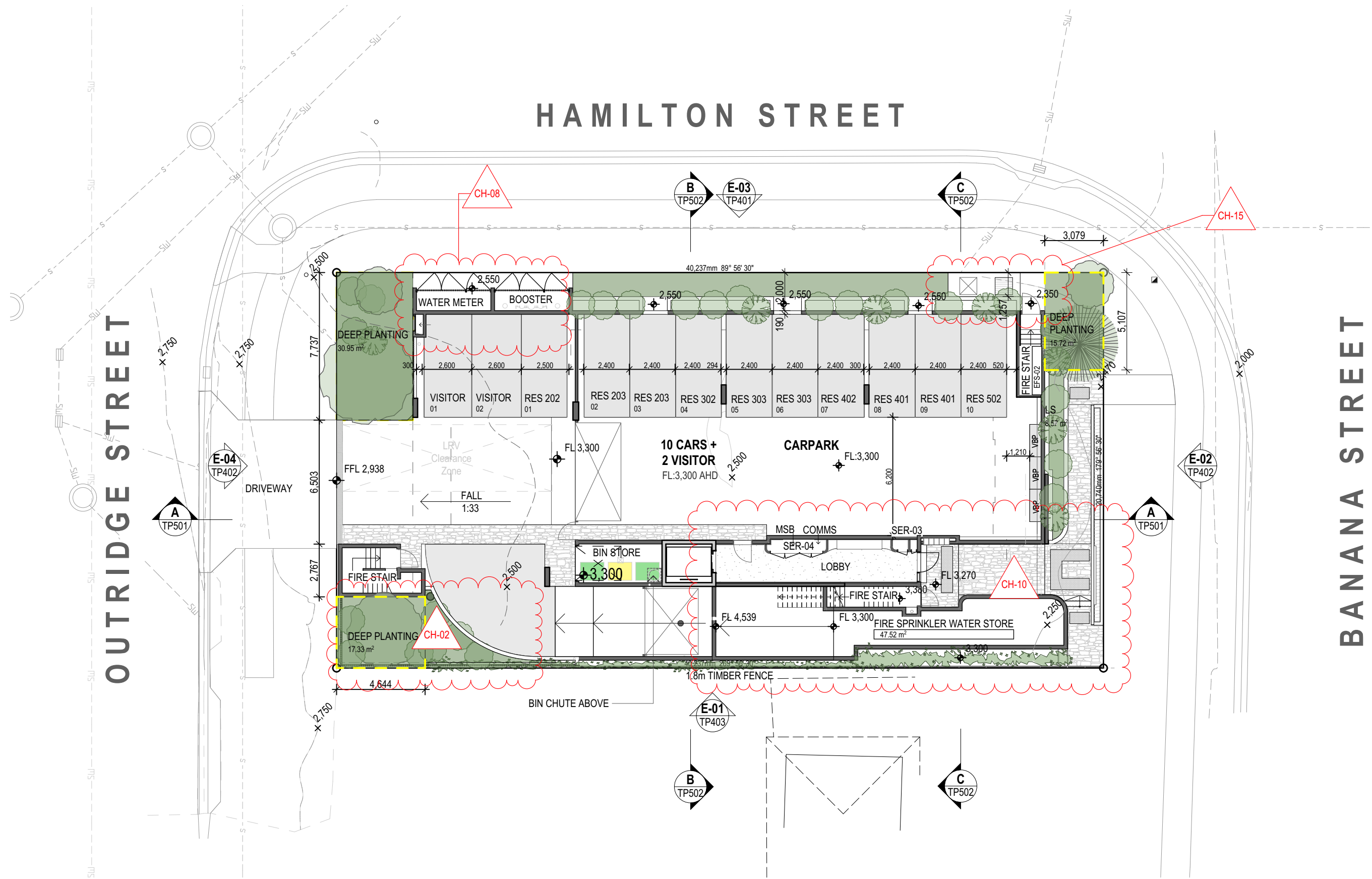
Scale @ A3	Drawn:	Checked:
1:200	RH	RH
Project Number	Drawing Number	Issue
H4474BAN	TP202	P

**NOTE:**  
These drawings are for BUILDING APPLICATION purposes only

HAMILTON STREET

BANANA STREET

OUTRIDGE STREET



Ground Floor Plan  
1:200

ChID	Change Name
CH-02	PMT area removed, added space for deep planting
CH-08	Water Meter and Booster swapped and Mech Riser Added
CH-10	Services Reconfigured. Fire Sprinkler storage, MSB and Comms
CH-15	SW Tank Added



TOWN PLANNING  
DRAWINGS

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Project  
**Apartment Development**  
57 Banana Street, Redland Bay,  
QLD 4165

Drawing Title  
**Level 2 Floor Plan**

Scale @ A3	Drawn:	Checked:
1:200	RH	RH
Project Number	Drawing Number	Issue
H4474BAN	TP203	P



Level 2 Floor Plan  
1:200

ChID	Change Name

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ADAPTABLE UNIT

DEEP PLANTING AREA

24/07/23	P	SW Pit Added	RH
15/05/23	N	Revised Town Planning	EA
07/02/23	M	Roof Terrace Reconfiguration	EA
01/02/23	L	Loft Removed	EA
22/12/22	K	Lvl 4-6 Kitchen Layout	EA
10/12/22	J	Revised Window Schedule	EA
10/12/22	I	TP Information Request	EA
30/11/22	H	Window Schedule	EA
24/10/22	G	Futher Issues Response	EA
05/10/22	F	Futher Issues Response	EA
15/09/22	E	IR Response	EA
01/09/22	D	Prelim IR Response	EA
20/07/22	C	Updated Facade	EA
14/07/22	B	Detention tanks added	EA
09/06/22	A	Lodgement Issue	EA

Date Issue Details Checked



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Project  
**Apartment Development**  
57 Banana Street, Redland Bay,  
QLD 4165

Drawing Title  
**Level 3 Floor Plan**

Scale @ A3	Drawn:	Checked:
1:200	RH	RH
Project Number	Drawing Number	Issue
H4474BAN	TP204	P

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**Level 3 Floor Plan**  
1:200

ChID	Change Name



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ADAPTABLE UNIT

DEEP PLANTING AREA

24/07/23	P	SW Pit Added	RH
15/05/23	N	Revised Town Planning	EA
07/02/23	M	Roof Terrace Reconfiguration	EA
01/02/23	L	Loft Removed	EA
22/12/22	K	Lvl 4-6 Kitchen Layout	EA
10/12/22	J	Revised Window Schedule	EA
10/12/22	I	TP Information Request	EA
30/11/22	H	Window Schedule	EA
24/10/22	G	Futher Issues Response	EA
05/10/22	F	Futher Issues Response	EA
15/09/22	E	IR Response	EA
01/09/22	D	Prelim IR Response	EA
20/07/22	C	Updated Facade	EA
14/07/22	B	Detention tanks added	EA
09/06/22	A	Lodgement Issue	EA

Date Issue Details Checked



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Project  
**Apartment Development**  
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Drawing Title  
**Level 4-6 Floor Plan**

Scale @ A3	Drawn:	Checked:
1:200	RH	RH
Project Number	Drawing Number	Issue
H4474BAN	TP205	P

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Level 4-6 Floor Plan  
1:200

ChID	Change Name



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ADAPTABLE UNIT

DEEP PLANTING AREA

24/07/23	P	SW Pit Added	RH
15/05/23	N	Revised Town Planning	EA
07/02/23	M	Roof Terrace Reconfiguration	EA
01/02/23	L	Loft Removed	EA
22/12/22	K	Lvl 4-6 Kitchen Layout	EA
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10/12/22	I	TP Information Request	EA
30/11/22	H	Window Schedule	EA
24/10/22	G	Futher Issues Response	EA
05/10/22	F	Futher Issues Response	EA
15/09/22	E	IR Response	EA
01/09/22	D	Prelim IR Response	EA
20/07/22	C	Updated Facade	EA
14/07/22	B	Detention tanks added	EA
09/06/22	A	Lodgement Issue	EA

Date Issue Details Checked



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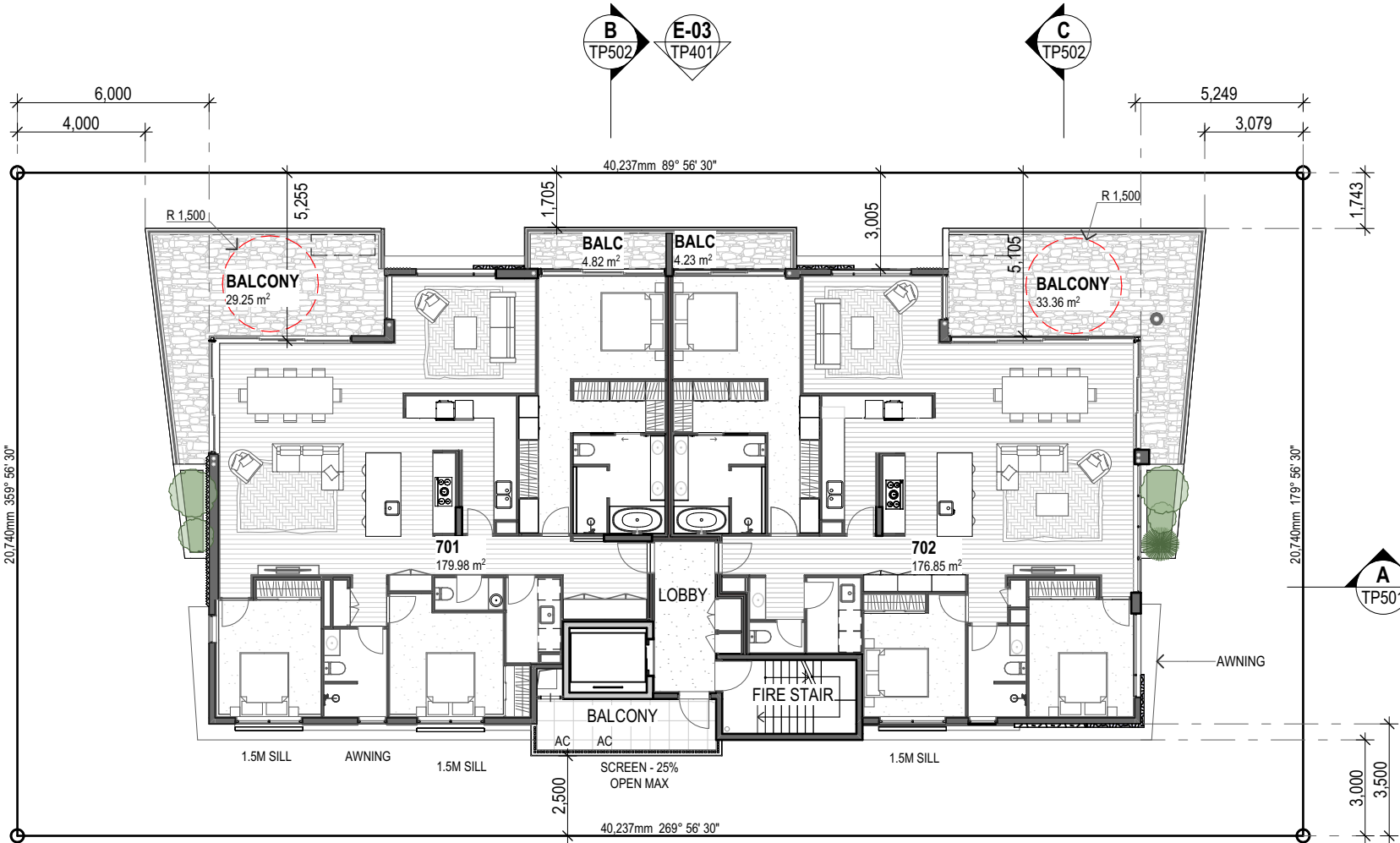


Project  
**Apartment Development**  
57 Banana Street, Redland Bay,  
QLD 4165

Drawing Title  
**Level 7 Floor Plan**

Scale @ A3	Drawn:	Checked:
1:200	RH	RH
Project Number	Drawing Number	Issue
H4474BAN	TP206	P

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**Level 7 Floor Plan**  
1:200

ChID	Change Name



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ADAPTABLE UNIT

DEEP PLANTING AREA

24/07/23	P	SW Pit Added	RH
15/05/23	N	Revised Town Planning	EA
07/02/23	M	Roof Terrace Reconfiguration	EA
01/02/23	L	Loft Removed	EA
22/12/22	K	Lvl 4-6 Kitchen Layout	EA
10/12/22	J	Revised Window Schedule	EA
10/12/22	I	TP Information Request	EA
30/11/22	H	Window Schedule	EA
24/10/22	G	Futher Issues Response	EA
05/10/22	F	Futher Issues Response	EA
15/09/22	E	IR Response	EA
01/09/22	D	Prelim IR Response	EA
20/07/22	C	Updated Facade	EA
14/07/22	B	Detention tanks added	EA
09/06/22	A	Lodgement Issue	EA

Date Issue Details Checked



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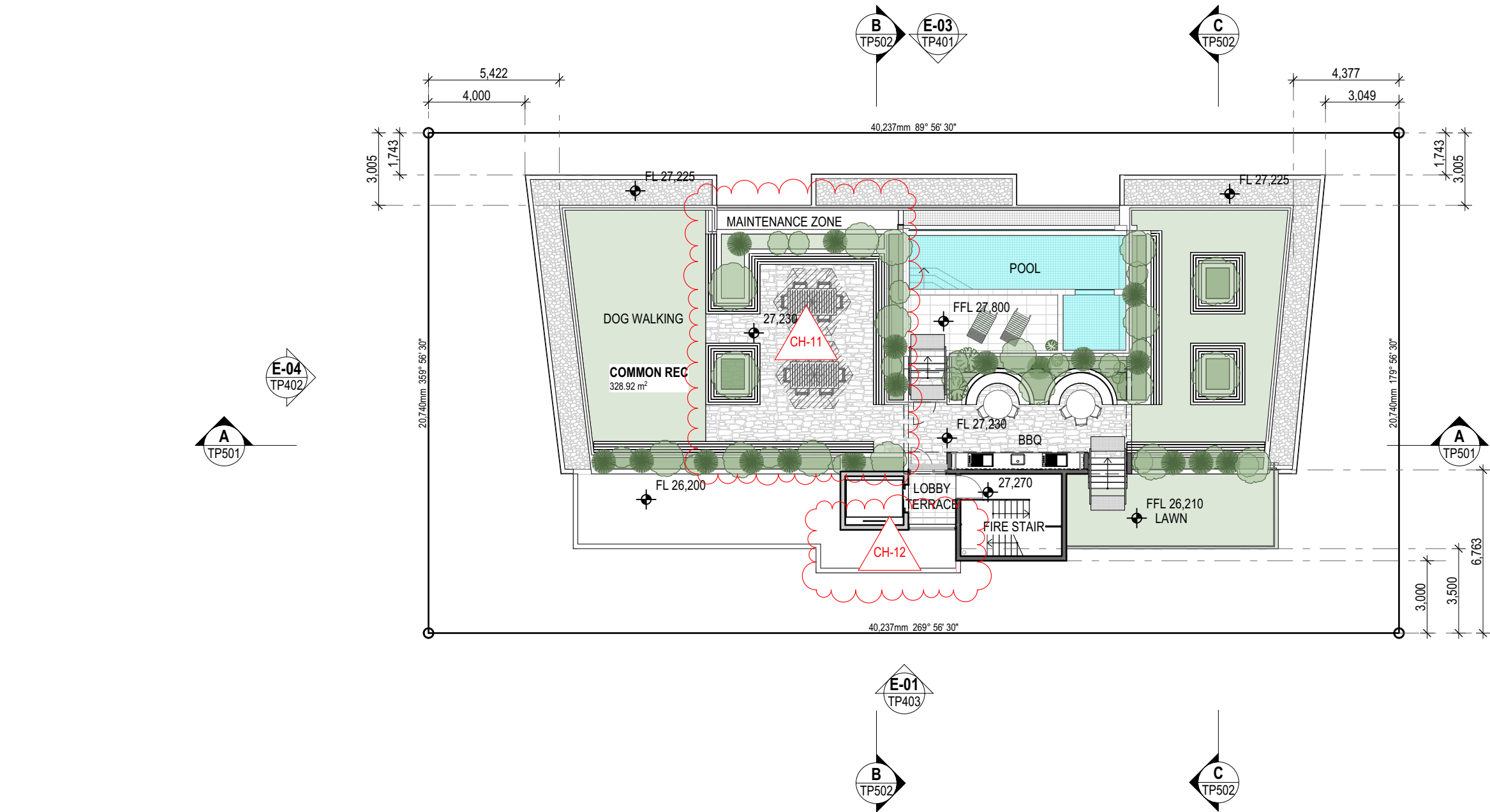
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Project  
**Apartment Development**  
57 Banana Street, Redland Bay,  
QLD 4165

Drawing Title  
**Roof Terrace Plan**

Scale @ A3	Drawn:	Checked:
1:200	RH	RH
Project Number	Drawing Number	Issue
H4474BAN	TP207	P



Roof Terrace Floor Plan  
1:200

ChID	Change Name
CH-11	Roof Communal Area reconfigured
CH-12	Screen Removed

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ADAPTABLE UNIT

DEEP PLANTING AREA

24/07/23	P	SW Pit Added	RH
15/05/23	N	Revised Town Planning	EA
07/02/23	M	Roof Terrace Reconfiguration	EA
01/02/23	L	Loft Removed	EA
22/12/22	K	Lvl 4-6 Kitchen Layout	EA
10/12/22	J	Revised Window Schedule	EA
10/12/22	I	TP Information Request	EA
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24/10/22	G	Futher Issues Response	EA
05/10/22	F	Futher Issues Response	EA
15/09/22	E	IR Response	EA
01/09/22	D	Prelim IR Response	EA
20/07/22	C	Updated Facade	EA
14/07/22	B	Detention tanks added	EA
09/06/22	A	Lodgement Issue	EA

Date Issue Details Checked



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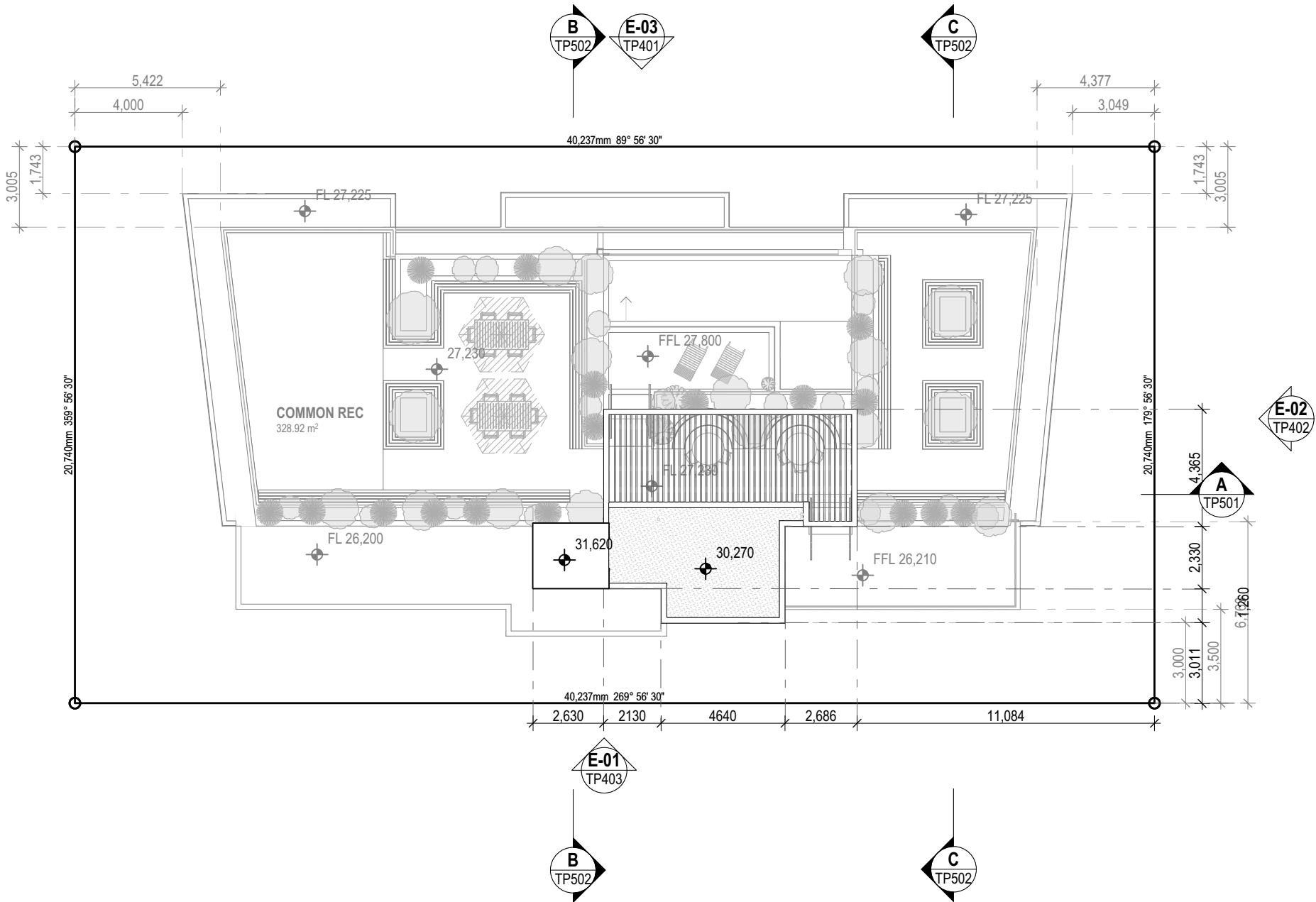
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Project  
**Apartment Development**  
57 Banana Street, Redland Bay,  
QLD 4165

Drawing Title  
**Roof Plan**

Scale @ A3	Drawn:	Checked:
1:200	RH	RH
Project Number	Drawing Number	Issue
H4474BAN	TP208	P



Roof Plan  
1:200

ChID	Change Name

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ADAPTABLE UNIT

DEEP PLANTING AREA

24/07/23	P	SW Pit Added	RH
15/05/23	N	Revised Town Planning	EA
07/02/23	M	Roof Terrace Reconfiguration	EA
01/02/23	L	Loft Removed	EA
22/12/22	K	Lvl 4-6 Kitchen Layout	EA
10/12/22	J	Revised Window Schedule	EA
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15/09/22	E	IR Response	EA
01/09/22	D	Prelim IR Response	EA
20/07/22	C	Updated Facade	EA
14/07/22	B	Detention tanks added	EA
09/06/22	A	Lodgement Issue	EA
Date	Issue Details	Checked	



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Project  
**Apartment Development**  
57 Banana Street, Redland Bay,  
QLD 4165

Drawing Title  
**North Elevation**

Scale @ A3 1:200	Drawn: RH	Checked: RH
Project Number H4474BAN	Drawing Number TP401	Issue P



North Elevation  
1:200

ChID	Change Name
CH-11	Roof Communal Area reconfigured
CH-14	Adjusted Levels to suite Structural Coordination

MATERIALS & COLOURS				FENESTRATION / BALUSTRADES				ARCHITECTURAL ELEMENTS				ROOF			
P-01.	Painted Render Dulux 'Lexicon' or Similar	P-02.	Painted Render Dulux 'Raku' or Similar		Window Glass Dark Bronze Aluminium powder coated frame		Sliding Doors Aluminium Powder Coated - Dark Bronze	AS-01.	Medium Bronze Vertical screen - flat profile	AS-02.	Medium Bronze Vertical screen - round profile		Soffits Timber look horizontal cladding or Similar		Fascia To Match Colobond 'Night Sky' or Similar
P-02.	Painted Render Dulux 'Domino' or Similar	P-04.	Painted Render Dulux 'Electro Dark Bronze' or Similar		Balustrade Glass Tinted Glass on Spigots		Solid Balustrade	AS-03.	Medium Bronze - Privacy window screen- Angled Flat profile or similar	GS-01.	100 % Obscure Window Glass or Similar	FB-01.	Face brick - Stretcher bond or Similar	FB-02.	Feature Face Brick - Angled Bond or Similar
P-05.	(OFC) Grey Paint							VG-01.	Vertical Garden - Wire Trellis System or similar	AW-01.	Sun Shade Louvres Powder Coated to Match window frames			MS.	Mosaic Tiles Everglade Eco outdoor or Similar



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ADAPTABLE UNIT

DEEP PLANTING AREA

24/07/23	P	SW Pit Added	RH
15/05/23	N	Revised Town Planning	EA
07/02/23	M	Roof Terrace Reconfiguration	EA
01/02/23	L	Loft Removed	EA
22/12/22	K	Lvl 4-6 Kitchen Layout	EA
10/12/22	J	Revised Window Schedule	EA
10/12/22	I	TP Information Request	EA
30/11/22	H	Window Schedule	EA
24/10/22	G	Futher Issues Response	EA
05/10/22	F	Futher Issues Response	EA
15/09/22	E	IR Response	EA
01/09/22	D	Prelim IR Response	EA
20/07/22	C	Updated Facade	EA
14/07/22	B	Detention tanks added	EA
09/06/22	A	Lodgement Issue	EA

Date Issue Details Checked

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Project  
**Apartment Development**  
57 Banana Street, Redland Bay,  
QLD 4165

Drawing Title  
**East & West Elevation**

Scale @ A3 Drawn: Checked:

1:200 RH RH

Project Number Drawing Number Issue

H4474BAN TP402 P



E-02




















East Elevation  
1:200



E-04

West Elevation  
1:200

ChID	Change Name
CH-02	PMT area removed, added space for deep planting
CH-13	Material Changes
CH-14	Adjusted Levels to suite Structural Coordination

MATERIALS & COLOURS				FENESTRATION / BALUSTRADES		ARCHITECTURAL ELEMENTS				ROOF														
P-01.		Painted Render Dulux 'Lexicon' or Similar	P-02.		Painted Render Dulux 'Raku' or Similar		Window Glass Dark Bronze Aluminium powder coated frame		Sliding Doors Aluminium Powder Coated - Dark Bronze	AS-01.		Medium Bronze Vertical screen - flat profile	AS-02.		Medium Bronze Vertical screen - round profile		Soffits Timber look horizontal cladding or Similar		Fascia To Match Colobond 'Night Sky' or Similar					
P-02.		Painted Render Dulux 'Domino' or Similar	P-04.		Painted Render Dulux 'Electro Dark Bronze' or Similar		Balustrade Glass Tinted Glass on Spigots		Solid Balustrade	AS-03.		Medium Bronze - Privacy window screen- Angled Flat profile or similar	GS-01.		100 % Obscure Window Glass or Similar	FB-01.		Face brick - Stretcher bond or Similar	FB-02.		Feature Face Brick - Angled Bond or Similar			
P-05.		(OFC) Grey Paint								VG-01.		Vertical Garden - Wire Trellis System or similar									MS.		Mosaic Tiles Everglade Eco outdoor or Similar	



- LEGEND
- AS-# ALLUMINIUM PRIVACY SCREEN
  - AW ALLUMINIUM AWNING
  - BAL-# TINTED GLASS BALUSTRADE
  - FS-# FEATURE STONE
  - P-# RENDERED PAINT
  - OFC OFF FORM CONCRETE - VJ PROFILE

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ADAPTABLE UNIT

DEEP PLANTING AREA

24/07/23	P	SW Pit Added	RH
15/05/23	N	Revised Town Planning	EA
07/02/23	M	Roof Terrace Reconfiguration	EA
01/02/23	L	Loft Removed	EA
22/12/22	K	Lvl 4-6 Kitchen Layout	EA
10/12/22	J	Revised Window Schedule	EA
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01/09/22	D	Prelim IR Response	EA
20/07/22	C	Updated Facade	EA
14/07/22	B	Detention tanks added	EA
09/06/22	A	Lodgement Issue	EA

Date Issue Details Checked



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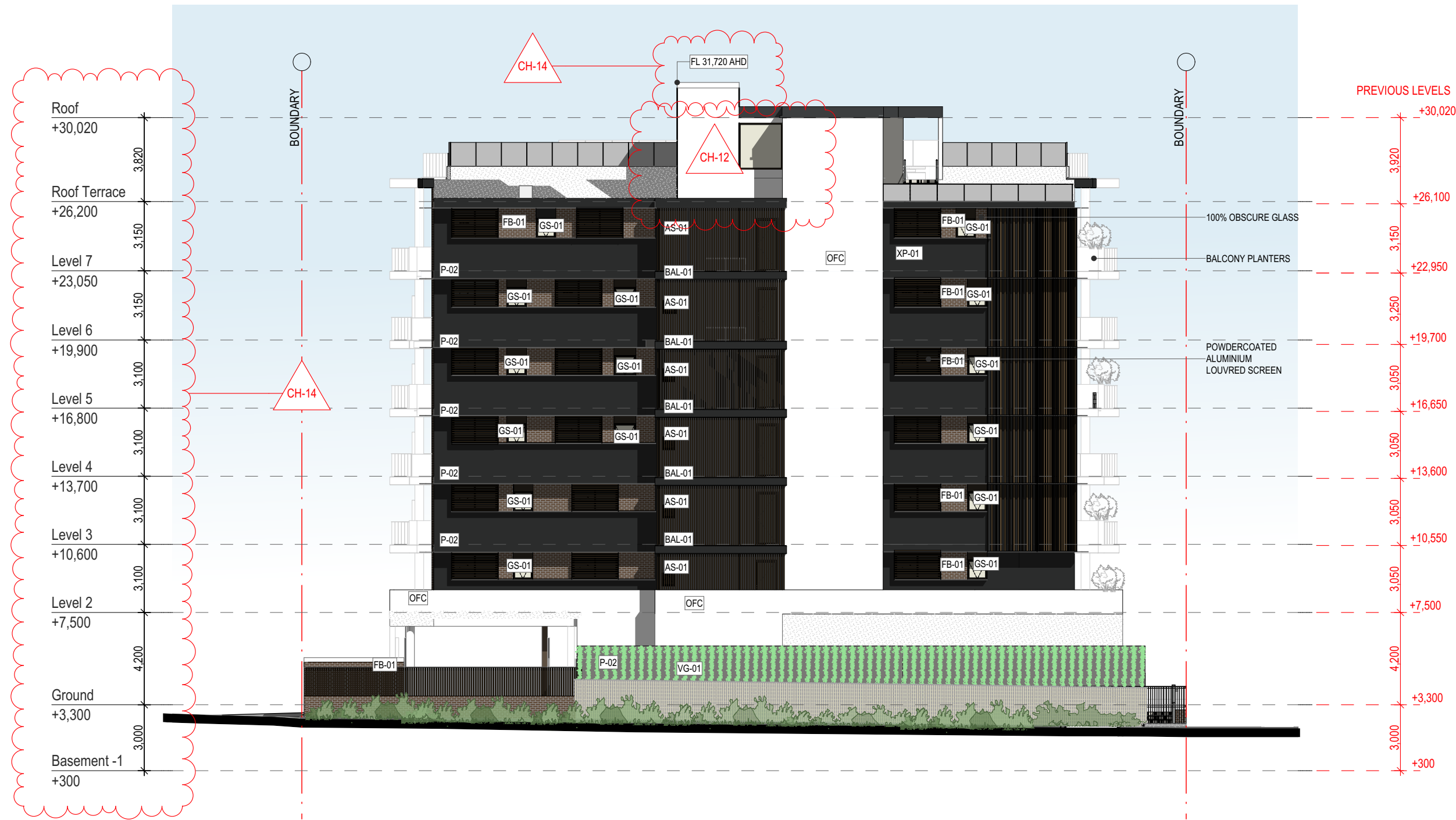
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Project  
**Apartment Development**  
57 Banana Street, Redland Bay,  
QLD 4165



















Drawing Title  
**South Elevation**

Scale @ A3 1:200	Drawn: RH	Checked: RH
Project Number H4474BAN	Drawing Number TP403	Issue P



**E-01** South Elevation  
1:200

ChID	Change Name
CH-12	Screen Removed
CH-14	Adjusted Levels to suite Structural Coordination

MATERIALS & COLOURS				FENESTRATION / BALUSTRADES		ARCHITECTURAL ELEMENTS				ROOF			
P-01.	 Painted Render Dulux 'Lexicon' or Similar	P-02.	 Painted Render Dulux 'Raku' or Similar	 Window Glass Dark Bronze Aluminium powder coated frame	 Sliding Doors Aluminium Powder Coated - Dark Bronze	AS-01.	 Medium Bronze Vertical screen - flat profile	AS-02.	 Medium Bronze Vertical screen - round profile	 Soffits Timber look horizontal cladding or Similar	 Fascia To Match Colobond 'Night Sky' or Similar		
P-02.	 Painted Render Dulux 'Domino' or Similar	P-04.	 Painted Render Dulux 'Electro Dark Bronze' or Similar	 Balustrade Glass Tinted Glass on Spigots	 Solid Balustrade	AS-03.	 Medium Bronze - Privacy window screen- Angled Flat profile or similar	GS-01.	 100 % Obscure Window Glass or Similar	FB-01.	 Face brick - Stretcher bond or Similar	FB-02.	 Feature Face Brick - Angled Bond or Similar
P-05.	 (OFC) Grey Paint					VG-01.	 Vertical Garden - Wire Trellis System or similar	AW-01.	 Sun Shade Louvres Powder Coated to Match window frames			MS	 Mosaic Tiles Everglade Eco outdoor or Similar



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ADAPTABLE UNIT

DEEP PLANTING AREA

24/07/23	P	SW Pit Added	RH
15/05/23	N	Revised Town Planning	EA
07/02/23	M	Roof Terrace Reconfiguration	EA
01/02/23	L	Loft Removed	EA
22/12/22	K	Lvl 4-6 Kitchen Layout	EA
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01/09/22	D	Prelim IR Response	EA
20/07/22	C	Updated Facade	EA
14/07/22	B	Detention tanks added	EA
09/06/22	A	Lodgement Issue	EA

Date Issue Details Checked



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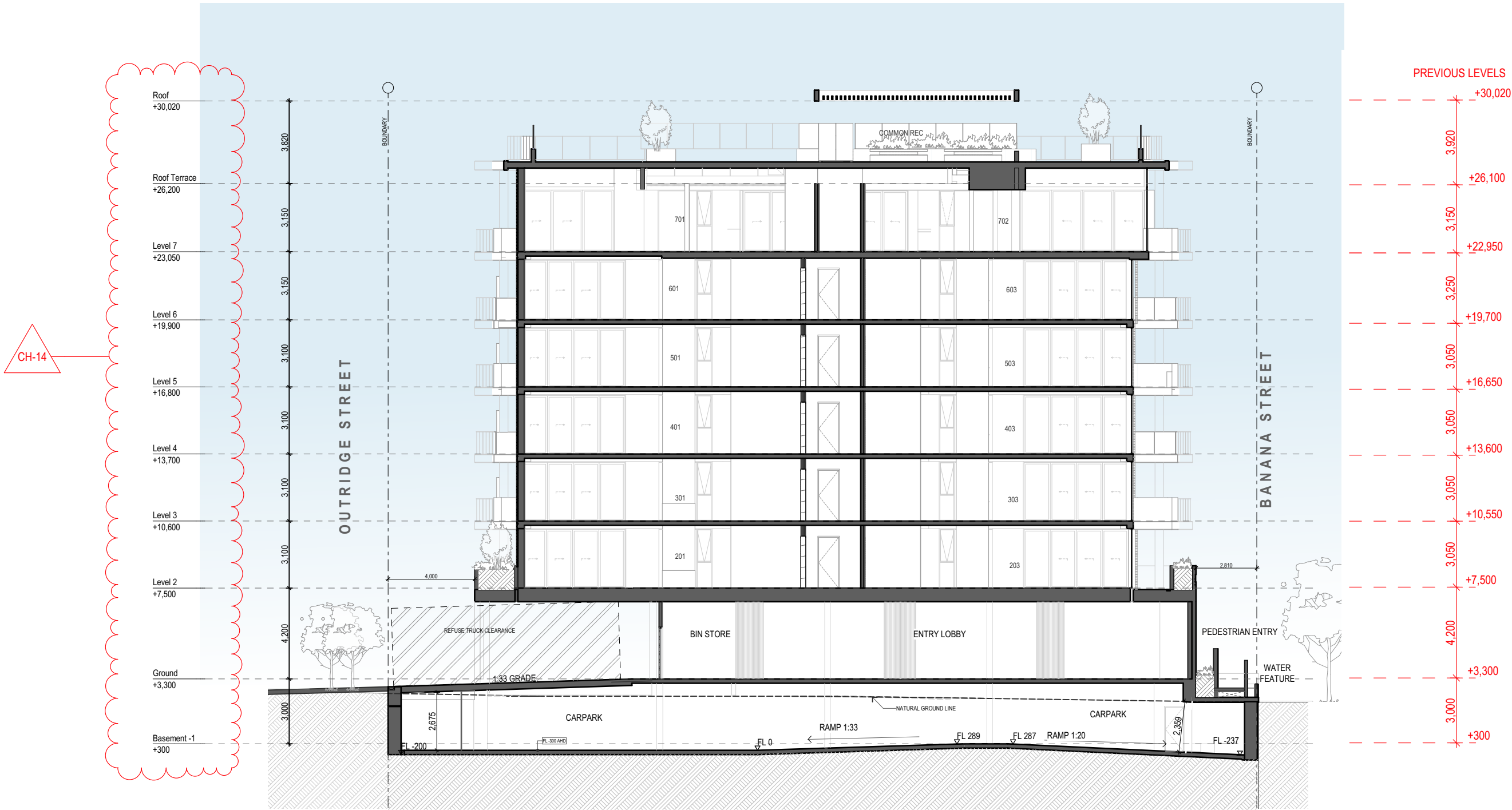


Project  
**Apartment Development**  
57 Banana Street, Redland Bay,  
QLD 4165

Drawing Title

**Sections**

Scale @ A3	Drawn:	Checked:
1:200	RH	RH
Project Number	Drawing Number	Issue
<b>H4474BAN</b>	<b>TP501</b>	<b>P</b>



**Section A**  
**1:200**

ChID	Change Name
CH-14	Adjusted Levels to suite Structural Coordination

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- ADAPTABLE UNIT
- DEEP PLANTING AREA

24/07/23	P	SW Pit Added	RH
15/05/23	N	Revised Town Planning	EA
07/02/23	M	Roof Terrace Reconfiguration	EA
01/02/23	L	Loft Removed	EA
22/12/22	K	Lvl 4-6 Kitchen Layout	EA
10/12/22	J	Revised Window Schedule	EA
10/12/22	I	TP Information Request	EA
30/11/22	H	Window Schedule	EA
24/10/22	G	Futher Issues Response	EA
05/10/22	F	Futher Issues Response	EA
15/09/22	E	IR Response	EA
01/09/22	D	Prelim IR Response	EA
20/07/22	C	Updated Facade	EA
14/07/22	B	Detention tanks added	EA
09/06/22	A	Lodgement Issue	EA

Date Issue Details Checked



ARCHITECTS  
TOWN PLANNERS  
INTERIOR DESIGNERS

3 / 709 MAIN STREET  
KANGAROO POINT QLD 4169

P + 61 7 3 8 5 2 3 1 9 0  
E reception@halarchitects.com.au  
W www.halarchitects.com.au



Project  
**Apartment Development**  
57 Banana Street, Redland Bay,  
QLD 4165

Drawing Title  
**Sections**

Scale @ A3	Drawn:	Checked:
1:200	RH	RH
Project Number	Drawing Number	Issue
H4474BAN	TP502	P

CH-14

CH-14

**Section B**  
1:200

**Section C**  
1:200

ChID	Change Name
CH-14	Adjusted Levels to suite Structural Coordination

**NOTE:**  
Boundary, contours, levels, and site services information is shown indicatively only, based on eBimap. It is subject to confirmation by a licensed Surveyor in the form of an Identification Survey

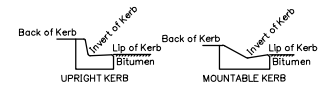
**NOTE:**  
These drawings are for BUILDING APPLICATION purposes only



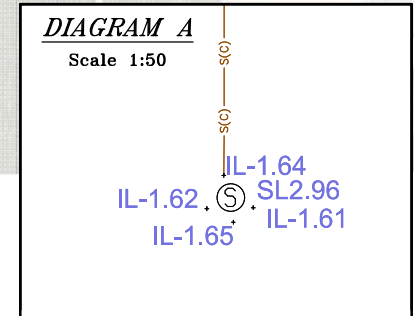
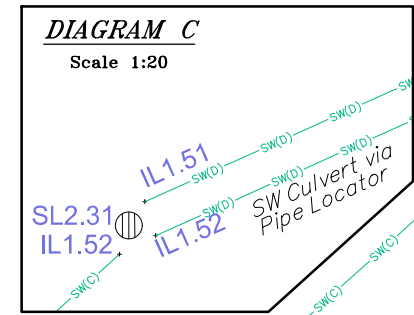
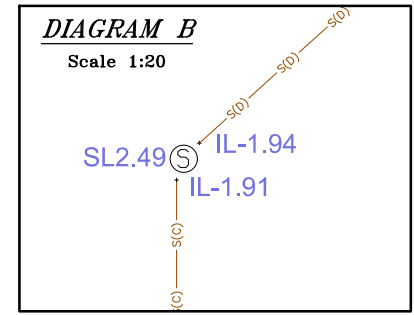
## Appendix B Detailed Site Surveys



- LEGEND**
- BOUNDARY CORNER
  - SURVEY MARK
  - TREE
  - DEAD TREE
  - SHRUB OR SMALL BUSH
  - TRAFFIC SIGNALS PIT
  - TRAFFIC LIGHTS
  - TELECOMMS PIT
  - UNKNOWN MANHOLE
  - SEWER MANHOLE
  - SEPTIC TANK
  - FIELD INLET
  - INSPECTION OPENING
  - ELECTRICITY MANHOLE
  - ELECTRICITY BOX
  - ELECTRICITY PIT
  - ELECTRICITY POLE
  - ELECTRICITY STAY POST
  - TELECOM POLE
  - LIGHT POLE
  - STORMWATER MANHOLE
  - GULLY TRAP
  - SW CULVERT
  - WATER METER
  - FIRE HYDRANT
  - SLUICE VALVE
  - VALVE
  - WATER TAP
  - RAIN WATER OUTLET
  - STREET SIGN
  - GAS METER
  - DISABLED ZONE
  - BOLLARD
  - POST/COLUMN
  - HILLS HOIST
  - CROWN OF ROAD
  - CHANGE OF GRADE
  - TOP OF BANKS
  - TOE OF BANKS
  - EAVE/GUTTER/RIDGE
  - BUILDING
  - GARDEN/VEGETATION
  - FENCE/GATE
  - DRAIN
  - UNKNOWN SERVICE
  - OVERHEAD ELECTRICITY
  - OVERHEAD TELECOMMS
  - TELECOMMS
  - UNDERGROUND ELECTRICITY
  - SEWERAGE
  - WATER
  - STORMWATER
  - GAS
  - 43.00 MAJOR CONTOUR INTERVAL
  - 42.25 MINOR CONTOUR INTERVAL
  - \*(A) SERVICE QUALITY LEVEL A
  - \*(B) SERVICE QUALITY LEVEL B
  - \*(C) SERVICE QUALITY LEVEL C
  - \*(D) SERVICE QUALITY LEVEL D



TOP - Top of Pipe



Note:  
Underlying image derived from Nearmap and may not reflect current site conditions.

Note:  
The position & depth of underground service lines shown over part of the site have been determined by 1300 Locate. The ground surface level spray marks of the service lines have been surveyed and presented on this plan. Client is advised to check with the service locator for any associated reports and council/service provider asset records.

Note:  
Relatively low ground levels exist on site. Site may be subject to flooding. Client should check for minimum floor level requirements with Council.

Note:  
An Identification survey is recommended to accurately determine site boundaries prior to any detailed design or construction.

Note:  
The ground levels shown hereon are surface levels at time of survey and are not necessarily natural ground levels.

Quality Level C – Surveyed invert level is assumed as alignment without any confirmation of service alignment between access points.

Quality Level D – Service lines are drafted via existing records, and are unable to be confirmed by survey data. Intended to indicate presence of service only.

**Notes**

This plan is prepared for the purpose of designing new construction on the land and should not be used for any other purpose.

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The Real Property Boundaries have not been defined by this survey and have been compiled from RP80201 & IS257549. Exact Bearings, Dimensions and Areas are subject to a Cadastral Survey. Check Title for any Easements.

Cadastral Surveyor Date: 23/06/2023

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**Associated Consultants**



**Client**

BELLA BAIA TRUST

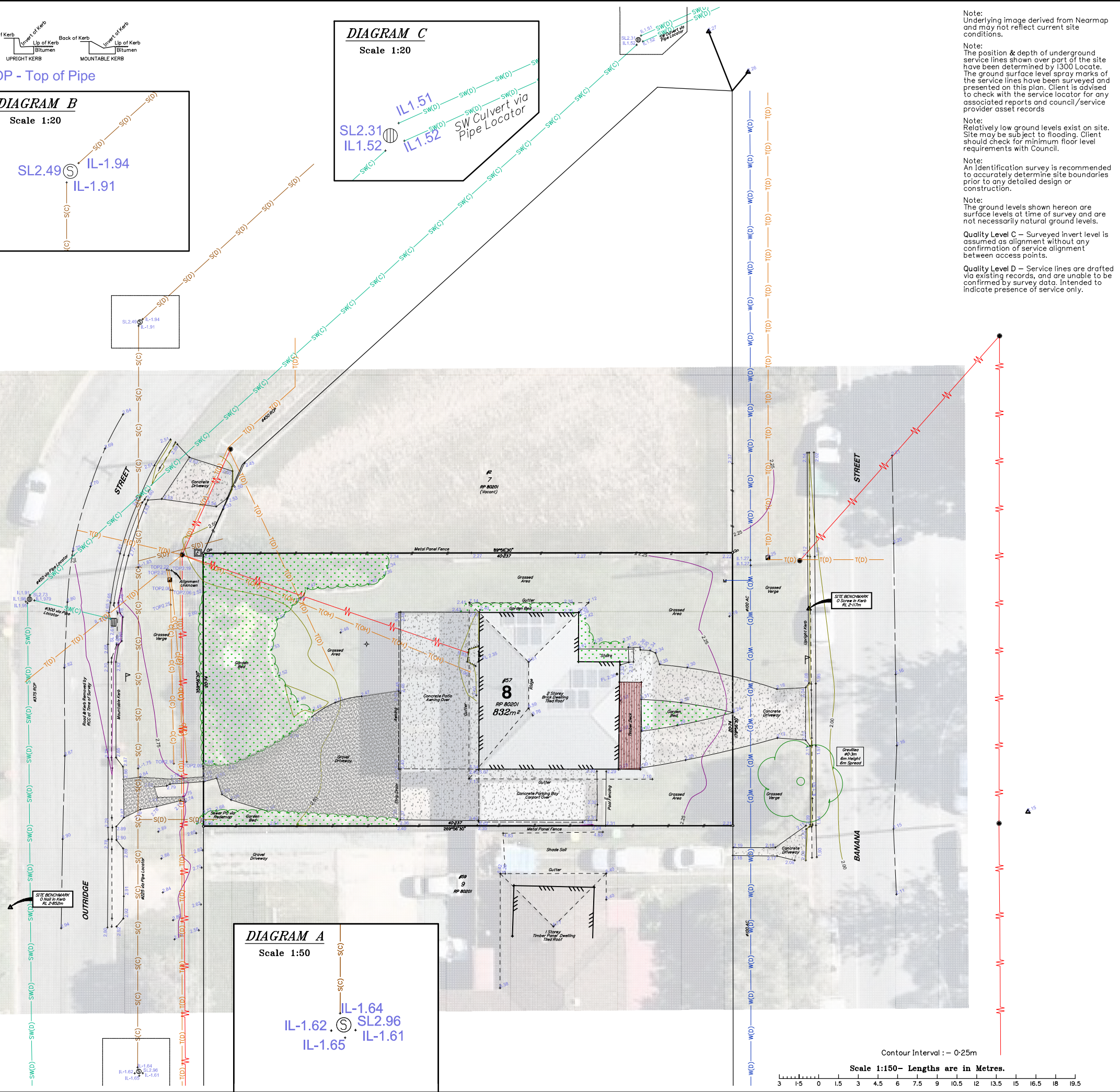
Revision Table		
Rev:	Date:	Description
A	26/04/22	Original issue of plan.
B	23/06/22	Additional Service Location Added.

**Project**  
Plan of Contour Detail Survey  
Over Lot 8 on RP80201  
57 Banana Street

REDLAND BAY  
Redland City Council

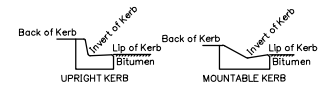
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ORIGIN	PSM no. 113437 RL 1-986m	Assumed SCALE 1:150 @ A1
Date	20/04/22	
Surveyed	ETG	Magnet Drawing Ref (.m jo):
Drawn	ETG	9744-300 ETG 20-04-2022
Checked	RRI/MS	Reduced ETG

**Statewide survey group**  
ABN 77 088 374 869  
CONSULTING SURVEYORS  
AND TOWN PLANNERS  
3/123 Link Road Victoria Point, QLD 4165  
Email: info@statewidesurvey.com.au  
Phone: 1300 362 094

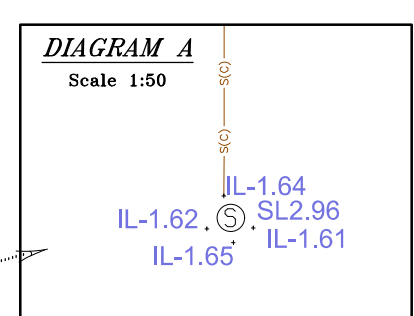
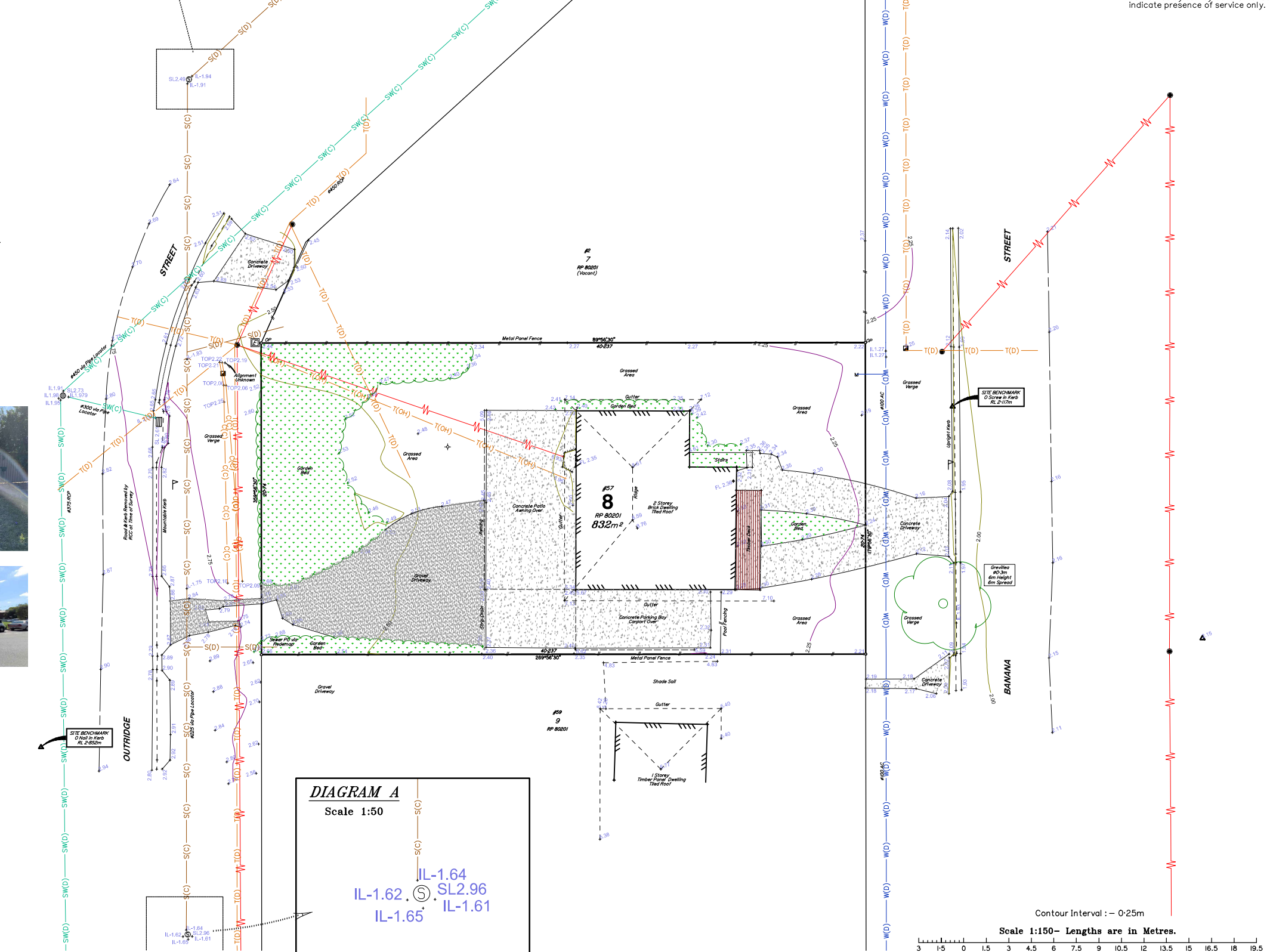
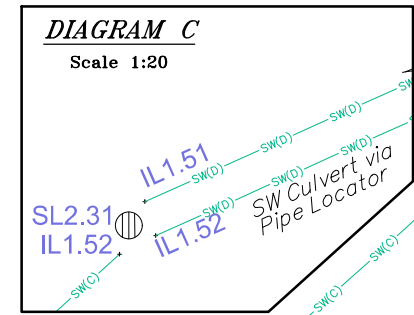
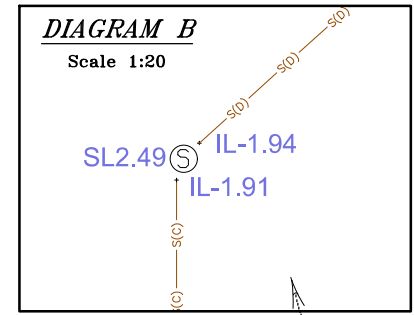




- LEGEND**
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**Client**

BELLA BAI A TRUST

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Rev:	Date:	Description
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**Project**  
Plan of Contour Detail Survey  
Over Lot 8 on RP80201  
57 Banana Street

**REDLAND BAY**  
Redland City Council

LEVEL DATUM	AHD	Co-ordinate System:
ORIGIN	PSM no. 113437 RL 1-986m	Assumed SCALE 1:150 @ A1
Date	20/04/22	
Surveyed	ETG	Magnet Drawing Ref (.m jo):
Drawn	ETG	9744-300 ETG 20-04-2022
Checked	RRI/MS	Reduced ETG

**Statewide**  
survey group  
ABN 77 088 374 869  
CONSULTING SURVEYORS  
AND TOWN PLANNERS  
3/123 Link Road Victoria Point, QLD 4165  
Email: info@statewidesurvey.com.au  
Phone: 1300 362 094



## Appendix C

### ADG Preliminary Civil Drawings



LEGEND

—12.0—	EXISTING SURFACE CONTOURS
---	SITE BOUNDARY
---	EXISTING PROPERTY BOUNDARY
---	EXISTING EASEMENT BOUNDARY
---	EXISTING NOMINAL KERB LINE / EDGE OF ROAD
---	EXISTING EDGE OF BITUMEN
---	EXISTING ROAD CENTERLINE
---	EXISTING EDGE OF BUILDING
---	EXISTING EDGE OF BUILDING EAVE
---dSWD---	EXISTING STORMWATER DRAINAGE (RECORDS)
---SWD---	STORMWATER DRAINAGE (UNDER CONSTRUCTION AS A PART OF WEINAM CREEK PDA WORKS)
---dS---	EXISTING SEWER (RECORDS)
---S---	EXISTING SEWER (SURVEY)
---S---	SEWER (UNDER CONSTRUCTION AS A PART OF WEINAM CREEK PDA WORKS)
---dW---	EXISTING WATER (RECORDS)
---W---	EXISTING WATER (SURVEY)
---W---	WATER MAIN (UNDER CONSTRUCTION AS A PART OF WEINAM CREEK PDA WORKS)
---dE---	EXISTING UNDERGROUND ELECTRICITY (RECORDS)
---OE---	EXISTING OVERHEAD ELECTRICITY
---G---	EXISTING GAS
---dG---	EXISTING GAS (RECORDS)
---OT---	EXISTING TELECOMMUNICATIONS OVERHEAD (RECORDS)
---dT---	EXISTING TELECOMMUNICATIONS (RECORDS)
---	EXISTING BATTER
---	EXISTING FENCE
---	EXISTING TREE TO BE PROTECTED AND RETAINED
---	EXISTING TREE TO BE REMOVED
---	EXISTING ROAD
---	1.5m WIDE FOOTPATH (UNDER CONSTRUCTION AS A PART OF WEINAM CREEK PDA WORKS)

NOTES:

- FOR GENERAL NOTES REFER DRG No. C01, WHICH IS TO BE REQUESTED AND VIEWED PRIOR TO COMMENCEMENT OF CONSTRUCTION IF NOT SUPPLIED.
- THE CONTRACTOR WILL MAKE THEMSELVES FULLY AWARE OF THE EXISTING FEATURES OF THIS SITE AND ENSURE ANY ADDITIONAL WORKS NOT SHOWN ON THIS PLAN ARE INCLUDED IN THE CONTRACT.
- CONTRACTOR TO LOCATE AND PROTECT ALL EXISTING SERVICES ON SITE PRIOR TO COMMENCEMENT OF WORKS.
- CONTRACTOR TO ORGANISE ALL DEMOLITION PERMITS PRIOR TO ANY DEMOLITION WORKS COMMENCING ON SITE.
- SERVICES ON NEIGHBOURS DEVELOPMENTS SHOWN AS EXISTING AS ASSUMED WILL BE CONSTRUCTED PRIOR TO COMMENCEMENT OF WORKS.
- ALL VEGETATION WITHIN THE LIMIT OF WORKS TO BE CLEARED, MULCHED AND REMOVED FROM SITE IN ACCORDANCE WITH APPROVED VEGETATION CLEARING PLAN (BY OTHERS) OR IF SCHEDULED STOCKPILE FOR USE BY LANDSCAPER. REFER VEGETATION CLEARING PERMIT FOR DETAILS.
- CONTRACTOR TO LOCATE ALL EXISTING UTILITIES ON SITE AND MAKE SUITABLE ARRANGEMENTS TO HAVE DISCONNECTED U.N.O.
- PRIOR TO THE CONTRACTOR COMMENCING ANY WORKS DETAILED ON THIS DRAWING, THE CONTRACTOR IS TO NOTIFY ADG ENGINEERS (AUST) PTY LTD AND RECEIVE WRITTEN CONFIRMATION THAT WORKS CAN COMMENCE.
- CONTRACTOR TO UNDERTAKE DILAPIDATION REPORT FOR ADJOINING PROPERTIES AND COUNCIL ROADS AND VERGES PRIOR TO COMMENCEMENT OF ANY WORKS ON SITE. FOLLOWING COMPLETION OF WORKS CONTRACTOR TO UNDERTAKE POST CONSTRUCTION DILAPIDATION REPORT FOR ADJOINING PROPERTIES AND COUNCIL ROADS AND VERGES.
- CONTRACTOR TO ALLOW TO DEMOLISH ALL EXISTING STRUCTURES, ROADS AND SERVICES WITHIN LIMIT OF WORKS AND REMOVE FROM SITE U.N.O.
- CONTRACTOR TO ALLOW FOR TEMPORARY FENCE FOR PERIMETER OF SITE FOR DURATION OF CIVIL WORKS CONTRACT.

NOTE

WEINAM CREEK PDA STAGE 3A WORKS PRESENTLY UNDERWAY AROUND THE SITE. THESE WORKS LABELED AS "UNDER CONSTRUCTION" AND ARE SHOWN BASED ON EDQ APPROVED DRAWINGS.

NOTE

DEMOLITION WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE DEMOLITION PLAN DRAWING PREPARED BY HAL ARCHITECTS. PROVISION SHALL ALSO BE MADE FOR ANY ADDITIONAL WORKS NOTED ON THIS PLAN.

NOTE

EXCEPT WHERE NOTED ON PLAN AND ASSOCIATED DESIGN DRAWINGS, ALL IN-GROUND SERVICES WITHIN THE PROPERTY BOUNDARY INCLUDING BUT NOT LIMITED TO: STORMWATER DRAINAGE, SEWERAGE, WATER, GAS, ELECTRICAL AND COMMUNICATIONS TO BE SAFELY DISCONNECTED, REMOVED FROM SITE AND CAPPED OFF AT SITE BOUNDARY. CONTRACTOR TO ARRANGE ALL NECESSARY APPLICATIONS AND PERMITS WITH THE RELEVANT AUTHORITIES. SERVICES TO BE CAPPED IN ACCORDANCE WITH RELEVANT SERVICE PROVIDER SPECIFICATIONS AND STANDARD DETAILS U.N.O.

WARNING

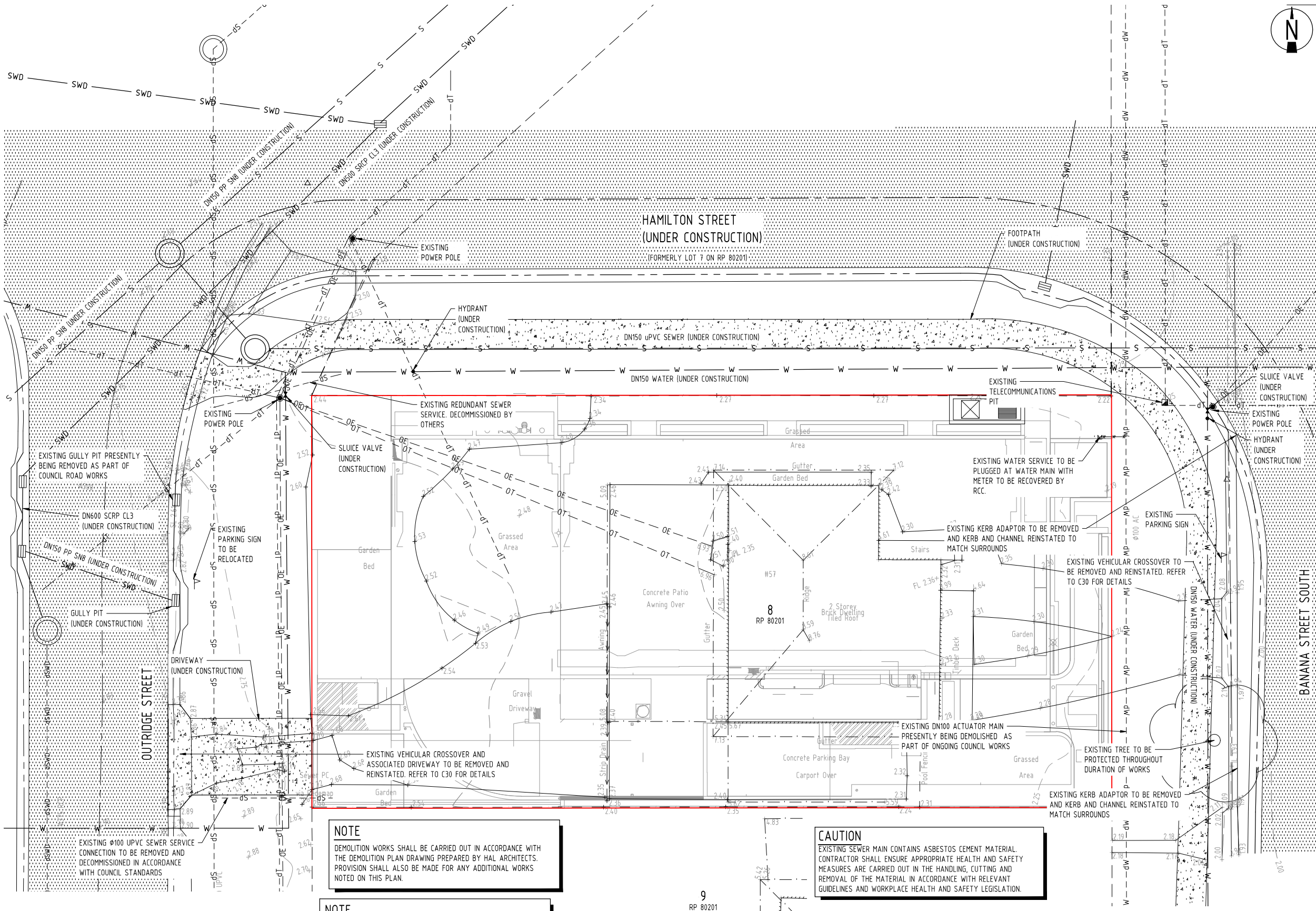
EXISTING FIBRE OPTIC, ELECTRICAL AND TELECOM CABLES MAY EXIST IN THE VICINITY OF REQUIRED WORKS. FOR ALL WORK WITHIN 2.5m OF MAJOR OPTIC CABLES, THE CONTRACTOR IS REQUIRED TO HAND DIG (POTHOLE) AND EXPOSE THE CABLE/CONDUIT. BEFORE WORK CAN COMMENCE, ON SITE LOCATION SHOULD BE SOUGHT FROM AN ACCREDITED PLANT LOCATOR.

CAUTION

EXISTING SEWER MAIN CONTAINS ASBESTOS CEMENT MATERIAL. CONTRACTOR SHALL ENSURE APPROPRIATE HEALTH AND SAFETY MEASURES ARE CARRIED OUT IN THE HANDLING, CUTTING AND REMOVAL OF THE MATERIAL IN ACCORDANCE WITH RELEVANT GUIDELINES AND WORKPLACE HEALTH AND SAFETY LEGISLATION.

CAUTION

THE LOCATION AND DEPTH OF EXISTING SERVICES AS SHOWN IS BASED ON INFORMATION OBTAINED FROM STATEWIDE SURVEY GROUP DATED 20/04/2022 AND DESIGN DRAWINGS FOR ESQ ENGINEERING SOLUTIONS WEINAM CREEK AND COUNCIL RECORDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE ACTUAL LOCATION AND DEPTH OF EXISTING SERVICES PRIOR TO CARRYING OUT ANY EXCAVATION, TRENCHING OR TUNNELING WORKS.



A	21.07.23	ISSUED FOR APPROVAL	DG	MRB	
01	10.07.23	PRELIMINARY - ISSUED FOR INFORMATION	RFB	MRB	
Rev	Date	Description		By	CHK

<b>ADO</b>	<b>RPEQ CERTIFICATION</b>
PROJECT NUMBER:	26164
PROJECT NAME:	57 BANANA STREET
DATE:	21.07.23
CERTIFIED BY:	MICHAEL LEPELAAR
RPEQ NUMBER:	11171
SIGNATURE:	



Client:  
**FORTEZZA GROUP**  
Project Name:  
**BELLA BAI**  
**57 BANANA STREET**  
**REDLAND BAY, QLD**  
**4165**

Discipline <b>CIVIL</b>	Status <b>APPROVAL</b>	Title <b>EXISTING FEATURES LAYOUT PLAN</b>
Designed By <b>MRB</b>	Checked By <b>DS</b>	Approved By <b>ML</b>
Project No. <b>26164</b>	Drawn By <b>DG</b>	Scale at A1 <b>1:100</b>
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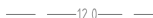
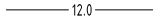
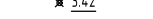









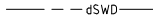
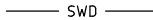
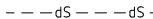

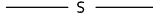
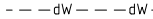
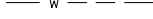
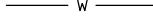
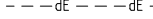







ISSUED FOR  
**APPROVAL**

Drawing No. <b>C02</b>	Revision <b>A</b>
---------------------------	----------------------



### LEGEND

	SITE BOUNDARY
	EXISTING PROPERTY BOUNDARY
	EXISTING EASEMENT BOUNDARY
	EXISTING SURFACE CONTOURS
	EARTHWORKS CONTOURS
	EXISTING SURFACE LEVEL
	FINISHED SURFACE LEVEL
	RETAINING WALL HEIGHT
	EXISTING NOMINAL KERB LINE
	EXISTING EDGE OF BITUMEN LANE
	EXISTING ROAD CENTERLINE
	EXISTING EDGE OF BUILDING
	EXISTING EDGE OF BUILDING EAVE
	PROPOSED NOMINAL KERB LINE
	GRADE CHANGE
	EXISTING STORMWATER DRAINAGE (RECORDS)
	STORMWATER DRAINAGE (UNDER CONSTRUCTION AS A PART OF WEINAM CREEK PDA WORKS)
	EXISTING SEWER (RECORDS)
	EXISTING SEWER (SURVEY)
	SEWER (UNDER CONSTRUCTION AS A PART OF WEINAM CREEK PDA WORKS)
	EXISTING WATER (RECORDS)
	EXISTING WATER (SURVEY)
	WATER MAIN (UNDER CONSTRUCTION AS A PART OF WEINAM CREEK PDA WORKS)
	EXISTING UNDERGROUND ELECTRICITY (RECORDS)
	EXISTING OVERHEAD ELECTRICITY
	EXISTING GAS
	EXISTING GAS (RECORDS)
	EXISTING TELECOMMUNICATIONS OVERHEAD (RECORDS)
	EXISTING TELECOMMUNICATIONS (RECORDS)

EXISTING BATTER  
EXISTING FENCE  
PROPOSED BATTER  
LIMIT OF WORKS

PROPOSED EARTHWORKS CUT

PROPOSED EARTHWORKS FILL

PROPOSED SHORING SYSTEM REFER  
SPECIALIST DRAWINGS FOR DETAILS

NOTE

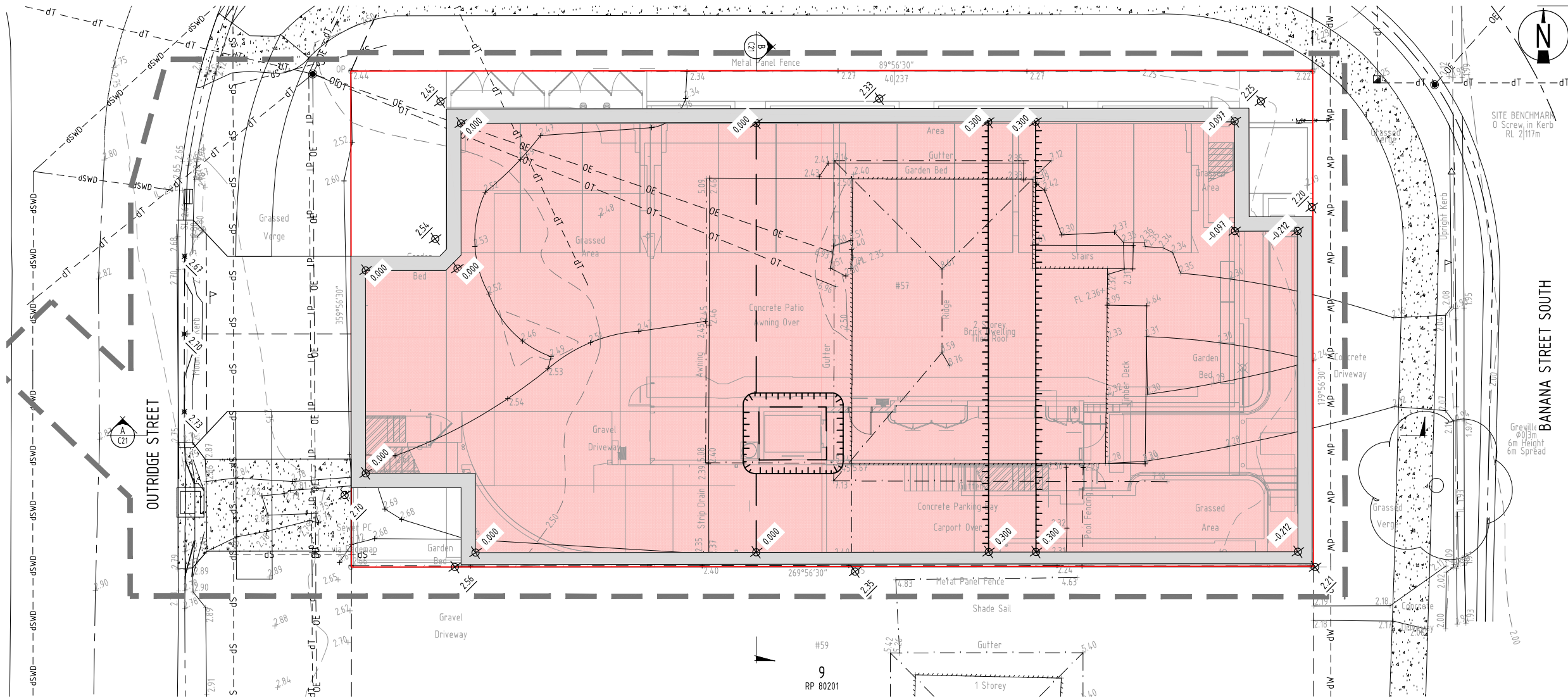
FOR SITE SECTIONS REFER DRG No. C21

## BASEMENT EXCAVATION

CUT TO SPOIL: NO STOCKPILE OF SOILS IS ALLOWED FOR.  
ALL EXCAVATION IS TO BE TAKEN OFF SITE AND DISPOSED  
IMMEDIATELY U.N.O.

NOTE

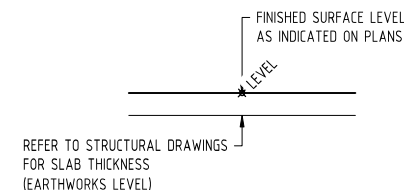
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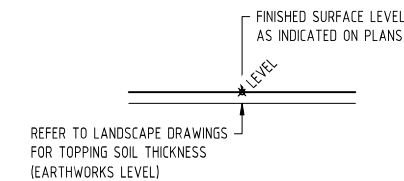
# EARTHWORKS NOTES

1. FOR GENERAL NOTES REFER DRG No. C01, WHICH IS TO BE REQUESTED AND VIEWED PRIOR TO COMMENCEMENT OF CONSTRUCTION IF NOT SUPPLIED.
2. GRASS AND TOPSOIL SHALL BE STRIPPED TO A MINIMUM DEPTH OF 100MM OVER THE EXTENT OF THE WORKS UNLESS DIRECTED OTHERWISE AND REMOVE FROM SITE.
3. CONTRACTOR TO ALLOW FOR ALL COSTS ASSOCIATED WITH ROCK EXCAVATION WITHIN CONTRACT RATES.
4. COMPACT THE EXPOSED SUBGRADE OR LOOSE TOP LEVEL MATERIAL TO A MINIMUM 98% STANDARD MAXIMUM DRY DENSITY TO AS1289 5.1.1. ANY 'SOFT SPOTS' IDENTIFIED BY THE PROOF ROLLING SHALL BE REMOVED AND REPLACED WITH A COMPACTED IMPORTED GENERAL FILL MATERIAL TO THE ABOVE COMPACTION REQUIREMENTS.
5. IMPORTED GENERAL FILL MATERIAL SHALL BE SUPPLIED AND COMPACTED WHERE NECESSARY TO OBTAIN SUBGRADE / PLATFORM LEVEL. IMPORTED GENERAL FILL MATERIAL SHALL BE CLEAN GRADED MATERIAL FREE OF ORGANIC MATTER AND STONES GREATER THAN 150mm AND CAPABLE OF BEING COMPACTION INTO COHERENT FILLING TO THE SPECIFIED STANDARD. THE MATERIAL SHALL HAVE A LINEAR SHRINKAGE NOT GREATER THAN 15% AND A MINIMUM C.B.R. OF 10%.
6. ANY PROPOSED RETAINING WALL WORKS MUST BE WHOLLY WITHIN THE PROPERTY BOUNDARY OF THE SUBJECT SITE, INCLUDING REAR OF RETAINING WALL DRAINAGE INFRASTRUCTURE FOR RETAINING WALLS IN CUT.
7. REFER ARCHITECT / LANDSCAPE ARCHITECT DRAWINGS FOR CONFIRMATION OF RETAINING WALL COLOUR AND FINISH.
8. ALL RETAINING WALL STRUCTURAL DESIGN AND CONSTRUCTION CERTIFICATION BY MANUFACTURER / INSTALLER.
9. ALL EARTHWORKS OPERATIONS SHALL BE CARRIED OUT WITH 'LEVEL 1' SOIL ENGINEERING SUPERVISION IN ACCORDANCE WITH APPENDIX B OF AS 3798. THE NOMINATED GEOTECHNICAL TESTING AUTHORITY SHALL PROVIDE CERTIFICATION THAT ALL GENERAL EARTHWORKS OPERATIONS HAVE BEEN CARRIED OUT IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS AND THE CONTROLLED FILL IS SUITABLE FOR PURPOSE WITH A MINIMUM 150KPA BEARING CAPACITY UNDER THE PLATFORM/STRUCTURES.
10. ALL EARTHWORKS FILL AND EXCAVATED AREAS SHALL BE COMPACTED TO 98% STANDARD MAXIMUM DRY DENSITY (AS 1289 5.1.1) IN LAYERS NOT EXCEEDING 150MM COMPACTED THICKNESS.
11. THE NOMINATED GEOTECHNICAL TESTING AUTHORITY SHALL PROVIDE CERTIFICATION THAT ALL GENERAL EARTHWORKS OPERATIONS HAVE BEEN CARRIED OUT IN ACCORDANCE WITH THE DRAWINGS.
12. CONTRACTOR TO UNDERTAKE ALL EARTHWORKS TESTING TO COMPLY WITH THE PROJECT SPECIFICATION AND LOCAL AUTHORITY REQUIREMENTS.

13. FINISHED SURFACE TO ALL DISTURBED AREAS ARE TO BE TREATED IN ACCORDANCE WITH LANDSCAPE DRAWINGS.
14. ALL EARTHWORKS TO BE CARRIED OUT AT +/- 2% OPTIMUM MOISTURE CONTENT.
15. ALL NEW WORKS TO MATCH NEATLY INTO EXISTING
16. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH APPROVED MANAGEMENT PLANS.
17. CONTRACTOR TO ENSURE SUITABLE EROSION CONTROL MEASURES ARE INSTALLED INCLUDING BUT NOT LIMITED TO SHAKE DOWNS, SILT FENCE ETC.
18. ADEQUATE SAFETY FENCING/BARRIERS TO BE APPLIED TO ALL BATTERS OR RETAINING WALLS (TEMPORARY OR PERMANENT) AS PER RELEVANT AUSTRALIAN STANDARDS AND LEGISLATION.
19. DUST CONTROL MEASURES ARE TO INCLUDE SPRAYING WATER ON UNPAVED ROADS, ACCESS TRACKS AND STOCKPILES AT A SUFFICIENT LEVEL TO SUPPRESS DUST GENERATION. ADDITIONALLY CONTRACTORS ARE TO COVER OR ENCLOSE STOCKPILES WHERE REASONABLY PRACTICAL TO RESTRICT DUST MOVEMENT.
20. PRIOR TO THE CONTRACTOR COMMENCING ANY WORKS DETAILED ON THIS DRAWING, THE CONTRACTOR IS TO NOTIFY ADG ENGINEERS (AUST) PTY LTD AND RECEIVE WRITTEN CONFIRMATION THAT WORKS CAN COMMENCE
21. ALL BATTERS TO BE KEYED/STEPPED INTO EXISTING MATERIAL AS DIRECTED BY GEOTECHNICAL ENGINEER. CONTRACTOR TO ALLOW FOR ALL KEYING/STEPPING AS REQUIRED.
22. ALL TEMPORARY AND FINAL BATTER SLOPES ARE TO BE INSPECTED AND APPROVED BY GEOTECHNICAL ENGINEER. CERTIFICATION OF LONG TERM STABILITY TO BE PROVIDED BY GEOTECHNICAL ENGINEER PRIOR TO PRACTICAL COMPLETION.
23. CONTRACTOR SHALL ENGAGE A SUITABLY QUALIFIED GEOTECHNICAL ENGINEER TO CONFIRM CONSTRUCTED EARTHWORKS BATTERS AND RETAINING STRUCTURES ACHIEVE ADEQUATE STABILITY, WITH APPROPRIATE FACTOR OF SAFETY COMPLYING WITH RELEVANT STANDARDS AND COUNCIL REQUIREMENTS.
24. EARTHWORKS LEVELS SHOWN ARE FINISHED SURFACE LEVELS INCLUSIVE OF TOPSOIL LAYER, CARPARK LEVELS ETC. REFER STRUCTURAL ENGINEERING DRAWINGS FOR BUILDING SLAB THICKNESSES AND HYDRAULIC DRAWINGS FOR SUB-FLOOR DRAINAGE FOR DETERMINATION OF REQUIRED BULK EARTHWORKS SURFACE.
25. FOR DETAILED GEOTECHNICAL INFORMATION, REFER GEOTECHNICAL INVESTIGATION REPORT BY PACIFIC GEOTECH DATED OCTOBER 2022. IT IS RECOMMENDED THAT THE GEOTECHNICAL CONSULTANT BE CONTACTED TO CONFIRM THE SOIL CONDITIONS PRIOR TO EARTHWORKS COMMENCING.
26. ACID SULPHATE SOILS TO BE TREATED IN ACCORDANCE WITH REQUIREMENTS IDENTIFIED IN THE ACID SULPHATE MANAGEMENT PLAN IF REQUIRED.
27. REFER ARCHITECTURAL DRAWINGS FOR BUILDING SETOUT.





TYPICAL STRUCTURAL SLAB SETOUT  
SCALE 1:50

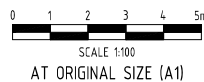


TYPICAL LANDSCAPE EARTHWORKS SETOUT  
SCALE 1:50

ISSUED FOR  
APPROVAL

A	21.07.23	ISSUED FOR APPROVAL		DG	MRB
01	10.07.23	PRELIMINARY - ISSUED FOR INFORMATION		RBF	MRB
Rev	Date	Description		By	Chk

 <b>RPEQ CERTIFICATION</b>	
PROJECT NUMBER:	26164
PROJECT NAME:	57 BANANA STREET
DATE:	21.07.23
CERTIFIED BY:	MICHAEL LEPELAAR
RPEQ NUMBER:	1171
SIGNATURE:	

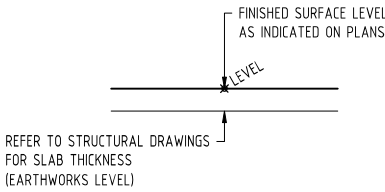


Client <b>FORTEZZA GROUP</b>	Discipline <b>CIVIL</b>		Status <b>APPROVAL</b>	Title <b>EARTHWORKS LAYOUT PLAN</b>
Project Name <b>BELLA BAJA 57 BANANA STREET REDLAND BAY, QLD 4165</b>	Designed By <b>MRB</b>	Checked By <b>DS</b>	Approved By <b>ML</b>	
	Project No. <b>26164</b>	Drawn By <b>DG</b>	Scale at A1 <b>1:100</b>	
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				Revision <b>A</b>

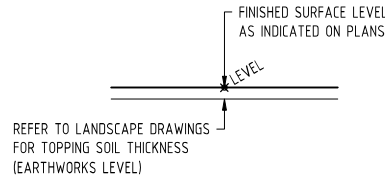
PLOT DATE: 7/21/2023 4:07 PM      FILENAME: J:\26000\26164\CVL\DWG\OPW\26164 C20 EARTHWORKS LAYOUT PLAN.DWG

FULL SIZE ON ORIGINAL 0 10 20 30 40 50 60 70 80 90 100mm





TYPICAL STRUCTURAL SLAB SETOUT  
SCALE 1:50



TYPICAL LANDSCAPE EARTHWORKS SETOUT  
SCALE 1:50

OUTRIDGE STREET  
(FORMERLY LOT 7  
ON RP80201)

INDICATIVE LOCATION OF DN150 WATER  
SERVICE (UNDER CONSTRUCTION)

INDICATIVE LOCATION OF DN150 uPVC  
SEWER MAIN (UNDER CONSTRUCTION)

PROPOSED SHORING SYSTEM.  
REFER SPECIALIST ENGINEERS  
DRAWINGS FOR DETAILS.

REFER STRUCTURAL DRAWINGS  
FOR SLAB THICKNESS TO  
DETERMINE FINAL  
EARTHWORKS SURFACE

EXISTING SURFACE

FINISHED SURFACE

EXISTING R.P. BODY

9  
RP80201

PROPOSED SHORING SYSTEM.  
REFER SPECIALIST ENGINEERS  
DRAWINGS FOR DETAILS.

DEPTH OF LIFT PIT IN ACCORDANCE  
WITH MANUFACTURERS  
REQUIREMENTS

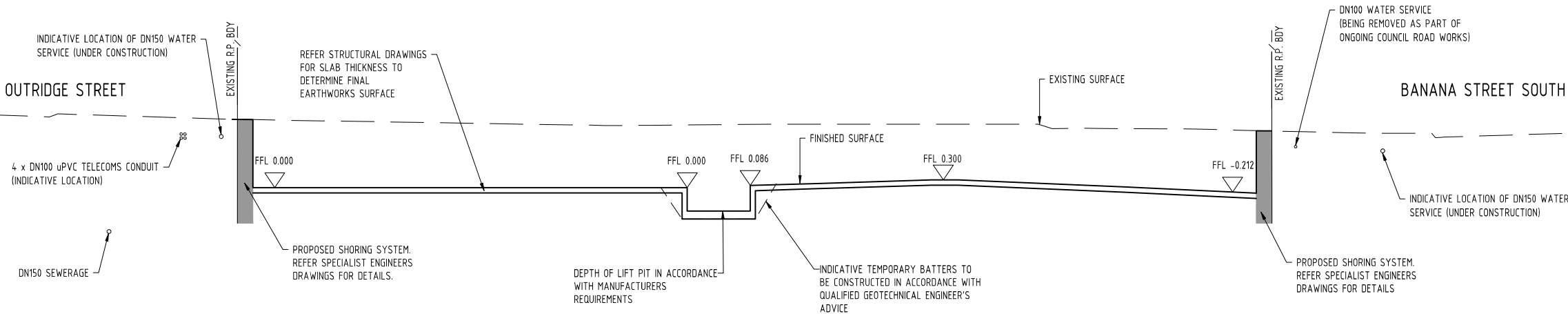
INDICATIVE TEMPORARY BATTERS  
TO BE CONSTRUCTED IN  
ACCORDANCE WITH QUALIFIED  
GEOTECHNICAL ENGINEER'S ADVICE

SECTION  
SCALE 1:100

B  
C20

NOTE

REFER ARCHITECTS DRAWINGS FOR FINAL  
BASEMENT LEVELS AND GRADING.



SECTION  
SCALE 1:100

A  
C20

NOTE

WEINAM CREEK PDA STAGE 3A WORKS PRESENTLY UNDERWAY AROUND  
THE SITE. THESE WORKS LABLED AS "UNDER CONSTRUCTION" AND ARE  
SHOWN BASED ON EDQ APPROVED DRAWINGS.

ISSUED FOR  
APPROVAL

Rev	Date	Description	By	CHK
A	21.07.23	ISSUED FOR APPROVAL	DG	MRB
01	10.07.23	PRELIMINARY - ISSUED FOR INFORMATION	RBF	MRB

ADO RPEQ CERTIFICATION	
PROJECT NUMBER:	26164
PROJECT NAME:	57 BANANA STREET
DATE:	21.07.23
CERTIFIED BY:	MICHAEL LEPELAAR
RPEQ NUMBER:	11171
SIGNATURE:	

0 1 2 3 4 5m  
SCALE 1:100  
AT ORIGINAL SIZE (A1)



Client: FORTEZZA GROUP	Discipline: CIVIL	Status: APPROVAL	Title: EARTHWORKS SITE SECTIONS
Project Name: BELLA BAI 57 BANANA STREET REDLAND BAY, QLD 4165	Designed By: MRB Checked By: DS Project No.: 26164 Drawn By: DG	Approved By: ML Scale at A1: 1:100	Drawing No.: C21 Revision: A
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ROADWORKS AND DRAINAGE NOTES

- FOR GENERAL NOTES REFER DRG No. C01, WHICH IS TO BE REQUESTED AND VIEWED PRIOR TO COMMENCEMENT OF CONSTRUCTION IF NOT SUPPLIED.
- REFER HYDRAULIC DRAWINGS FOR BASEMENT, ROOF AND UPPER LEVEL TERRACES DRAINAGE.
- ALL ROADWORKS AND DRAINAGE (EXTERNAL TO SITE BOUNDARIES AND/OR COUNCIL OWNED DRAINAGE PIPES INTERNAL TO THE SITE BOUNDARIES) CONSTRUCTION AND TESTING TO BE IN ACCORDANCE WITH REDLAND CITY COUNCIL DEVELOPMENT GUIDELINES, DRAWINGS AND SPECIFICATIONS.
- ALL DRAINAGE CONSTRUCTION (PRIVATELY OWNED DRAINAGE LINES INTERNAL TO THE SITE BOUNDARIES) CONSTRUCTED AND TESTED TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.
- ALL STORMWATER DRAINAGE PIPES EXTERNAL TO SITE SHALL BE:  
a) 300 DIA AND GREATER POLYPROPYLENE CLASS SN8, RUBBER RING JOINTED
- ALL STORMWATER PIPES ARE TO BE MANUFACTURED TO RELEVANT AUSTRALIAN STANDARDS INCLUDING BUT NOT LIMITED TO AS4058 AND AS1992.
- STORMWATER DRAINAGE AND STRUCTURES HAVE BEEN DESIGNED FOR OPERATIONAL LOADS ONLY. CONTRACTOR TO CONSIDER CONSTRUCTION LOADINGS AND ENSURE NO EXCESSIVE LOADS ARE PLACED ON STORMWATER DRAINAGE OR STRUCTURES.
- ALL PRECAST END STRUCTURES TO BE CONSTRUCTED WITH REINFORCED CONCRETE END WALL.
- CONTRACTOR TO CONFIRM LOCATION AND LEVEL OF EXISTING STORMWATER DRAINAGE WHERE CONNECTING ON TO EXISTING.
- CONTRACTOR TO NOTIFY THE SUPERINTENDENT OF ANY UNSUITABLE FOUNDING MATERIAL WITHIN DRAINAGE TRENCH OR STORMWATER STRUCTURES AND AWAIT DIRECTION PRIOR TO LAYING OF PIPES.
- TRENCH BACKFILL UNDER PAVEMENT TO BE COMPACTED TO 100% STANDARD DRY DENSITY (AS1289 5.1.1) IN LAYERS NOT EXCEEDING 150mm OF CBR 15 MATERIAL OR APPROVED EQUIVALENT. TRENCH BACKFILL IN ROADS TO BE MINIMUM CBR15 MATERIAL UP TO ROAD SUBGRADE LEVEL.
- ALL STORMWATER GRATES/LIDS WITHIN TRAFFICABLE AREAS TO BE CLASS "D" IN ACCORDANCE WITH AS3996.
- ALL GRATES AND LIDS SHALL SIT FLAT WITH ITS SURROUND AND NOT BE LOOSE OR MOVE UNDER WHEEL LOADS.
- ALL STORMWATER STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH PROJECT SPECIFICATION, AND LOCAL AUTHORITY GUIDELINES AND SPECIFICATIONS. WHERE STRUCTURES EXCEED MAXIMUM DEPTH AS IDENTIFIED WITHIN STANDARD DRAWINGS THE CONTRACTOR WILL ENSURE AN ADEQUATE STRUCTURAL DESIGN IS UNDERTAKEN FOR THE SUBJECT STRUCTURE TO BE CONSTRUCTED TO.
- CONTRACTOR TO ENSURE ALL MANHOLE STRUCTURES COMPLY WITH THE MAXIMUM DEPTH SPECIFIED IN THE PROJECT SPECIFICATION OR LOCAL AUTHORITY FROM FINISHED SURFACE LEVEL TO UNDERSIDE OF ROOF SLAB. ANY NON CONFORMANCE IS TO BE RECTIFIED AT THE CONTRACTORS EXPENSE.
- ALL FOOTPATHS TO BE CONSTRUCTED IN ACCORDANCE WITH ARCHITECTURAL/LANDSCAPING DRAWINGS AND RELEVANT AUTHORITY STANDARD DRAWINGS AND SPECIFICATIONS (INCLUDING MINIMUM SL72 MESH PLACED CENTRALLY, MINIMUM 50mm COVER). FOOTPATHS TO BE CONSTRUCTED WITH MAXIMUM 2% CROSSFALL. SHOULD CONSTRUCTED FOOTPATHS EXCEED 25% CROSSFALL, THE CONTRACTOR WILL BE REQUIRED TO RECTIFY BY REMOVING AND REPLACING AT THEIR COST.
- WHERE A STORMWATER DRAINAGE TRENCH HAS BEEN CONSTRUCTED LONGITUDINALLY IN THE ROAD, THEN THE FINAL PAVEMENT SURFACE REPAIR WIDTH IS TO MATCH THE EXISTING LANE WIDTH AND TERMINATE 50mm CLEAR OF THE ROAD CENTERLINE OR LANE LINE LINEMARKING TO ALLOW FOR THE BITUMEN EMULSION JOINT SEAL. REINSTATEMENT OF SURFACE ADJACENT TO THE KERB OR ROAD PAVEMENT EDGE TO EXTEND FULLY TO THE KERB LINE OR EDGE OF PAVEMENT.
- THE CONTRACTOR IS TO CONFIRM THE LOCATION OF SERVICE CONDUITS WITH THE SUPERINTENDENT PRIOR TO LAYING STORMWATER DRAINAGE. ALL TRENCH EXCAVATION AND CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE QUEENSLAND WORKPLACE HEALTH AND SAFETY ACT 2011.
- REMOVE ANY REDUNDANT DRAINAGE OUTLETS FROM THE KERB AND CHANNEL INCLUDING ANY ASSOCIATED PIPEWORK ACROSS THE FOOTWAY AND REINSTATE THE KERB AND CHANNEL AND THE FOOTWAY AREA IN ACCORDANCE WITH COUNCIL GUIDELINES.
- ALL STORMWATER PITS TO BE LINEMARKED "FLOWS TO CREEK".
- CONTRACTOR TO UNDERTAKE ROADWORKS TESTING IN ACCORDANCE WITH RCC GUIDELINES, DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR TO UNDERTAKE AND PROVIDE CCTV OF ALL STORMWATER LINES AT ON MAINTENANCE AND OFF MAINTENANCE. SHOULD THE CCTV IDENTIFY DAMAGE OR CRACKING WITHIN THE STORMWATER PIPES, THE CONTRACTOR WILL RECTIFY THE DAMAGE WITHIN THE PIPES BY MEANS DIRECTED BY THE SUPERINTENDENT WHICH MAY INCLUDE BUT NOT BE LIMITED TO PIPE RELINING OR PIPE REPLACEMENT.

LEGEND

12.0	FINISHED SURFACE CONTOURS
	SITE BOUNDARY
	EXISTING PROPERTY BOUNDARY
	EXISTING NOMINAL KERB LINE
	EXISTING EDGE OF BITUMEN
	EXISTING ROAD CENTERLINE
	EXISTING EDGE OF BUILDING
	EXISTING EDGE OF BUILDING EAVE
dsWD	EXISTING STORMWATER DRAINAGE (RECORDS)
ds	EXISTING SEWER (RECORDS)
dW	EXISTING WATER (RECORDS)
dE	EXISTING UNDERGROUND ELECTRICITY (RECORDS)
OE	EXISTING OVERHEAD ELECTRICITY
OT	EXISTING TELECOMMUNICATIONS OVERHEAD (RECORDS)
*****	SERVICE TO BE REMOVED
dt	EXISTING TELECOMMUNICATIONS (RECORDS)
	EXISTING BATTER
	EXISTING FENCE

	LIMIT OF WORKS
SWD	STORMWATER DRAINAGE (UNDER CONSTRUCTION)
SWD	PROPOSED STORMWATER DRAINAGE
RWD	PROPOSED ROOFWATER DRAINAGE
S	SEWER (UNDER CONSTRUCTION)
S	PROPOSED SEWER CONNECTION
W	WATER MAIN (UNDER CONSTRUCTION)
W	PROPOSED WATER MAIN
B1	PROPOSED TYPE 'B1' KERB AND CHANNEL IN ACCORDANCE WITH STD DRG IPWEA-RS-080
M1	PROPOSED TYPE 'M1' CONCRETE INVERT IN ACCORDANCE WITH STD DRG IPWEA-RS-080
	EXISTING ROAD
	PROPOSED 15m WIDE FOOTPATH IN ACCORDANCE WITH RCC STD DRGS. R-RCC-4 & R-RCC-5
	PROPOSED DRIVEWAY CROSSOVER, LEVELS/GRADES IN ACCORDANCE WITH TYPE 'PLAN - WIDE FOOTPATHS' FROM RCC STD DRG. R-RCC-2. LAYOUT IN ACCORDANCE WITH TYPE 'GENERAL WIDE' FROM IPWEA STD DRG RS-051
	PROPOSED SHORING SYSTEM REFER SPECIALIST DRAWINGS FOR DETAILS
	PROPOSED BATTER

	PROPOSED EASEMENTS
	DRAINAGE STRUCTURE LABEL
	PROPOSED STREET NAME SIGN
	EXISTING ROAD
	PROPOSED 15m WIDE FOOTPATH IN ACCORDANCE WITH RCC STD DRGS. R-RCC-4 & R-RCC-5
	PROPOSED ROAD PAVEMENT
	PROPOSED DRIVEWAY HARDSTAND
	PROPOSED TYPE 'PLAN - WIDE FOOTPATHS' DRIVEWAY CROSSOVER IN ACCORDANCE WITH RCC STD DRG. R-RCC-2.
	PROPOSED SLEEPER RETAINING WALL
	PROPOSED BATTER
	PROPOSED EASEMENTS
	ROADWORKS CHAINAGE
	SWALE CHAINAGE
	PROPOSED ROAD PAVEMENT REINSTATEMENT

NOTE

WEINAM CREEK POA STAGE 3A WORKS PRESENTLY UNDERWAY AROUND THE SITE. THESE WORKS LABELED AS "UNDER CONSTRUCTION" AND ARE SHOWN BASED ON EDQ APPROVED DRAWINGS.

ISSUED FOR  
APPROVAL

A	21.07.23	ISSUED FOR APPROVAL	DG	MRB	
01	10.07.23	PRELIMINARY - ISSUED FOR INFORMATION	RFB	MRB	
Rev	Date	Description		By	CHK

<b>ADO RPEQ CERTIFICATION</b>
PROJECT NUMBER: 26164
PROJECT NAME: 57 BANANA STREET
DATE: 21.07.23
CERTIFIED BY: MICHAEL LEPELAAR
RPEQ NUMBER: 11171
SIGNATURE:



Client:  
FORTEZZA GROUP

Project Name:  
BELLA BAI  
57 BANANA STREET  
REDLAND BAY, QLD  
4165

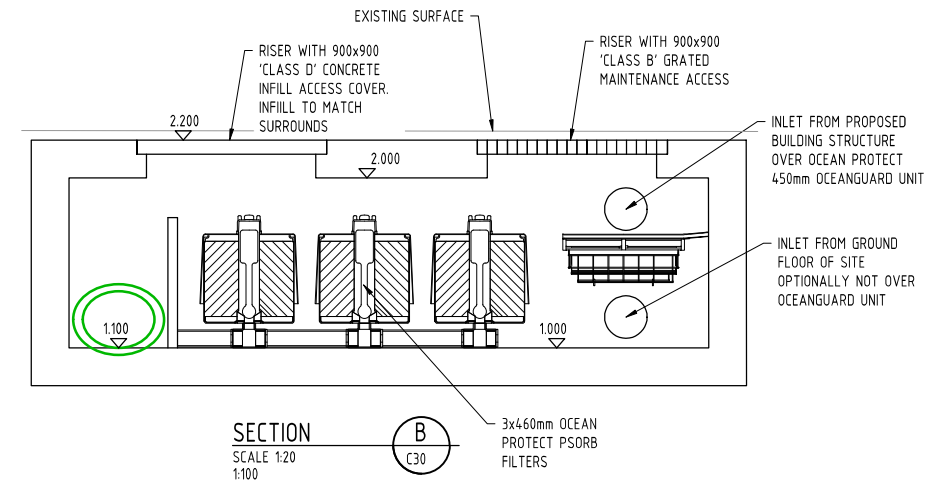
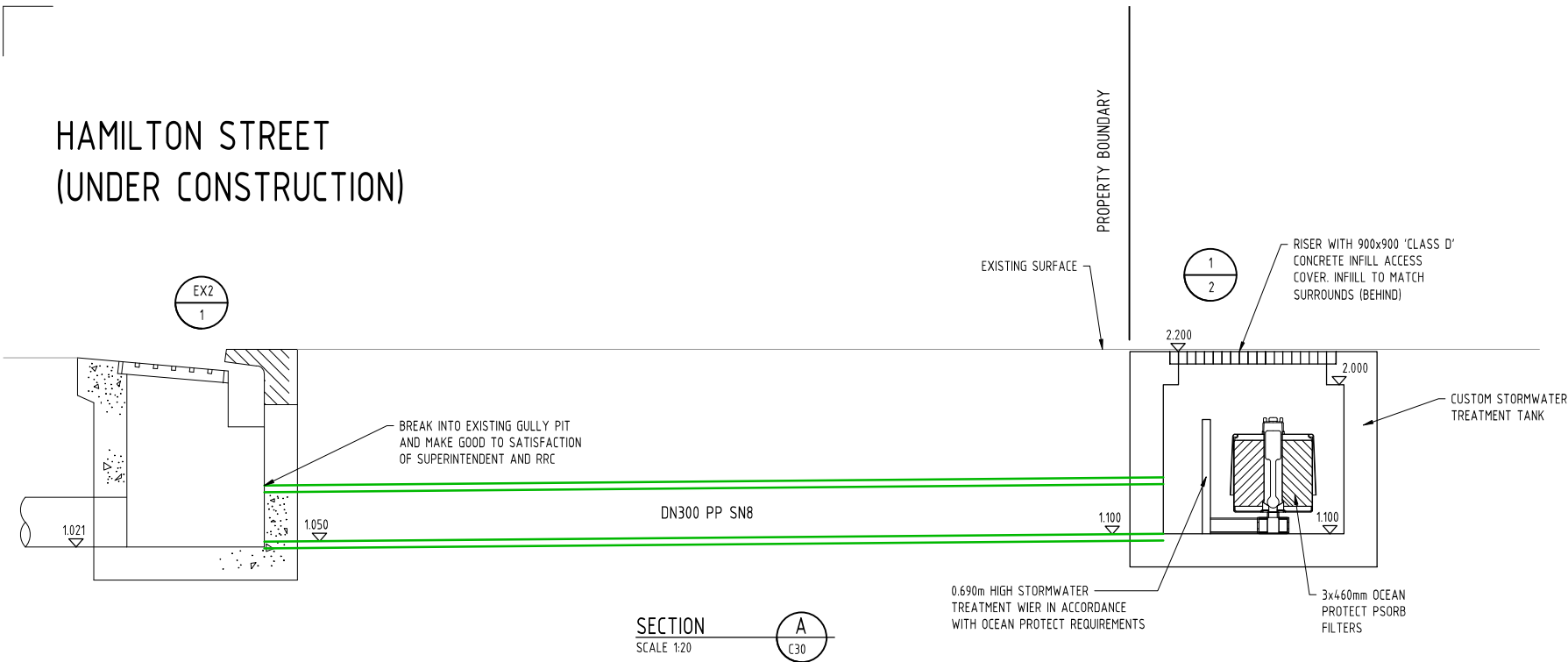
Discipline CIVIL	Checked By DS	Status APPROVAL
Designed By MRB	Drawn By DG	Approved By ML
Project No. 26164		Scale at A1 1:100

Title  
ROADWORK AND DRAINAGE  
LAYOUT PLAN

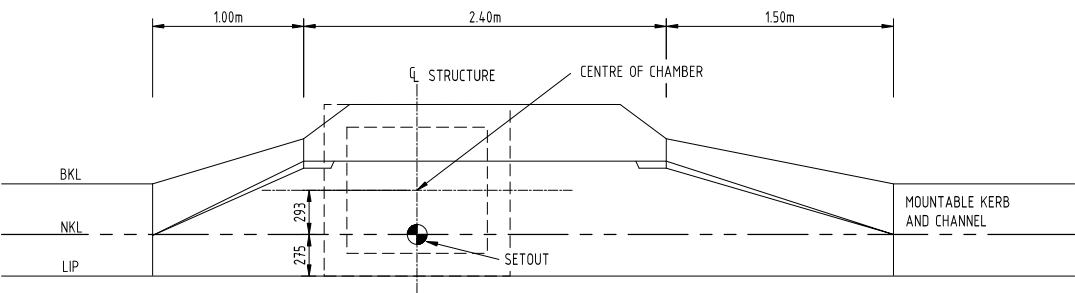
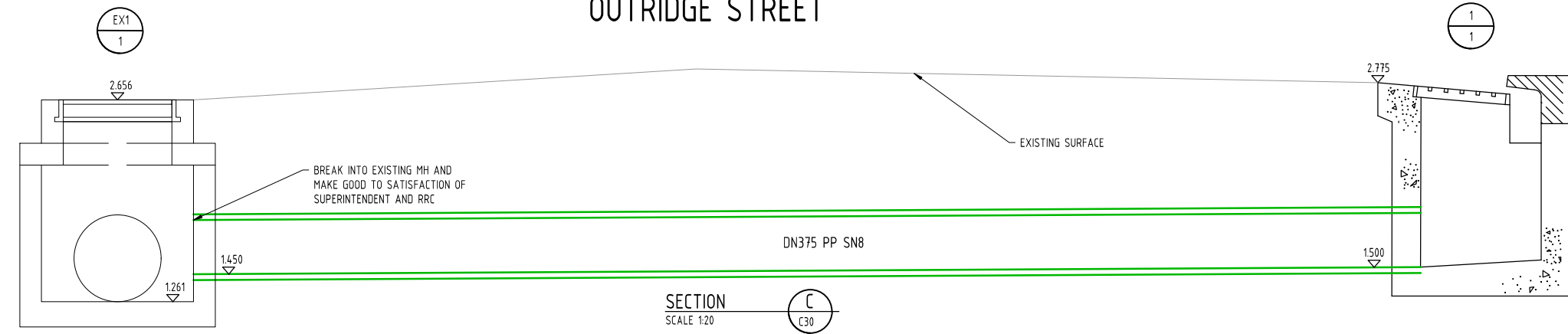
Drawing No. C30	Revision A
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HAMILTON STREET  
(UNDER CONSTRUCTION)

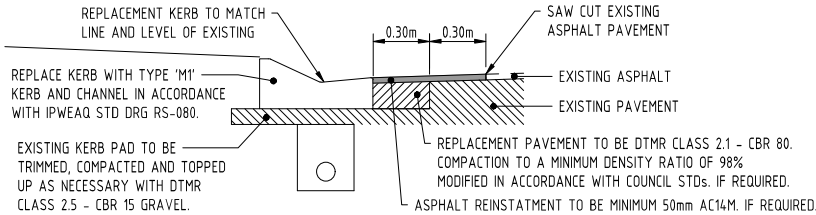


OUTRIDGE STREET



STD IPWEA GULLY PIT 1/1 SETOUT DETAILS (LIL - ON-GRADE PIT - M1 KERB)

SCALE 1:25 @ A1  
NOTE: DIMENSIONS IN MILLIMETRES



TYPICAL KERB REPLACEMENT DETAIL

SCALE 1:20

ISSUED FOR  
APPROVAL

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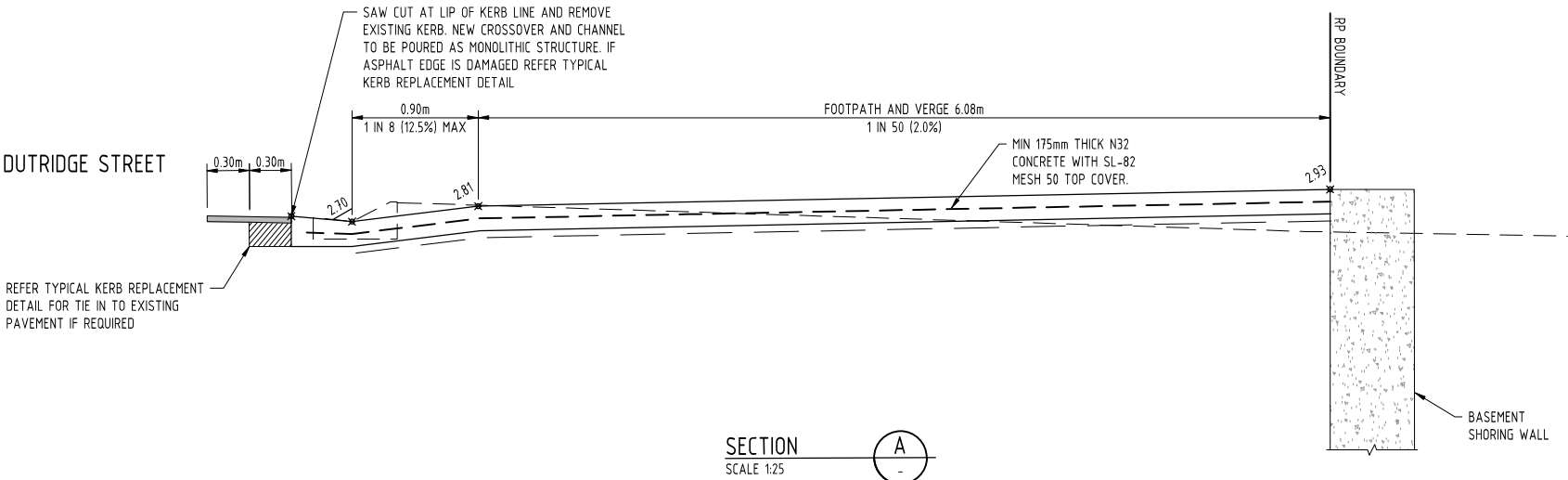
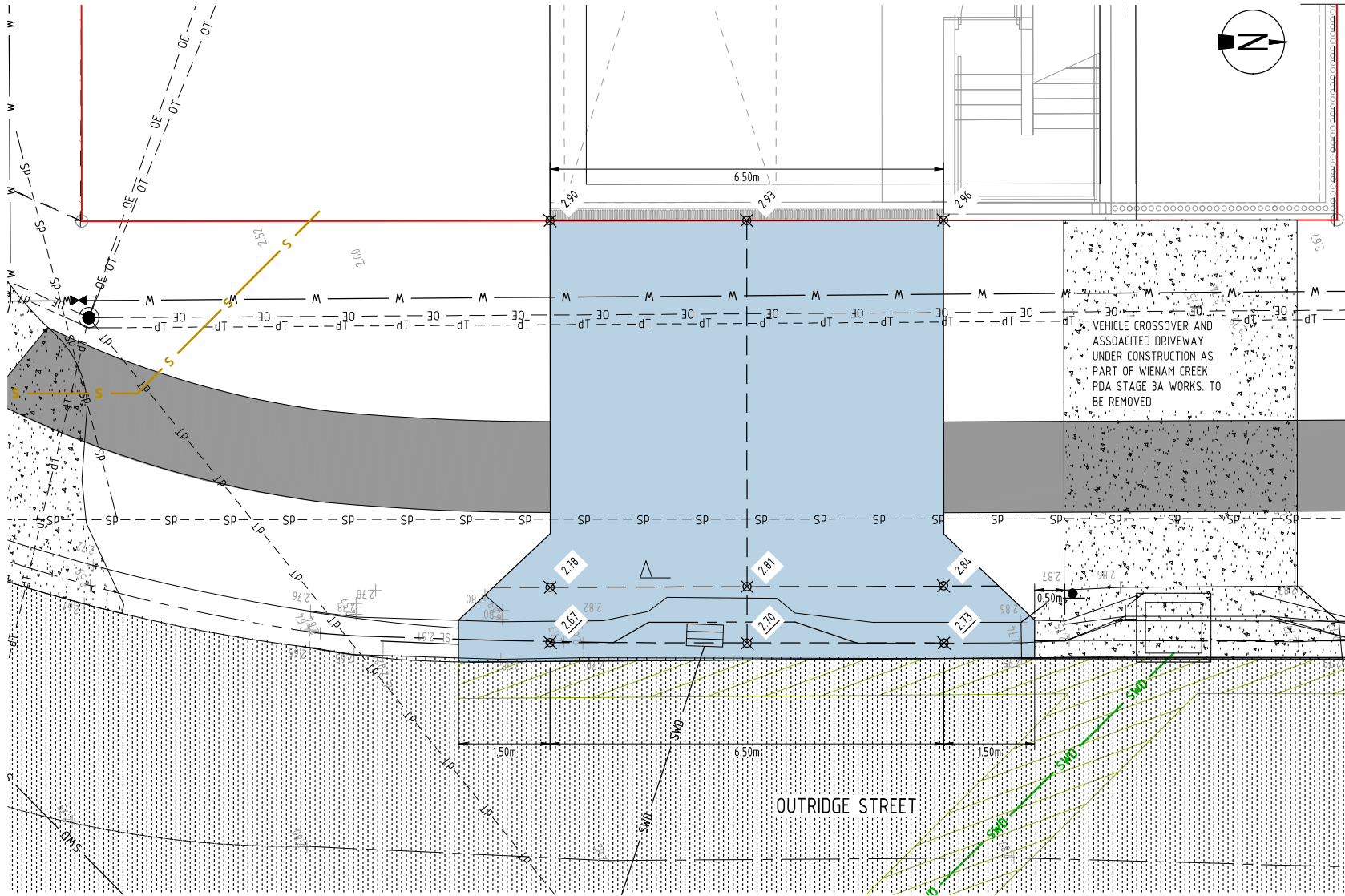


LEGEND

	SITE BOUNDARY
	EXISTING PROPERTY BOUNDARY
	EXISTING EASEMENT BOUNDARY
	FINISHED SURFACE CONTOURS
	EXISTING SURFACE LEVEL
	FINISHED SURFACE LEVEL
	EXISTING NOMINAL KERB LINE
	EXISTING EDGE OF BITUMEN
	EXISTING ROAD CENTERLINE
	EXISTING EDGE OF BUILDING
	EXISTING EDGE OF BUILDING EAVE
	EXISTING STORMWATER DRAINAGE
	EXISTING STORMWATER DRAINAGE (RECORDS)
	EXISTING SEWER
	EXISTING SEWER (RECORDS)
	EXISTING SEWER RISING MAIN
	EXISTING SEWER RISING MAIN DBYD
	EXISTING WATER
	EXISTING WATER (RECORDS)
	EXISTING UNDERGROUND ELECTRICITY
	EXISTING UNDERGROUND ELECTRICITY (RECORDS)
	EXISTING OVERHEAD ELECTRICITY
	EXISTING GAS
	EXISTING GAS (RECORDS)
	EXISTING NBN
	EXISTING NBN (RECORDS)
	EXISTING TELECOMMUNICATIONS
	EXISTING TELECOMMUNICATIONS (RECORDS)
	EXISTING FIBER OPTIC (RECORDS)
	EXISTING COMMUNICATIONS
	ABANDONED SERVICE
	EXISTING BATTER
	EXISTING FENCE
	LIMIT OF WORKS
	STORMWATER DRAINAGE (UNDER CONSTRUCTION)
	PROPOSED STORMWATER DRAINAGE
	PROPOSED ROOFWATER DRAINAGE
	SEWER (UNDER CONSTRUCTION)
	PROPOSED SEWER
	WATER MAIN (UNDER CONSTRUCTION)
	PROPOSED WATER MAIN
	PROPOSED TYPE 'B1' KERB AND CHANNEL IN ACCORDANCE WITH STD DRG IPWEA-RS-080
	PROPOSED TYPE 'M1' CONCRETE INVERT IN ACCORDANCE WITH STD DRG IPWEA-RS-080
	PROPOSED ROAD CENTRE LINE
	DRAINAGE STRUCTURE LABEL
	PROPOSED STREET NAME SIGN
	EXISTING ROAD
	PROPOSED 15m WIDE FOOTPATH IN ACCORDANCE WITH RCC STD DRG R-RCC-4 & R-RCC-5.
	PROPOSED DRIVEWAY CROSSOVER LEVELS/GRADES IN ACCORDANCE WITH TYPE 'PLAN - WIDE FOOTPATHS' FROM RCC STD DRG R-RCC-2. LAYOUT IN ACCORDANCE WITH TYPE 'GENERAL WIDE' FROM IPWEA STD DRG RS-051
	PROPOSED EASEMENTS
	ROADWORKS CHAINAGE

NOTES

- FOR GENERAL NOTES REFER DRG No. C01, WHICH IS TO BE REQUESTED AND VIEWED PRIOR TO COMMENCEMENT OF CONSTRUCTION IF NOT SUPPLIED.
- FOR ROADWORKS NOTES AND DETAILS REFER DRG No. C30
- ALL ROADWORKS AND DRAINAGE CONSTRUCTION AND TESTING TO BE IN ACCORDANCE WITH REDLAND CITY COUNCIL DEVELOPMENT GUIDELINES, DRAWINGS AND SPECIFICATIONS.
- TRENCH BACKFILL UNDER PAVEMENT TO BE COMPACTED TO 100% STANDARD DRY DENSITY (AS1289 5.1.1) IN LAYERS NOT EXCEEDING 150mm OF CBR 15 MATERIAL OR APPROVED EQUIVALENT.
- ALL FOOTPATHS TO BE CONSTRUCTED IN ACCORDANCE WITH ARCHITECTURAL/LANDSCAPING DRAWINGS REDLAND CITY COUNCIL STD DRG R-RCC-4 & R-RCC-5



NOTE

CROSSOVER LAYOUT TO BE IN ACCORDANCE WITH IPWEA STD DRG RS-051 IN LIEU OF RCC STD DRG R-RCC-2 TO PROVIDE CLEARANCE TO PROPOSED GULLY PIT. GRADES/LEVELS IN ACCORDANCE WITH STD DRG R-RCC-2.

NOTE

WEINAM CREEK PDA STAGE 3A WORKS PRESENTLY UNDERWAY AROUND THE SITE. THESE WORKS LABLED AS "UNDER CONSTRUCTION" AND ARE SHOWN BASED ON EDD APPROVED DRAWINGS.

ISSUED FOR  
APPROVAL

									Client: FORTEZZA GROUP		Discipline: CIVIL		Status: APPROVAL		Title: DRIVEWAY CROSSOVER DETAILS	
					PROJECT NUMBER: 26164		T: 1300 657 402 E: info@adg.com W: www.adg.com		Project Name: BELLA BAJA		Designed By: MRB		Checked By: DS		Approved By: ML	
					PROJECT NAME: 57 BANANA STREET		Quality Assurance ISO 9001:2015   Work Health Safety ISO 45001:2018 Environmental Management ISO 14001:2015		57 BANANA STREET REDLAND BAY, QLD 4165		Project No. 26164		Drawn By: DG		Scale at A1 1:50	
					DATE: 21.07.23		fortezza GROUP									
					CERTIFIED BY: MICHAEL LEPELAAR											
					RPEQ NUMBER: 11171											
					SIGNATURE: 											



LEGEND

12.0	FINISHED SURFACE CONTOURS
	SITE BOUNDARY
	EXISTING PROPERTY BOUNDARY
	EXISTING NOMINAL KERB LINE
	EXISTING EDGE OF BITUMEN
	EXISTING ROAD CENTERLINE
	EXISTING EDGE OF BUILDING
	EXISTING EDGE OF BUILDING EAVE
dSWD	EXISTING STORMWATER DRAINAGE (RECORDS)
dS	EXISTING SEWER (RECORDS)
dW	EXISTING WATER (RECORDS)
dE	EXISTING UNDERGROUND ELECTRICITY (RECORDS)
OE	EXISTING OVERHEAD ELECTRICITY
OT	EXISTING TELECOMMUNICATIONS OVERHEAD (RECORDS)
*****	SERVICE TO BE REMOVED
dT	EXISTING TELECOMMUNICATIONS (RECORDS)
	EXISTING BATTER
	EXISTING FENCE
	LIMIT OF WORKS
SWD	STORMWATER DRAINAGE (UNDER CONSTRUCTION)
SWD	PROPOSED STORMWATER DRAINAGE
S	SEWER (UNDER CONSTRUCTION)
S	PROPOSED SEWER
W	WATER MAIN (UNDER CONSTRUCTION)
W	PROPOSED WATER MAIN
	PROPOSED EASEMENTS
	PROPOSED ROAD PAVEMENT REINSTATEMENT

EQUIVALENT PIPE SIZES (DN)	
PVC/DICL/MSCL	PE
20	25
25	32
32	40
40	50
50	63
65	90
80	90
N/A	110
100	125
N/A	160
150	180
200	250
225	250
250	315
300	355
375	450

NOTES:  
1. DN FOR PE REFERS TO OUTSIDE DIA.

ABBREVIATIONS

AC	- ASBESTOS CEMENT
CICL	- CAST IRON CEMENT LINED
CISL	- CAST IRON SPUN LINED
CR	- CONCRETE REINFORCED
CTS	- CUT TO SUIT
CUR	- CONCRETE UN-REINFORCED
DI	- DUCTILE IRON
DICL	- DUCTILE IRON CEMENT LINED
DN	- DIAMETER NOMINAL
EW	- EARTHENWARE
FH	- FIRE HYDRANT
MH	- MAINTENANCE HOLE
mPVC	- MODIFIED POLYVINYL CHLORIDE
MSBW	- MILD STEEL BUTT WELD
MSCL	- MILD STEEL CEMENT LINED
PE	- POLYETHYLENE
RTS	- ROTATE TO SUIT
SC	- STOP COCK/WATER METER
uPVC	- UNPLASTICISED POLYVINYL CHLORIDE
VC	- VITRIFIED CLAY
RCC	- REDLAND CITY COUNCIL

WATER CONNECTION NOTES:

- ALL WORKS AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT SEQ DESIGN AND CONSTRUCTION CODE REQUIREMENTS.
- EXISTING SERVICES HAVE BEEN PLOTTED FROM SUPPLIED DATA AND AS SUCH THEIR ACCURACY CANNOT BE GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT.
- CONTRACTOR SHALL OBTAIN THE LOCATION OF ALL SERVICES AND PROTECT THESE SERVICES PRIOR TO WORKING IN THE VICINITY. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY DAMAGE TO COUNCIL'S INFRASTRUCTURE. SUCH REPAIR OR REINSTATEMENT TO BE CARRIED OUT IMMEDIATELY TO THE SATISFACTION OF LOCAL COUNCIL AT CONTRACTORS EXPENSE.
- ALL MATERIALS USED IN THE WORKS SHALL COMPLY WITH THE SEQ-SP's ACCEPTED PRODUCTS AND MATERIALS LIST OR BE APPROPRIATELY SHOWN, LISTED AND DEFINED IN THE ENGINEERING SUBMISSION SO THAT THE ALTERNATIVE PRODUCT OR MATERIAL CAN BE ASSESSED AND IF APPROPRIATE, APPROVED BY THE SEQ-SP.
- UNLESS SPECIFIED OTHERWISE ALL MATERIALS AND WORK SHALL COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS.
- COVER ON MAINS FROM PERMANENT LEVEL TO BE AS FOLLOWS:  
100 & 150 (DN63, 125 & 180 FOR PE100) - 600  
200, 250 & 300 (DN250, 315 & 355 FOR PE100) - 1000mm
- CONDUITS TO BE INSTALLED IN ACCORDANCE WITH SEQ SPECIFICATIONS.
- A WATER METER SUPPLIED AT THE DEVELOPER'S COST, IS TO BE INSTALLED AT THE SERVICE POINT OF EACH LOT IN ACCORDANCE WITH THE STANDARD DRAWING FOR THE SEQ-SP.
- mPVC PIPES SHALL BE SERIES 2 CLASS PN16 AND COMPLY WITH AS/NZS4765. FITTINGS SHALL BE CEMENT LINED GREY IRON IN ACCORDANCE WITH A.S. 2554, OR DUCTILE IRON CEMENT LINED (DICL) IN ACCORDANCE WITH A.S. 2280. DUCTILE IRON CEMENT LINED (DICL) PIPES AND FITTINGS SHALL BE CLASS PN35 AND COMPLY WITH A.S. 2280. PIPES AND FITTINGS SHALL BE POLYETHYLENE SLEEVED.  
MILD STEEL (MSCL) PIPES SHALL COMPLY WITH A.S. 1579 AND BE CEMENT LINED IN ACCORDANCE WITH A.S. 1281. PIPE COATING SHALL COMPLY WITH A.S. 4321 (SINTAKOTE II).  
POLYETHYLENE PIPES AND FITTING SHALL BE CLASS PN16 PE100 AND COMPLY WITH A.S. 4130 AND A.S. 4129.
- ALL CONCRETE FOOTPATHS TO BE CLEAR OF WATER MAINS.
- THE CONSTRUCTION OF THE WATER RETICULATION WORK SHOWN IN THIS DRAWING MUST BE SUPERVISED BY AN ENGINEER WHO HAS RPEQ REGISTRATION. WORKS NOT COMPLYING WITH THIS REQUIREMENT WILL NOT BE PERMITTED TO CONNECT INTO RCC'S RETICULATION SYSTEM.
- CONTRACTOR TO UNDERTAKE TESTING AND AS CONSTRUCTED DRAWINGS AS REQUIRED BY RCC.

SITE DESCRIPTION  
EXISTING LOT 08 ON RP80201

VACUUM EXCAVATION NOTE

AT ALL PROPOSED SERVICE CROSSING, SERVICE LOCATION IS TO BE DONE BY NON-DESTRUCTIVE EXCAVATION TO FULLY EXPOSE ALL SERVICES, IN A MINIMUM 10 DAYS PRIOR TO THE START OF WORKS ON SITE. SERVICE LOCATION TO BE QUALITY LEVEL A IN ACCORDANCE WITH THE WORKPLACE HEALTH AND SAFETY (EXCAVATION WORK) CODE OF PRACTICE 2015 AND AS5488-2013.

RCC METER ASSEMBLIES

IN THE NOMINATED LOCATIONS SHOWN ON PLANS, A RCC APPROVED WATER METER ASSEMBLY SUPPLIED AT THE DEVELOPER'S COST AND DELIVERED TO SITE BY RCC, IS TO BE INSTALLED AT THE SERVICE POINT OF EACH LOT BY CONTRACTOR IN ACCORDANCE WITH THE STANDARD DRAWING FOR THE SEQ-SP.  
RCC METER ASSEMBLIES ARE OWNED BY RCC.

SAFETY

ALL WATER CONSTRUCTION WORK SHALL COMPLY WITH THE REQUIREMENTS OF QUEENSLAND WORK HEALTH AND SAFETY ACT 2011. CONTACT THE DIVISION OF WORKPLACE HEALTH AND SAFETY FOR INFORMATION. PHONE 1300 362 128.

EXISTING SERVICES NOTE

EXISTING SERVICES MAY BE PLOTTED FROM REDLAND CITY COUNCIL RECORDS AND 'D.B.Y.D.' LOCATION AND LEVEL OF ALL EXISTING SERVICES ARE ASSUMED AND ARE TO BE RECONFIRMED ON SITE PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT 'DIAL BEFORE YOU DIG' FOR THE LOCATION OF EXISTING PUBLIC UTILITIES PRIOR TO EXCAVATION. ANY DAMAGE TO EXISTING SERVICES WILL BE REPAIRED BY AUTHORITIES AT THE CONTRACTORS EXPENSE.

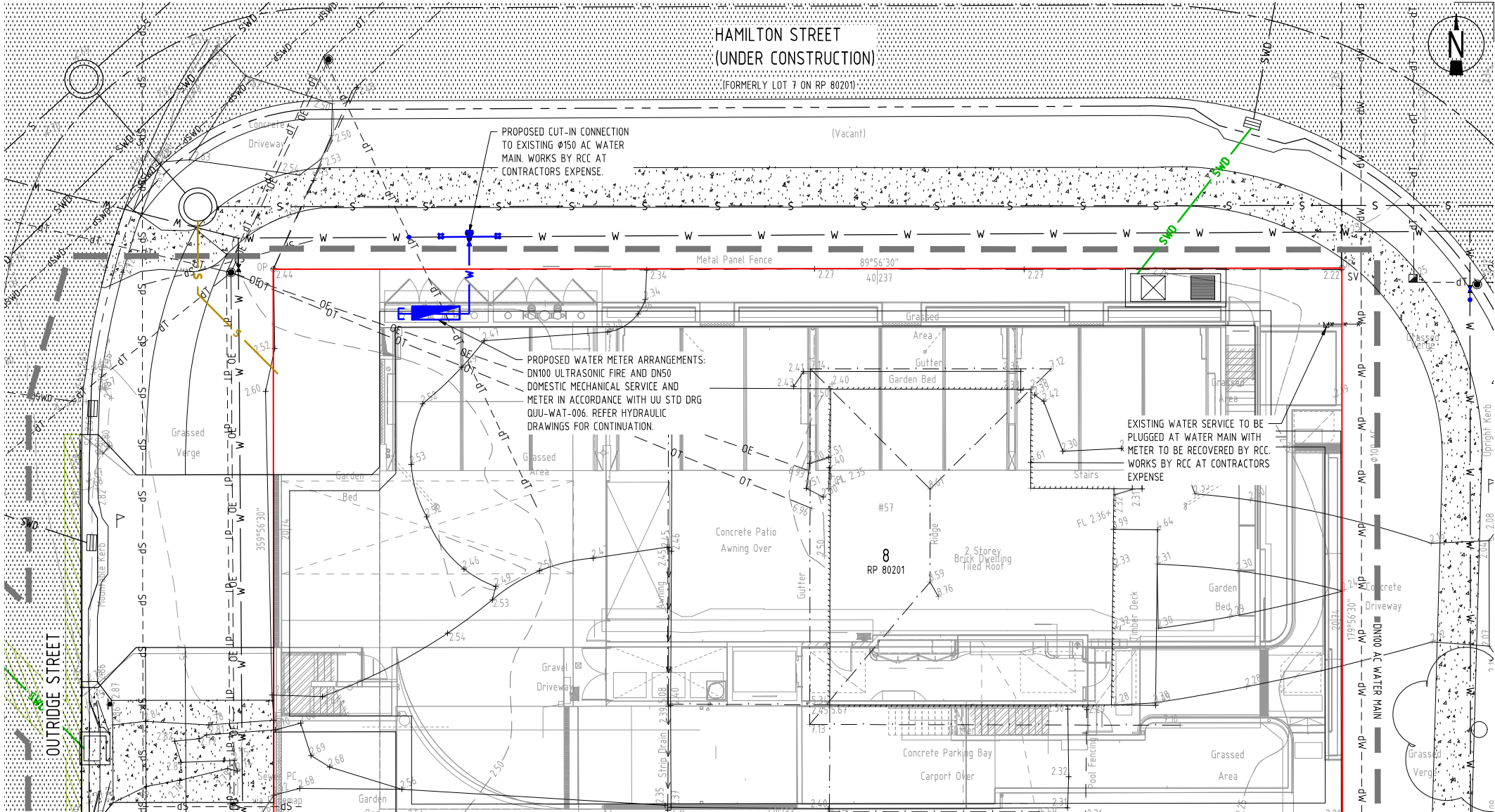
CONTRACTOR TO ALLOW FOR VACUUM STRIP EXCAVATION & ASSOCIATED SURVEY FOR ADG REVIEW TO ENABLE RELEASE OF 'FOR CONSTRUCTION' DRAWINGS

CAUTION

EXISTING FIBRE OPTIC, ELECTRICAL & TELECOM CABLES MAY EXIST IN THE VICINITY OF REQUIRED WORKS. FOR ALL WORK WITHIN 2.5m OF MAJOR OPTIC CABLES, THE CONTRACTOR IS REQUIRED TO HAND DIG (POTHOLE) AND EXPOSE THE CABLE/CONDUIT. BEFORE WORK CAN COMMENCE, ON SITE LOCATION SHOULD BE SOUGHT FROM AN ACCREDITED PLANT LOCATOR.

NOTE

WEINAM CREEK PDA STAGE 3A WORKS PRESENTLY UNDERWAY AROUND THE SITE. THESE WORKS LABLED AS "UNDER CONSTRUCTION" AND ARE SHOWN BASED ON EDQ APPROVED DRAWINGS.



ASSET REGISTER - WATER INFRASTRUCTURE					
MAINS	DIAMETER	MATERIAL		LENGTH	
		DESIGN	CONST	DESIGN	CONST
	63mm	MDPE			
	100mm	DICL			
	150mm	UPVC DICL MSCL			
SERVICES	DIAMETER	MATERIAL		LENGTH	
		DESIGN	CONST	DESIGN	CONST
		20	PE		
	25	PE			
	100	DICL		~15m	
METERS	DIAMETER	NUMBER			
		20			
		50	1		
		100	1		

ISSUED FOR  
APPROVAL

A	21.07.23	ISSUED FOR APPROVAL	DG	MRB	
01	10.07.23	PRELIMINARY - ISSUED FOR INFORMATION	RFB	MRB	
Rev	Date	Description		By	CHK

**ADO RPEQ CERTIFICATION**  
PROJECT NUMBER: 26164  
PROJECT NAME: 57 BANANA STREET  
DATE: 21.07.23  
CERTIFIED BY: MICHAEL LEPELAAR  
RPEQ NUMBER: 11171  
SIGNATURE:

0 1 2 3 4 5m  
SCALE 1:100  
AT ORIGINAL SIZE (A1)

**ADG ENGINEERING**  
PROJECT NUMBER: 26164  
DATE: 21.07.23  
CERT: 11171  
RPEQ: 11171  
SIGN:

Client: FORTEZZA GROUP  
Project Name: BELLA BAI  
57 BANANA STREET  
REDLAND BAY, QLD  
4165

Discipline: CIVIL  
Designed By: MRB  
Checked By: DS  
Project No: 26164  
Drawn By: DG  
Status: APPROVAL  
Approved By: ML  
Scale at A1: NTS

Title: WATER PROPERTY CONNECTION  
LOCALITY PLAN AND NOTES

Drawing No: C50  
Revision: A



LEGEND

	FINISHED SURFACE CONTOURS
	SITE BOUNDARY
	EXISTING PROPERTY BOUNDARY
	EXISTING NOMINAL KERB LINE
	EXISTING EDGE OF BITUMEN
	EXISTING ROAD CENTERLINE
	EXISTING EDGE OF BUILDING
	EXISTING STORMWATER DRAINAGE (RECORDS)
	EXISTING SEWER (RECORDS)
	EXISTING WATER (RECORDS)
	EXISTING OVERHEAD ELECTRICITY
	EXISTING TELECOMMUNICATIONS (RECORDS)
	ABANDONED SERVICE
	EXISTING BATTER
	EXISTING FENCE
	LIMIT OF WORKS
	STORMWATER DRAINAGE (UNDER CONSTRUCTION)
	PROPOSED STORMWATER DRAINAGE
	PROPOSED ROOFWATER DRAINAGE
	SEWER (UNDER CONSTRUCTION)
	PROPOSED SEWER
	WATER MAIN (UNDER CONSTRUCTION)
	PROPOSED WATER MAIN
	PROPOSED NOMINAL KERB LINE
	STRUCTURE LABEL
	PROPOSED RETAINING WALL
	PROPOSED EASEMENTS
	EXISTING ROAD

ABBREVIATIONS

AC	- ASBESTOS CEMENT
CICL	- CAST IRON CEMENT LINED
CISL	- CAST IRON SPUN LINED
CR	- CONCRETE REINFORCED
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DN	- DIAMETER NOMINAL
EW	- EARTHENWARE
FH	- FIRE HYDRANT
MH	- MAINTENANCE HOLE
mPVC	- MODIFIED POLYVINYL CHLORIDE
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MSCL	- MILD STEEL CEMENT LINED
PE	- POLYETHYLENE
RTS	- ROTATE TO SUIT
SC	- STOP COCK/WATER METER
uPVC	- UNPLASTICISED POLYVINYL CHLORIDE
VC	- VITRIFIED CLAY
UU	- URBAN UTILITIES

EQUIVALENT PIPE SIZES (DN)

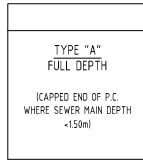
PVC/DICL/MSCL	PE
N/A	110
100	125
N/A	160
150	180
200	250
225	250
250	315
300	355
375	450

NOTES:  
1. DN FOR PE REFERS TO OUTSIDE DIA.  
2. MIN. DIA. SUB SEWER PC FOR RCC IS 110  
3. MIN. DIA. HUD SEWER PC FOR RCC IS 160

SEWER NOTES:

- ALL WORKS AND MATERIALS TO BE IN ACCORDANCE WITH THE GRAVITY SEWERAGE CODE OF AUSTRALIA SOUTH EAST QUEENSLAND SERVICE PROVIDERS EDITION (WSA 02-2014-3.1) AS RELEVANT TO REDLAND CITY COUNCIL (RCC).
- ALL SEWER MAINS SHALL BE PVC-U SN8 RRJ UNLESS OTHERWISE APPROVED.
- THRUST BLOCKS, TRENCH STOPS AND CONCRETE BULK HEADS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF WSA 03-2011 AND SEQ WS&S D&C CODE AND STANDARD DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN THE LOCATION OF ALL SERVICES AND PROTECT THESE SERVICES PRIOR TO WORKING IN THE VICINITY. ANY DAMAGE WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL HAVE PROPERTY BOUNDARIES PEGGED AND THE LOCATION OF HOUSE CONNECTIONS CONFIRMED PRIOR TO COMMENCING CONSTRUCTION OF HOUSE CONNECTION BRANCHES.
- NOTWITHSTANDING THE LEVELS SHOWN ON THE LONGITUDINAL SECTIONS THE CONTRACTOR SHALL ENSURE THE HOUSE CONNECTION INSPECTION TEE IS LOCATED AT A DEPTH OF BETWEEN 0.50M AND 1.5M. IF THIS REQUIRES RAISING OF THE HC FROM DESIGN INVERT LEVEL, THEN THE CONTRACTOR MUST CONSULT THE SUPERINTENDANT PRIOR TO CONSTRUCTION.
- FINISHED SURFACE LEVELS SHOWN ON LONGITUDINAL SECTIONS ARE INDICATIVE ONLY AND MANHOLE LIDS SHALL FINISH TO THE GRADE OF THE SURROUNDING LEVELS IN ACCORDANCE WITH THE REQUIREMENTS OF STANDARDS DRAWING SEQ-SEW-1308-1.
- SEWER TRENCHES TO BE CONSTRUCTED, COMPACTED AND TESTED IN ACCORDANCE WITH THE SEQ WS&S D&C CODE AND RELEVANT TO RCC. ALL TEST RESULTS SUBJECT TO APPROVAL BY RCC AND ALL NO CONFORMANCES WILL BE RECTIFIED AT THE CONTRACTORS EXPENSE.
- ANY WORKS ASSOCIATED WITH LIVE SEWERS TO BE CARRIED OUT UNDER THE SUPERVISION OF RCC. CONTRACTOR IS RESPONSIBLE FOR ALL RELEVANT PERMITS AND REQUIREMENTS & COSTS ASSOCIATED WITH OBTAINING SAID PERMITS.

SEWER PROPERTY CONNECTIONS:



SEWER LIVE WORKS TABLE

No.	DESCRIPTION	LOT No.	DIA. SEW	MH No.	MH TYPE	COVER TYPE	F.S.L.	IL.	DEPTH
1A	REDLAND CITY COUNCIL TO LOCATE AND REMOVE EXISTING SEWER CONNECTION	-	-	-	-	-	-	-	-
1B	REDLAND CITY COUNCIL TO INSTALL NEW 'X' TYPE' INTERNAL DROP IN MH EX1/1 AT CORRECT INVERT LEVEL AND PLUG IN MAINTENANCE HOLE	-	DN150 SN8 uPVC	EX1/1	A	D	-2.590	-0.397	-2.987
2A	REDLAND CITY COUNCIL TO LAY NEW SEWER PROPERTY CONNECTION FROM MH EX1/1 TO 2/1 AND TEMPORARILY CAP FOR FUTURE CONNECTION BY HYDRAULIC ENGINEER	-	DN150 SN8 uPVC	-	-	-	-	-	-
3A	ON COMPLETION OF NEW SEWER CONSTRUCTION, CONTRACTOR TO UNDERTAKE TESTING OF SEWER AS REQUIRED BY SEQ D&C CODE	-	-	-	-	-	-	-	-
4A	ON SUCCESSFUL TESTING AND COMPLETION OF MAINTENANCE INSPECTION, REDLAND CITY COUNCIL TO REMOVE PLUG ON PROPERTY CONNECTION IN MH EX1/1	-	-	-	-	-	-	-	-

CONTRACTOR TO ALLOW FOR VACUUM STRIP EXCAVATION & ASSOCIATED SURVEY FOR ADG REVIEW TO ENABLE RELEASE OF 'FOR CONSTRUCTION' DRAWINGS

FOR SEWER NOTES

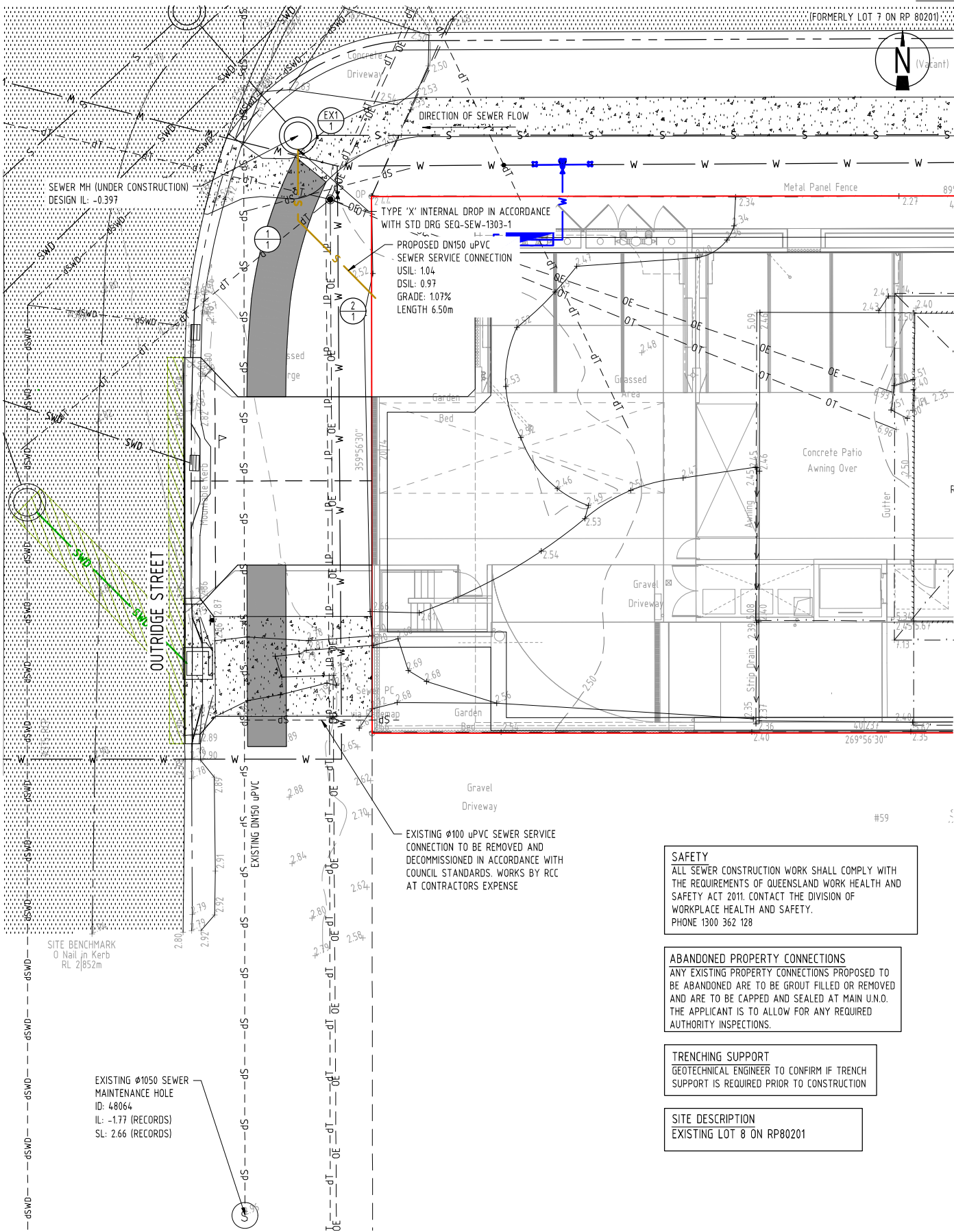
REFER TO ADG ENGINEERING DRG No. C60

EXISTING SERVICES NOTE

EXISTING SERVICES MAY BE PLOTTED FROM REDLAND CITY COUNCIL RECORDS AND 'D.B.Y.D'. LOCATION AND LEVEL OF ALL EXISTING SERVICES ARE ASSUMED AND ARE TO BE RECONFIRMED ON SITE PRIOR TO CONSTRUCTION. CONTRACTOR TO CONTACT 'DIAL BEFORE YOU DIG' FOR THE LOCATION OF EXISTING PUBLIC UTILITIES PRIOR TO EXCAVATION. ANY DAMAGE TO EXISTING SERVICES WILL BE REPAIRED BY AUTHORITIES AT THE CONTRACTORS EXPENSE.

NOTE

WEINAM CREEK PDA STAGE 3A WORKS PRESENTLY UNDERWAY AROUND THE SITE. THESE WORKS LABLED AS "UNDER CONSTRUCTION" AND ARE SHOWN BASED ON EDQ APPROVED DRAWINGS.



**SAFETY**  
ALL SEWER CONSTRUCTION WORK SHALL COMPLY WITH THE REQUIREMENTS OF QUEENSLAND WORK HEALTH AND SAFETY ACT 2011. CONTACT THE DIVISION OF WORKPLACE HEALTH AND SAFETY. PHONE 1300 362 128

**ABANDONED PROPERTY CONNECTIONS**  
ANY EXISTING PROPERTY CONNECTIONS PROPOSED TO BE ABANDONED ARE TO BE GROUT FILLED OR REMOVED AND ARE TO BE CAPPED AND SEALED AT MAIN U.N.O. THE APPLICANT IS TO ALLOW FOR ANY REQUIRED AUTHORITY INSPECTIONS.

**TRENCHING SUPPORT**  
GEOTECHNICAL ENGINEER TO CONFIRM IF TRENCH SUPPORT IS REQUIRED PRIOR TO CONSTRUCTION

**SITE DESCRIPTION**  
EXISTING LOT 8 ON RP80201

ISSUED FOR  
APPROVAL

				<b>ADO RPEQ CERTIFICATION</b> PROJECT NUMBER: 26164 PROJECT NAME: 57 BANANA STREET DATE: 21.07.23 CERTIFIED BY: MICHAEL LEPELAAR RPEQ NUMBER: 11171 SIGNATURE:	<b>ADG ENGINEERING</b> PROJECT NUMBER: 26164 DATE: 21.07.23 CERT: RPEC: SIGN:	Client: <b>FORTEZZA GROUP</b> Project Name: <b>BELLA BAI</b> <b>57 BANANA STREET</b> <b>REDLAND BAY, QLD</b> <b>4165</b>	Discipline: <b>CIVIL</b> Designed By: <b>MRB</b> Project No.: <b>26164</b>	Checked By: <b>DS</b> Drawn By: <b>DG</b>	Status: <b>APPROVAL</b> Approved By: <b>ML</b> Scale at A1: <b>1:100</b>	Title: <b>SEWER PROPERTY CONNECTION</b> <b>LAYOUT PLAN AND NOTES</b> Drawing No.: <b>C60</b> Revision: <b>A</b>
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## Appendix D

### EDQ Approved Design Drawings



# WEINAM CREEK PRIORITY DEVELOPMENT

## AREA - STAGE 3A

### WEINAM CREEK, REDLAND BAY. FOR REDLAND INVESTMENT CORPORATION.

DRAWING INDEX

C-1001	LOCALITY PLAN & DRAWING INDEX
C-1002	ESTATE PLAN
C-1003	KEY PLAN
C-1004	EXISTING SITE FEATURES
C-1005	CONTROL LINE SETOUT SHEET-1
C-1006	CONTROL LINE SETOUT SHEET-2
C-1007	CONTROL LINE SETOUT SHEET-3
C-1008	CONTROL LINE SETOUT SHEET-4
C-1009	CONTROL LINE SETOUT SHEET-5
C-1010	CONTROL LINE SETOUT SHEET-6
C-1011	CONTROL LINE SETOUT SHEET-7
C-1012	CONTROL LINE SETOUT SHEET-8
C-1013	CONTROL LINE SETOUT SHEET-9
C-1014	CONTROL LINE SETOUT SHEET-10
C-1015	RETAINING WALL (RW01) CONTROL LINE SETOUT
C-1016	RETAINING WALL (RW01) & (RW02) CONTROL LINE SETOUT
C-1017	DRIVEWAY CONTROL LINE & SETOUT TABLE
C-1018	FOOTPATH CONTROL LINE & SETOUT TABLE
C-1019	TYPICAL SECTIONS & STANDARD NOTES - SHEET 1
C-1020	TYPICAL SECTIONS & STANDARD NOTES - SHEET 2
C-1021	DETAILS DEMOLITION PLAN - SHEET 1
C-1022	DETAILS DEMOLITION PLAN - SHEET 2
C-1023	DETAILS DEMOLITION PLAN - SHEET 3
C-1024	DETAILS DEMOLITION PLAN - SHEET 4
C-1025	DETAILS DEMOLITION PLAN - SHEET 5
C-1026	DETAILS DEMOLITION PLAN - SHEET 6
C-1027	DETAILS DEMOLITION PLAN - SHEET 7
C-1028	DETAILS DEMOLITION PLAN - SHEET 8
C-1100	MC01 LONGITUDINAL SECTIONS - SHEET 1
C-1101	MC01 LONGITUDINAL SECTIONS - SHEET 2
C-1102	MC02 & MC03 LONGITUDINAL SECTIONS
C-1103	MC04 & MC05 LONGITUDINAL SECTIONS
C-1104	MC06 LONGITUDINAL SECTIONS
C-1105	RETAINING WALL (RW01) LONGITUDINAL SECTIONS
C-1106	RETAINING WALL (RW02) LONGITUDINAL SECTIONS
C-1107	RETAINING WALL (RW03) LONGITUDINAL SECTIONS
C-1108	DESIGN DETAIL - SHEET 1
C-1109	DESIGN DETAIL - SHEET 2
C-1110	DESIGN DETAIL - SHEET 3
C-1111	DESIGN DETAIL - SHEET 4
C-1112	DESIGN DETAIL - SHEET 5
C-1113	DESIGN DETAIL - SHEET 6
C-1114	DESIGN DETAIL - SHEET 7
C-1115	DESIGN DETAIL - SHEET 8
C-1116	FOOTPATH AND DRIVEWAY SETOUT TABLE
C-1200	LINE MARKING AND SINAGE DRAWING - SHEET 1
C-1201	LINE MARKING AND SINAGE DRAWING - SHEET 2

STANDARD DRAWINGS - REDLAND CITY COUNCIL

R-RCC-1	DOMESTIC DRIVEWAY CROSSOVER
R-RCC-2	COMMERCIAL/INDUSTRIAL/MULTIPLE DWELLING/APARTMENT BUILDING DRIVEWAY CROSSOVER (TYPE A)
R-RCC-3	COMMERCIAL/INDUSTRIAL DRIVEWAY CROSSOVER (TYPE B)
R-RCC-4	CONCRETE FOOTPATH AND SHARED USE PATHS
R-RCC-5	FOOTPATH PROFILE
R-RCC-6	PUBLIC UTILITIES IN ROAD RESERVE - CORRIDORS AND ALIGNMENTS
R-RCC-7	PUBLIC UTILITIES IN ROAD RESERVE - CONDUIT SECTIONS

C-1300	DRAINAGE NOTES AND DETAILS
C-1301	DRAINAGE LAYOUT PLAN - SHEET 1
C-1302	DRAINAGE LAYOUT PLAN - SHEET 2
C-1303	DRAINAGE LONGITUDINAL SECTIONS - SHEET 1
C-1304	DRAINAGE LONGITUDINAL SECTIONS - SHEET 2
C-1305	OVERSIZE PIT DETAILS
C-1400	SEWER NOTES AND DETAILS
C-1401	SEWER RETICULATION LAYOUT PLAN - SHEET 1
C-1402	SEWER RETICULATION LAYOUT PLAN - SHEET 2
C-1403	SEWER LONGITUDINAL SECTIONS - SHEET 1
C-1404	SEWER LONGITUDINAL SECTIONS - SHEET 2
C-1500	WATER RETICULATION LAYOUT PLAN - SHEET 1
C-1501	WATER RETICULATION LAYOUT PLAN - SHEET 2
C-1600	HAMILTON ROAD (MC01) CROSS SECTIONS - SHEET 1
C-1601	HAMILTON ROAD (MC01) CROSS SECTIONS - SHEET 2
C-1602	BANANA STREET SOUTH (MC02) CROSS SECTIONS
C-1603	OUTRIDGE STREET (MC03) CROSS SECTIONS
C-1604	HAMILTON STREET SOUTH (MC04) CROSS SECTIONS
C-1605	WEINAM STREET SOUTH (MC05) CROSS SECTIONS
C-1606	WEINAM STREET NORTH (MC06) CROSS SECTIONS
C-1607	BANANA STREET NORTH (MC07) CROSS SECTIONS
C-1700	C.M.P. INDEX & STANDARD NOTES
C-1701	CONSTRUCTION MANAGEMENT PLAN
C-1702	EROSION & SEDIMENT CONTROL STANDARD NOTES
C-1703	EROSION & SEDIMENT CONTROL PLAN

STANDARD DRAWINGS - W.S.A.A.

WAT-1201	EMBEDMENT & TRENCHFILL TYPICAL ARRANGEMENT
WAT-1202	STANDARD EMBEDMENT ALL PIPE TYPES
WAT-1205	THRUST BLOCK DETAILS CONCRETE BLOCKS
WAT-1207	THRUST AND ANCHOR BLOCKS GATE VALVES AND VERTICAL BENDS
WAT-1300	VALVE AND HYDRANT IDENTIFICATION MARKERS & MARKER POSTS
WAT-1301	TYPICAL VALVE & HYDRANT INSTALLATION VALVE ARRANGEMENT
WAT-1302	TYPICAL VALVE & HYDRANT INSTALLATION HYDRANTS AND AIR RELIEF VALVES
WAT-1303	TYPICAL SURFACE FITTING INSTALLATION GATE VALVE SURFACE BOXES NON TRAFFICABLE
WAT-1305	TYPICAL SURFACE FITTING INSTALLATION HYDRANT SURFACE BOXES TRAFFICABLE AND NON-TRAFFICABLE
WAT-1313	FLANGED JOINTS BOLTING DETAILS

STANDARD DRAWINGS - IPWEAQ

DS-010	STORMWATER ACCESS CHAMBER DETAIL 1050 TO 2100 DIAMETER
DS-011	ACCESS CHAMBER ROOF SLABS DIA 1050 - 2100
DS-013	ACCESS CHAMBER ROOF SLAB - RECTANGULAR STANDARD REINFORCEMENT
DS-019	MANHOLE COVER (ROADWAY) 1050 TO 2100 DIAMETER
DS-030	BEDDING AND BACKFILLING - EXCAVATION, BEDDING AND BACKFILLING OF CONVERT-FIBRE REINFORCED DRAINAGE PIPES
DS-040	SEDIMENT CONTROL DEVICES SEDIMENT FENCE, ENTRY/EXIT SEDIMENT TRAP
DS-041	SEDIMENT CONTROL DEVICES KERB AND FIELD INLETS - CHECK DAMS & STRAW BALES
DS-050	DRAINAGE PITS FIELD INLET TYPE 1 AND TYPE 2
DS-063	DRAINAGE PITS KERB INLET-LIP IN LINE GENERAL ARRANGEMENT
RS-080	KERB AND CHANNEL - PROFILES AND DIMENSIONS
RS-090	KERB RAMPS - RAMPED PEDESTRIAN CROSSINGS
RS-094	KERB RAMPS - LOCATIONS AND CONFIGURATIONS
RS-130	ROAD FURNITURE - STREET NAME SIGN AND LOCATION (FINGERBOARD)
RS-131	ROAD FURNITURE - TRAFFIC SIGN INSTALLATION DETAILS
RS-140	SUBSOIL DRAINS - DETAILS AND LOCATION
RS-170	PAVEMENT EXTENSION - TRENCHING AND WIDENING

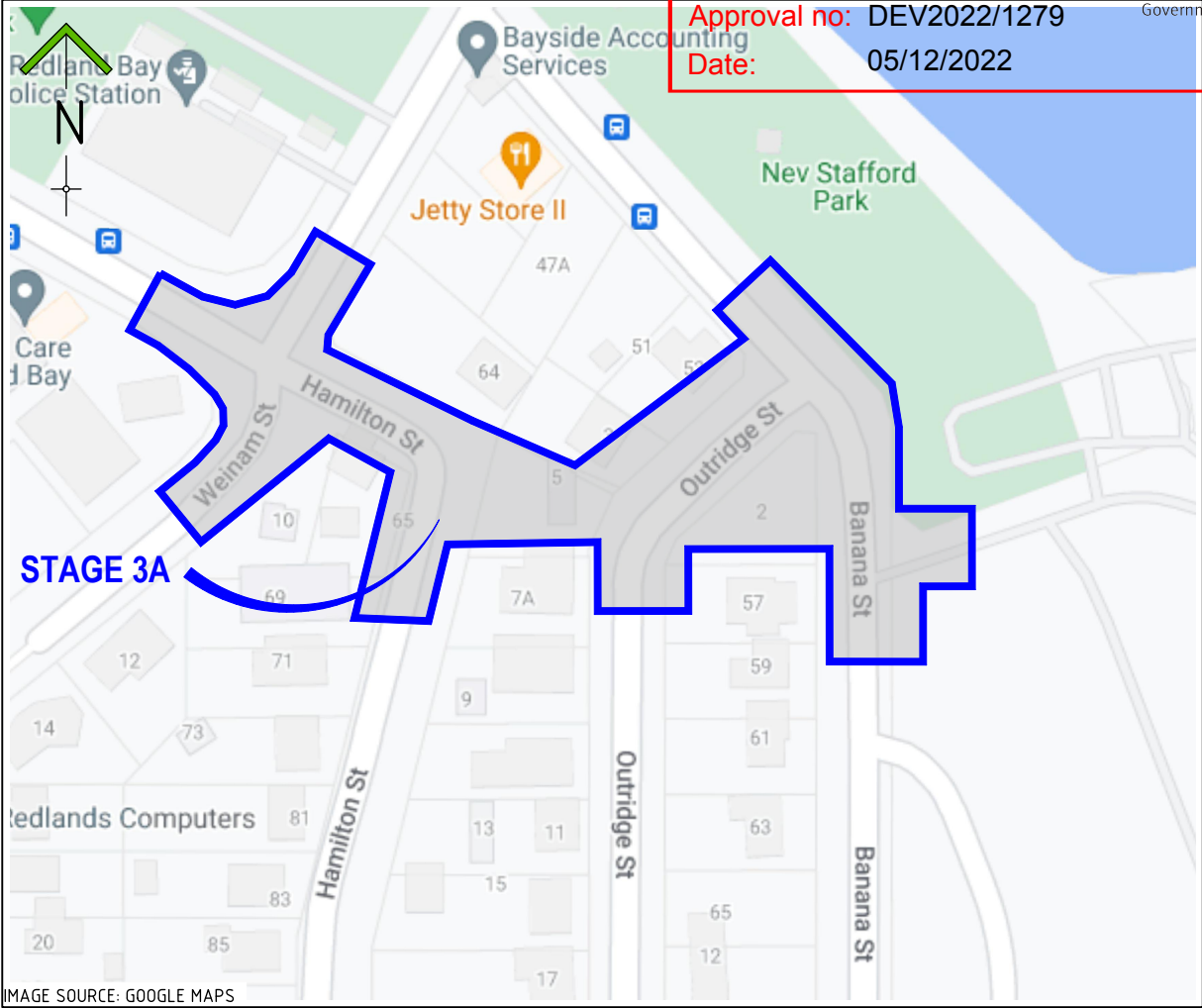


IMAGE SOURCE: GOOGLE MAPS

LOCALITY PLAN

SCALE: NTS

STANDARD DRAWINGS - TMR

SD-1304	PIPE CULVERTS - WINGWALLS, HEADWALLS AND APRON FOR PIPE DIAMETER 750 TO 2400 - DRAWING 1 OF 2 TO 2 OF 2
SD-1305	PIPE CULVERTS - HEADWALL AND APRON FOR PIPE DIAMETER 375 TO 675
SD-1308	ACCESS CHAMBER - ROOF SLABS 1050 TO 2100
SD-1356	ROAD EDGE AND GUIDE POSTS - TIMBER AND TUBULAR STEEL POST AND INSTALLATION DETAILS
SD-1359	CULVERTS - INSTALLATION, BEDDING AND FILLING/BACKFILLING AGAINST/OVER CULVERTS

STANDARD DRAWINGS - TRANS LINK

DRG-5-0022	PTIM, BUS STOP INFRASTRUCTURE CHAPTER INTERMEDIATE STOP - SITE LAYOUT - WITH INDENTED BUS BAY
DRG-5-0025	PTIM, BUS STOP INFRASTRUCTURE CHAPTER INTERMEDIATE STOP - SITE LAYOUT - ACCESS EXAMPLES

THE ORIGINAL PLANS OF THIS PLAN SET WERE PRODUCED USING COLOUR FOR GREATER CLARITY AND OBJECT DEFINITION. WORKING WITH A BLACK AND WHITE COPY MAY CAUSE ERRORS. IF THESE DRAWINGS ARE NOT IN COLOUR THEN YOU ***DO NOT*** HAVE THE CORRECT PRESENTATION AND SHOULD SEEK ADVICE.

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REVISIONS	ISSUE DATE
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1	RFI RESPONSE 06/10/2022
0	ISSUE FOR APPROVAL 8/8/2022

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FOR APPROVAL
APPROVED:
RPEQ:26951
APPROVED DATE:06/10/22



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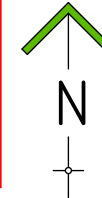
TITLE: LOCALITY PLAN & DRAWING INDEX	A3
PROJECT: WEINAM CREEK PRIORITY DEVELOPMENT AREA STAGE 3A WEINAM CREEK REDLAND BAY FOR REDLAND INVESTMENT CORPORATION	No. 1 of 72 DRAWINGS
	Job No. FC-22-014-3A DWG No. C-1001
	0 1 2 3 4 5



PLANS AND DOCUMENTS  
referred to in the PDA  
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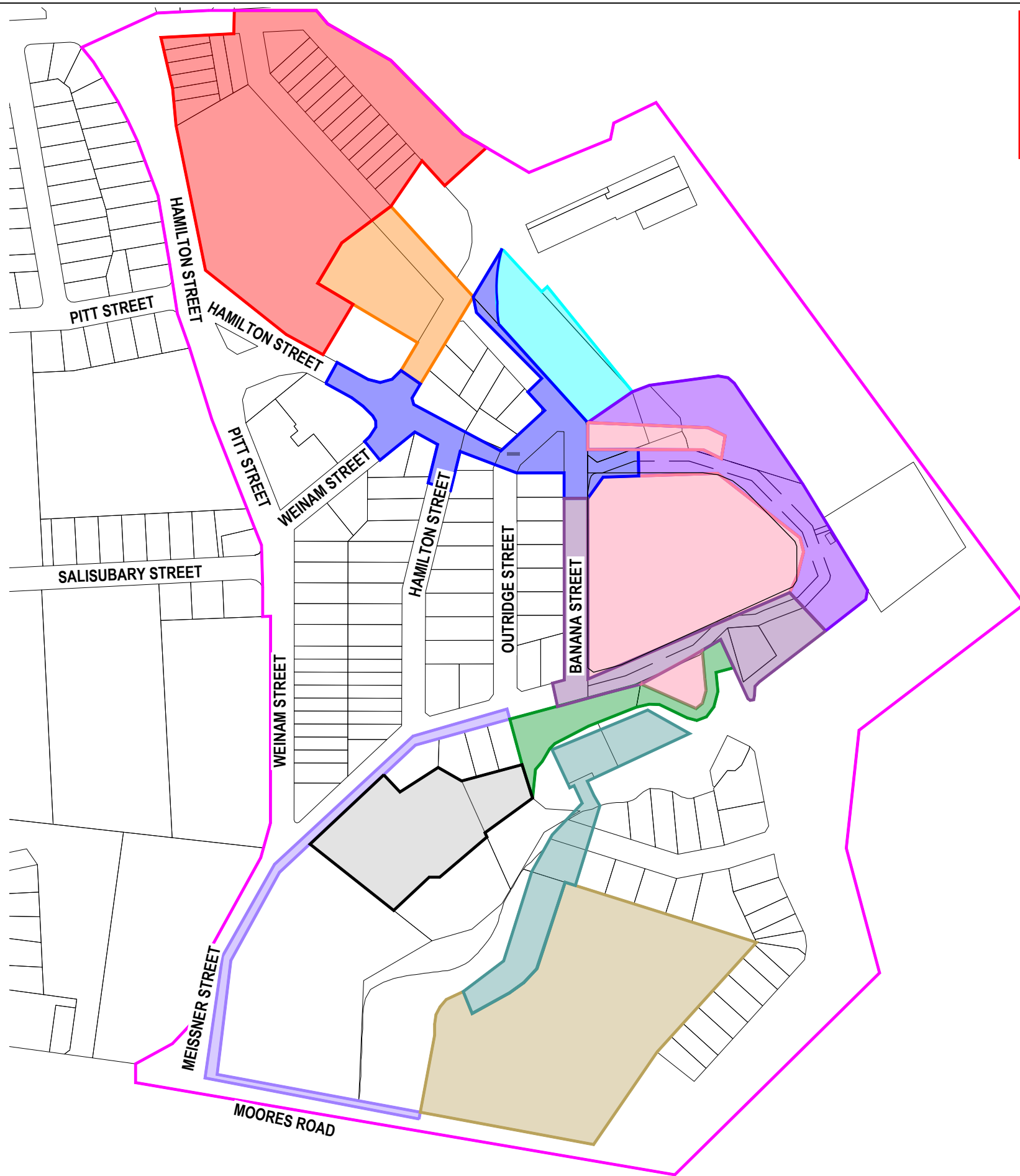
Approval no: DEV2022/1279

Date: 05/12/2022



LEGEND

- STAGE 1
- STAGE 2
- STAGE 3A (CURRENT STAGE)
- STAGE 3B PART A
- STAGE 3B PART B
- STAGE 3C
- STAGE 3D
- STAGE 3E
- STAGE 3F
- STAGE 4
- STAGE 5
- STAGE 6
- PROJECT BOUNDARY
- PROPOSED LOT BOUNDARY
- PROPOSED EASEMENT
- EXISTING LOT BOUNDARY

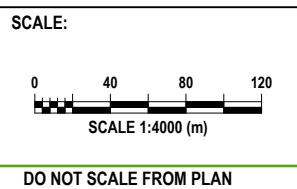


NOTES:

- ALL BOUNDARIES SHOWN ON THIS PLAN ARE SUBJECT TO FINAL SURVEY
- CONTOURS SHOWN DEPICT EXISTING SURFACE AND ARE AT 0.25m INTERVALS.

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REVISIONS	ISSUE DATE
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0 ISSUE FOR APPROVAL	8/8/2022



**FOR APPROVAL**

APPROVED:

RPEQ:26951

APPROVED DATE:06/10/22



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TITLE: <b>KEY PLAN</b>		<b>A3</b>	
PROJECT:		No. <b>2</b> of <b>72</b> DRAWINGS	
WEINAM CREEK PRIORITY DEVELOPMENT AREA STAGE 3A		Job No.	DWG No.
WEINAM CREEK REDLAND BAY		<b>FC-22-014-3A</b>	<b>C-1002</b>
FOR REDLAND INVESTMENT CORPORATION		0 1 2 3 4 5	

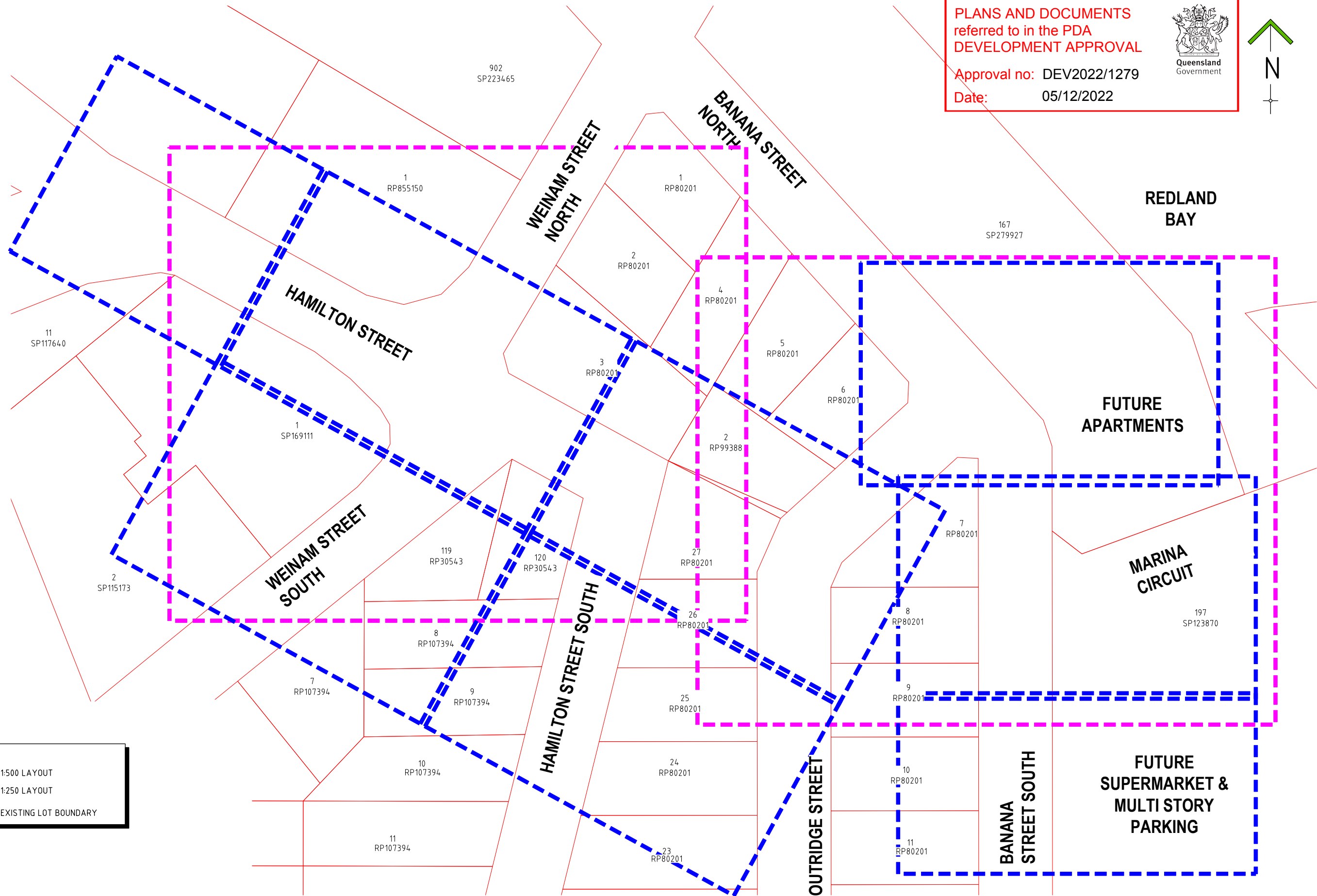
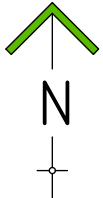


PLOT DATE :- 6 October 2022 10:22 AM

PLANS AND DOCUMENTS  
referred to in the PDA  
DEVELOPMENT APPROVAL

  
Queensland  
Government

Approval no: DEV2022/1279  
Date: 05/12/2022



LEGEND


1:500 LAYOUT

1:250 LAYOUT

EXISTING LOT BOUNDARY

REVISIONS	ISSUE DATE
5	
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3	
2	
1 RFI RESPONSE	06/10/2022
0 ISSUE FOR APPROVAL	8/8/2022

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RPEQ:26951  
APPROVED DATE:06/10/22



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TITLE: ESTATE PLAN		A3	
PROJECT: WEINAM CREEK PRIORITY DEVELOPMENT AREA STAGE 3A WEINAM CREEK REDLAND BAY FOR REDLAND INVESTMENT CORPORATION		No. 3 of 72 DRAWINGS	
		Job No. FC-22-014-3A	DWG No. C-1003
		0 1 2 3 4 5	



LEGEND

- PP EXISTING POWERPOLE  
LP EXISTING LIGHTPOLE  
E/OH EXISTING ELECTRICAL STRUCTURE  
S150 EXISTING OVER HEAD ELECTRICITY LINE  
WC EXISTING 150Ø GRAVITY SEWER MAIN  
WC EXISTING WATER CONDUIT  
W EXISTING 100Ø WATERMAIN  
FH EXISTING FIRE HYDRANT  
SV EXISTING STOP/SLUICE VALVE  
D EXISTING DRAINAGE CHAMBER  
D EXISTING DRAINAGE PIPE  
T EXISTING TELSTRA LINE  
T EXISTING TELSTRA OR NBN STRUCTURE  
X EXISTING CONCRETE EDGE  
X EXISTING GATES  
X EXISTING FENCE  
X EXISTING CONTOURS  
X EXISTING LOT BOUNDARY  
X EXISTING BOTTOM OF BATTER  
X EXISTING TOP OF BATTER  
X EXISTING KERB AND CHANNEL  
X EXISTING ROAD CROWN  
X EXISTING ROAD SIGNAGE  
X EXISTING PAVEMENT SURFACING  
X EXISTING CONCRETE  
OR EXISTING TREE TO RAMIAN  
OR EXISTING TREE TO REMOVE



DEPICTS EXISTING TELSTRA SERVICE. ACTUAL LOCATION TO BE CONFIRMED ON SITE. EXTREME CAUTION TO BE TAKEN DURING CONSTRUCTION.



DEPICTS EXISTING SEWER SERVICE. ACTUAL LOCATION TO BE CONFIRMED ON SITE. EXTREME CAUTION TO BE TAKEN DURING CONSTRUCTION.



DEPICTS EXISTING WATER SERVICE. ACTUAL LOCATION TO BE CONFIRMED ON SITE. EXTREME CAUTION TO BE TAKEN DURING CONSTRUCTION.



DEPICTS EXISTING OVERHEAD ELECTRICAL SERVICE. ACTUAL LOCATION TO BE CONFIRMED ON SITE. EXTREME CAUTION TO BE TAKEN DURING CONSTRUCTION.

NOTE:

CONTOURS SHOWN DEPICT EXISTING SURFACE AND ARE AT 1.0m INTERVALS.



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OVERHEAD ELECTRICAL NOTE:

EXISTING OVERHEAD ELECTRICITY WITHIN AREA OF WORKS. CARE TO BE TAKEN DURING CONSTRUCTION.

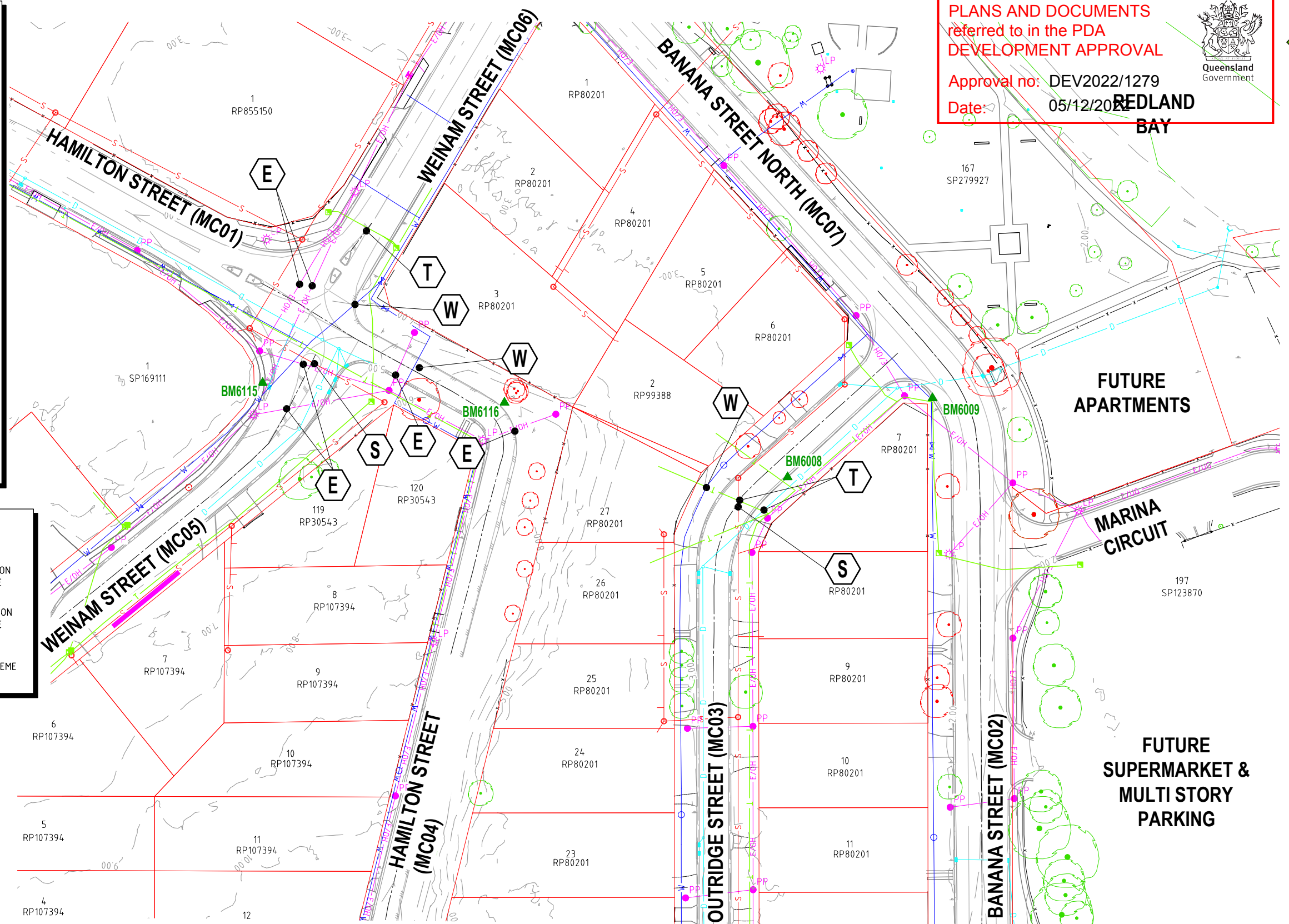
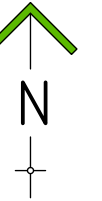
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2022/1279

Date: 05/12/2022



REDLAND BAY



FUTURE APARTMENTS

MARINA CIRCUIT

FUTURE SUPERMARKET & MULTI STORY PARKING

SURVEY STATION SETOUT TABLE

STN	EASTING	NORTHING	LEVEL
BM6008	30480.888	143954.685	2.453
BM6009	30515.403	143973.484	2.254
BM6115	30355.892	143977.118	4.499
BM6116	30413.471	143972.428	6.089

REVISIONS	ISSUE DATE
5	
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1 RFI RESPONSE	06/10/2022
0 ISSUE FOR APPROVAL	8/8/2022

SCALE:
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APPROVED:

RPEQ:26951

APPROVED DATE: 06/10/22



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TITLE: EXISTING SITE FEATURES

PROJECT: WEINAM CREEK PRIORITY DEVELOPMENT AREA STAGE 3A  
WEINAM CREEK REDLAND BAY  
FOR REDLAND INVESTMENT CORPORATION

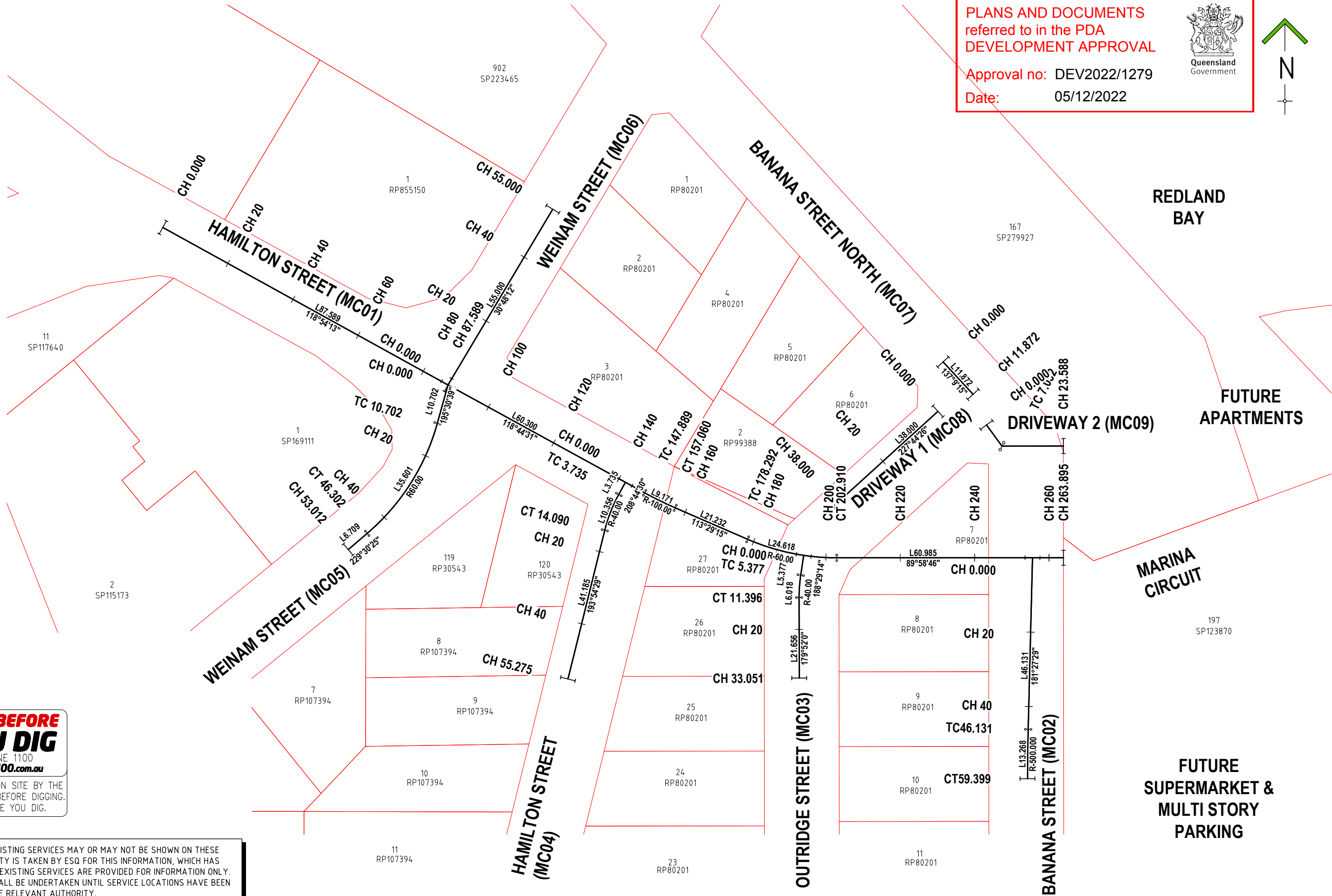
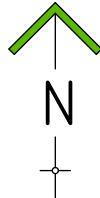
No. 4 of 72 DRAWINGS									
Job No.					DWG No.				
FC-22-014-3A					C-1004				
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A3



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DEVELOPMENT APPROVAL

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Date: 05/12/2022






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0 ISSUE FOR APPROVAL	8/8/2022

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TITLE: **CONTROL LINE SETOUT SHEET-1**

PROJECT:  
**WEINAM CREEK PRIORITY DEVELOPMENT AREA STAGE 3A  
WEINAM CREEK REDLAND BAY  
FOR REDLAND INVESTMENT CORPORATION**

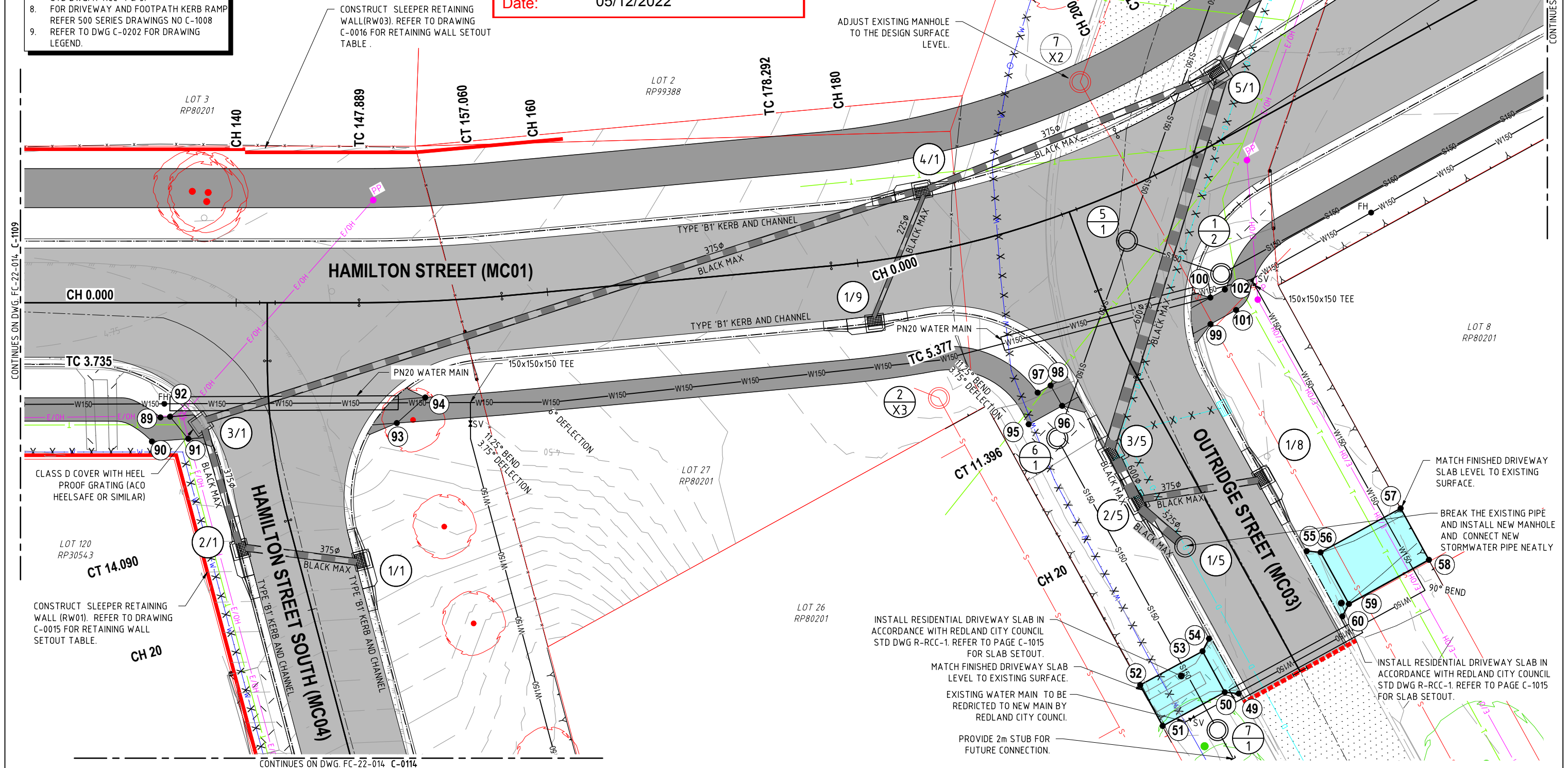
No. 5 of 72 DRAWINGS											
Job No.						DWG No.					
FC-22-014-3A						C-1005					
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**A3**



1. ALL BOUNDARIES SHOWN ON THIS PLAN ARE SUBJECT TO FINAL SURVEY.
2. FOR LINE MARKING AND SIGNAGE DETAILS REFER 200 SERIES DRAWINGS.
3. FOR DRAINAGE DETAILS REFER 300 SERIES DRAWINGS.
4. FOR SEWER DETAILS REFER 400 SERIES DRAWINGS.
5. FOR WATER DETAILS REFER 500 SERIES DRAWINGS.
6. CONSTRUCT KERB RAMPS IN ACCORDANCE WITH IPWEA STD DWG. RS-090
7. CONSTRUCT CONCRETE FOOTPATHS IN ACCORDANCE WITH REDLAND CITY COUNCIL STD DWG. R-RCC-4 & 5.
8. FOR DRIVEWAY AND FOOTPATH KERB RAMP REFER 500 SERIES DRAWINGS NO C-1008
9. REFER TO DWG C-0202 FOR DRAWING LEGEND.

Queensland  
Government



	REVISIONS	ISSUE DATE
5		
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1	RFI RESPONSE	06/10/2022
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PROJECT:  
WEINAM CREEK PRIORITY DEVELOPMENT AREA STAGE 3A  
WEINAM CREEK REDLAND BAY  
FOR REDLAND INVESTMENT CORPORATION

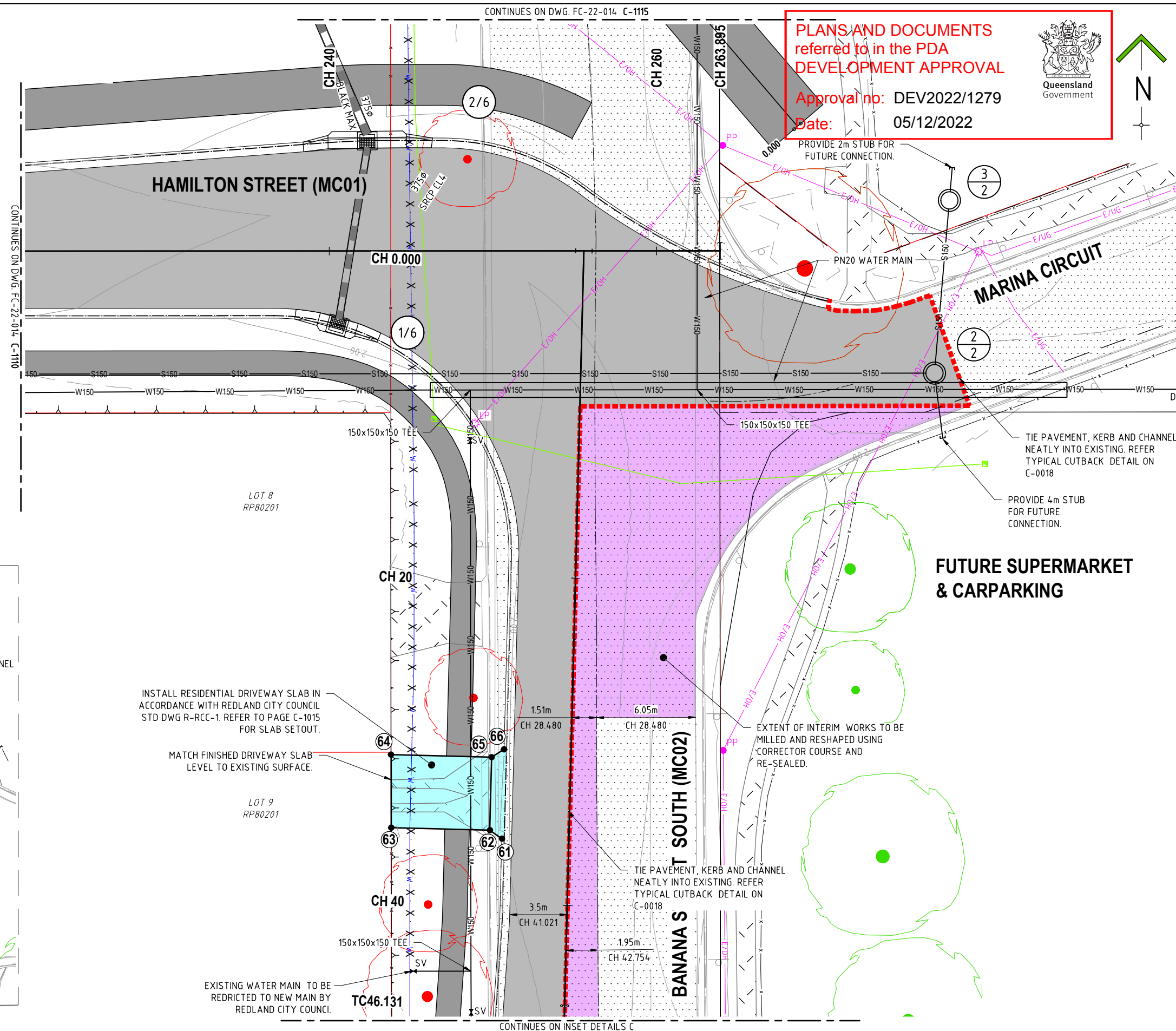
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**GENERAL NOTES:**

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6. CONSTRUCT KERB RAMPS IN ACCORDANCE WITH IPWEA STD DWG. RS-090
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8. FOR DRIVEWAY AND FOOTPATH KERB RAMP REFER 500 SERIES DRAWINGS NO C-1008
9. REFER TO DWG C-0202 FOR DRAWING LEGEND



### INSET DETAIL C

	REVISIONS	ISSUE DATE
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1	RFI RESPONSE	06/10/2022
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**SCALE:**



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RPEQ:26951

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TITLE: **DESIGN DETAIL - SHEET 4**

PROJECT:  
WEINAM CREEK PRIORITY DEVELOPMENT AREA STAGE 3A  
WEINAM CREEK REDLAND BAY  
FOR REDLAND INVESTMENT CORPORATION

No. 40 of 72 DRAWINGS

Job No.

EC-22-014-3A	C-1111
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A3



LINEMARKING SETOUT TABLE

POINT ID	EASTING	NORTHING
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34	30454.340	143949.957
35	30459.378	143948.514
36	30453.322	143946.607
37	30464.031	143944.051
38	30463.458	143940.147
39	30463.273	143936.205
40	30463.288	143929.600
41	30474.609	143946.863
42	30507.159	143946.875
43	30511.717	143949.350
44	30515.793	143944.682
45	30519.567	143946.543
46	30522.561	143938.763
47	30522.400	143938.708
48	30533.924	143927.337
49	30533.890	143937.704
50	30538.106	143937.836
51	30542.239	143938.674
52	30548.383	143940.793

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2022/1279  
Date: 05/12/2022



AMENDED IN RED

By: Gehan DeSilva  
Date: 08/11/2022



AMENDED IN RED: The turn path for the right turn movement of the 14.5m bus into Marina Circuit traverses the 'Give Way' line. Amend the location of the 'Give Way' line with sight distance criteria addressed.

LINEMARKING

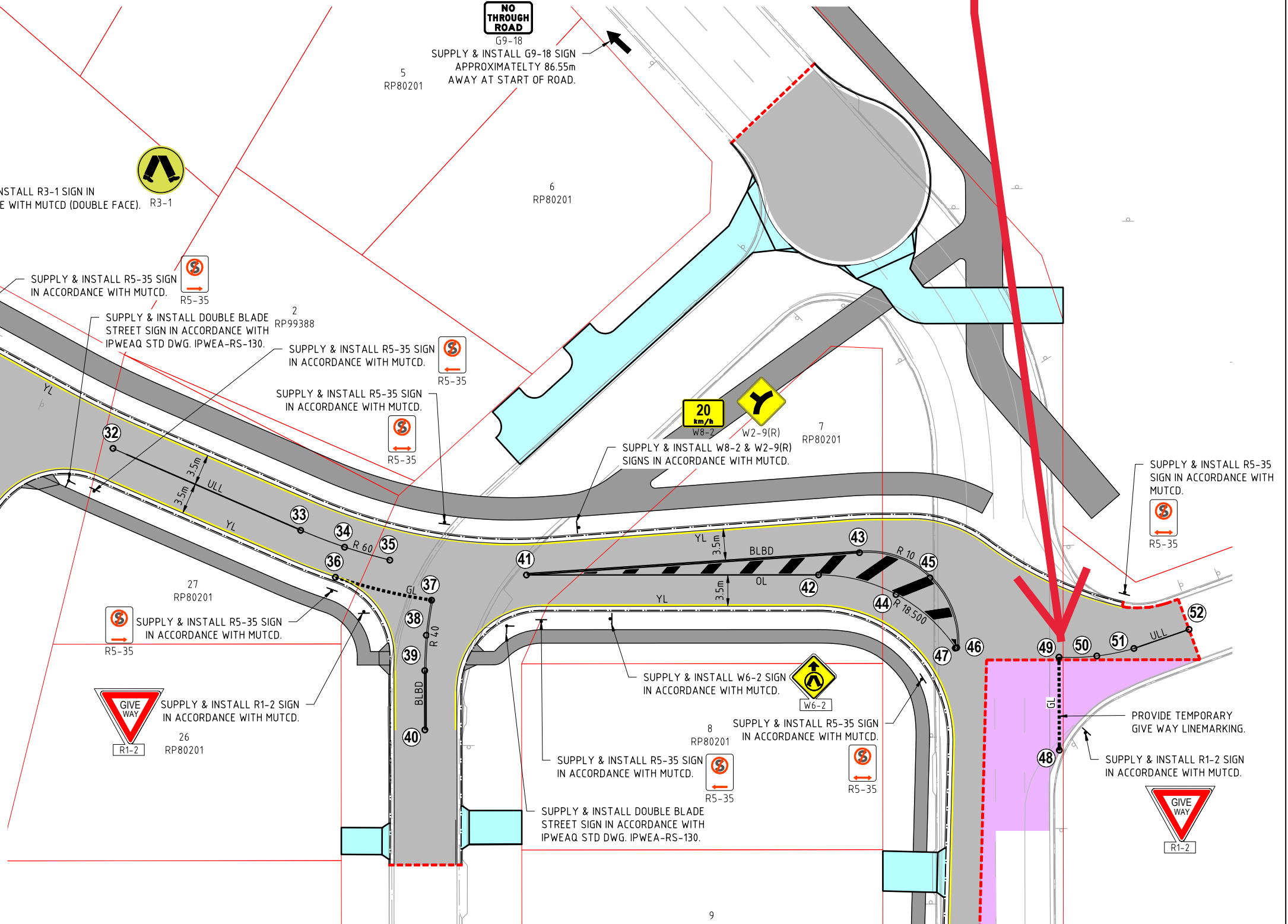
PAVEMENT MARKING DIMENSIONS

TRANSVERSE LINES

		WIDTH (mm)	LABEL
Continuity Line		200	GL
Give Way Line		300	GL

LONGITUDINAL LINES

Both Directions		80 80 80	BLBD
No Stopping		100	YL
Broken		100	BLL
Unbroken		100	ULL
Outline Markings		150	OL



REVISIONS	ISSUE DATE
5	
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3	
2	
1 RFI RESPONSE	06/10/2022
0 ISSUE FOR APPROVAL	8/8/2022

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APPROVED:
RPEQ:26951
APPROVED DATE:06/10/22



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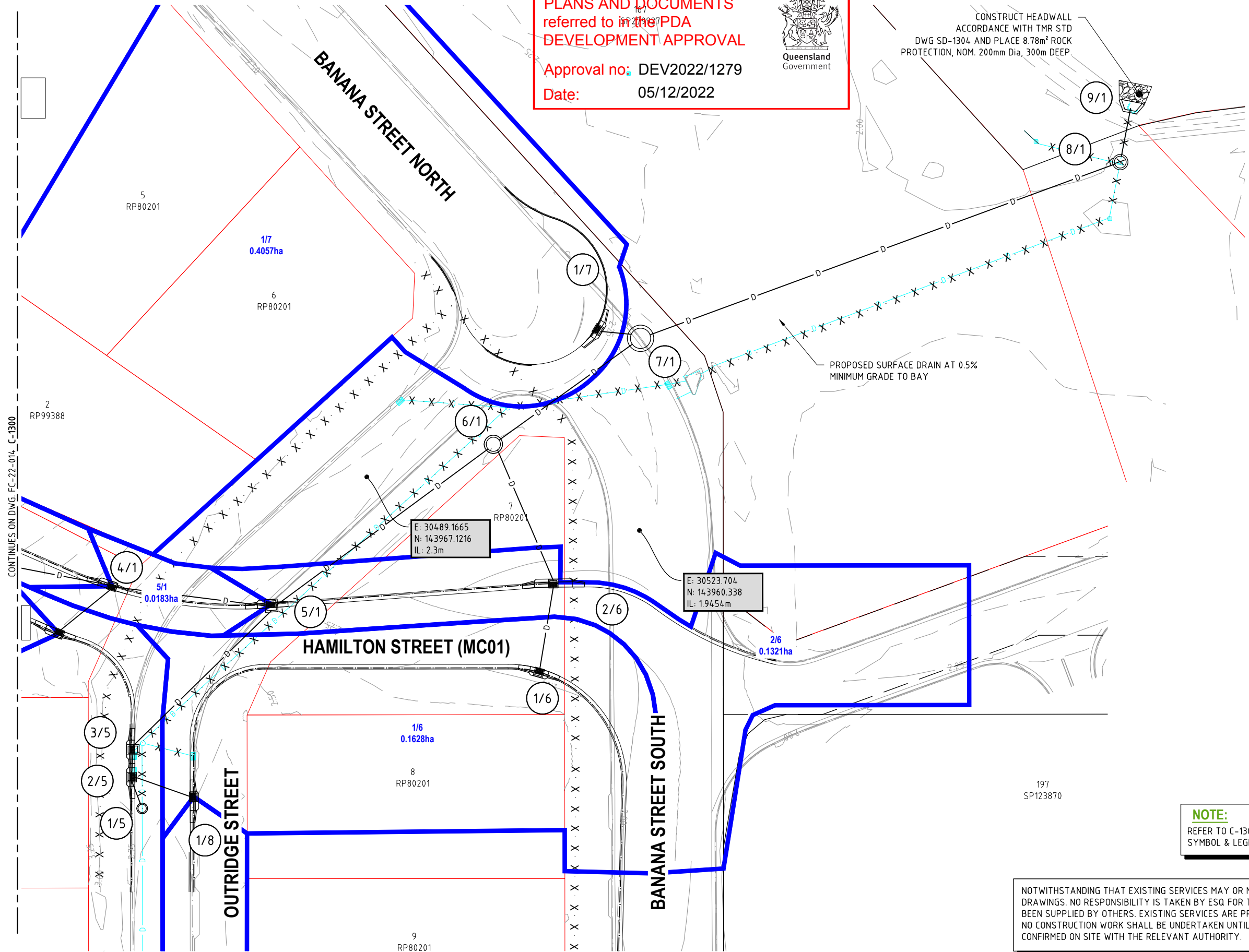
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TITLE: LINE MARKING AND SIGNAGE DRAWING - SHEET 2		A3
PROJECT: WEINAM CREEK PRIORITY DEVELOPMENT AREA STAGE 3A WEINAM CREEK REDLAND BAY FOR REDLAND INVESTMENT CORPORATION		
No. 47 of 72 DRAWINGS		
Job No. FC-22-014-3A	DWG No. C-1201	
0	1	2
3	4	5




PLOT DATE: - 6 October 2022 10:22 AM



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2022/1279

Date: 05/12/2022


  
Queensland Government

**NOTE:**  
REFER TO C-1300 FOR STORMWATER NOTE, SYMBOL & LEGEND

NOTWITHSTANDING THAT EXISTING SERVICES MAY OR MAY NOT BE SHOWN ON THESE DRAWINGS. NO RESPONSIBILITY IS TAKEN BY ESQ FOR THIS INFORMATION, WHICH HAS BEEN SUPPLIED BY OTHERS. EXISTING SERVICES ARE PROVIDED FOR INFORMATION ONLY. NO CONSTRUCTION WORK SHALL BE UNDERTAKEN UNTIL SERVICE LOCATIONS HAVE BEEN CONFIRMED ON SITE WITH THE RELEVANT AUTHORITY.

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1 RFI RESPONSE	06/10/2022
0 ISSUE FOR APPROVAL	8/8/2022

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Engineering Solutions Qld

REDLAND INVESTMENT CORPORATION

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TITLE: DRAINAGE LAYOUT PLAN - SHEET 2

PROJECT: WEINAM CREEK PRIORITY DEVELOPMENT AREA STAGE 3A  
WEINAM CREEK REDLAND BAY  
FOR REDLAND INVESTMENT CORPORATION

No. 50 of 72 DRAWINGS

Job No. FC-22-014-3A

DWG No. C-1302

0	1	2	3	4	5
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0	1	2	3	4	5				
---	---	---	---	---	---	--	--	--	--



PIPE SIZE (mm)  
PIPE CLASS  
PIPE GRADE (%)  
PIPE SLOPE (1 in X)  
PIPE FLOW (cumecs)  
MAX CAPACITY RATIO  
VELOCITY AT MAX FLOW (m/s)  
PEAK VELOCITY (m/s)  
DATUM RL

DEPTH TO INVERT	1.070	1.100	1.335	1.471
Q10 HGL ELEVATION	3.587	3.575	3.588	3.337
INVERT LEVEL OF DRAIN	3.464	3.434	2.918	2.782
DESIGN (& EXISTING) SURFACE LEVEL	4.534 (4.830)	4.434	4.254 (4.296)	
CHAINAGE	8.202	14.420	22.622	

LINE 3

PIPE SIZE (mm)  
PIPE CLASS  
PIPE GRADE (%)  
PIPE SLOPE (1 in X)  
PIPE FLOW (cumecs)  
MAX CAPACITY RATIO  
VELOCITY AT MAX FLOW (m/s)  
PEAK VELOCITY (m/s)  
DATUM RL

DEPTH TO INVERT	1.003	0.983	1.013
Q10 HGL ELEVATION	3.868	3.830	3.837
INVERT LEVEL OF DRAIN	3.110	3.014	2.984
DESIGN (& EXISTING) SURFACE LEVEL	4.114 (4.472)	3.997 (4.613)	3.742
CHAINAGE	0.000	10.390	

LINE 4

PIPE SIZE (mm)  
PIPE CLASS  
PIPE GRADE (%)  
PIPE SLOPE (1 in X)  
PIPE FLOW (cumecs)  
MAX CAPACITY RATIO  
VELOCITY AT MAX FLOW (m/s)  
PEAK VELOCITY (m/s)  
DATUM RL

DEPTH TO INVERT	1.261	1.095	1.125	1.145	1.175	1.090	1.120
Q10 HGL ELEVATION	2.309	2.261	2.237	2.098	2.075	2.073	1.954
INVERT LEVEL OF DRAIN	1.395	1.374	1.344	1.327	1.297	1.172	1.142
DESIGN (& EXISTING) SURFACE LEVEL	2.656 (2.733)	2.470 (2.786)	2.472 (2.705)	2.472 (2.705)	2.261 (2.511)	2.261 (2.511)	1.954 (2.511)
CHAINAGE	0.000	4.190	3.487	7.678	25.572	33.249	

LINE 5

PIPE SIZE (mm)  
PIPE CLASS  
PIPE GRADE (%)  
PIPE SLOPE (1 in X)  
PIPE FLOW (cumecs)  
MAX CAPACITY RATIO  
VELOCITY AT MAX FLOW (m/s)  
PEAK VELOCITY (m/s)  
DATUM RL

DEPTH TO INVERT	0.795	0.802	0.832	1.289	1.319
Q10 HGL ELEVATION	1.763	1.753	1.706	1.701	1.648
INVERT LEVEL OF DRAIN	1.021	0.969	0.939	0.873	0.843
DESIGN (& EXISTING) SURFACE LEVEL	1.816 (2.324)	1.770 (2.339)	1.701 (2.339)	1.648 (2.260)	1.635 (2.260)
CHAINAGE	0.000	11.542	19.532		

LINE 6

PIPE SIZE (mm)  
PIPE CLASS  
PIPE GRADE (%)  
PIPE SLOPE (1 in X)  
PIPE FLOW (cumecs)  
MAX CAPACITY RATIO  
VELOCITY AT MAX FLOW (m/s)  
PEAK VELOCITY (m/s)  
DATUM RL

DEPTH TO INVERT	1.100	1.144	1.181
Q10 HGL ELEVATION	1.738	1.672	1.564
INVERT LEVEL OF DRAIN	0.916	0.816	0.779
DESIGN (& EXISTING) SURFACE LEVEL	2.016 (2.290)	1.960 (2.194)	1.816 (2.194)
CHAINAGE	0.000	5.827	

LINE 7

PIPE SIZE (mm)  
PIPE CLASS  
PIPE GRADE (%)  
PIPE SLOPE (1 in X)  
PIPE FLOW (cumecs)  
MAX CAPACITY RATIO  
VELOCITY AT MAX FLOW (m/s)  
PEAK VELOCITY (m/s)  
DATUM RL

DEPTH TO INVERT	1.017	1.095	1.125
Q10 HGL ELEVATION	2.270	2.241	2.237
INVERT LEVEL OF DRAIN	1.574	1.374	1.344
DESIGN (& EXISTING) SURFACE LEVEL	2.591 (2.791)	2.470 (2.786)	2.298 (2.786)
CHAINAGE	0.000	8.283	

LINE 8

PIPE SIZE (mm)  
PIPE CLASS  
PIPE GRADE (%)  
PIPE SLOPE (1 in X)  
PIPE FLOW (cumecs)  
MAX CAPACITY RATIO  
VELOCITY AT MAX FLOW (m/s)  
PEAK VELOCITY (m/s)  
DATUM RL

DEPTH TO INVERT	1.006	0.982	1.012
Q10 HGL ELEVATION	2.393	2.326	2.115
INVERT LEVEL OF DRAIN	2.202	2.002	1.972
DESIGN (& EXISTING) SURFACE LEVEL	3.208 (3.415)	2.984 (3.246)	2.087 (3.246)
CHAINAGE	0.000	9.034	

LINE 9

AMENDED IN RED: All Stormwater Structures to have saltwater cover.

AMENDED IN RED

By: Gehan DeSilva  
Date: 08/11/2022



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2022/1279  
Date: 05/12/2022



REVISIONS	ISSUE DATE
5	
4	
3	
2	
1	RFI RESPONSE 06/10/2022
0	ISSUE FOR APPROVAL 8/8/2022

SCALE:
HORIZONTAL SCALE 1:1000 (m)
0 10 20 30
0 1 2 3
VERTICAL SCALE 1:100 (m)
DO NOT SCALE FROM PLAN

FOR APPROVAL
APPROVED:
RPEQ:26951
APPROVED DATE:06/10/22



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TITLE: DRAINAGE LONGITUDINAL SECTIONS - SHEET 2		A3
PROJECT: WEINAM CREEK PRIORITY DEVELOPMENT AREA STAGE 3A WEINAM CREEK REDLAND BAY FOR REDLAND INVESTMENT CORPORATION		
No. 52 of 72 DRAWINGS	Job No. FC-22-014-3A	DWG No. C-1304
0	1	2
3	4	5



PLOT DATE: - 6 October 2022 10:22 AM

AMENDED IN RED: All Stormwater Structures to have saltwater cover.

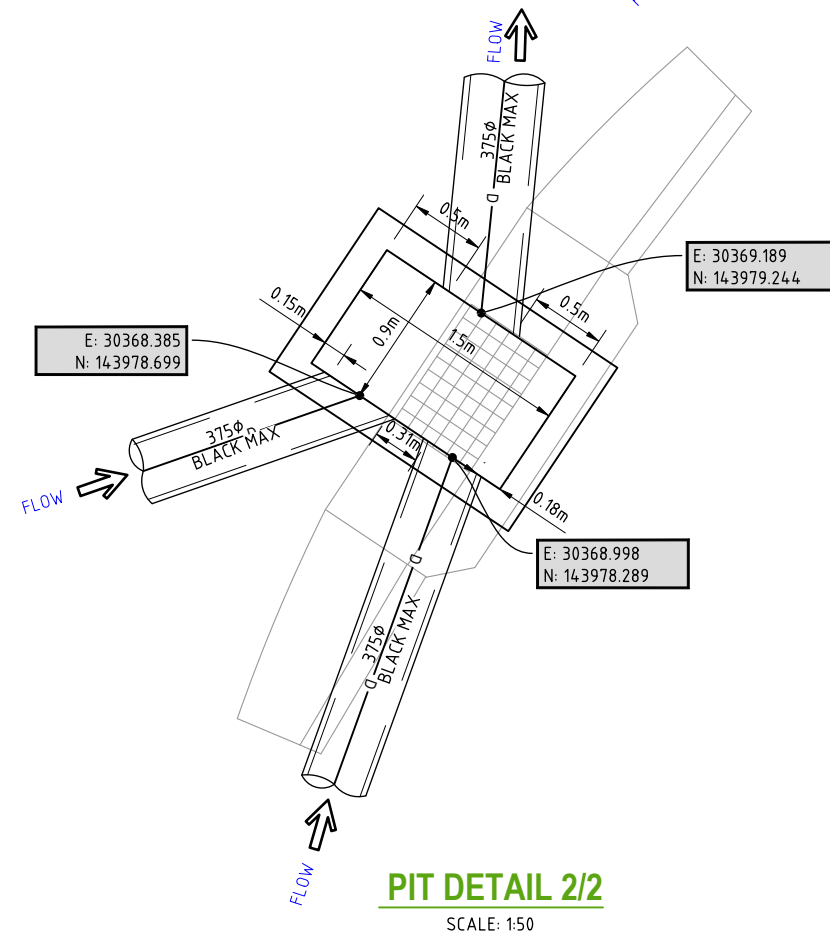
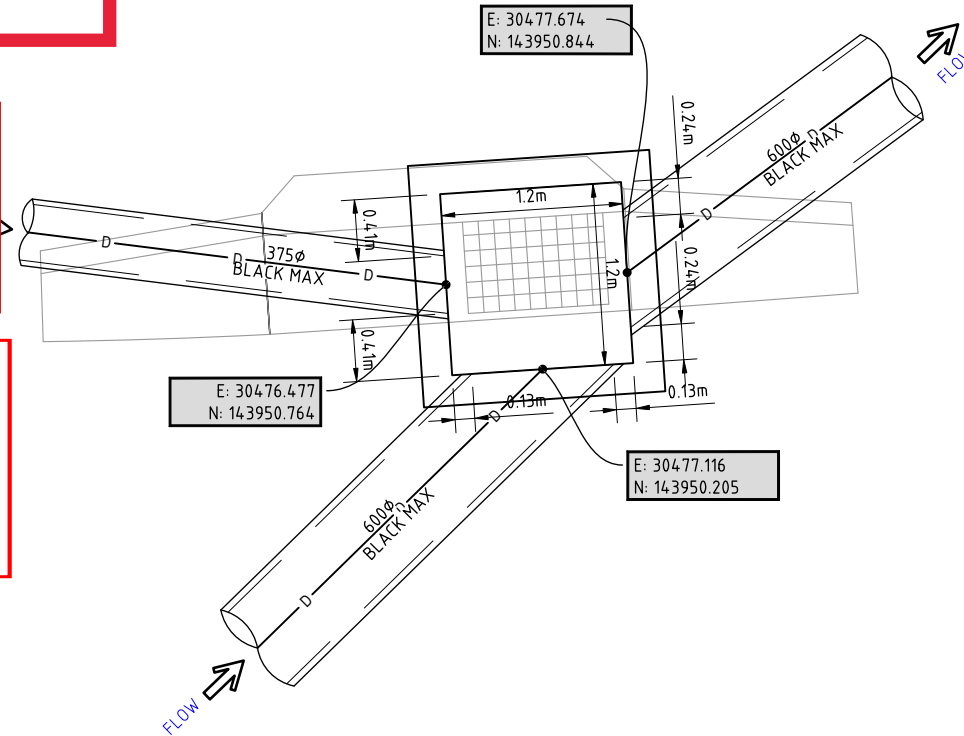
AMENDED IN RED

By: Gehan DeSilva  
Date: 08/11/2022

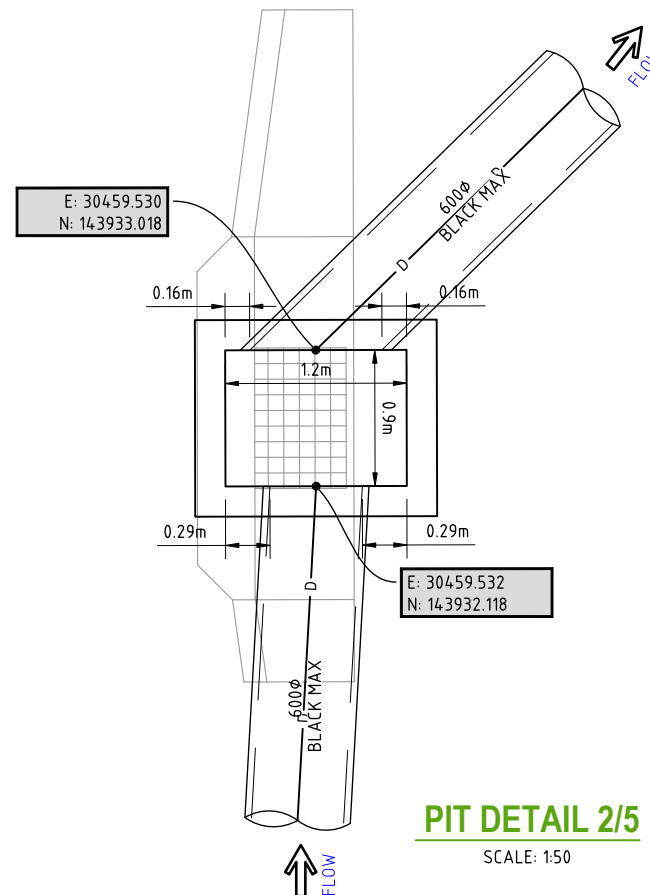


PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

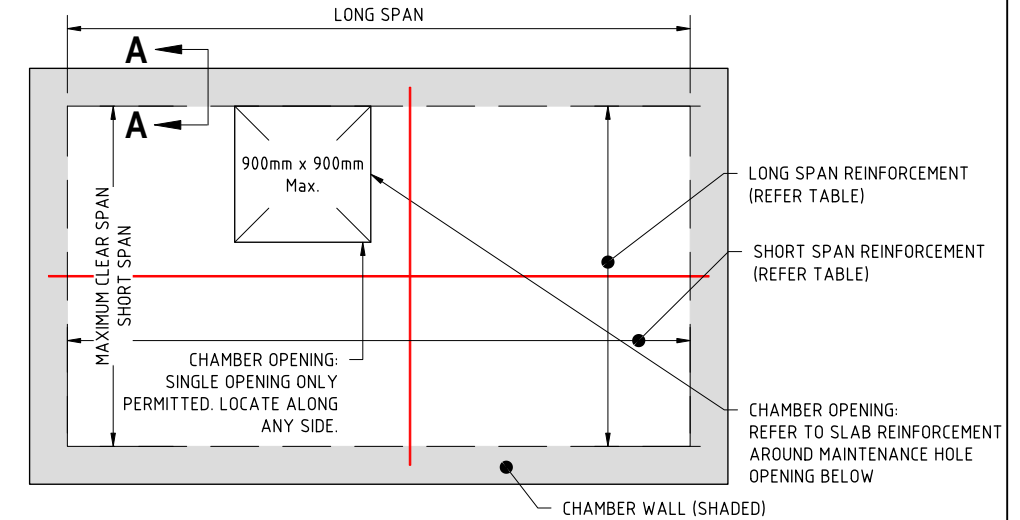
Approval no: DEV2022/1279  
Date: 05/12/2022



PIT DETAIL 2/2  
SCALE: 1:50



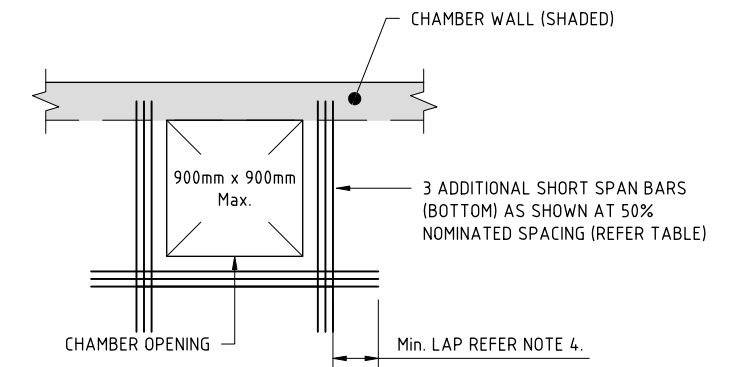
PIT DETAIL 2/5  
SCALE: 1:50



TYPICAL ROOF SLAB REINFORCEMENT

### REINFORCEMENT TABLE

MAXIMUM CLEAR SPAN (mm)	REINFORCEMENT (45mm BOTTOM COVER)	
	SHORT SPAN	LONG SPAN
1200	N12 @ 200	N12 @ 200
1500	N12 @ 150	N12 @ 200
1800	N16 @ 200	N12 @ 200



SLAB REINFORCEMENT  
AROUND MAINTENANCE HOLE OPENING

REVISIONS	ISSUE DATE	SCALE:
5		
4		
3		
2		
1 RFI RESPONSE	06/10/2022	
0 ISSUE FOR APPROVAL	8/8/2022	DO NOT SCALE FROM PLAN

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APPROVED:   
RPEQ: 26951  
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TITLE: **OVERSIZE PIT DETAILS**

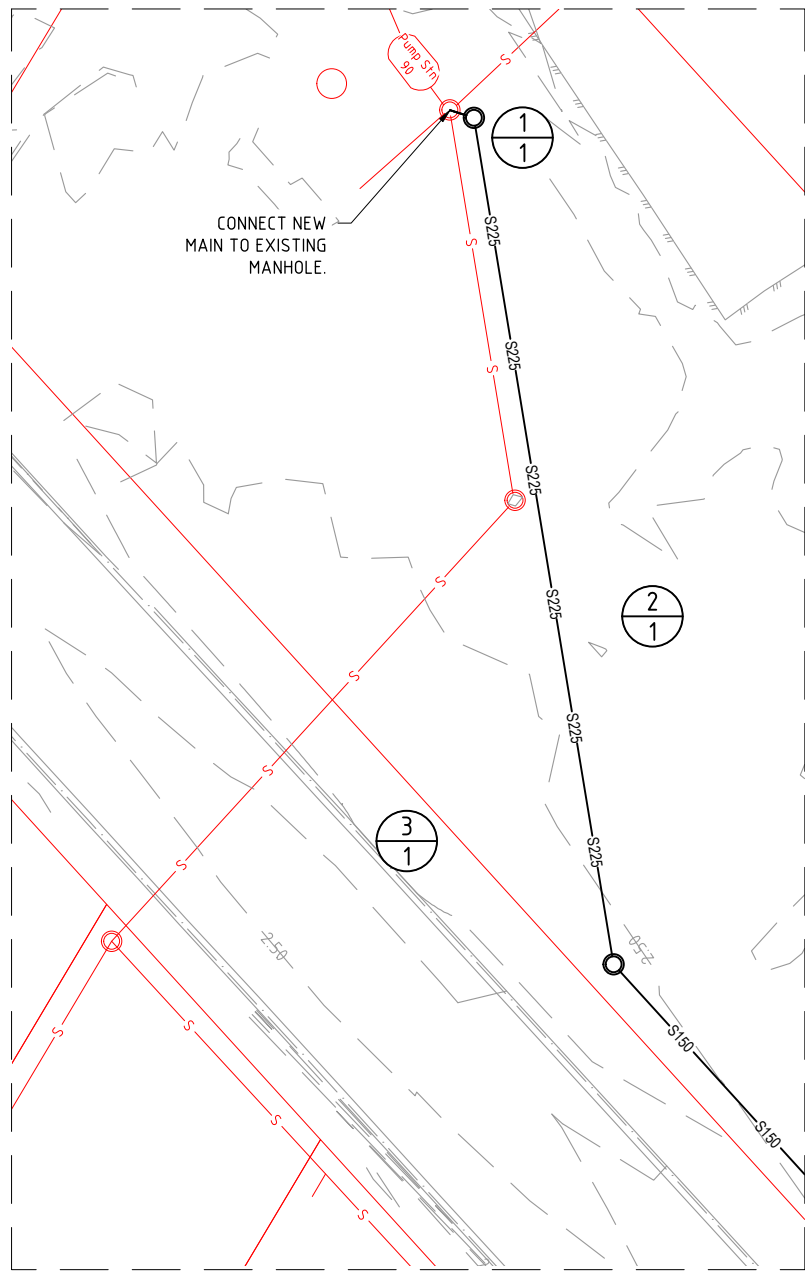
PROJECT: **WEINAM CREEK PRIORITY DEVELOPMENT AREA STAGE 3A  
WEINAM CREEK REDLAND BAY  
FOR REDLAND INVESTMENT CORPORATION**

No. 53 of 72 DRAWINGS	DWG No. C-1305
Job No. FC-22-014-3A	
0 1 2 3 4 5	

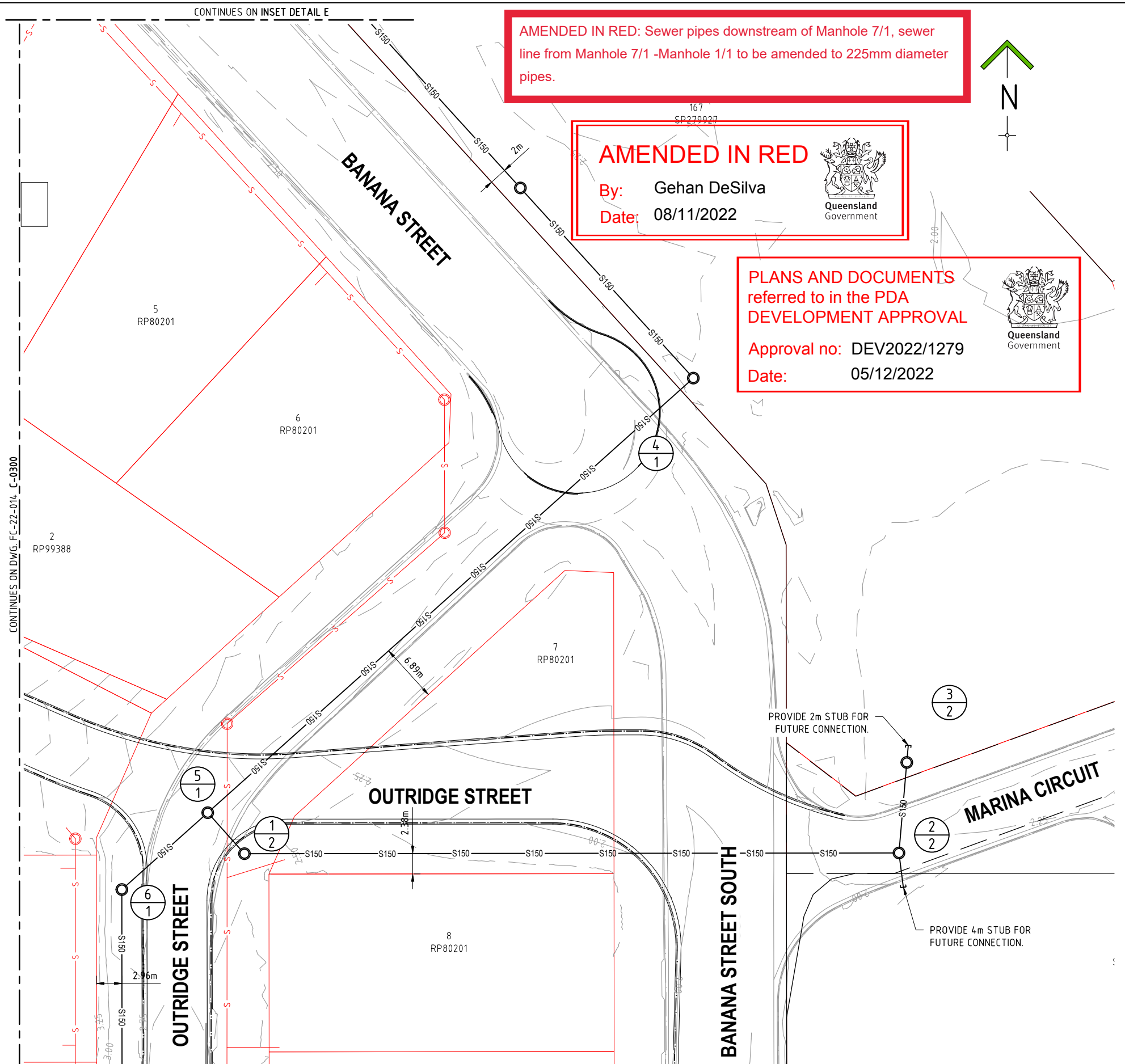
A3



PLOT DATE :- 6 October 2022 10:22 AM



INSET DETAIL E



REVISIONS	ISSUE DATE
5	
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1 RFI RESPONSE	06/10/2022
0 ISSUE FOR APPROVAL	8/8/2022

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SCALE 1:500 (m)
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RPEQ:26951
APPROVED DATE:06/10/22



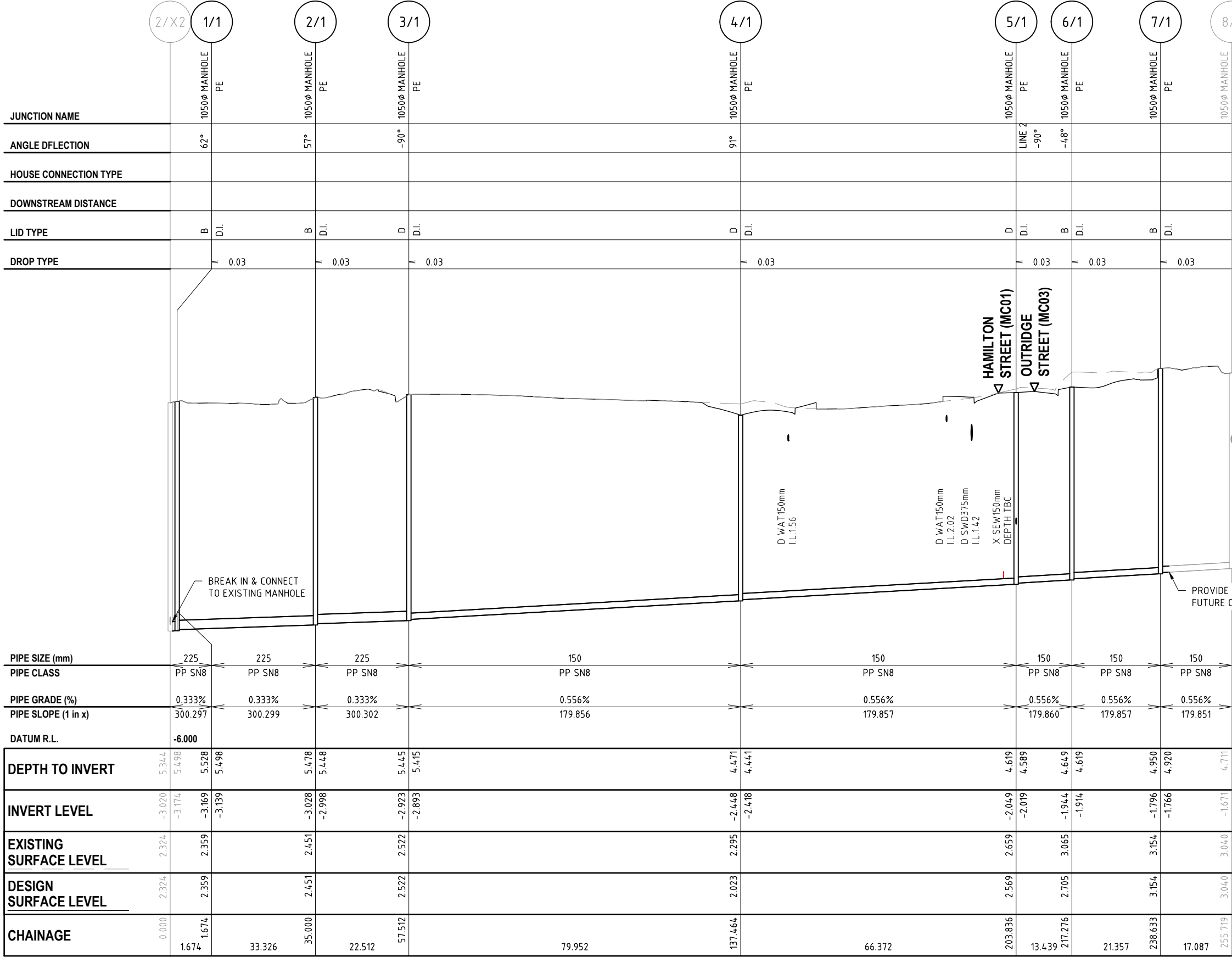
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TITLE: SEWER RETICULATION LAYOUT PLAN - SHEET 2	A3
PROJECT: WEINAM CREEK PRIORITY DEVELOPMENT AREA STAGE 3A WEINAM CREEK REDLAND BAY FOR REDLAND INVESTMENT CORPORATION	No. 56 of 72 DRAWINGS Job No. FC-22-014-3A DWG No. C-1402
	0 1 2 3 4 5





LINE 1

AMENDED IN RED: Sewer pipes downstream of Manhole 7/1, sewer line from Manhole 7/1 -Manhole 1/1 to be amended to 225mm diameter pipes.

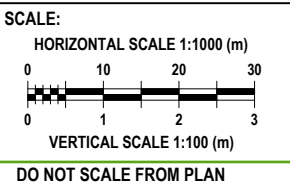
AMENDED IN RED  
By: Gehan DeSilva  
Date: 08/11/2022



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL  
Approval no: DEV2022/1279  
Date: 05/12/2022



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1 RFI RESPONSE	06/10/2022
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APPROVED DATE:06/10/22



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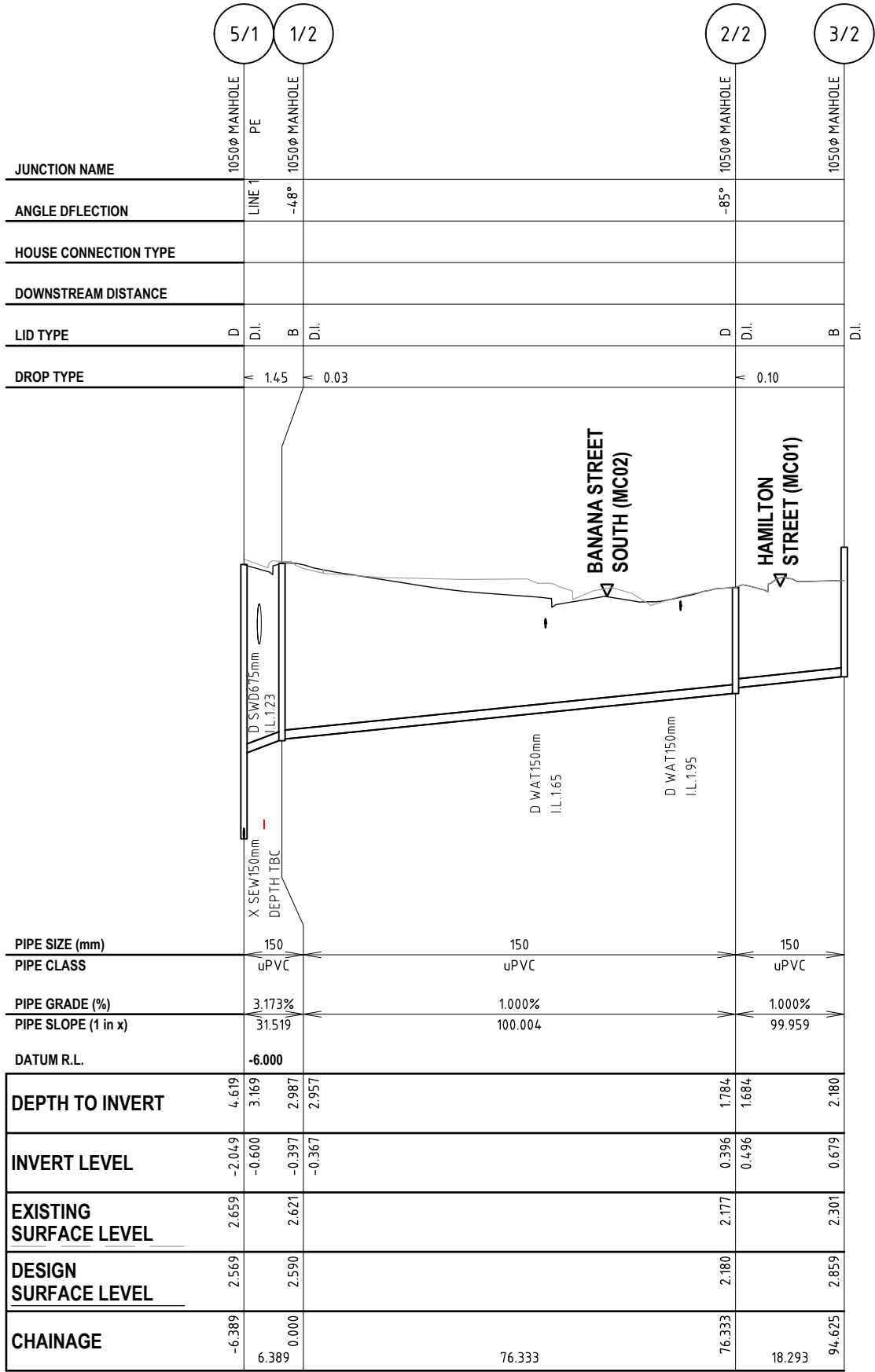
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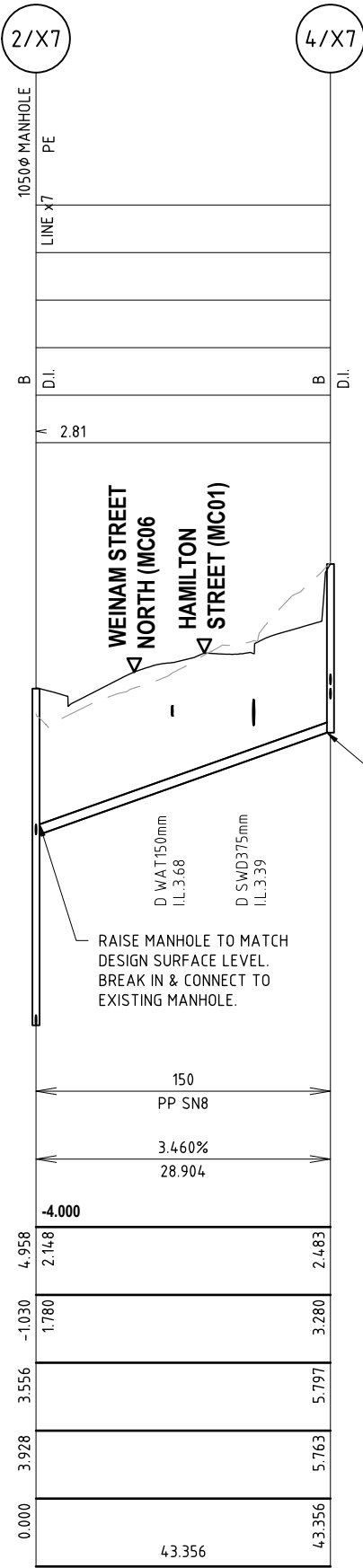
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TITLE: SEWER LONGITUDINAL SECTIONS - SHEET 1										A3
PROJECT: WEINAM CREEK PRIORITY DEVELOPMENT AREA STAGE 3A WEINAM CREEK REDLAND BAY FOR REDLAND INVESTMENT CORPORATION										
No. 57 of 72 DRAWINGS					Job No. FC-22-014-3A					
DWG No. C-1403					0 1 2 3 4 5					





LINE 2



LINE 3

PLANS AND DOCUMENTS  
referred to in the PDA  
DEVELOPMENT APPROVAL



Approval no: DEV2022/1279  
Date: 05/12/2022

REVISIONS	ISSUE DATE
5	
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1	RFI RESPONSE 06/10/2022
0	ISSUE FOR APPROVAL 8/8/2022

SCALE:

HORIZONTAL SCALE 1:1000 (m)

VERTICAL SCALE 1:100 (m)

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APPROVED:

RPEQ:26951

APPROVED DATE:06/10/22

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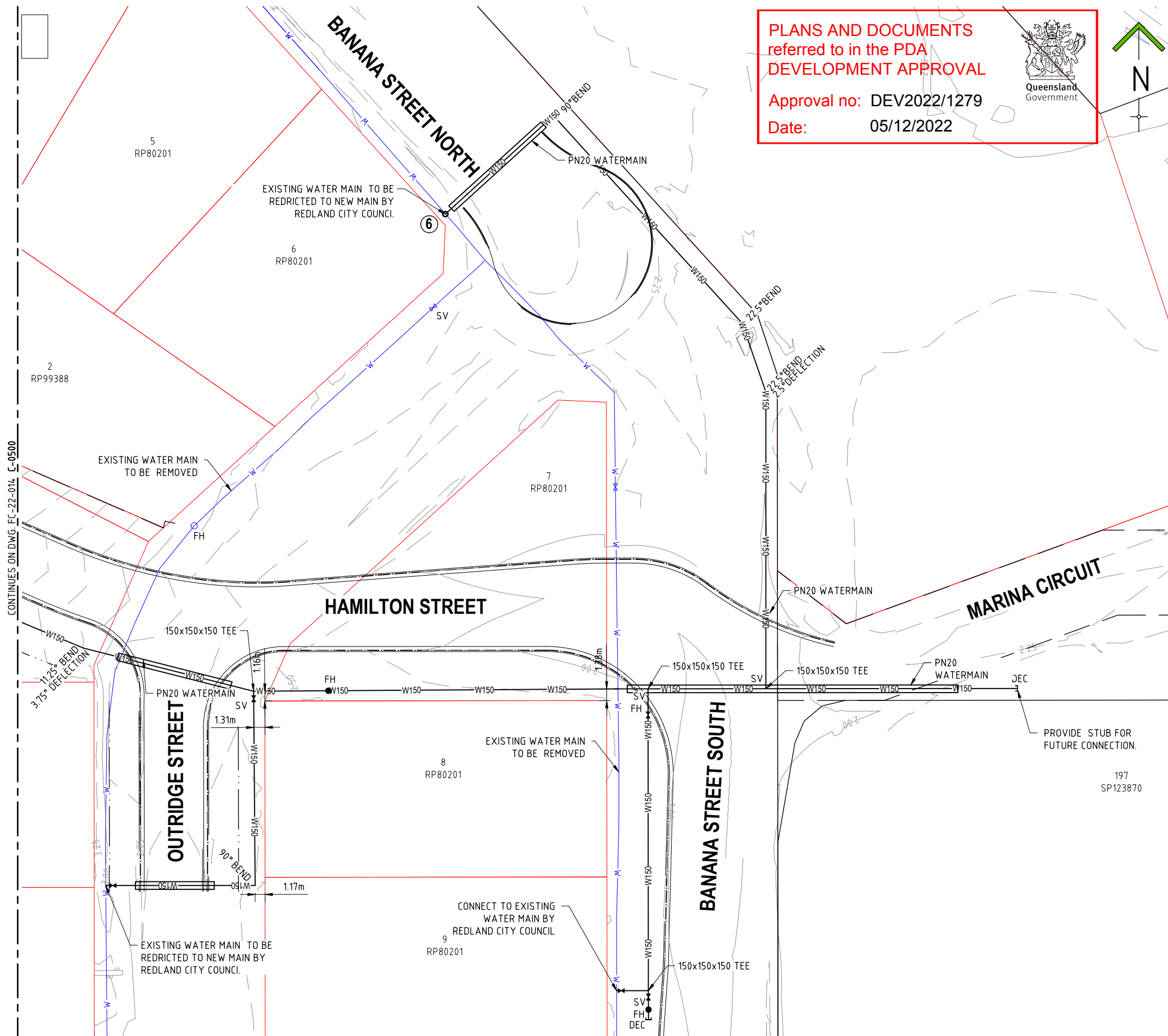
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TITLE: SEWER LONGITUDINAL SECTIONS - SHEET 2											A3											
PROJECT: WEINAM CREEK PRIORITY DEVELOPMENT AREA STAGE 3A WEINAM CREEK REDLAND BAY FOR REDLAND INVESTMENT CORPORATION													No. 58 of 72 DRAWINGS									
													Job No.		DWG No.							
													FC-22-014-3A		C-1404							
													0	1	2	3	4	5				



No.	DESCRIPTION	DIA.	LOCATION
1	REDLAND WATER TO EXCAVATED TO NEW WATERMAIN PREVIOUSLY CONSTRUCTED BY CONTRACTOR AND REMOVED DEAD END CAP AND THEN CONNECTED TO EXISTING 150Ø WATERMAIN, INCLUDING INSTALLATION OF REQUIRED FITTINGS. REDLAND WATER TO BACKFILLED WATERMAIN INCLUDING TEMPORARY SURFACE RESTORATION.	150	ROAD RESERVE HAMILTON STREET ADJACENT LOT 1 ON 169111
2	REDLAND WATER TO EXCAVATED TO NEW WATERMAIN PREVIOUSLY CONSTRUCTED BY CONTRACTOR AND REMOVED DEAD END CAP AND THEN CONNECTED TO EXISTING 150Ø WATERMAIN, INCLUDING INSTALLATION OF REQUIRED FITTINGS. REDLAND WATER TO BACKFILLED WATERMAIN INCLUDING TEMPORARY SURFACE RESTORATION.	150	ROAD RESERVE WEINAM STREET ADJACENT LOT 1 ON 169111
3	REDLAND WATER TO EXCAVATED TO NEW WATERMAIN PREVIOUSLY CONSTRUCTED BY CONTRACTOR AND REMOVED DEAD END CAP AND THEN CONNECTED TO EXISTING 150Ø WATERMAIN, INCLUDING INSTALLATION OF REQUIRED FITTINGS. REDLAND WATER TO BACKFILLED WATERMAIN INCLUDING TEMPORARY SURFACE RESTORATION.	150	ROAD RESERVE WEINAM STREET NORTH ADJACENT LOT 2 ON RP80201
4	REDLAND WATER TO EXCAVATED TO NEW WATERMAIN PREVIOUSLY CONSTRUCTED BY CONTRACTOR AND REMOVED DEAD END CAP AND THEN CONNECTED TO EXISTING 150Ø WATERMAIN, INCLUDING INSTALLATION OF REQUIRED FITTINGS. REDLAND WATER TO BACKFILLED WATERMAIN INCLUDING TEMPORARY SURFACE RESTORATION.	150	ROAD RESERVE HAMILTON STREET SOUTH ADJACENT LOT 8 ON RP107394
5	REDLAND WATER TO EXCAVATED TO NEW WATERMAIN PREVIOUSLY CONSTRUCTED BY CONTRACTOR AND REMOVED DEAD END CAP AND THEN CONNECTED TO EXISTING 150Ø WATERMAIN, INCLUDING INSTALLATION OF REQUIRED FITTINGS. REDLAND WATER TO BACKFILLED WATERMAIN INCLUDING TEMPORARY SURFACE RESTORATION.	150	ROAD RESERVE OUTRIDGE STREET ADJACENT LOT 26 ON RP80201
6	REDLAND WATER TO EXCAVATED TO NEW WATERMAIN PREVIOUSLY CONSTRUCTED BY CONTRACTOR AND REMOVED DEAD END CAP AND THEN CONNECTED TO EXISTING 150Ø WATERMAIN, INCLUDING INSTALLATION OF REQUIRED FITTINGS. REDLAND WATER TO BACKFILLED WATERMAIN INCLUDING TEMPORARY SURFACE RESTORATION.	150	ROAD RESERVE BANANA STREET NORTH ADJACENT LOT 6 ON RP80201
7	REDLAND WATER TO EXCAVATED TO NEW WATERMAIN PREVIOUSLY CONSTRUCTED BY CONTRACTOR AND REMOVED DEAD END CAP AND THEN CONNECTED TO EXISTING 150Ø WATERMAIN, INCLUDING INSTALLATION OF REQUIRED FITTINGS. REDLAND WATER TO BACKFILLED WATERMAIN INCLUDING TEMPORARY SURFACE RESTORATION.	150	ROAD RESERVE BANANA STREET SOUTH ADJACENT LOT 9 ON RP80201



	REVISIONS	ISSUE DATE
5		
4		
3		
2		
1	RFI RESPONSE	06/10/2022
0	ISSUE FOR APPROVAL	8/8/2022

**SCALE:**



DO NOT SCALE FROM PLAN

**FOR APPROVAL**

**APPROVED:**

RPEQ:26951

**APPROVED DATE:**06/10/22



**REDLAND**  
INVESTMENT CORPORATION

INVESTMENT CORPORATION

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**TITLE: WATER RETICULATION LAYOUT PLAN - SHEET 2**

**PROJECT:**  
**WEINAM CREEK PRIORITY DEVELOPMENT AREA STAGE 3A**  
**WEINAM CREEK REDLAND BAY**  
**FOR REDLAND INVESTMENT CORPORATION**

No. 60 of 72 DRAWINGS

Job No.

FC-22-014-3A

DWG No.

C-1501

0	1	2	3	4	5				
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## Appendix E 'Dial Before You Dig' (DBYD) Information





# BYDA SYMBOLOLOGY LEGEND

	Cross Bonding Link Box - <b>Critical</b>		Planned Cross Bonding Link Box - New/Updated
	Disconnect Box - <b>Critical</b>		Planned Cross Bonding Link Box - Remove
	Ring Main Unit		Planned Disconnect Box - New/Updated
	Distribution Pad Substation		Planned Disconnect Box - Remove
	Earth		Planned Distribution Pad Substation - New/Updated
	Remote Earth		Planned Distribution Pad Substation - Remove
	Cable Marker		Planned Distribution Ground Substation - New/Updated
	Handhole		Planned Distribution Ground Substation - Remove
	Manhole		Planned Ring Main Unit - New/Updated
	Commercial Industrial Pillar		Planned Ring Main Unit - Remove
	Distribution Cabinet		Planned Earth - New/Updated
	Link Pillar		Planned Earth - Remove
	Service Pillar		Planned Cable Marker - New/Updated
	Feeder Pillar		Planned Cable Marker - Remove
	Pole		Planned Remote Earth - New/Updated
	Streetlight Column		Planned Remote Earth - Remove
	Communication Junction Pillar		Planned Underground Warning Post - New/Updated
	Communication Pit		Planned Underground Warning Post - Remove
	Fibre Patch Panel		Planned Pilot Cubicle - New/Updated
	Pilot Cubicle		Planned Pilot Cubicle - Remove
	Underground Asset 33kV and above		Planned Fibre Patch Panel - New/Updated
	Underground Asset below 33kV		Planned Fibre Patch Panel - Remove
	Underground Conduit with or without cable		Planned Commercial Industrial Pillar - New/Updated
	Pit		Planned Commercial Industrial Pillar - Remove
	Communication Boundary		Planned Distribution Cabinet - New/Updated
	Reserve (RE)		Planned Distribution Cabinet - Remove
	Water Resource (WR)		Planned Link Pillar - New/Updated
	Cadastral Parcels		Planned Link Pillar - Remove
	Planned Jointing Pit - New/Updated		Planned Service Pillar - New/Updated
	Planned Jointing Pit - Remove		Planned Service Pillar - Remove
	Planned Communication Boundary - New/Updated		Planned Pole - New/Updated
	Planned Communication Boundary - Remove		Planned Pole - Remove
	Planned Tunnel/Trench/Bore - New/Updated		Planned Manhole - New/Updated
	Planned Tunnel/Trench/Bore - Remove		Planned Manhole - Remove
			Planned Streetlight Column - New/Updated
			Planned Streetlight Column - Remove
			Planned Handhole - New/Updated
			Planned Handhole - Remove
			Planned Communication Junction Pillar - New/Updated
			Planned Communication Junction Pillar - Remove



All underground cables shall be treated as being energised. Where a cable is located that is not represented on the ENERGEX BYDA map, then ENERGEX shall be contacted immediately.

For Emergency Situations  
please call 13 19 62



BYDA

Sequence: 224985934

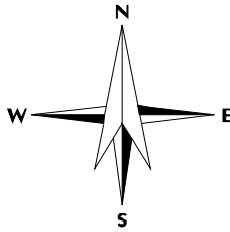
Date: 24/05/2023

Scale: 1:1025

OVERVIEW

For a full list of Map  
Symbols, please  
refer to the supplied  
BYDA Symbology  
Legend page

AS5488 Category “D” Plan



**DISCLAIMER:** While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither Energex nor PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.

This output provides details of the ENERGEX electrical network. As variations map exist no responsibility is incurred by ENERGEX for the accuracy or completeness of the information provided. Exact positions of cables and electrical connectivity should be confirmed on site.



All underground cables shall be treated as being energised. Where a cable is located that is not represented on the ENERGEX BYDA map, then ENERGEX shall be contacted immediately.

For Emergency Situations  
please call 13 19 62

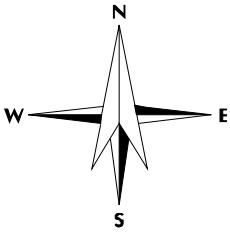


BYDA

Sequence: 224985934  
Date: 24/05/2023  
Scale: 1:500  
Tile No: 1

For a full list of Map  
Symbols, please  
refer to the supplied  
BYDA Symbology  
Legend page

AS5488 Category “D” Plan



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For Emergency Situations  
please call 13 19 62

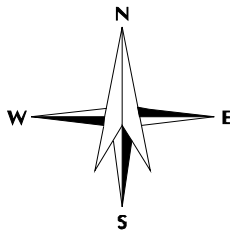


BYDA

Sequence: 224985934  
Date: 24/05/2023  
Scale: 1:500  
Tile No: 2

For a full list of Map  
Symbols, please  
refer to the supplied  
BYDA Symbology  
Legend page

AS5488 Category “D” Plan



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please call 13 19 62

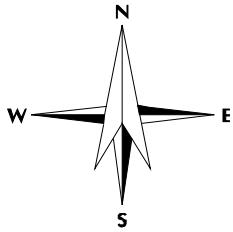


BYDA

Sequence: 224985934  
Date: 24/05/2023  
Scale: 1:500  
Tile No: 3

For a full list of Map  
Symbols, please  
refer to the supplied  
BYDA Symbology  
Legend page

AS5488 Category “D” Plan



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For Emergency Situations  
please call 13 19 62

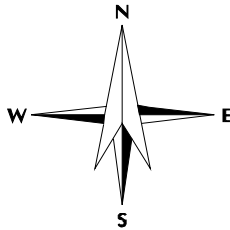


BYDA

Sequence: 224985934  
Date: 24/05/2023  
Scale: 1:500  
Tile No: 4

For a full list of Map  
Symbols, please  
refer to the supplied  
BYDA Symbology  
Legend page

AS5488 Category “D” Plan



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This output provides details of the ENERGEX electrical network. As variations map exist no responsibility is incurred by ENERGEX for the accuracy or completeness of the information provided. Exact positions of cables and electrical connectivity should be confirmed on site.

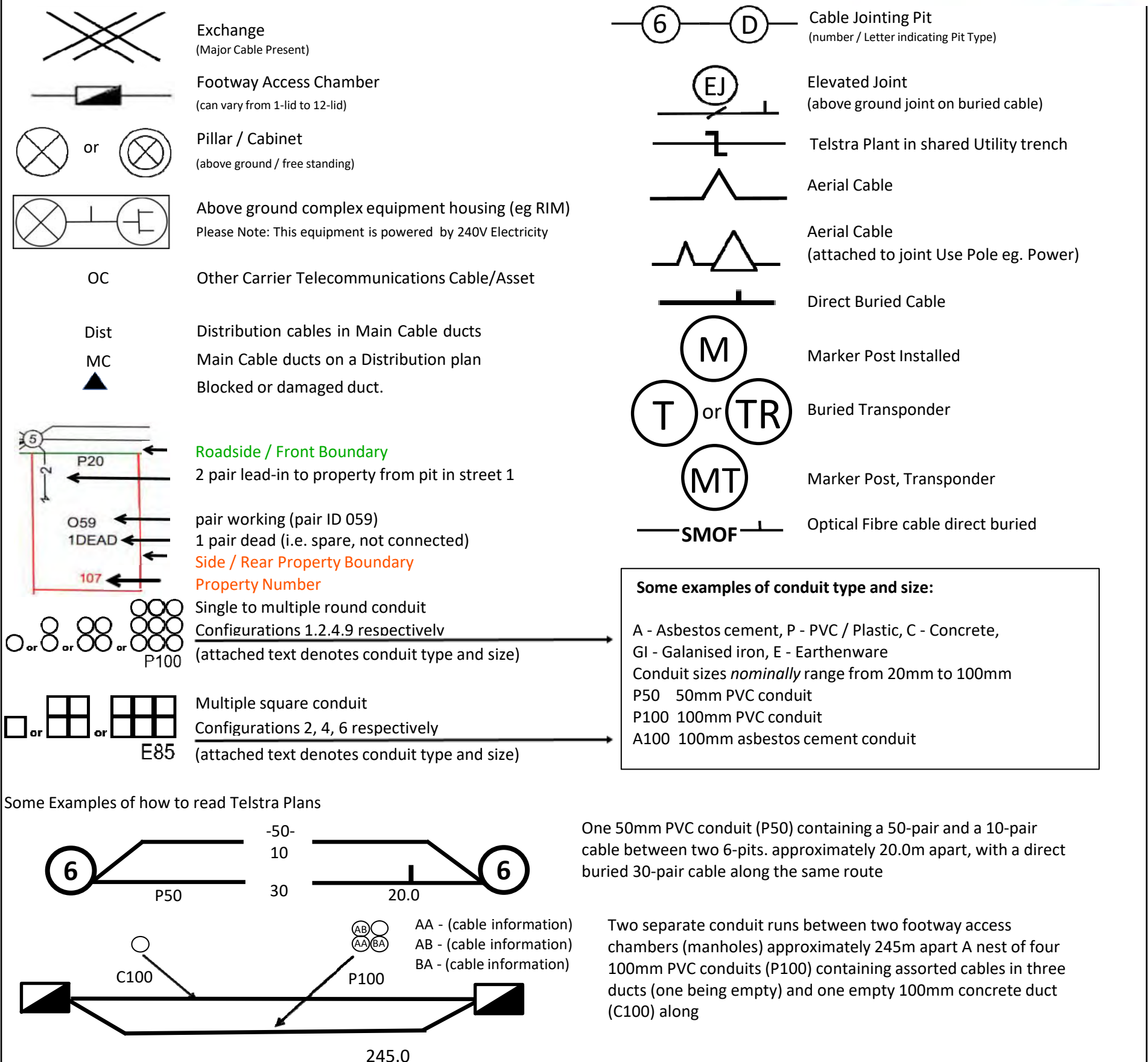


# LEGEND

IT'S HOW  
WE CONNECT

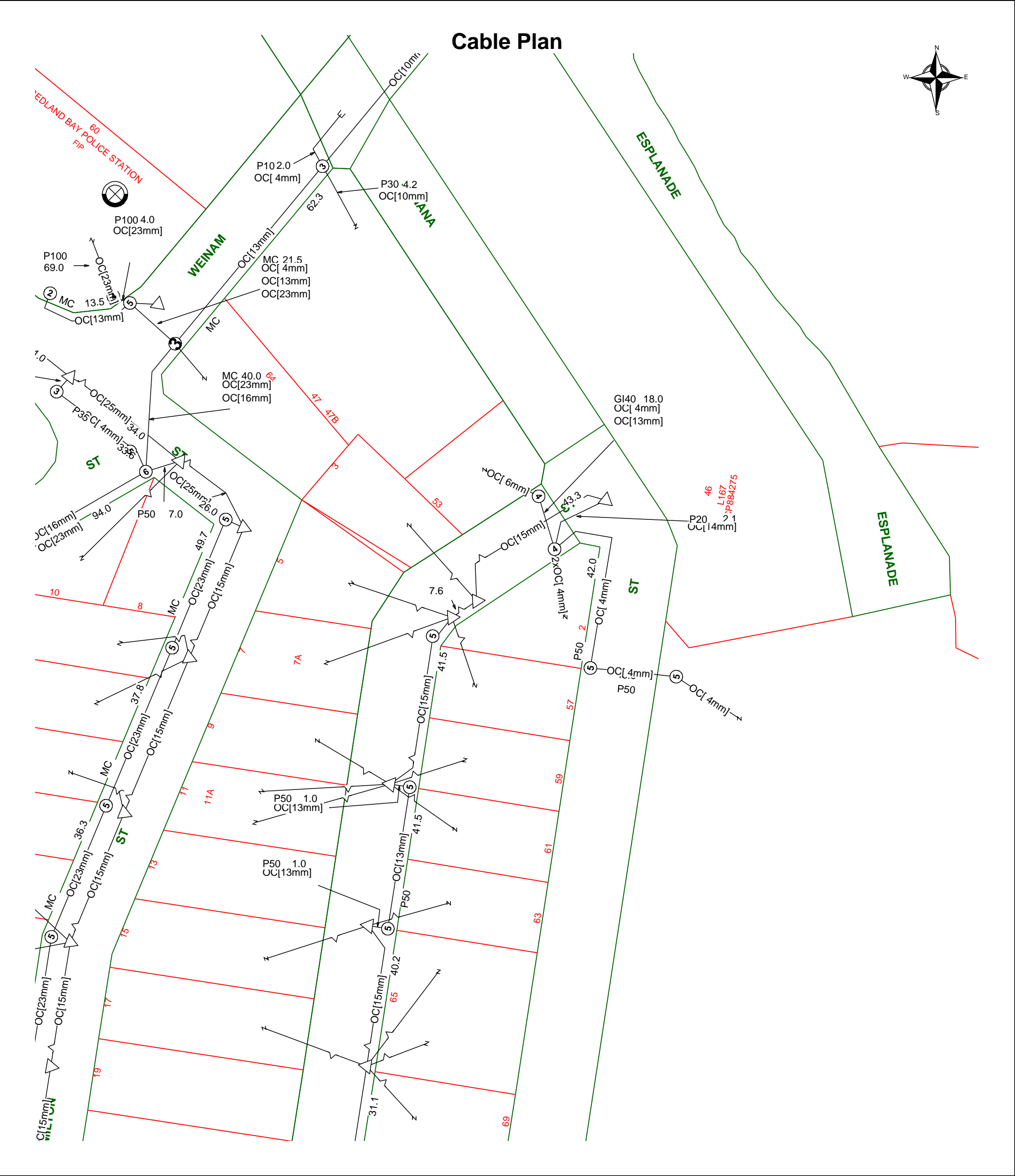



For more info contact a [Certified Locating Organisation](#) or Telstra Plan Services 1800 653 935



**WARNING:** Telstra plans and location information conform to Quality Level 'D' of the Australian Standard AS 5488 - Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy shown on the plans. FURTHER ON SITE INVESTIGATION IS REQUIRED TO VALIDATE THE EXACT LOCATION OF TELSTRA PLANT PRIOR TO COMMENCING CONSTRUCTION WORK. A plant location service is an essential part of the process to validate the exact location of Telstra assets and to ensure the assets are protected during construction works. The exact position of Telstra assets can only be validated by physically exposing them. Telstra will seek compensation for damages caused to its property and losses caused to Telstra and its customers.





	Report Damage: <a href="https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra-equipment">https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra-equipment</a> Ph - 13 22 03 Email - Telstra.Plans@team.telstra.com Planned Services - ph 1800 653 935 (AEST bus hrs only) General Enquiries	Sequence Number: 224985933
		CAUTION: Fibre optic and/ or major network present in plot area. Please read the Duty of Care and contact Telstra Plan Services should you require any assistance.
	TELSTRA LIMITED A.C.N. 086 174 781	
Generated On 24/05/2023 08:24:56		

The above plan must be viewed in conjunction with the Mains Cable Plan on the following page

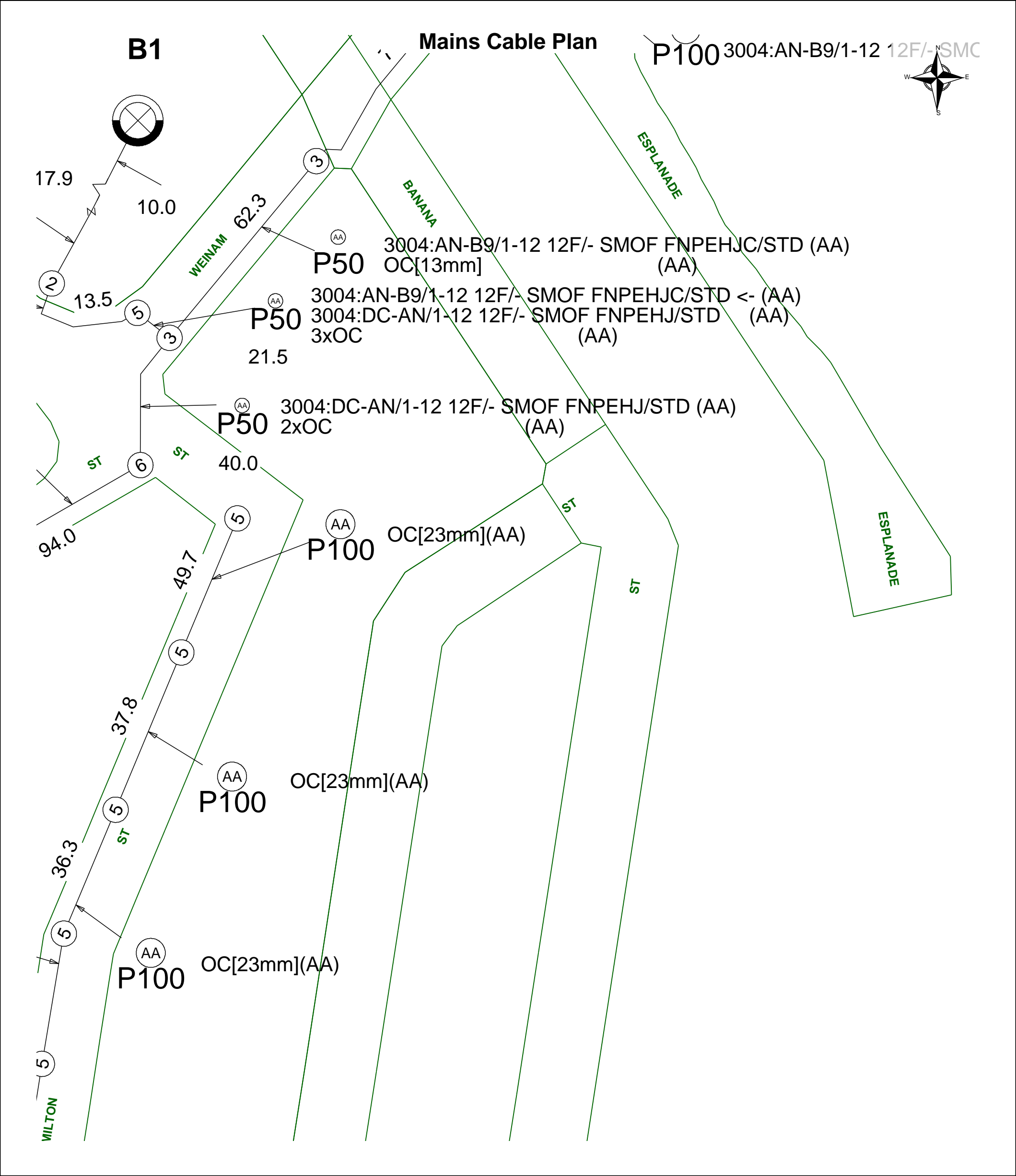
**WARNING**


Telstra plans and location information conform to Quality Level "D" of the Australian Standard AS 5488-Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. The exact position of Telstra assets can only be validated by physically exposing it. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy. Further on site investigation is required to validate the exact location of Telstra plant prior to commencing construction work. A Certified Locating Organisation is an essential part of the process to validate the exact location of Telstra assets and to ensure the asset is protected during construction works.

See the Steps- Telstra Duty of Care that was provided in the email response.

Page 1 of 2





	Report Damage: <a href="https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra-equipment">https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra-equipment</a> Ph - 13 22 03 Email - Telstra.Plans@team.telstra.com Planned Services - ph 1800 653 935 (AEST bus hrs only) General Enquiries	Sequence Number: 224985933
	TELSTRA LIMITED A.C.N. 086 174 781	<b>CAUTION: Fibre optic and/ or major network present in plot area. Please read the Duty of Care and contact Telstra Plan Services should you require any assistance.</b>
	Generated On 24/05/2023 08:24:57	

**WARNING**  
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See the Steps- Telstra Duty of Care that was provided in the email response.





## LEGEND



	Parcel and the location
	Pit with size "5"
	Power Pit with size "2E". Valid PIT Size: e.g. 2E, 5E, 6E, 8E, 9E, E, null.
	Manhole
	Pillar
	Cable count of trench is 2. One "Other size" PVC conduit (PO) owned by Telstra (-T-), between pits of sizes, "5" and "9" are 25.0m apart. One 40mm PVC conduit (P40) owned by NBN, between pits of sizes, "5" and "9" are 20.0m apart.
	2 Direct buried cables between pits of sizes, "5" and "9" are 10.0m apart.
	Trench containing any <b>INSERVICE/CONSTRUCTED</b> (Copper/RF/Fibre) cables.
	Trench containing only <b>DESIGNED/PLANNED</b> (Copper/RF/Fibre/Power) cables.
	Trench containing any <b>INSERVICE/CONSTRUCTED</b> (Power) cables.
	Road and the street name "Broadway ST"
Scale	0 20 40 60 Meters 1:2000  1 cm equals 20 m







#### **Brisbane**

596 Milton Road  
Toowong, QLD 4066

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BC QLD 4066

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**Email:** [info@adgce.com](mailto:info@adgce.com)

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**Phone:** 1300 657 402

**Email:** [info@adgce.com](mailto:info@adgce.com)

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**Email:** [info@adgce.com](mailto:info@adgce.com)

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**Email:** [info@adgce.com](mailto:info@adgce.com)

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**Email:** [info@adgce.com](mailto:info@adgce.com)

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**Email:** [info@adgce.com](mailto:info@adgce.com)

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Toowoomba QLD 4350, Australia

**Phone:** 1300 657 402

**Email:** [info@adgce.com](mailto:info@adgce.com)

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