

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2022/1331
Date: 1 June 2023



parkside yeronga

CONCEPT LANDSCAPE ARCHITECTURE REPORT



landscape DA report

Document Transmittal

Drawing reference	21170.01_ Yeronga Townhouses - Landscape Concept Report
Date Issued	22 December 2022
Revision:	E
Contact	Andrew Kramer, Lat27 Practice Director
P	07 3236 1086
A	Level 5, 262 Adelaide Street, Brisbane, QLD 4000
W	www.lat27.com.au
E	andrew.k@latstudios.com.au
Approved	AK

Qualification

Lat27 have been commissioned by JGL Properties to provide the landscape concept report for a Development Application submission, with Arkhefield architects, for the proposed 38 dwelling houses across three separate sites within the Yeronga Priority Development Area (PDA), Brisbane.

This submission has been prepared on the basis of the requirements by Economic Development Queensland's Yeronga Priority Development Scheme.

This report provides advice on the public realm interfaces and the proposed private landscape for the proposed development and how they will deliver best practice design that responds to the surrounding context, proposed built form and climate.

This report should be read in conjunction with Architectural, Town Planning and Engineering Reports.

Client: JGL Properties

Architecture: Arkhefield

Town Planning: Planning Initiatives

Traffic Consultant: Stantec

contents

Site Context & Description	p. 3
Design Intent	p. 4
Landscape Character	p. 5
Masterplan Concept Yeronga PDA	p. 6
Precinct Visualisations	p. 7
Precinct One (Lot 21) Concept	p. 8
Precinct One (Lot 22) Concept	p. 14
Precinct Two (Lot 6) Concept	p. 20
Precinct Three (Lot 10) Concept	p. 24
Materials Palette	p. 30
Planting Palette	p. 31

site context & description

City Context

The proposal is for a 38 dwelling houses development, across three separate precincts within the Yeronga PDA. "The PDA is approximately 5 kilometres from the Brisbane Central Business District (CBD) and approximately 400 metres from Yeronga train station, providing frequent train services to the CBD, Gold Coast and interim stops. The PDA is also close to a range of amenities including shopping centres, bikeways, several education establishments and the approximately 22 hectare heritage-listed Yeronga Memorial Park which provides a wide range of open space and recreation functions."

Site Context

"The Yeronga PDA is approximately 3.3 hectares and includes land bound by Villa Street to the south, Park Road to the west, the Beenleigh-Gold Coast rail corridor to the north and Yeronga State High School to the east."



City Context (image courtesy of Nearmap)



Project Site (image courtesy of Nearmap)

Key

- 1 Yeronga State High School
- 2 Yeronga rail station
- 3 Yeronga State School
- 4 Fairfield rail station

References for Contextual Information:

Economic Development Queensland, *Yeronga PDA Development Scheme*. Retrieved from https://www.statedevelopment.qld.gov.au/_data/assets/pdf_file/0025/17755/yeronga-pda-development-scheme2019.pdf



v1 View from Park Rd facing south towards corner of Park Rd and Villa St



v2 View from corner of Park Rd and Villa St facing north east



v3 View from Villa St facing west towards corner of Park Rd and Villa St

design intent

The proposed development comprises 37 dwelling houses across three separate precincts within the Yeronga PDA. All dwelling houses are two storey with the exception of Precinct 3 that utilises three storeys to accommodate the significant level change present at this part of the site.

All dwelling houses are afforded a generous outdoor garden area with access to open air, sunlight and contextual views. Landscape opportunities have been integrated with the architecture to introduce shade canopy, planting and vertical green elements where possible. Shade trees have been included to all frontages, entries and private gardens to maximise shade and soften built form. Arbour structures have been utilised to frame entries and outdoor dining areas to provide filtered sunlight and privacy from neighbouring developments. Low level and screen planting has been integrated to provide a garden setting for each dwelling house and to provide subtle screening and softening at boundary interfaces. Pocket lawn areas have generally been included where possible to offer an authentic backyard experience and to balance the extent of hardscape in private areas.

Each precinct has a central internal street for pedestrian and vehicular access connecting the precinct street network to each dwelling house. Shade trees have been included where possible to shade the street and soften the interface to the architecture. Delineation of the street surface, using a range of contrasting concrete finishes, provides a pedestrian prioritised pathway alongside the vehicular pathway to offer subtle cues to usage. This also narrows the perceived road width to assist in speed reduction and highlight the shared use nature of the internal street. The boundary screens will be comprised of walls for screening where required and open style batten fencing where views to adjacent landscape areas or streets are available. Waste collection and letterboxes will be provided centrally to each precinct within short walking distance of each front door.

The surrounding streetscapes are not part of this proposal but will form an integral part of the project providing extensive shade tree planting, footpaths and generous central community garden.



Variation to street surface to highlight shared use



Integrated arbours with climbers over outdoor dining



Pocket lawns framed by dense planting



Dense planting to line pathways and building edges



landscape character



Shade trees to frontages & street edges



Integrated arbours with climbers



Shade tree and screen planting for shade, frame entries and soften built form



masterplan concept_yeronga PDA

The Yeronga PDA comprises a range of developments including retirement and aged care, community centre, commercial and health care, affordable apartments and dwelling houses. The common and public open space includes a generous community garden, streetscapes and parkland which incorporates stormwater filtration and detention devices. The dwelling houses component, in Precincts 1, 2 and 3, form the focus of this development application. All other precincts are shown for reference only. The streetscapes shown are also for reference only and not part of this application.



precinct visualisations



Precinct 1 - Park Road & North Road *



Precinct 1 - East Road & South Road *



Precinct 1 - East Road *



Precinct 2 - East Road *



Precinct 3 - Villa Street *



Precinct 3 - Villa Street *

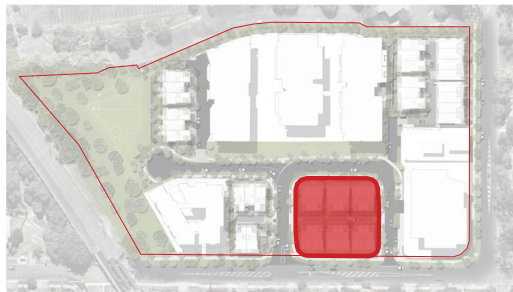
* Images prepared by visualiii

precinct 1 concept (lot 21)

KEY

- 01 Shade trees to building breaks
- 02 Contrast pavement to threshold
- 03 Lighter coloured pedestrian pathway
- 04 Dense planting & shade trees at retaining wall / level change of 2.750m
- 05 Screen planting to side boundaries
- 06 Entry pathway to front door
- 07 Darker coloured pavement to driveways
- 08 Pocket lawns to front entries where space permits
- 09 Medium sized shade trees to frame entry roads
- 10 Screen planting with small to medium shade trees to north and south precinct boundaries
- 11 Streetscape including concrete footpath and shade trees by others
- 12 Private gardens - refer detail plans

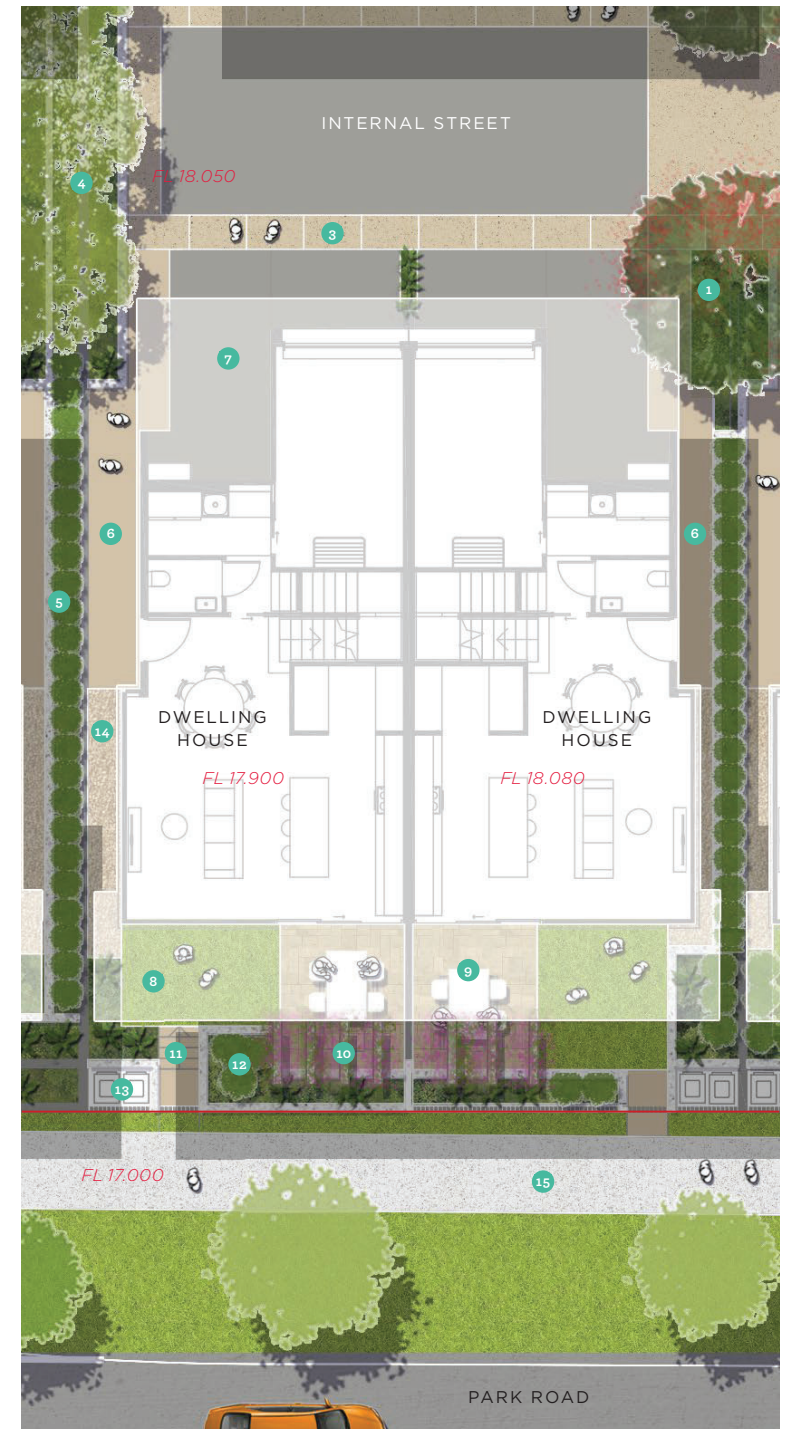
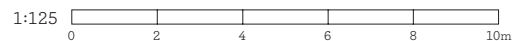
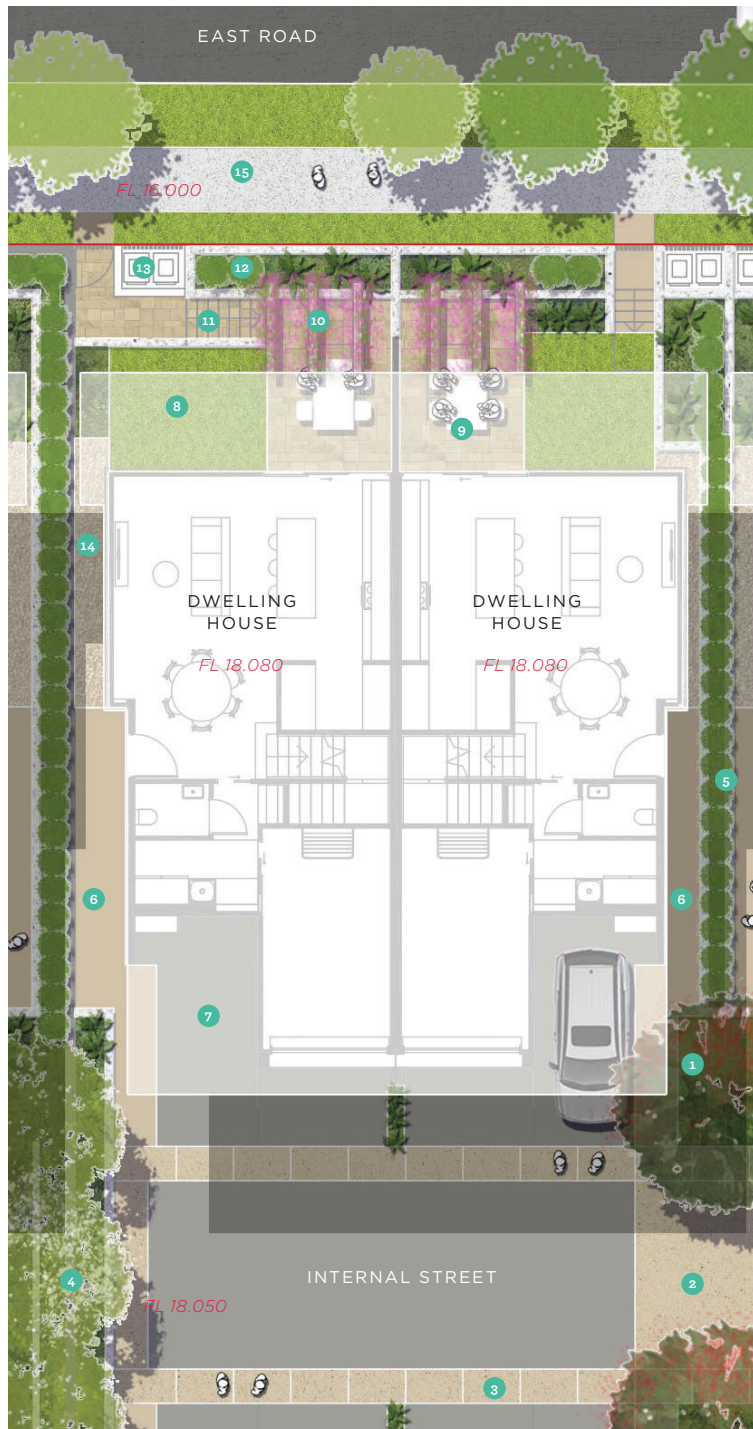
Key Plan



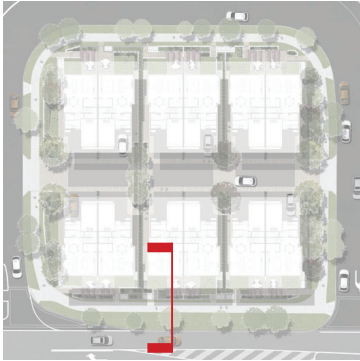
precinct 1 detail plans

KEY

- 01 Shade trees to building breaks
- 02 Contrast pavement to centre of internal street
- 03 Lighter coloured pedestrian pathway
- 04 Dense planting & shade trees at retaining wall / level change of 2.750m
- 05 Screen planting to side boundaries
- 06 Entry pathway to front door
- 07 Darker coloured pavement to driveways
- 08 Turf areas to private gardens
- 09 Paved covered outdoor dining area
- 10 Arbour structure with climbers over outdoor dining area for shade and privacy
- 11 Steps to streetscape
- 12 Raised planters with screen planting to the perimeter of all private gardens
- 13 Bin store
- 14 Maintenance pathway to side of dwelling houses
- 15 Streetscape including concrete footpath and shade trees by others

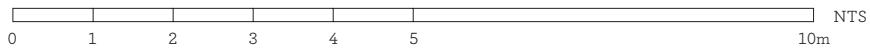
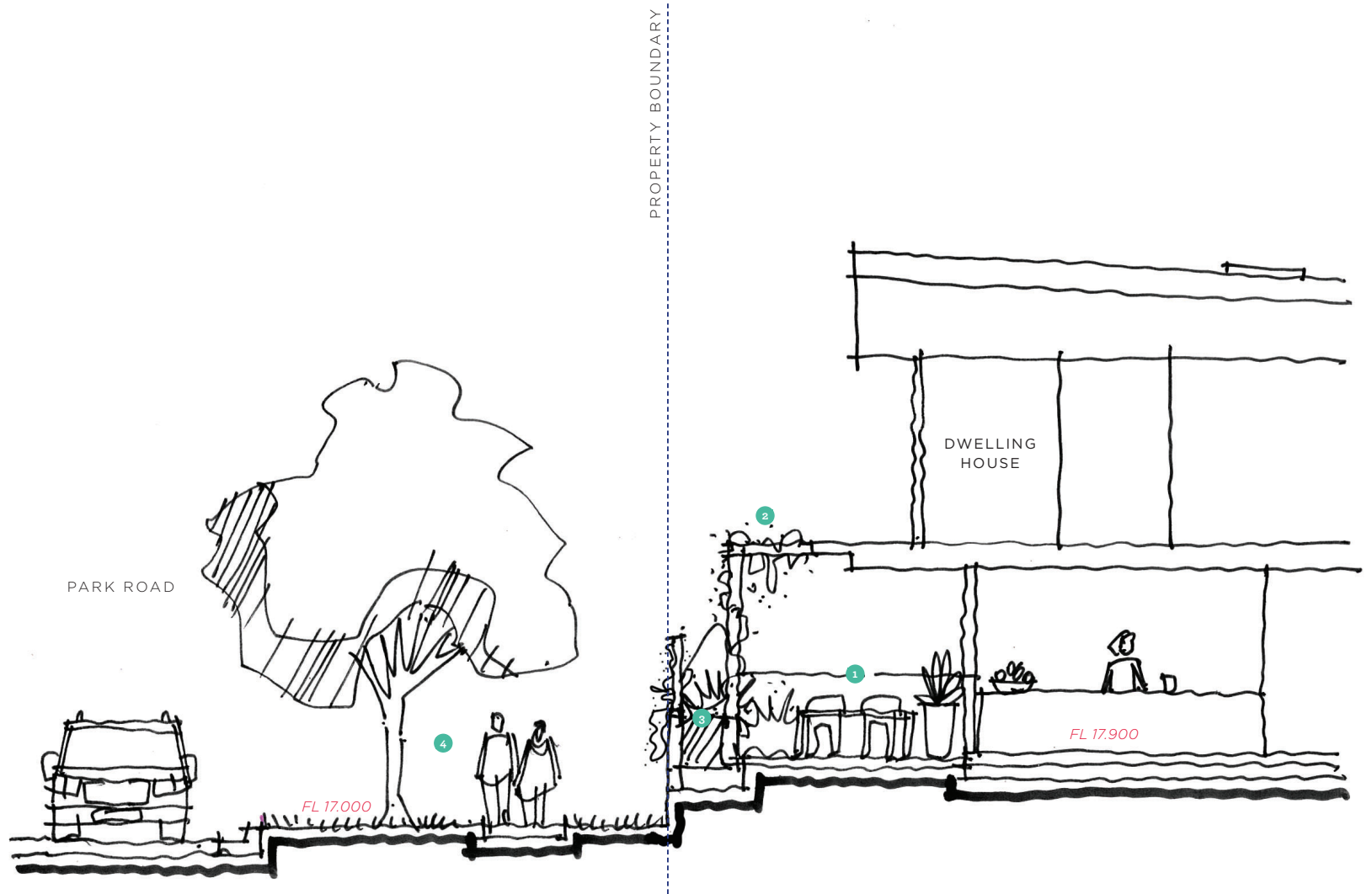


section a

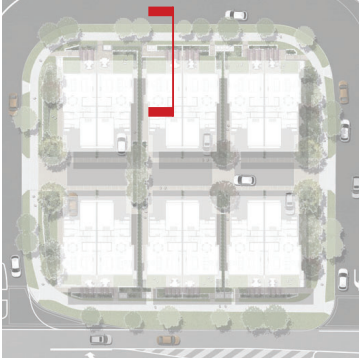


KEY

- 01 Paved covered outdoor dining area
- 02 Arbour structure with climbers over outdoor dining area for shade and privacy
- 03 Raised planters with screen planting to the perimeter of all private gardens
- 04 Streetscape including concrete footpath and shade trees by others

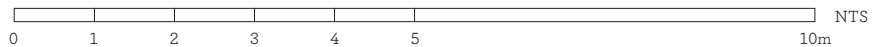


section b



KEY

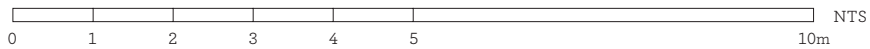
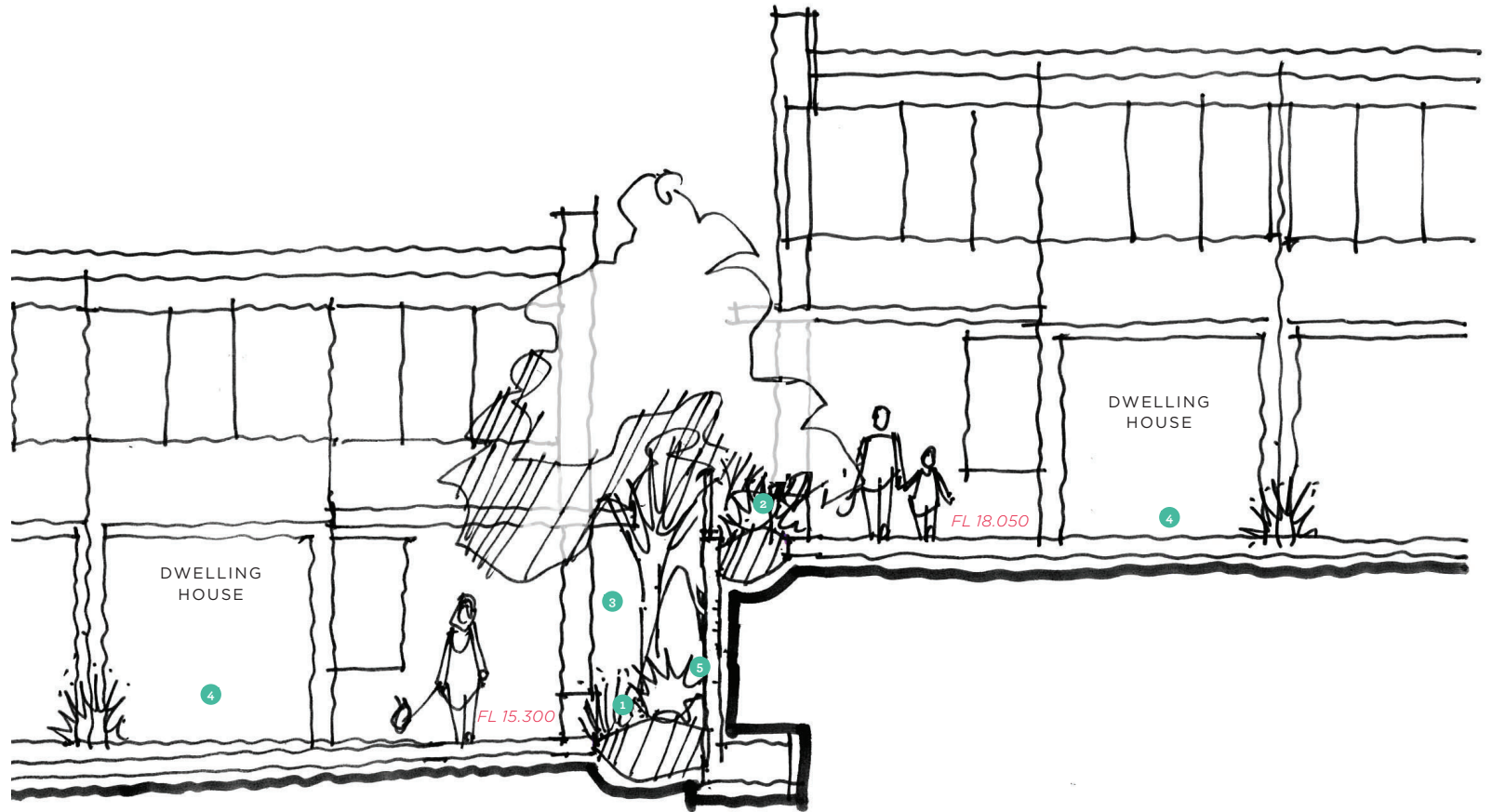
- 01 Paved covered outdoor dining area
- 02 Arbour structure with climbers over outdoor dining area for shade and privacy
- 03 Raised planters with screen planting to the perimeter of all private gardens
- 04 Streetscape including concrete footpath and shade trees by others
- 05 Screen planting to side boundary (behind)



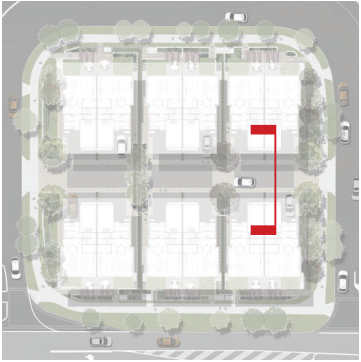
section c



- KEY
- 01 Dense planting & shade trees to lower section at retaining wall (level change of 2.750m)
 - 02 Shrub and ground cover planting to upper planting area
 - 03 Entry pathway to front door
 - 04 Internal street
 - 05 Retaining wall to level change

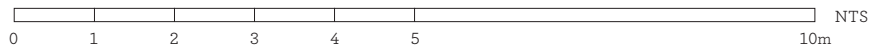
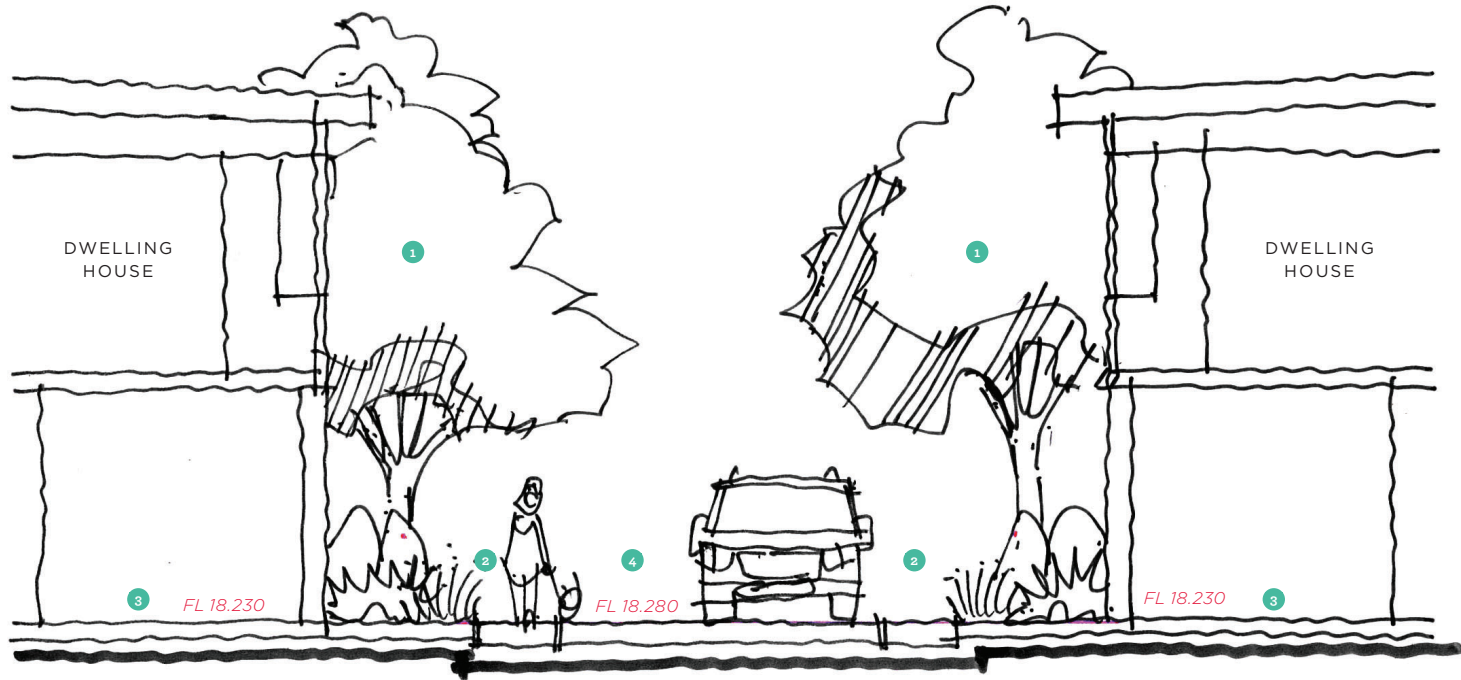


section d



KEY

- 01 Shade trees & low planting to building breaks
- 02 Lighter coloured pedestrian pathway
- 03 Darker coloured pavement to driveways
- 04 Internal street

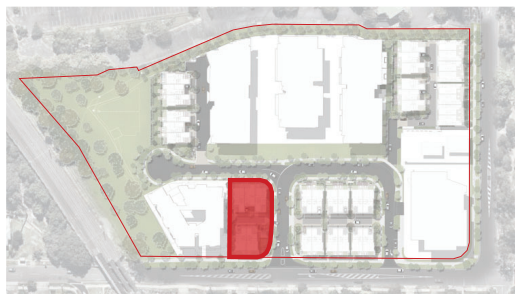


precinct 1 concept (lot 22)

KEY

- 01 Shade trees & screen planting to northern buffer
- 02 Contrast pavement to threshold
- 03 Lighter coloured pedestrian pathway
- 04 Possible private swimming pool with shade structure over
- 05 Medium size shade trees to private garden
- 06 Entry pathway to front door
- 07 Darker coloured pavement to driveways
- 08 Pocket lawns to front entries where space permits
- 09 Medium sized shade trees to frame entry roads
- 10 Medium size shade tree to internal street
- 11 Streetscape including concrete footpath and shade trees by others
- 12 Private gardens - refer detail plans

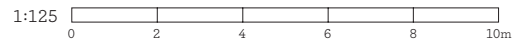
Key Plan



precinct 1 detail plan (east)

KEY

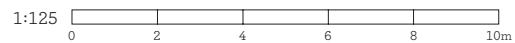
- 01 Shade trees to building breaks
- 02 Contrast pavement to threshold
- 03 Lighter coloured pedestrian pathway
- 04 Shade trees & screen planting to northern buffer
- 05 Screen planting to side boundaries
- 06 Entry pathway to front door
- 07 Darker coloured pavement to driveways
- 08 Turf areas to private gardens
- 09 Paved covered outdoor dining area
- 10 Arbour structure with climbers over outdoor dining area for shade and privacy
- 11 Path connection to streetscape
- 12 Raised planters with screen planting to the perimeter of all private gardens
- 13 Bin store
- 14 Maintenance pathway to side of dwelling houses
- 15 Streetscape including concrete footpath and shade trees by others



precinct 1 detail plan (west)

KEY

- 01 Shade trees to building breaks
- 02 Contrast pavement to threshold
- 03 Lighter coloured pedestrian pathway
- 04 Shade trees & screen planting to northern buffer
- 05 Screen planting to side boundaries
- 06 Entry pathway to front door
- 07 Darker coloured pavement to driveways
- 08 Turf areas to private gardens
- 09 Paved covered outdoor dining area
- 10 Arbour structure with climbers over outdoor dining area for shade and privacy
- 11 Path connection to streetscape
- 12 Raised planters with screen planting to the perimeter of all private gardens
- 13 Bin store
- 14 Maintenance pathway to side of dwelling houses
- 15 Streetscape including concrete footpath and shade trees by others
- 16 Possible private swimming pool with shade structure over

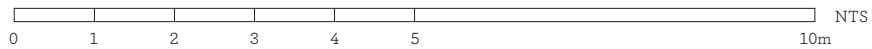
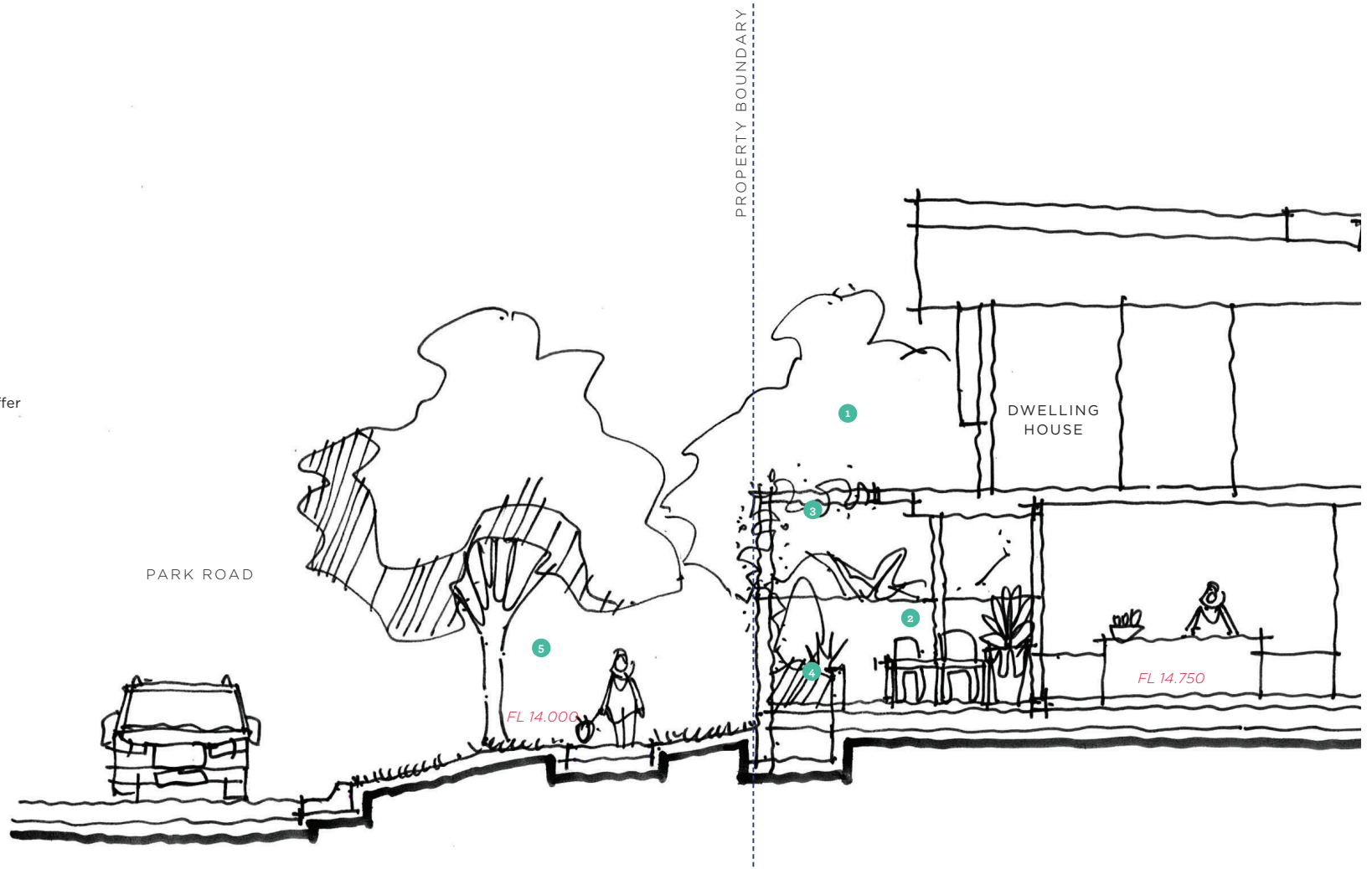


section a



KEY

- 01 Shade trees & screen planting to northern buffer
- 02 Paved covered outdoor dining area
- 03 Arbour structure with climbers over outdoor dining area for shade and privacy
- 04 Raised planters with screen planting to the perimeter of all private gardens
- 05 Streetscape including concrete footpath and shade trees by others

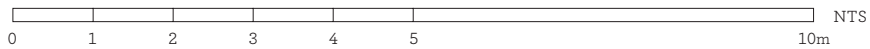
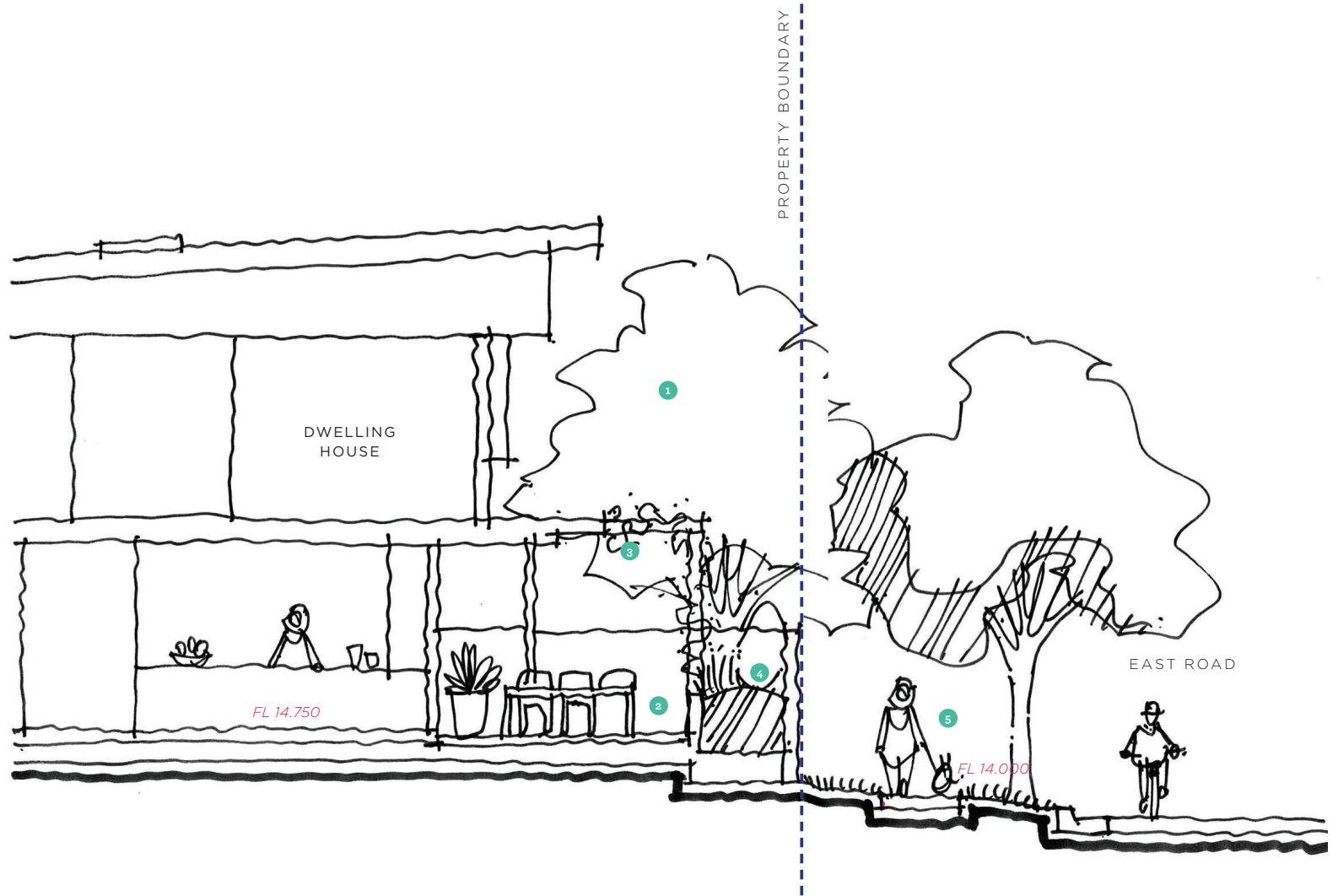


section b



KEY

- 01 Shade trees & screen planting to northern buffer
- 02 Paved covered outdoor dining area
- 03 Arbour structure with climbers over outdoor dining area for shade and privacy
- 04 Raised planters with screen planting to the perimeter of all private gardens
- 05 Streetscape including concrete footpath and shade trees by others



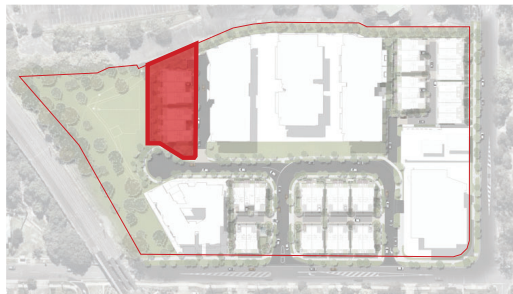
PAGE INTENTIONALLY BLANK

precinct 2 concept (lot 6)

KEY

- 01 Shared internal street
- 02 Contrast pavement to threshold
- 03 Lighter coloured pedestrian pathway
- 04 Terraced planting area to transition down to parkland
- 05 Medium size shade trees to private garden
- 06 Contrast pavement to visitor car parking to align with front door
- 07 Darker coloured pavement to driveways
- 08 Pocket lawns to front entries where space permits
- 09 Medium sized shade trees to frame entry roads
- 10 Medium size shade tree to internal street
- 11 Streetscape including concrete footpath and shade trees by others
- 12 Private gardens - refer detail plans
- 13 Waste collection store
- 14 Plunge pool to private garden
- 15 Small tree to dwelling house frontage
- 16 Arbour structure with climbers to frame front doors
- 17 Letterboxes to wall
- 18 Maintenance access gate

Key Plan



precinct 2 detail plan

KEY

- 01 Shared internal street
- 02 Low planting to dwelling house entry / driveways
- 03 Lighter coloured pedestrian pathway
- 04 Terraced planting area to transition down to parkland
- 05 Medium size shade trees to private garden
- 06 Contrast pavement to visitor car parking to align with front door
- 07 Darker coloured pavement to driveways
- 08 Open lawn to rear gardens overlooking bio-filter/ parkland
- 09 Paved covered outdoor dining area
- 10 Medium size shade tree to internal street
- 11 Steps down to lawn (approx 1.30m change)
- 12 Raised planter to transition from dwelling house level to lawn - 450mm high for seat edge to lawn
13 Screen planting to side boundaries
- 14 Screen planting and gravel access path to side boundary
- 15 Arbour structure with climbers to frame front doors
- 16 Planter with medium size shade tree to frame path and road
- 17 Upper lawn to provide extension to paved courtyard



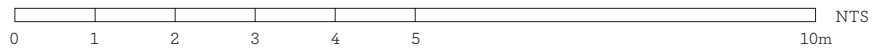
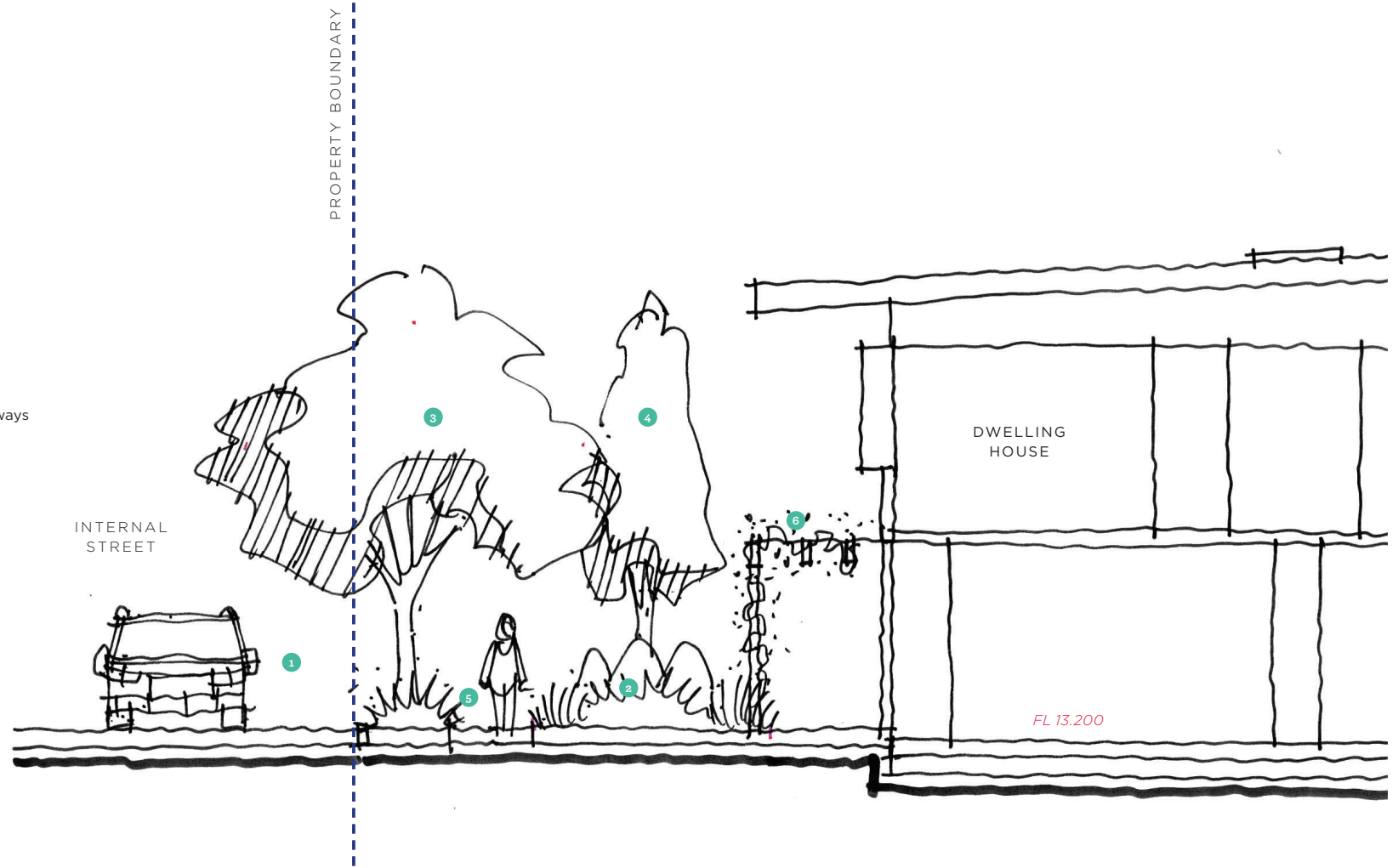
1:125
0 2 4 6 8 10m

section a



KEY

- 01 Shared internal street
- 02 Low planting to dwelling house entry / driveways
- 03 Medium size shade tree to internal street
- 04 Small tree to dwelling house frontage
- 05 Pedestrian footpath
- 06 Arbour structure with climbers to frame front doors

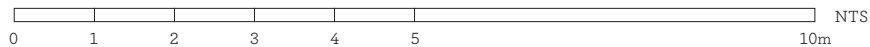
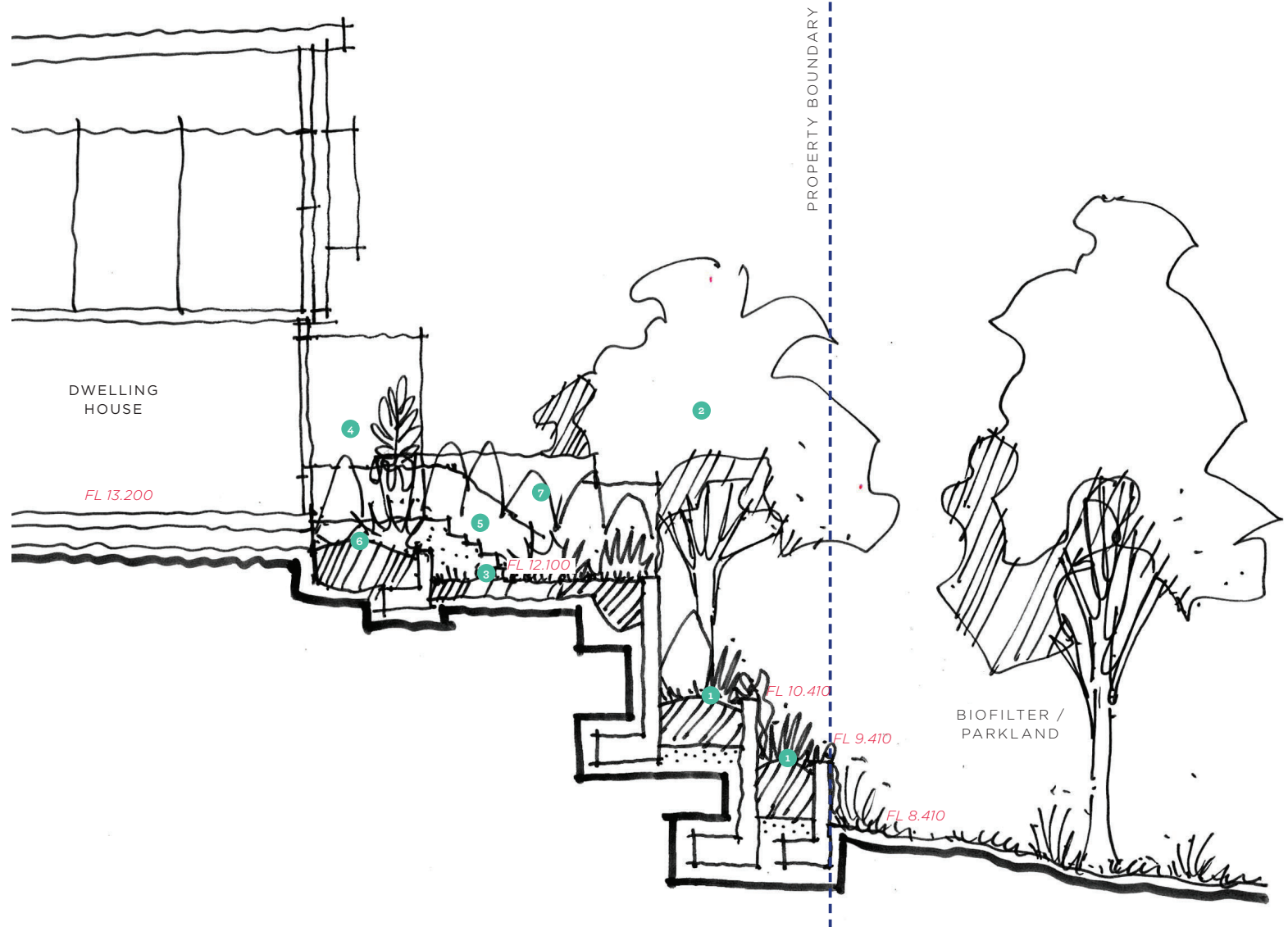


section b



KEY

- 01 Terraced planting area to transition down to parkland
- 02 Medium size shade trees to private garden
- 03 Open lawn to rear gardens overlooking bio-filter/ parkland
- 04 Paved covered outdoor dining area
- 05 Steps down to lawn (approx 1.30m change)
- 06 Raised planter to transition from dwelling house level to lawn - 450mm high for seat edge to lawn
- 07 Screen planting to side boundaries

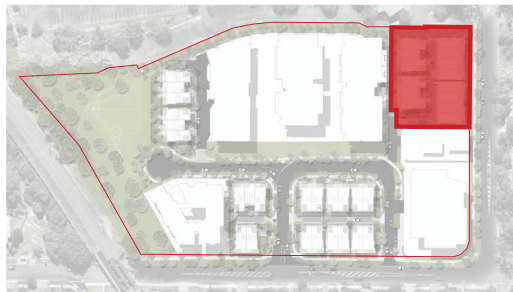


precinct 3 concept (lot 10)

KEY

- 01 Shade trees to building breaks
- 02 Contrast pavement to threshold
- 03 Lighter coloured pedestrian pathway
- 04 Dense planting & shade trees to entry area
- 05 Screen planting to side boundaries
- 06 Entry pathway to front door
- 07 Darker coloured pavement to driveways
- 08 Small size shade trees to private courtyards
- 09 Medium sized shade trees to internal street
- 10 Screen planting to west boundary
- 11 Streetscape including concrete footpath and shade trees by others
- 12 Private gardens - refer detail plans
- 13 Planting at street level with climbers on cables to garage walls (refer detail plan)
- 14 Balcony planters spilling to internal street
- 15 Waste collection store

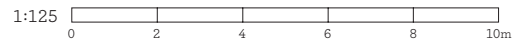
Key Plan



precinct 3 detail plan (north)

KEY

- 01 Shade trees to building breaks
- 02 Contrast pavement to centre of internal street
- 03 Lighter coloured pedestrian pathway
- 04 Dense planting & shade trees to entry area
- 05 Screen planting to side boundaries
- 06 Entry pathway to front door
- 07 Darker coloured pavement to driveways
- 08 Turf areas to private gardens
- 09 Paved covered outdoor dining area
- 10 Arbour structure with climbers over outdoor dining area for shade and privacy
- 11 Dense screen planting to northern boundary
- 12 Medium size shade tree and planting to dwelling house entry / driveway
- 13 Contrast pavement to visitor car parking to align with front door
- 14 Maintenance pathway to side of dwelling houses



precinct 3 detail plan (south)

KEY

- 01 Balcony planters spilling to internal street
- 02 Paved covered outdoor dining area
- 03 Feature planting with screen planting to edges to private terrace gardens
- 04 Dense screen planting to building break
- 05 Feature planting, screen planting to edges and medium size shade tree to private terrace garden outside study
- 06 Entry steps & pathway to front door
- 07 Raised planter with spilling plants to street face. Raised planter to alternate with screen fencing along front boundary
- 08 Streetscape including concrete footpath and shade trees by others
- 09 Contrast pavement to centre of internal street
- 10 Planting at street level with climbers on cables to garage walls (refer detail section)
- 11 Bin store to street



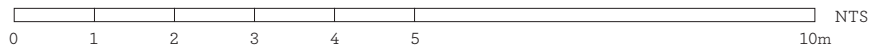
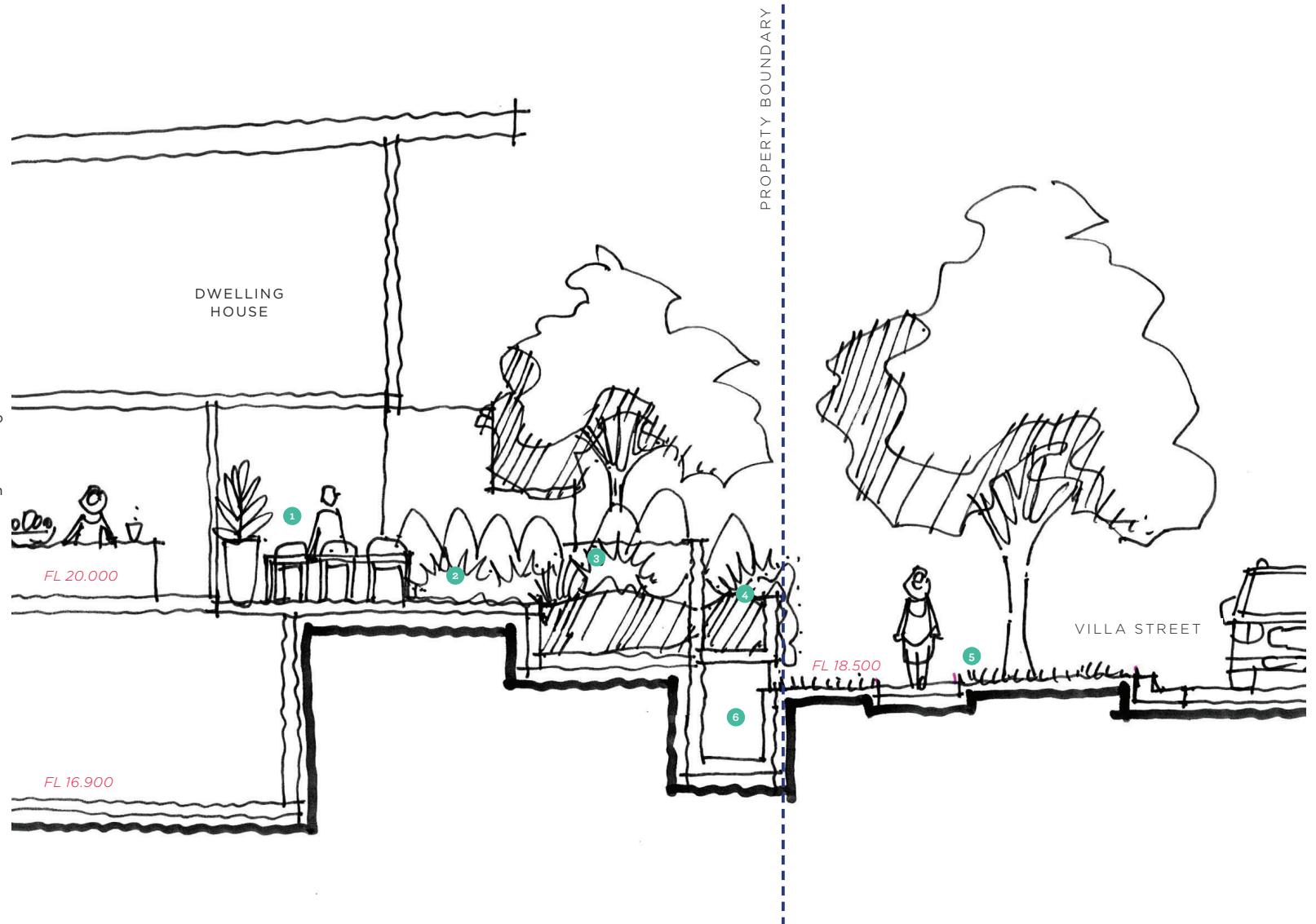
1:125 0 2 4 6 8 10m

section a



KEY

- 01 Paved covered outdoor dining area
- 02 Feature planting with screen planting to edges to private terrace gardens
- 03 Feature planting, screen planting to edges and medium size shade tree to private terrace garden outside study
- 04 Raised planter with spilling plants to street face. Raised planter to alternate with screen fencing along front boundary
- 05 Streetscape including concrete footpath and shade trees by others
- 06 SW culvert (refer civil)

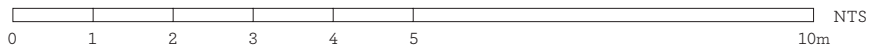
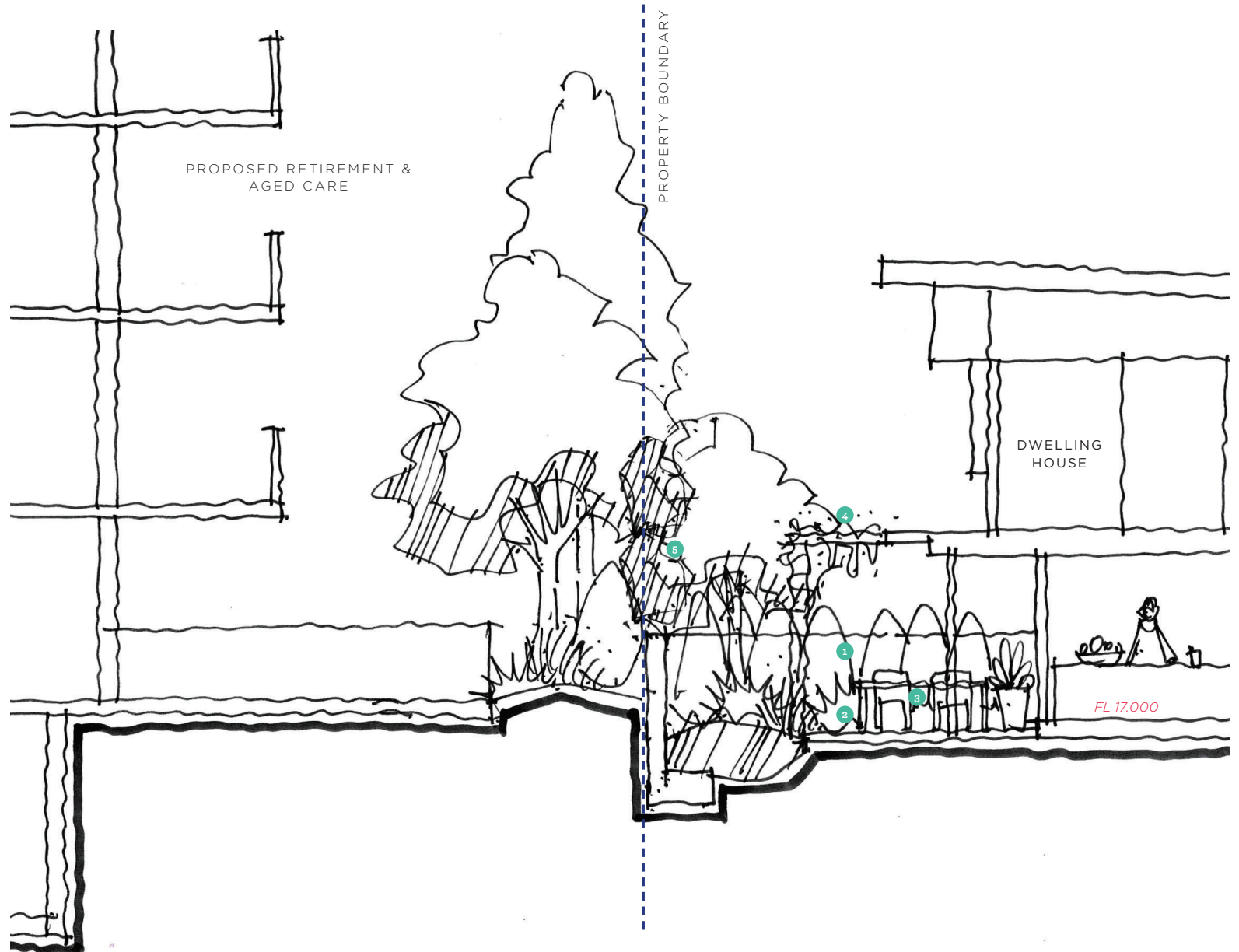


section b



KEY

- 01 Screen planting to side boundaries
- 02 Turf area to private gardens (behind paved outdoor dining area)
- 03 Paved covered outdoor dining area
- 04 Arbour structure with climbers over outdoor dining area for shade and privacy
- 05 Dense screen planting & trees to northern boundary

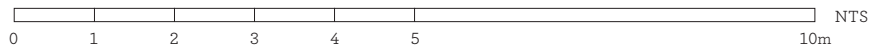


section c



KEY

- 01 Balcony planters spilling to internal street
- 02 Planting at street level with climbers on cables to garage walls (refer detail plan)
- 03 Medium sized shade trees to internal street
- 04 Groundcover & low shrub planting to dwelling house entry / driveway
- 05 Lighter coloured pedestrian pathway
- 06 Internal street



materials palette

The materials palette will be comprised of a simple and robust selection of finishes commensurate to high quality medium density living. The composition of finishes will create a rich and welcoming overlay to the landscape.

Subtle and muted colours will feature to create a timeless palette. The hardscape will comprise a range of materials and format sizes to highlight pedestrian nodes and entry points, with consideration to proximity to recreation and rest areas.

Arbour structures will be used to shade private garden area and provide privacy to neighbouring developments.

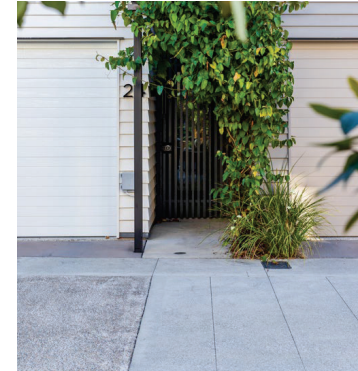
Pavement types are to be used to direct movement throughout the site, create distinct but integrated use areas and ensure a sense of place.



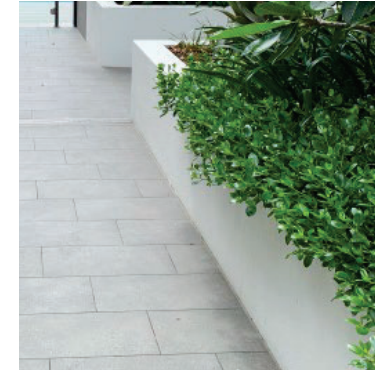
Exposed aggregate feature with warm and grey tones



Warm muted tones to coloured concrete to highlight pedestrian pathways



Contrasting coloured concretes & saw cuts to differentiate use



Tile with muted grey tones for entry paths and paved courtyards



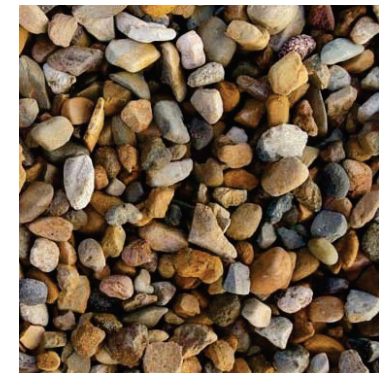
Arbour with climbers to private gardens



Cables with climbers for privacy



Visually permeable fencing where views available to streetscape or parkland



Steppers & pebbles to side maintenance pathways to dwelling houses

planting palette

Planting palette and composition will provide a robust, diverse and subtropical setting reflecting Brisbane's climate. Species have been selected for their hardiness, low maintenance and water requirements, and suitability to our subtropical climate.

A comprehensive palette has been created to ensure an integrated planting scheme is carried throughout the development in all areas.

CPTED principles have been considered with the ultimate design to ensure clear sightlines to all entry areas and intersections. Planting design will be designed to afford casual surveillance to common and streetscape areas.

Trees will be used generously to provide shade, frame views, and vertical scale to soften building facades.

trees

- 01 Brachychiton acerifolius (Flame Tree)
- 02 Cupaniopsis anacardioides (Tuckeroo)
- 03 Harpullia pendula (Tulipwood)
- 04 Flindersia australis (Crow's Ash)
- 05 Lophostemon confertus (Brush Box)
- 06 Melaleuca quinquenervia (Broad-leaved Paperbark)
- 07 Tristaniopsis 'Luscious'

shrubs

- 08 Baeckea virgata 'Dwarf' (Myrtle Dwarf)
- 09 Banksia spinulosa 'Coastal cushion'
- 10 Callistemon spp
- 11 Doryanthes palmeri (Giant Spear Lily)
- 12 Grevillea spp
- 13 Leptospermum 'Little Bun'

- 14 Melaleuca spp
- 15 Monstera deliciosa
- 16 Rhaps excelsa (Lady Palm)
- 17 Syzygium spp
- 18 Westringia fruticosa (Coastal Rosemary)

groundcover & grasses

- 19 Agave attenuata (Foxtail Agave)
- 20 Alcantarea purpurea (Bromeliad)
- 21 Alcantarea odorata (Bromeliad)
- 22 Crinum pedunculatum (Stream Lily)
- 23 Dietes bicolour (Spanish Iris)
- 24 Ficinia nodosa (Knobby Club brush)
- 25 Hardenbergia violacea (Happy Wanderer)
- 26 Hymenocallis littoralis (Lilly Grass)
- 27 Philodendron 'Rojo Congo'
- 28 Philodendron 'Xanadu'
- 29 Lomandra hystrix (Green Matrush)
- 30 Lomandra longifolia (Basket Grass)
- 31 Myoporum ellipticum (Myoporum)
- 32 Myoporum parvifolium (Creeping Boobialla)
- 33 Pennisetum alopecuroides (Swamp Foxtail)
- 34 Zamia furfuracea (Cardboard Palm)

climbers

- 35 Cissus antarctica (Kangaroo Vine)
- 36 Pandorea jasminoides (Bower of Beauty)
- 37 Trachelospermum jasminoides (Star Jasmine)

