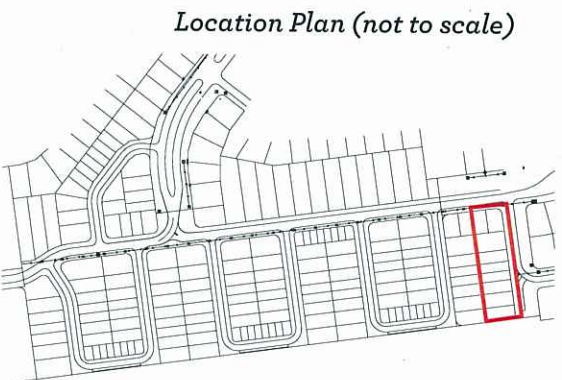


Lot Types	Dimensions
Traditional (Long)	TL 20m x 32m
Courtyard (Long)	CL 15m x 32m
Courtyard (Short)	CS 15m x 25m
Villa (Wide)	VW 12.5m x 32m
Villa (Narrow)	VN 10.0m x 32m

The above table represents standard lot dimensions. Non standard lot sizes are as noted on the plan.

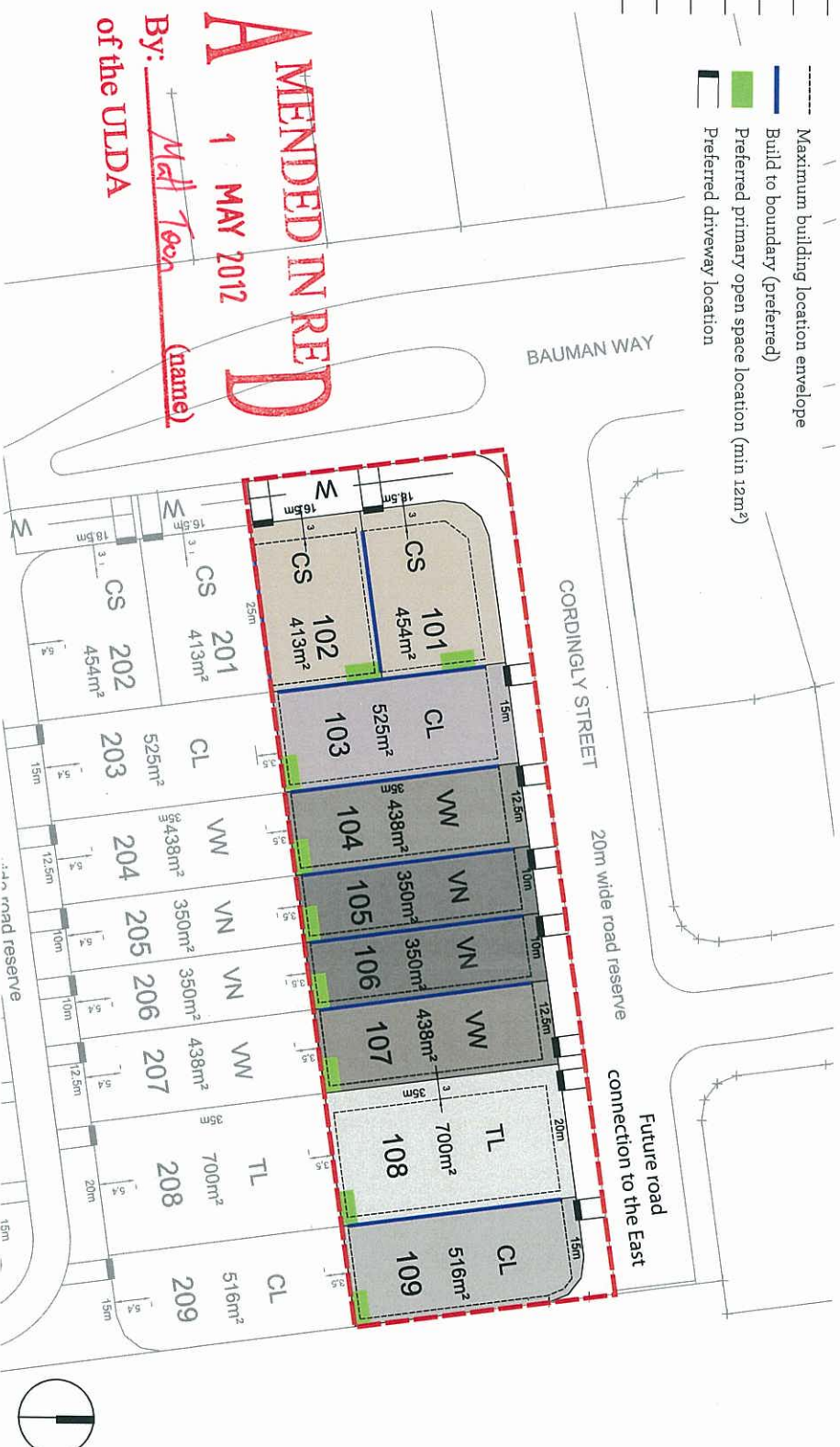


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1 MAY 2012

By: Mel Teo (name)

of the ULDA



Site Development Table							
	10.0m - 12.4m	12.5m - 14.9m	15.0m - 19.9m	20m +			
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor
Front/primary frontage	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m
Garage	4.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m
Carport	0.0m	n/a	0.0m	n/a	0.0m	n/a	0.0m
Rear	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	1.0m
Side (General)							
Built to boundary	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m
Non built to boundary	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.2m
Corner lots - secondary frontage	2.5m						
Min onsite parking requirements	1 space per dwelling to be covered						
Max Site cover	60%						

Note: This subdivision plan is preliminary and for discussion purposes, subject to relevant consultant input and review including but not limited to traffic, engineering, stormwater, hydraulics, geotechnics, environment, survey and acoustics. All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded to the nearest m². The boundaries shown on this plan should not be used for final detailed engineers design.

Garage/Carport Design/Driveway Design

- For garages
 - For lots with a frontage up to 14.9m wide, a single or tandem garage is acceptable
 - For lots with a frontage 15m and greater, single, tandem or double garage is acceptable
- For carports
 - For lots with a frontage up to 10m wide, a single bay carport may be built
 - For lots with a frontage of 10.1m wide and greater, a double bay carport may be built
 - Carports must not be enclosed and are to be constructed from light weight materials.
- On site car parking dimensions must be at least 2.7m by 5.5m
- Garages/carports should be located along the built to boundary wall
- Provide materials and finishes to the driveway surface in order to reduce the visual impact of these surfaces when viewed from the street. One of a combination of coloured aggregate, cement paving and/or patterns in the surface design can be used

PLANS AND DOCUMENTS

referred to in the ULDA

APPROVAL dated 8/5/12

Applies to All Dwelling Typologies for a House

Building Setbacks

- Please refer to the Site Development Table; unless otherwise noted on the plan
- Built to boundary walls are preferred where shown on this Plan of Development
- Built to boundary walls are to have a maximum length of 15m and a maximum height of 3.5m above natural ground level
- Boundary setbacks are the shortest distance from the outermost projection of the building to the vertical projection of the boundary lot

Dwelling Orientation/Street Surveillance

- Buildings are to address the Primary Street Frontage/s as identified on the Plan of Development
- All buildings are to have casual surveillance of the street/ by way of porches or balconies or windows

Building Articulation/Presentation to the Street

- Buildings with a width of more than 10m that are visible from a street should be articulated to reduce the mass of the building by:
 - windows recessed into the façade
 - building recesses providing variation in the façade (100mm minimum)
 - balconies, porches or verandahs provided
 - window hoods provided
- Buildings facing communal open space areas should be designed for casual surveillance of the open space by way of:
 - Verandahs
 - Porches
 - Habitable rooms
 - Window openings
- Building character and identity should be demonstrated through:
 - A variety of building materials and finishes
 - Be a maximum of 2 storeys or 8.5m above natural ground level
 - Varied roof forms and roof pitches
- Incorporate at least two openings to all habitable rooms, including internal windows to facilitate cross ventilation
- Buildings not orientated to within 20 degrees of a north south orientation are to include sun shading devices over windows, balconies or porches

Outdoor Living Spaces

- Private open space accessible from the ground floor must not be less than 12m² with a minimum dimension of 2.4m. Private open space ~~for Multi-Residential~~ (including Urban Lots) above ground level must not be less than 9m² which may be in the form of a balcony with a minimum dimension of 1.8m

Fencing between lots must be solid 1.8m in height.

- Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2m in height
- Fences on corner lots should be designed as front fences addressing both streets (rather than a front and a side fence)
- Fences are to incorporate a variety of materials or a combination of colours or recesses to break up the fence line.

- Any 2 storey building must have fixed privacy screens to all side boundary windows or balconies.

Lot Types	Dimensions
Traditional (Long)	TL 20m x 32m
Courtyard (Long)	CL 15m x 32m
Courtyard (Short)	CS 15m x 25m
Villa (Wide)	VW 12.5m x 32m
Villa (Narrow)	VN 10.0m x 32m
Urban Lots	URB 7.5m x 15m
Large Lots	LL Varies

The above table represents standard lot dimensions. Non standard lot sizes are as noted on the plan.



Site Development Table

	Urban Lots	10.0m - 12.4m	12.5m - 14.9m	15.0m - 19.9m	20m +	LL
Ground Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/primary frontage	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m
Garage	0.0m	4.5m	n/a	4.5m	n/a	4.5m
Carport	0.0m	0.0m	n/a	0.0m	n/a	0.0m
Rear	0.9m	0.9m	1.0m	0.9m	1.0m	2.0m
Side (General)						
Built to boundary	0.0m	0.0m	1.0m	0.0m	1.0m	1.0m
Non built to boundary	0.0m	0.9m	0.9m	1.0m	1.0m	1.2m
Corner lots - secondary frontage	2m					
Min onsite parking requirements						
Max Site cover						

Note: This subdivision plan is preliminary and for discussion purposes, subject to relevant consultant input and review including but not limited to traffic, engineering, stormwater, hydraulics, geotechnics, environment, survey and acoustics.

All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded to the nearest 1m. The boundaries shown on this plan should not be used for final detailed engineers design.

- Carports must not be enclosed and are to be constructed from light weight materials.
- On site car parking dimensions must be at least 2.7m by 5.5m
- Garages/carports should be located along the built to boundary wall
- Provide materials and finishes to the driveway surface in order to reduce the visual impact of these surfaces when viewed from the street. One of a combination of coloured aggregate, cement paving and /or patterns in the surface design can be used

Applies to Urban Lots Only

Building Setbacks

- Please refer to Site Development Table
- Please note, the Primary Street Frontage for Urban Lots is in accordance with this Plan of Development

Building Articulation/Presentation to the Street

- Urban Lots entry statements should be articulated and well designed to present a clear and distinguishable entry point from the street
- Urban Lots should:
 - have a clearly identifiable and addressed front door and undercover point of entry
 - incorporate in all walls adjoining the main dwelling and private open space areas of the main dwelling:
 - a. windows with a minimum sill height of 1500mm or privacy screening
 - b. low maintenance building materials and non-reflective finishes
 - c. no external drainage or other pipes

Garage/Driveway/Carport Design

- For lots with a frontage up to 14.9m wide, a single or tandem garage is acceptable
- For lots with a frontage 15m and greater, single, tandem or double garage is acceptable
- For carports
- For lots with a frontage up to 10m wide, a single bay carport may be built
- For lots with a frontage of 10.1m wide and greater, a double bay carport may be built

Fencing

- Fencing for Urban Lots entrances should be articulated with clear entry points for easy identification

Bauman Way Blackwater UDA Plan of Development Stage 2

Applies to All Dwelling Typologies for a House

Building Setbacks

- Please refer to the Site Development Table, unless otherwise noted on the plan
- Built to boundary walls are preferred where shown on this Plan of Development
- Built to boundary walls are to have a maximum length of 15m and a maximum height of 3.5m above natural ground level
- Boundary setbacks are the shortest distance from the outermost projection of the building to the vertical projection of the boundary lot

Dwelling Orientation/Street Surveillance

- Buildings are to address the Primary Street Frontage/s as identified on the Plan of Development
- All buildings are to have casual surveillance of the street/ by way of porches or balconies or windows

Building Articulation/Presentation to the Street

- Buildings with a width of more than 10m that are visible from a street should be articulated to reduce the mass of the building by:
 - windows recessed into the facade
 - building recesses providing variation in the facade (100mm minimum)
 - balconies, porches or verandahs provided
- Buildings facing communal open space areas should be designed for casual surveillance of the open space by way of:
 - Verandahs
 - Porches
 - Habitable rooms
 - Window openings
- Building character and identity should be demonstrated through:

- A variety of building materials and finishes
- Be a maximum of 2 storeys or 8.5m above natural ground level
- Varied roof forms and roof pitches

- Incorporate at least two openings to all habitable rooms, including internal windows to facilitate cross ventilation
- Buildings not orientated to within 20 degrees of a north south orientation are to include sun shading devices over windows, balconies or porches

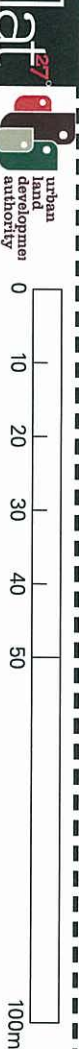
Outdoor Living Spaces

- Private open space accessible from the ground floor must not be less than 12m² with a minimum dimension of 2.4m. Private open space for multi-residential (including Urban Lots) above ground level must not be less than 9m² which may be in the form of a balcony with a minimum dimension of 1.8m

- Fencing between lots must be 1.8m in height behind solid front facade and:
 - Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2m in height
 - Fences on corner lots should be designed as front fences addressing both streets (rather than a front and a side fence)
 - Fences are to incorporate a variety of materials or a combination of colours or recesses to break up the fence line.

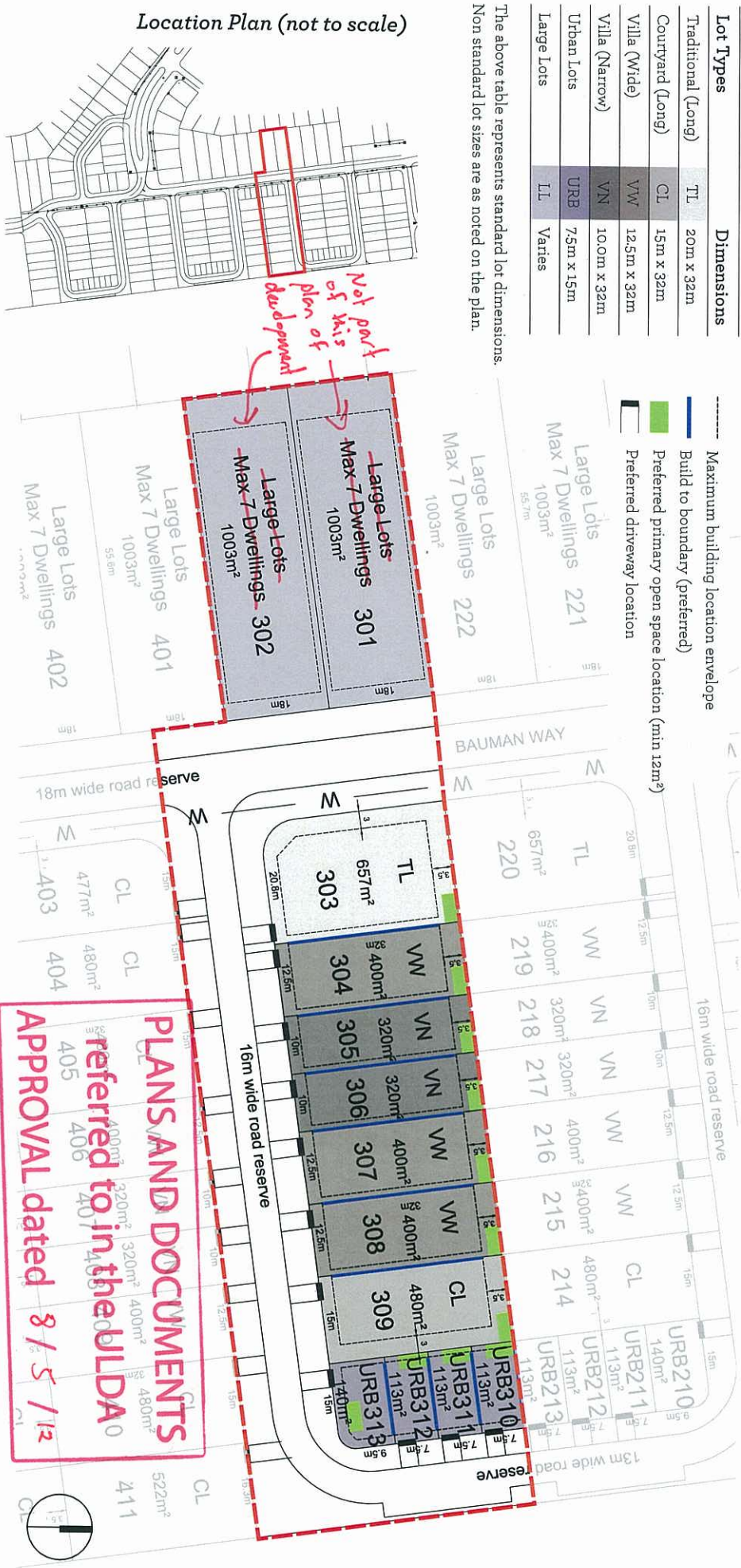
Garage/Carport Design/Driveway Design

- For garages
 - For lots with a frontage up to 14.9m wide, a single or tandem garage is acceptable
 - For lots with a frontage 15m and greater, single, tandem or double garage is acceptable
- For carports
 - For lots with a frontage up to 10m wide, a single bay carport may be built
 - For lots with a frontage of 10.1m wide and greater, a double bay carport may be built



Lot Types	Dimensions
Traditional (Long)	TL 20m x 32m
Courtyard (Long)	CL 15m x 32m
Villa (Wide)	VW 12.5m x 32m
Villa (Narrow)	VN 10.0m x 32m
Urban Lots	URB 7.5m x 15m
Large Lots	LL Varies

The above table represents standard lot dimensions. Non standard lot sizes are as noted on the plan.



Applies to All Dwelling Typologies for a House

Building Setbacks

- Please refer to the Site Development Table; unless otherwise noted on the plan
- Built to boundary walls are preferred where shown on this Plan of Development
- Built to boundary walls are to have a maximum length of 15m and a maximum height of 3.5m above natural ground level
- Boundary setbacks are the shortest distance from the outermost projection of the building to the vertical projection of the boundary lot

Dwelling Orientation/Street Surveillance

- Buildings are to address the Primary Street Frontage/s as identified on the Plan of Development
- All buildings are to have casual surveillance of the street/ by way of porches or balconies or windows

Building Articulation/Presentation to the Street

- Buildings with a width of more than 10m that are visible from a street should be articulated to reduce the mass of the building by:
 - windows recessed into the facade
 - building recesses providing variation in the facade (100mm minimum)
 - balconies, porches or verandahs provided
 - window hoods provided

- Maximum building location envelope
- Build to boundary (preferred)
- Preferred primary open space location (min 12m²)
- Preferred driveway location

PLANS AND DOCUMENTS referred to in the UDA APPROVAL dated 8/5/12

- Buildings facing communal open space areas should be designed for casual surveillance of the open space by way of:
 - Verandahs
 - Porches
 - Habitable rooms
 - Window openings

- Building character and identity should be demonstrated through:
 - A variety of building materials and finishes
 - Be a maximum of 2 storeys or 8.5m above natural ground level

- Varied roof forms and roof pitches
- Incorporate at least two openings to all habitable rooms, including internal windows to facilitate cross ventilation
- Buildings not orientated to within 20 degrees of a north south orientation are to include sun shading devices over windows, balconies or porches

Outdoor Living Spaces

- Private open space accessible from the ground floor must not be less than 12m² with a minimum dimension of 2.4m. Private open space for Multi-Residential (including Urban Lots) above ground level must not be less than 9m² which may be in the form of a balcony with a minimum dimension of 1.8m

Fencing between lots must be solid 1.8m in height behind front boundary fence and:

- Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2m in height
- Fences on corner lots should be designed as front fences addressing both streets (rather than a front and a side fence)
- Fences are to incorporate a variety of materials or a combination of colours or recesses to break up the fence line.

Site Development Table

	Urban Lots	10.0m - 12.4m	12.5m - 14.9m	15.0m - 19.9m	20m +	LL
Ground Floor	Ground Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor
Front/primary frontage	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m
Garage	0.0m	4.5m	n/a	4.5m	n/a	4.5m
Carport	0.0m	0.0m	n/a	0.0m	n/a	0.0m
Rear	0.9m	0.9m	1.0m	0.9m	1.0m	2.0m
Side (General)						
Built to boundary	0.0m	0.0m	1.0m	0.0m	1.0m	1.0m
Non built to boundary	0.0m	0.9m	0.9m	1.0m	1.0m	1.2m
Corner lots - secondary frontage	2m			2.5m		
Min onsite parking requirements				1 space per dwelling to be covered		
Max Site cover				60%		

Note: This subdivision plan is preliminary and for discussion purposes, subject to relevant consultant input and review including but not limited to traffic, engineering, stormwater, hydraulics, geotechnics, environment, survey and acoustics.

All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded to the nearest 1m. The boundaries shown on this plan should not be used for final detailed engineers design.

Applies to Urban Lots Only

Building Setbacks

- Please refer to Site Development Table
- Please note, the Primary Street Frontage for Urban Lots is in accordance with this Plan of Development

Building Articulation/Presentation to the Street

- Urban Lots entry statements should be articulated and well designed to present a clear and distinguishable entry point from the street
 - Urban Lots should:
 - have a clearly identifiable and addressed front door and undercover point of entry
 - incorporate in all walls adjoining the main dwelling and private open space areas of the main dwelling:
 - a. windows with a minimum sill height of 1500mm or privacy screening
 - b. low maintenance building materials and non-reflective finishes
 - c. no external drainage or other pipes
- Urban Lots should be designed to achieve cross ventilation through multiple openings within habitable rooms.

Garage/Driveway/Carport Design

- Garages are to be located in order to enable easy and safe access into and out of garages

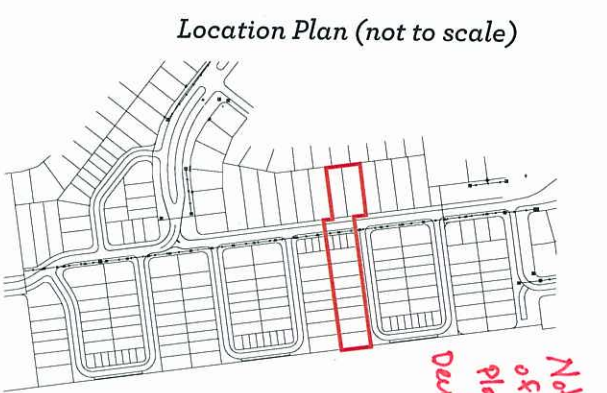
Fencing

- Fencing for Urban Lots entrances should be articulated with clear entry points for easy identification

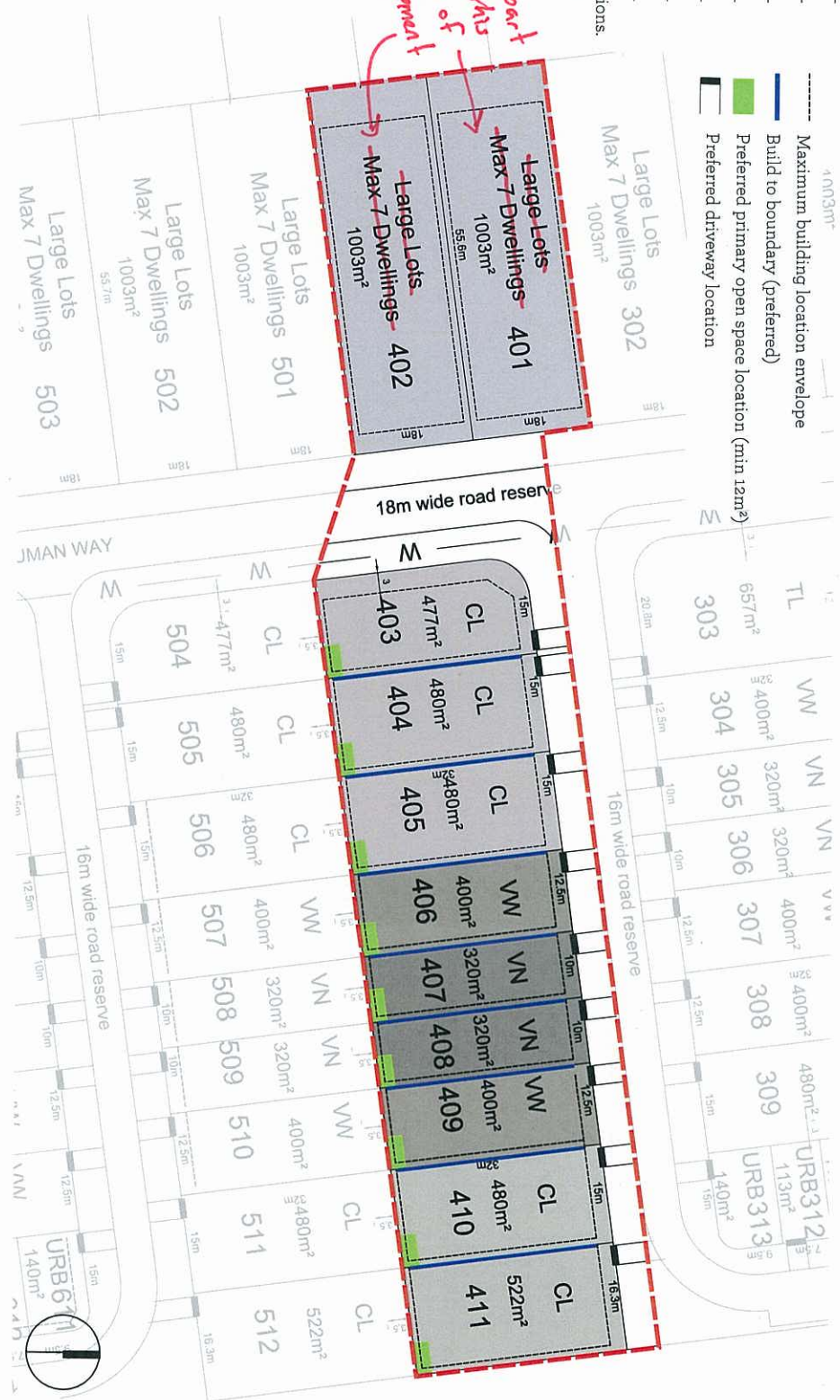
Bauman Way Blackwater UDA Plan of Development Stage 3

Lot Types	Dimensions
Courtyard (Long)	CL 15m x 32m
Villa (Wide)	VW 12.5m x 32m
Villa (Narrow)	VN 10.0m x 32m
Urban Lots	URB 7.5m x 15m
Large Lots	LL Varies

The above table represents standard lot dimensions. Non standard lot sizes are as noted on the plan.



- Maximum building location envelope
- Build to boundary (preferred)
- Preferred primary open space location (min 12m²)
- Preferred driveway location



Site Development Table

	Urban Lots	10.0m - 12.4m	12.5m - 14.9m	15.0m - 19.9m	20m +	LL
Ground Floor		Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor
Front/primary frontage	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m
Garage	0.0m	4.5m	n/a	4.5m	n/a	4.5m
Carport	0.0m	0.0m	n/a	0.0m	n/a	0.0m
Rear	0.9m	0.9m	1.0m	0.9m	1.0m	2.0m
Side (General)						
Built to boundary	0.0m	0.0m	1.0m	0.0m	1.0m	n/a
Non built to boundary	0.0m	0.9m	0.9m	1.0m	1.0m	1.2m
Corner lots - secondary frontage	2m			2.5m		
Min onsite parking requirements				1 space per dwelling to be covered		
Max Site cover				60%		

Note: This subdivision plan is preliminary and for discussion purposes, subject to relevant consultant input and review including but not limited to traffic, engineering, stormwater, hydraulics, geotechnics, environment, survey and acoustics.

All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded to the nearest 1m. The boundaries shown on this plan should not be used for final detailed engineers design.

Applies to All Dwelling Typologies for a House

Building Setbacks

- Please refer to the Site Development Table; unless otherwise noted on the plan
- Built to boundary walls are preferred where shown on this Plan of Development
- Built to boundary walls are to have a maximum length of 15m and a maximum height of 3.5m above natural ground level
- Boundary setbacks are the shortest distance from the outer-most projection of the building to the vertical projection of the boundary lot

Dwelling Orientation/Street Surveillance

- Buildings are to address the Primary Street Frontage/s as identified on the Plan of Development
- All buildings are to have casual surveillance of the street/ by way of porches or balconies or windows

Building Articulation/Presentation to the Street

- Buildings with a width of more than 10m that are visible from a street should be articulated to reduce the mass of the building by:
 - windows recessed into the facade
 - building recesses providing variation in the facade (100mm minimum)
 - balconies, porches or verandahs provided
 - window hoods provided

- Buildings facing communal open space areas should be designed for casual surveillance of the open space by way of:
 - Verandahs
 - Porches
 - Habitable rooms
 - Window openings

- Building character and identity should be demonstrated through:
 - A variety of building materials and finishes
 - Be a maximum of 2 storeys or 8.5m above natural ground level

- Varied roof forms and roof pitches
- Incorporate at least two openings to all habitable rooms, including internal windows to facilitate cross ventilation

- Buildings not orientated to within 20 degrees of a north south orientation are to include sun shading devices over windows, balconies or porches

Outdoor Living Spaces

- Private open space accessible from the ground floor must not be less than 12m² with a minimum dimension of 2.4m. Private open space for Multi Residential (including Urban Lots) above ground level must not be less than 9m² which may be in the form of a balcony with a minimum dimension of 1.8m

Any 2 storey building must provide fixed privacy screens to all side boundary windows or balconies

Fencing must be solid 1.8m in height behind front building facade and:

- Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2m in height
- Fences on corner lots should be designed as front fences addressing both streets (rather than a front and a side fence)
- Fences are to incorporate a variety of materials or a combination of colours or recesses to break up the fence line.

Garage/Carport Design/Driveway Design

- For garages
 - For lots with a frontage up to 14.9m wide, a single or tandem garage is acceptable
 - For lots with a frontage 15m and greater, single, tandem or double garage is acceptable
- For carports
 - For lots with a frontage up to 10m wide, a single bay carport may be built
 - For lots with a frontage of 10.1m wide and greater, a double bay carport may be built
 - Carports must not be enclosed and are to be constructed from light weight materials.
- On site car parking dimensions must be at least 2.7m by 5.5m
- Garages/carports should be located along the built to boundary wall
- Provide materials and finishes to the driveway surface in order to reduce the visual impact of these surfaces when viewed from the street. One of a combination of coloured aggregate, cement paving and /or patterns in the surface design can be used

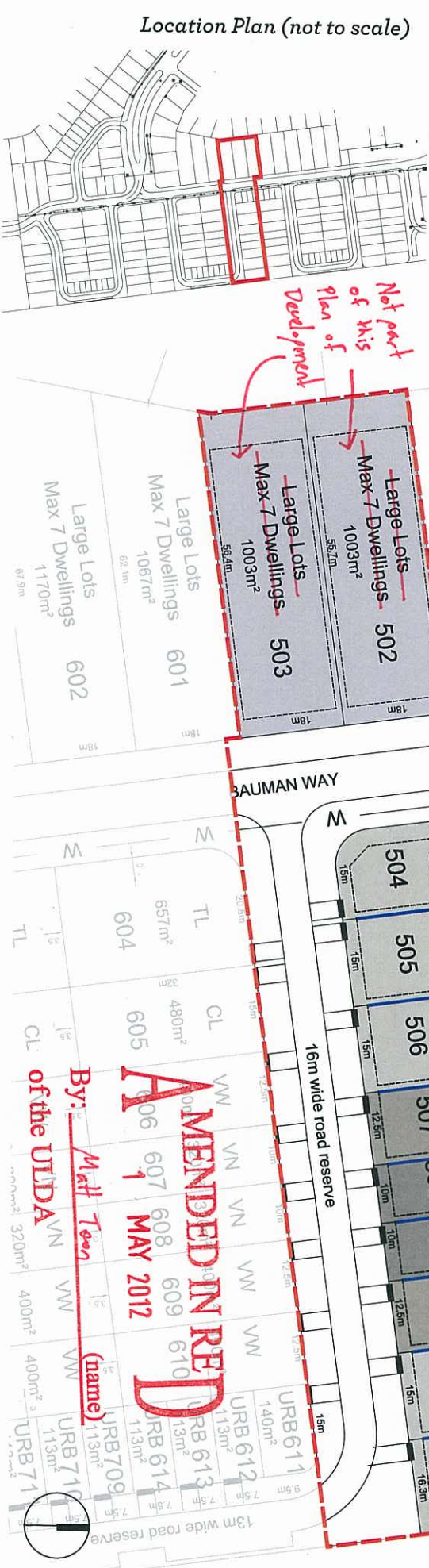
AMENDED IN RED
1 MAY 2012
By: Matt Teen (name)
of the ULDA

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 8 / 5 / 12



Lot Types	Dimensions	
Courtyard (Long)	CL	15m x 32m
Villa (Wide)	VW	12.5m x 32m
Villa (Narrow)	VN	10.0m x 32m
Urban Lots	URB	7.5m c 15m
Large Lots	LL	Varies

The above table represents standard lot dimensions. Non standard lot sizes are as noted on the plan.



Site Development Table

	Urban Lots	10.0m - 12.4m	12.5m - 14.9m	15.0m - 19.9m	20m +	LL		
	Ground Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor
Front/primary frontage	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3m
Garage	0.0m	4.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m
Carport	0.0m	0.0m	n/a	0.0m	n/a	0.0m	n/a	0.0m
Rear	0.9m	0.9m	1.0m	0.9m	1.0m	1.0m	2.0m	6.0m
Side (General)								
Built to boundary	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a
Non built to boundary	0.0m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.2m
Corner lots - secondary frontage	2m	2.5m						
Min onsite parking requirements	1 space per dwelling to be covered							
Max Site cover	60%							

or for more than 2 bedrooms 2 spaces must be covered

Note: This subdivision plan is preliminary and for discussion purposes, subject to relevant consultant input and review including but not limited to traffic, engineering, stormwater, hydraulics, geotechnics, environment, survey and acoustics.

All dimensions and areas are approximate only, and are subject to survey and Council approval. The boundaries shown on this plan should not be used for final detailed engineers design.

-Applies to Large Lots Only-

-Building Setbacks-

- Please refer to Site Development Table

-Car Parking-

- All future multi residential within Large Lots must be in accordance with the ULDA Guidelines of Residential Infill

Fencing between lots must be solid 1.8m in height behind front building facade and:

- Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2m in height
- Fences on corner lots should be designed as front fences addressing both streets (rather than a front and a side fence)
- Fences are to incorporate a variety of materials or a combination of colours or recesses to break up the fence line.

Garage/Carport Design/Driveway Design

- For garages
 - For lots with a frontage up to 14.9m wide, a single or tandem garage is acceptable
 - For lots with a frontage 15m and greater, single, tandem or double garage is acceptable
- For carports
 - For lots with a frontage up to 10m wide, a single bay carport may be built
 - For lots with a frontage of 10.1m wide and greater, a double bay carport may be built
 - Carports must not be enclosed and are to be constructed from light weight materials.
- On site car parking dimensions must be at least 2.7m by 5.5m
- Garages/carports should be located along the built to boundary wall
- Provide materials and finishes to the driveway surface in order to reduce the visual impact of these surfaces when viewed from the street. One of a combination of coloured aggregate, cement paving and/or patterns in the surface design can be used

PLANS AND DOCUMENTS referred to in the ULDA APPROVAL dated 8 / 5 / 12

Applies to All Dwelling Typologies for a House

Building Setbacks

- Please refer to the Site Development Table, unless otherwise noted on the plan
- Built to boundary walls are preferred where shown on this Plan of Development
- Built to boundary walls are to have a maximum length of 15m and a maximum height of 3.5m above natural ground level
- Boundary setbacks are the shortest distance from the outermost projection of the building to the vertical projection of the boundary lot

Dwelling Orientation/Street Surveillance

- Buildings are to address the Primary Street Frontage/s as identified on the Plan of Development
- All buildings are to have casual surveillance of the street/ by way of porches or balconies or windows

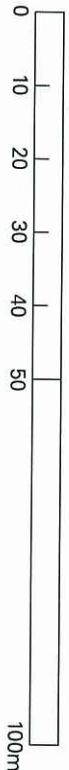
Building Articulation/Presentation to the Street

- Buildings with a width of more than 10m that are visible from a street should be articulated to reduce the mass of the building by:
 - windows recessed into the facade
 - building recesses providing variation in the facade (100mm minimum)
 - balconies, porches or verandahs provided
 - window hoods provided

Outdoor Living Spaces

- Private open space accessible from the ground floor must not be less than 12m² with a minimum dimension of 2.4m. Private open space for Multi Residential (including Urban Lots) above ground level must not be less than 9m² which may be in the form of a balcony with a minimum dimension of 1.8m

Any 2 storey building must provide fixed privacy screens to all side boundary windows or balconies.



Lot Types	Dimensions
Traditional (Long)	TL 20m x 32m
Courtyard (Long)	CL 15m x 32m
Villa (Wide)	VW ¹ 12.5m x 32m
Villa (Narrow)	VN 10.0m x 32m
Urban Lots	URB 7.5m x 15m
Large Lots	LL Varies

The above table represents standard lot dimensions. Non standard lot sizes are as noted on the plan.



Site Development Table										
	Urban Lots	10.0m - 12.4m	12.5m - 14.9m	15.0m - 19.9m	20m +			LL		
	Ground Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor		
Front/primary frontage	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3m		
Garage	0.0m	4.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m		
Carport	0.0m	0.0m	n/a	0.0m	n/a	0.0m	n/a	0.0m		
Rear	0.9m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	2.0m		
Side (General)										
Built to boundary	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a		
Non built to boundary	0.0m	0.9m	0.9m	1.0m	1.0m	1.5m	1.2m	2.0m		
Corner lots - secondary frontage	2m	2.5m								
Min onsite parking requirements	1 space per dwelling to be covered									
Max Site cover	60%									

or for more than 2 bedrooms 2 spaces must be covered

Note: This subdivision plan is preliminary and for discussion purposes, subject to relevant consultant input and review including but not limited to traffic, engineering, stormwater, hydraulics, geotechnics, environment, survey and acoustics.

All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded to the nearest 1m. The boundaries shown on this plan should not be used for final detailed engineers design.

Applies to Urban Lots Only

Building Setbacks

- Please refer to Site Development Table
- Please note, the Primary Street Frontage for Urban Lots is in accordance with this Plan of Development

Building Articulation/Presentation to the Street

- Urban Lots entry statements should be articulated and well designed to present a clear and distinguishable entry point from the street
- Urban Lots should:
 - have a clearly identifiable and addressed front door and undercover point of entry
 - incorporate in all walls adjoining the main dwelling and private open space areas of the main dwelling:
 - a. windows with a minimum sill height of 1500mm or privacy screening
 - b. low maintenance building materials and non-reflective finishes
 - c. no external drainage or other pipes
- Urban Lots should be designed to achieve cross ventilation through multiple openings within habitable rooms.

Garage/Driveway/Carport Design

- Garages are to be located in order to enable easy and safe access into and out of garages

Fencing

- Fencing for Urban Lots entrances should be articulated with clear entry points for easy identification

Applies to All Dwelling Typologies for a House

Building Setbacks

- Please refer to the Site Development Table, unless otherwise noted on the plan
- Built to boundary walls are preferred where shown on this Plan of Development
- Built to boundary walls are to have a maximum length of 15m and a maximum height of 3.5m above natural ground level
- Boundary setbacks are the shortest distance from the outermost projection of the building to the vertical projection of the boundary lot

Dwelling Orientation/Street Surveillance

- Buildings are to address the Primary Street Frontage/s as identified on the Plan of Development
- All buildings are to have casual surveillance of the street/ by way of porches or balconies or windows

Building Articulation/Presentation to the Street

- Buildings with a width of more than 10m that are visible from a street should be articulated to reduce the mass of the building by:
 - windows recessed into the façade
 - building recesses providing variation in the façade (100mm minimum)
 - balconies, porches or verandahs provided
 - window hoods provided

- Buildings facing communal open space areas should be designed for casual surveillance of the open space by way of:
 - Verandahs
 - Porches
 - Habitable rooms
 - Window openings

- Building character and identity should be demonstrated through:
 - A variety of building materials and finishes
 - Be a maximum of 2 storeys or 8.5m above natural ground level
 - Varied roof forms and roof pitches
- Incorporate at least two openings to all habitable rooms, including internal windows to facilitate cross ventilation
- Buildings not orientated to within 20 degrees of a north south orientation are to include sun shading devices over windows, balconies or porches

Outdoor Living Spaces

- Private open space accessible from the ground floor must not be less than 12m² with a minimum dimension of 2.4m. Private open space for Multi-Residential (including Urban Lots) above ground level must not be less than 9m² which may be in the form of a balcony with a minimum dimension of 1.8m

Fencing between lots must be solid 1.8m behind front building facade and:

- Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2m in height
- Fences on corner lots should be designed as front fences addressing both streets (rather than a front and a side fence)
- Fences are to incorporate a variety of materials or a combination of colours or recesses to break up the fence line.

referred to in the ULDA

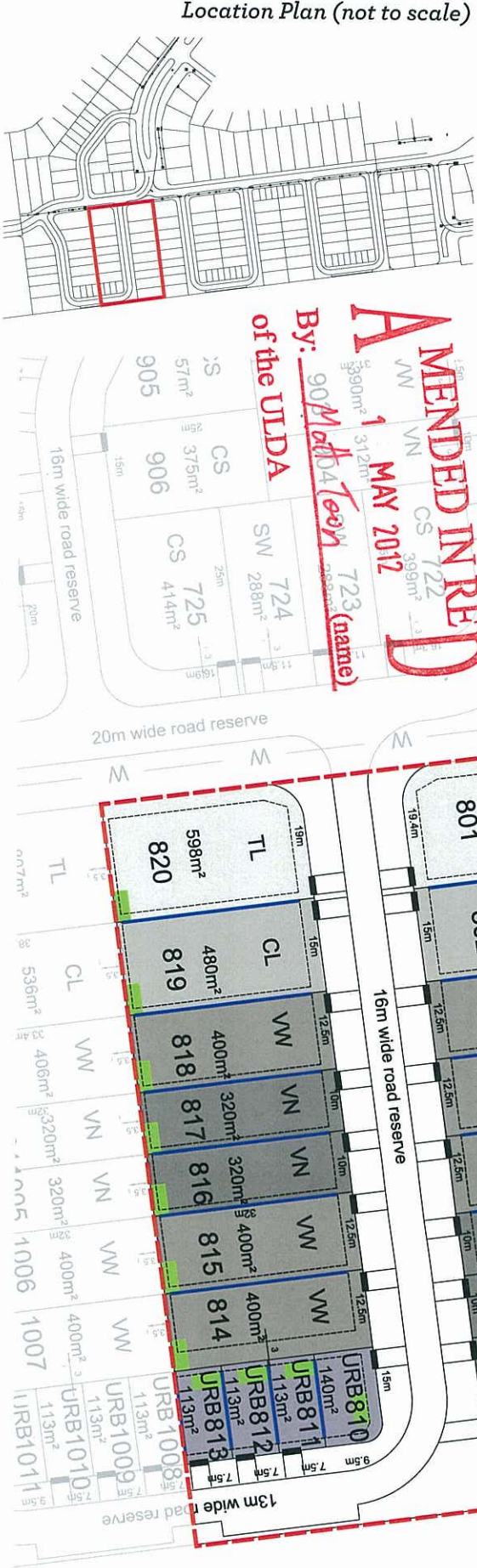
APPROVAL dated 8/5/12



Lot Types	Dimensions
Traditional (Long)	TL 20m x 32m
Courtyard (Long)	CL 15m x 32m
Villa (Wide)	VW 12.5m x 32m
Villa (Narrow)	VN 10.0m x 32m
Urban Lots	URB 7.5m x 15m

The above table represents standard lot dimensions. Non standard lot sizes are as noted on the plan.

- Maximum building location envelope
- Build to boundary (preferred)
- Preferred primary open space location (min 12m²)
- Preferred driveway location



Applies to All Dwelling Typologies for a House

Building Setbacks

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- Built to boundary walls are preferred where shown on this Plan of Development
- Built to boundary walls are to have a maximum length of 15m and a maximum height of 3.5m above natural ground level
- Boundary setbacks are the shortest distance from the outer-most projection of the building to the vertical projection of the boundary lot

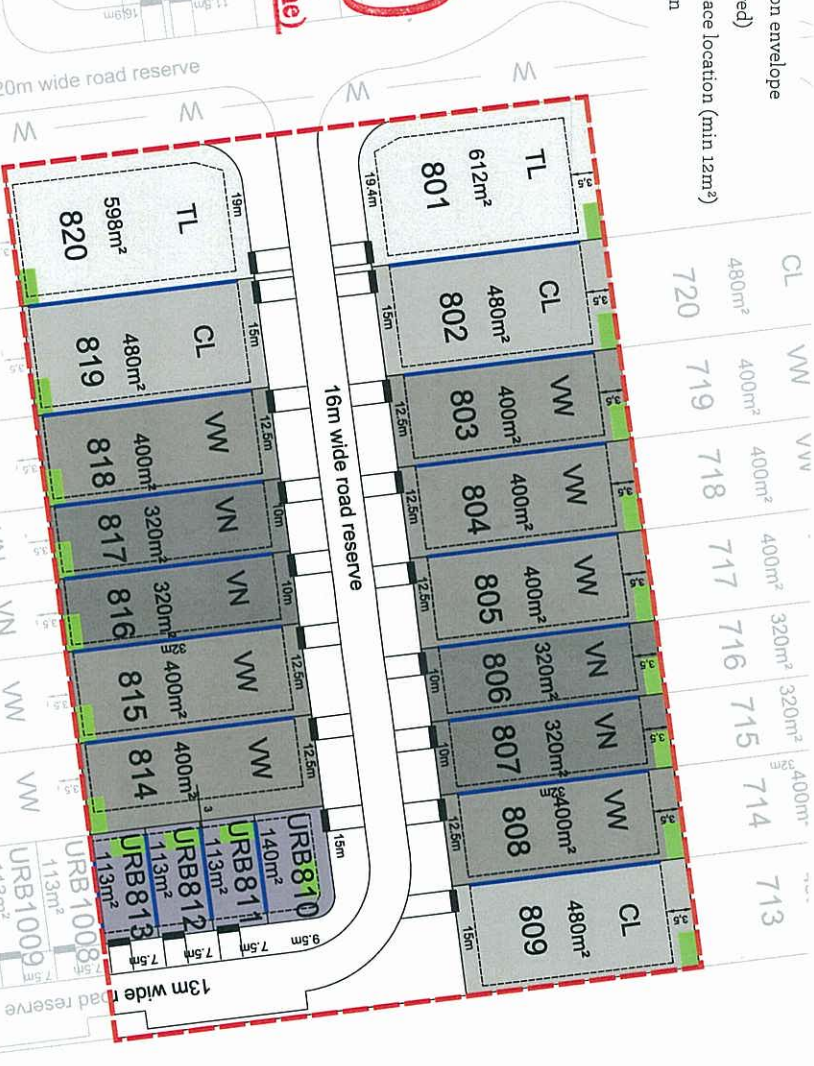
Dwelling Orientation/Street Surveillance

- Buildings are to address the Primary Street Frontage/s as identified on the Plan of Development
- All buildings are to have casual surveillance of the street/ by way of porches or balconies or windows

Building Articulation/Presentation to the Street

- Buildings with a width of more than 10m that are visible from a street should be articulated to reduce the mass of the building by:
 - windows recessed into the façade
 - building recesses providing variation in the façade (100mm minimum)
 - balconies, porches or verandahs provided
 - window hoods provided

Any 2 story building must provide fixed privacy screens to all side boundary windows & balconies



PLANS AND DOCUMENTS

referred to in the ULDA

APPROVAL dated 8 / 5 / 12

Site Development Table

	Urban Lots	10.0m - 12.4m	12.5m - 14.9m	15.0m - 19.9m	20m +
Ground Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor
Front/primary frontage	1.5m	2.4m	2.4m	2.4m	2.4m
Garage	0.0m	4.5m	n/a	4.5m	n/a
Carport	0.0m	0.0m	n/a	0.0m	n/a
Rear	0.9m	0.9m	1.0m	0.9m	1.0m
Side (General)					
Built to boundary	0.0m	0.0m	1.0m	0.0m	1.0m
Non built to boundary	0.0m	0.9m	0.9m	1.0m	1.0m
Corner lots - secondary frontage	2m			2.5m	
Min onsite parking requirements				1 space per dwelling to be covered	
Max Site cover				60%	

or for more than 2 bedrooms 2 spaces must be covered

Note: This subdivision plan is preliminary and for discussion purposes, subject to relevant consultant input and review including but not limited to traffic, engineering, stormwater, hydraulics, geotechnics, environment, survey and acoustics.

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- Fencing on all Primary Street Frontages to be either 50% transparent or not to exceed 1.2m in height
- Fences on corner lots should be designed as front fences addressing both streets (rather than a front and a side fence)
- Fences are to incorporate a variety of materials or a combination of colours or recesses to break up the fence line.

Garage/Carport Design/Driveway Design

- For garages
 - For lots with a frontage up to 14.9m wide, a single or tandem garage is acceptable
 - For lots with a frontage 15m and greater, single, tandem or double garage is acceptable
- For carports
 - For lots with a frontage up to 10m wide, a single bay carport may be built
 - For lots with a frontage of 10.1m wide and greater, a double bay carport may be built
- Carports must not be enclosed and are to be constructed from light weight materials.
- On site car parking dimensions must be at least 2.7m by 5.5m
- Garages/carports should be located along the built to boundary wall
- Provide materials and finishes to the driveway surface in order to reduce the visual impact of these surfaces when viewed from the street. One of a combination of coloured aggregate, cement paving and /or patterns in the surface design can be used

Applies to Urban Lots Only

Building Setbacks

- Please refer to Site Development Table
- Please note, the Primary Street Frontage for Urban Lots is in accordance with this Plan of Development

Building Articulation/Presentation to the Street

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- Urban Lots should be designed to achieve cross ventilation through multiple openings within habitable rooms.

Garage/Driveway/Carport Design

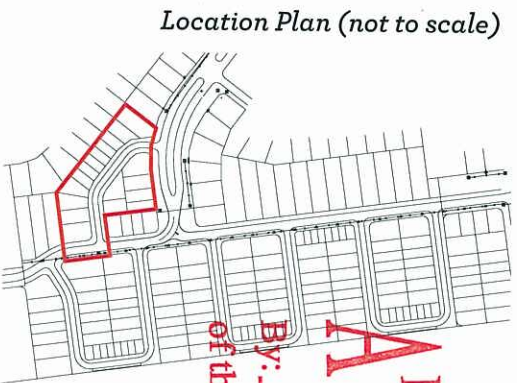
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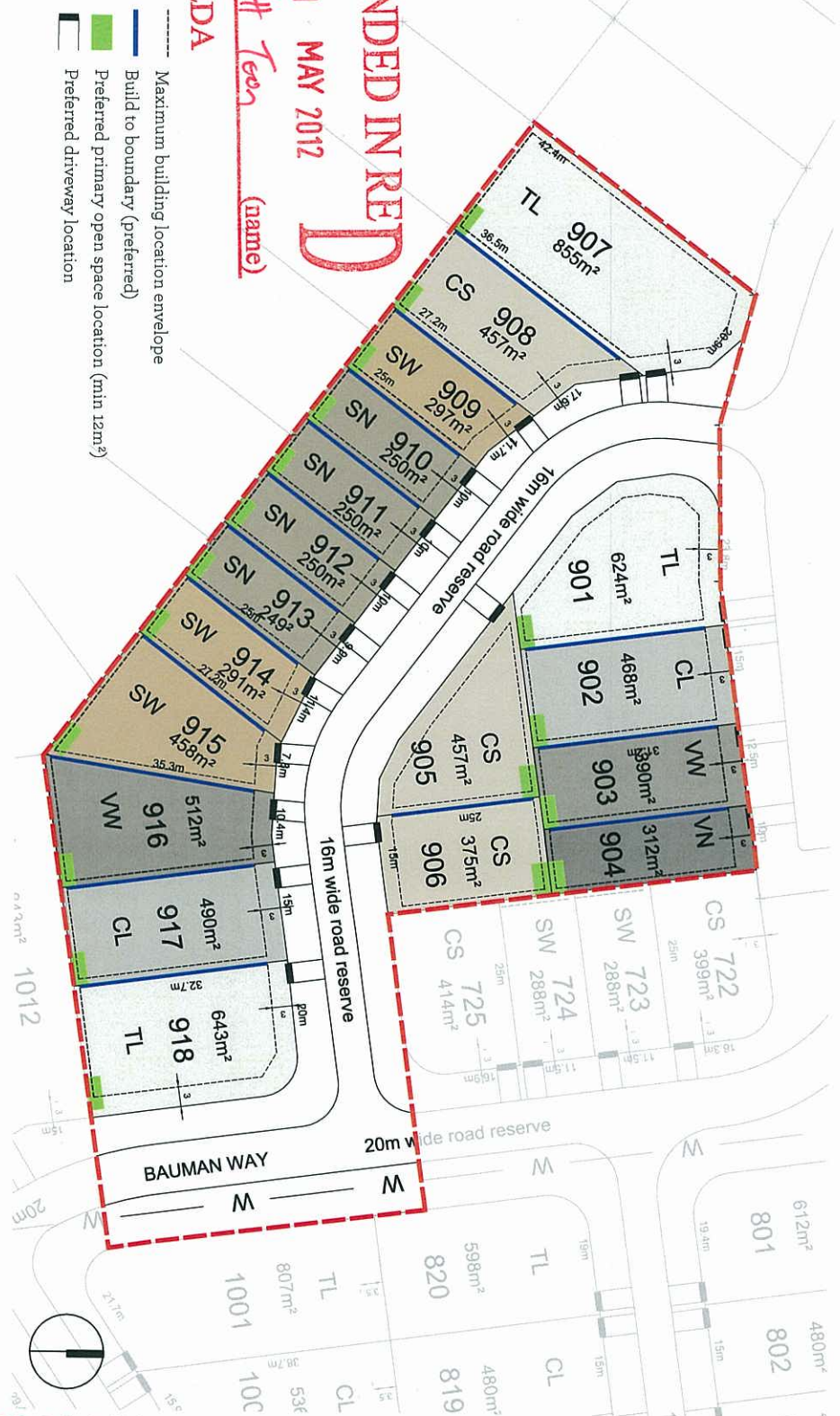
Lot Types	Dimensions
Traditional (Long)	TL 20m x 32m
Courtyard (Long)	CL 15m x 32m
Courtyard (Short)	CS 15m x 25m
Villa (Wide)	VW 12.5m x 32m
Villa (Narrow)	VN 10.0m x 32m
Studio (Wide)	SW 11.5m x 25m
Studio (Narrow)	SN 10m x 25m

The above table represents standard lot dimensions. Non standard lot sizes are as noted on the plan.



Location Plan (not to scale)

- Maximum building location envelope
- Build to boundary (preferred)
- Preferred primary open space location (min 12m²)
- Preferred driveway location



AMENDED IN RED
1 MAY 2012
By: Matt Teen (name)
of the ULDA

Applies to All Dwelling Typologies for a House

Building Setbacks

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- All buildings are to have casual surveillance of the street/ by way of porches or balconies or windows

Any 2 storey building must provide fixed privacy screens to all side boundary windows on balconies.

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 - windows recessed into the façade
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Carport	0.0m	n/a	0.0m	n/a
Rear	0.9m	1.0m	0.9m	1.0m
Side (General)	0.0m	1.0m	0.0m	1.0m
Built to boundary	0.0m	1.0m	0.0m	1.0m
Non built to boundary	0.9m	0.9m	1.0m	1.0m
Corner lots - secondary frontage	0.9m	1.0m	1.0m	1.0m
Min onsite parking requirements	1 space per dwelling to be covered	1 space per dwelling to be covered	1 space per dwelling to be covered	1 space per dwelling to be covered
Max Site cover	60%	60%	60%	60%

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APPROVAL dated 8 / 5 / 12



