

NORTH STAR
PROPOSED MIX-USE DEVELOPMENT



DRAWING LIST

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K	Further Issues Response	16-12-22	CZ
J	Development Application	03-08-22	CZ
I	Prelodgement Updates	26-07-22	CZ
H	Prelodgement Updates	19-07-22	CZ
G	Amended Site Boundaries	28-03-22	CZ
F	Preliminary DA Set	30-11-21	CZ
E	Preliminary DA Set	28-10-21	CZ
D	Concept Design	14-10-21	CZ
C	Concept Design	23-09-21	CZ
B	Prelodgement Issue	29-05-21	CZ
A	Preliminary Issue	18-06-21	CZ

Revision	Description	Date	Initials
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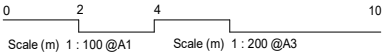
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PROJECT
NORTH STAR
LOT 3A-2 CORNER OF KNOWLEDGE AND
BONNER STREET, GCHKP

CLIENT
GOLD COAST 888 TRUST

DRAWING TITLE
COVER SHEET

Project Architect/Designer	Drawn By	Date Drawn
MK	CZ	JUNE '21
Checked	Date Checked	Scale @ A1

Drawing No.	Revision
6140.1S.00.000	K

Lot 3A-2 of the Gold Coast Health and Knowledge precinct is situated at one of the prominent corners and main access ways into the precinct, demanding a design that recognises and embraces its location and role in setting the standard for future surrounding developments. The master plan for the precinct intends to provide increased public amenity and pedestrian accessibility through and around the adjoining sites which will aid in creating the world class innovation, technology and economic centre EDQ are striving for.

Located on the corner of Bonner and Knowledge Streets, the proposal includes an 11 storey mixed-use medical research and innovation hub for the precinct that aims to advance the treatment of a variety of health conditions and the development of new and emerging technologies across a range of health sectors. Lot 3A-2 is located to the south of the existing temporary Cohort Innovation Space building and to the west of an adjoining undeveloped site separated by a Lot reserved for a proposed 'Collaboration Green' in the form of a public plaza. The scale and bulk of the building is in keeping with the guidelines adopted by EDQ and responds creatively to the constraints, context and design brief to develop the land with an architecturally outstanding result for not only the site, but the wider precinct. A 4 storey podium element grounds the facility within the context and responds to the human scale from the public domain with a further 6 storey tower element that significantly retracts from all boundaries to further reduce the bulk and scale of the built form.

The design response elegantly references the familiar design motifs through materiality, form, and texture whilst employing modern design principles and technology to situate itself within the precinct. Appropriating the incorporation of curved forms and rounded edges to soften the built forms of the building are reminiscent of former modernist design trends which enable the facility to recognise the foundations of the past in order to innovate and develop them further to build upon and propel the medical research industry into the future.

A feature corner treatment, modulated and sculptured to address both Bonner and Knowledge Streets, welcomes visitors with a transparent façade, showcasing the feature helical stair of the tower. At street level a double height awning is supported on slender round columns which partially enclose the external entry plaza on both street frontages. This stair has been incorporated as the focal point of the design both visually and conceptually to encourage the use of stairs as the primary method of vertical circulation throughout the building and provides the advantage of naturally ventilating the building. A similar concept has been incorporated into the design of the open stair to the north of the building which provides a place to sit in the sun for short breaks throughout the working day.

Human interaction and communication form some of the core values of the design to facilitate the push for innovation and economic growth. The wide and open stairways, external terraces and lobby lounge areas on each level encourage the use of common areas to create opportunities for interaction and cross-fertilisation of knowledge and ideas – these chance encounters could lead to the beginning of the next medical breakthrough.

The sloping terrain of Knowledge and Bonner Streets have been incorporated into the design, offering slightly raised planters and ledge-type seating for visitors along the buildings edge. The planter also introduces a contrasting material and grounds the development in its context. Knowledge street is addressed with a 4 storey glass and feature aluminium façade element with an elegant and light street awning which is capped by a solid white banding and doused with rich plantings that will include nature into the façade and increase local amenity. These elements come together to present an advanced and sophisticated design response through materiality and form-making to enhance the public realm surrounding the site. This same design philosophy has been adopted and pushed throughout the building to complete the aesthetic.

The permeability of the Building Façade allows people to move in, out and around the building from multiple points into public and semi-public areas located within the public domain. The building promotes a strong connection to the future 'Collaborative Green' to the North-Eastern Façade, which is envisaged to offer smaller, more defined outdoor spaces for professionals to gather in small groups or individuals to work outdoors.

Operable glazing throughout the podium and tower permits natural light and ventilation of the facility to create a healthier and more desirable workplace. Cross ventilation can be achieved throughout the tenancies of each floor and the open stairs which can also assist in effectively flushing out the hot or stale air. Functional sun shading devices have been included as required to act both as a facade articulation tool and heat load reduction tool. Decorative and articulated screening provides a visual buffer to the podium car parking with differing shapes and slight variations of tone to play with shadow and introduce a visual relief to bulky building elements.

Strategic design maximises the efficiency of typical floor plates to create flexible open plans that are easily split into multiple tenancies making the spaces more sustainable for future uses. The ground floor is both visually and physically connected directly to the street and the future public plaza which contributes to the activation of the site and the wider precinct by increasing pedestrian activity at the ground level. There are three levels of podium carparking which have been strategically sleeved with commercial tenancies across the primary facades. A cafe, bar and function centre spill out onto an outdoor terrace on the podium level, also used as common outdoor areas incorporating rich landscaping, subsequently increasing amenity for users of the facility. The upper 6 levels that form the tower are dedicated to health care services.

The project aims to develop an exemplary urban design outcome of high quality architecture tailored to the context of the precinct and commercial needs of the market and client.

Located on the corner of Bonner and Knowledge Streets, the proposal includes an 11 storey mixed-use medical research and innovation hub for the precinct that aims to advance the treatment of a variety of health conditions and the development of new and emerging technologies across a range of health sectors. Lot 3A-2 is located to the south of the existing temporary Cohort Innovation Space building and to the west of an adjoining undeveloped site separated by a Lot reserved for a proposed 'Collaboration Green' in the form of a public plaza. The scale and bulk of the building is in keeping with the guidelines adopted by EDQ and responds creatively to the constraints, context and design brief to develop the land with an architecturally outstanding result for not only the site, but the wider precinct. A 4 storey podium element grounds the facility within the context and responds to the human scale from the public domain with a further 6 storey tower element that significantly retracts from all boundaries to further reduce the bulk and scale of the built form.

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B	Development Application	03-08-22	CZ
A	General Amendments	14-12-21	CZ
Revision	Description	Date	Initials

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Project Architect/Designer	Drawn By	Date Drawn
MK	CZ	
Checked	Date Checked	Scale @ A1
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Drawing No.	Revision	
6140.1S.00.001	B	



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F	Further Issues Response	16-12-22	CZ
E	Development Application	03-08-22	CZ
D	Pre-Indgement Updates	26-07-22	CZ
C	Amended Site Boundaries	28-03-22	CZ
B	Preliminary DA Set	08-11-21	CZ
A	Preliminary DA Set	28-10-21	CZ

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6140.1S.00.004	F





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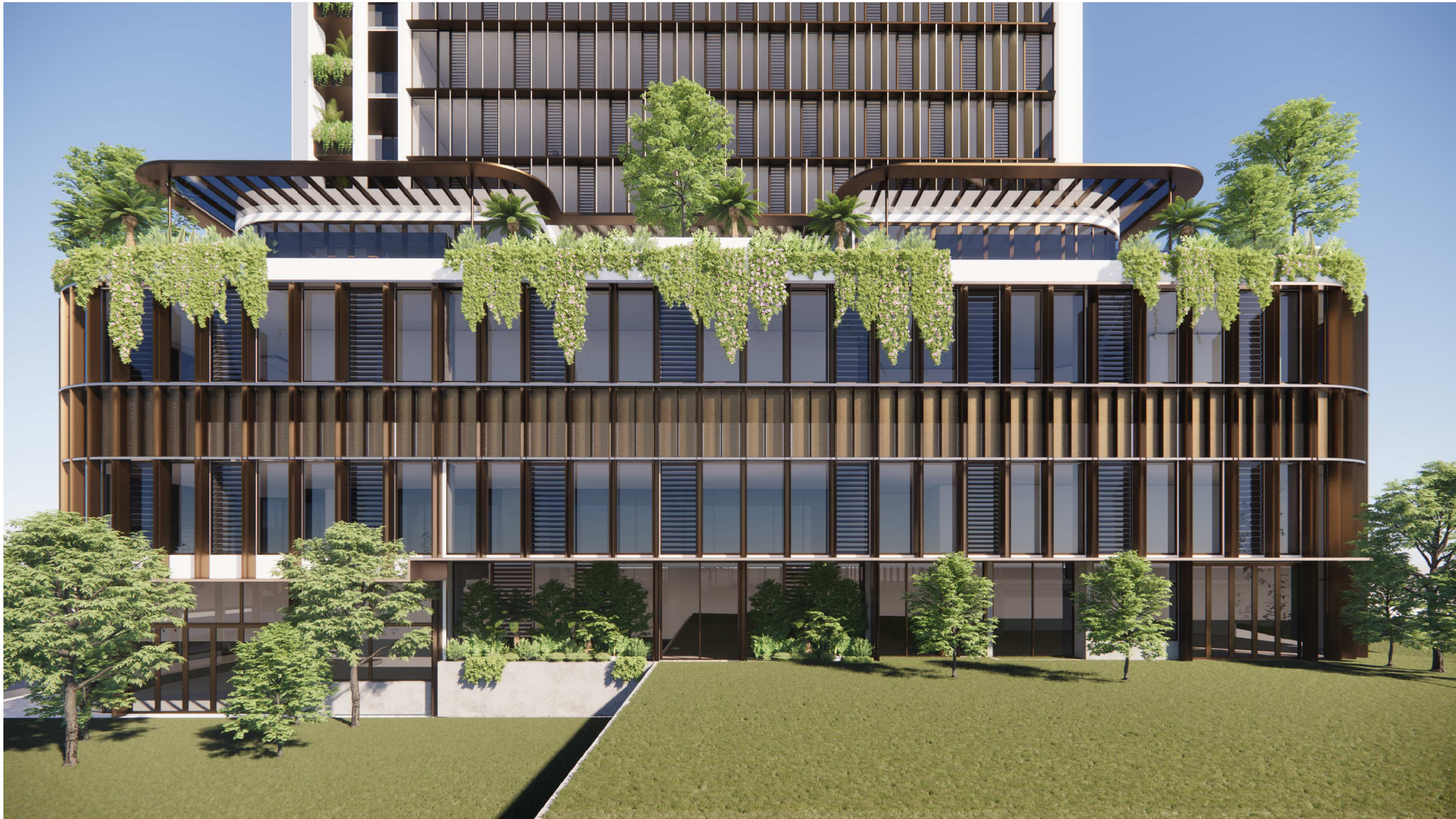
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C	Futher Issues Response	10-12-22	CZ
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LEGEND

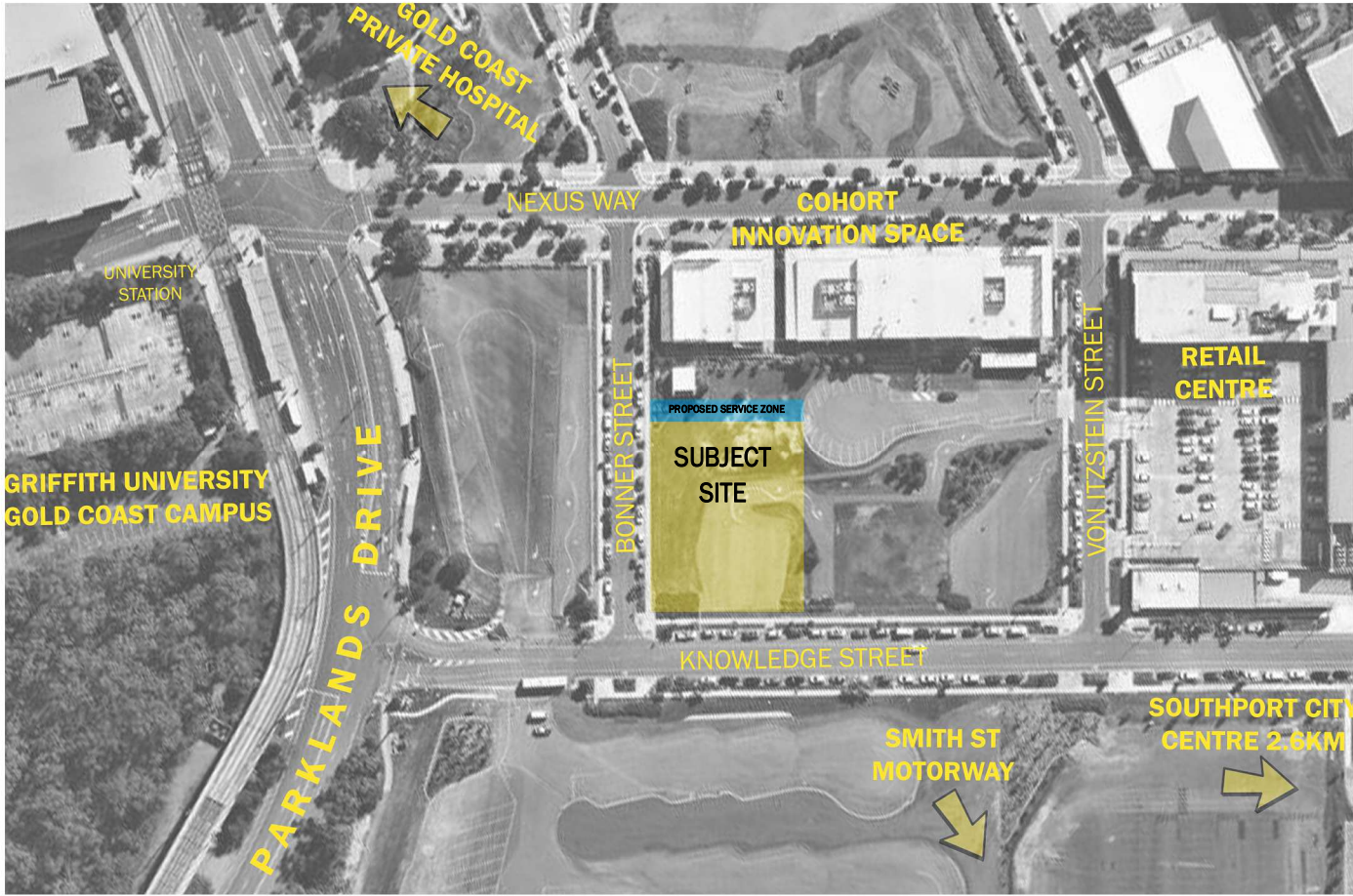


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Drawing No.	Revision
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SITE LOCALITY PLAN

Scale @ A1 1:1000

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D	Development Application	03-08-22	CZ
C	Preliminary DA Set	28-10-21	CZ
B	Concept Design	11-10-21	CZ
A	Concept Design	23-09-21	CZ

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DRAWING TITLE
SITE LOCALITY PLAN

Project Architect/Designer Drawn By	Date Drawn
Designer CZ	
Checked Date Checked	Scale @ A1
Checker As indicated	
Drawing No.	Revision
6140.1S.01.000	D

1 ECOSYSTEMS

- A Stormwater Management Plan has been prepared to address stormwater on site.
- Alternative Pest Control Measures to minimise the use of pesticides and herbicides.
- Earthworks have been minimised and excavated material will be utilised on site.
- All plantings are native species throughout - refer to Landscape design.
- Reduced Urban heat island effect with rooftop plantings and limiting hardstand areas.
- The project is located on a brownfield site with minimal existing ecological value.
- Podium planting/ green roof incorporated into the design.
- Productive gardens included in the landscape areas of the project.
- Native bees amongst landscape areas to improve pollination of native species.
- 15% of site area dedicated to deep planting - refer to Landscape design for details.

② WATER

- Irrigation systems incorporated into the design for all planting and landscape areas
- Reduced potable water use by a minimum of 20% more than State regulations
- Rainwater harvesting systems for use throughout the site

3 ENERGY

- Passive Design has been incorporated to orient the building to ideally respond to the local climatic conditions of the site.
- The project is designed to minimise extremities in temperatures with various shading devices to large expanses of glazing.
- The design of public spaces optimizes microclimatic conditions at all times of the year.
- Automated lighting control incorporated into the design.
- Efficient Lighting to reduce energy usage.
- Cross ventilation and thermal mass on all floors have influenced the design outcome of the project to reduce the need for artificial heating and cooling.
- Carparks are naturally ventilated to eliminate the need for mechanical ventilation.
- Regenerative drives, dispatch control systems and machine room-less elevators shall be specified.
- Alternative energy sources shall be incorporated into the design.
- Energy efficient appliances and fixtures shall be specified throughout.

4 WASTE

- A comprehensive waste management plan has been adopted for the project.
- Recycle or reuse at least 90% of all built form construction waste (by volume).

5 MATERIALS

- Concrete with a >30% supplementary cement materials or recycled aggregate shall be specified.
- Low emission paints, sealants, adhesives and floor coverings shall be specified.
- Composite and engineered wood products comply with formaldehyde emission levels of E0 or better and E1 for particleboard.

6 COMMUNITY

- The project is driven by a design philosophy to improve environmental, economic, social sustainability and liveability.
- Designed to promote a safe environment and reduce crime by encouraging positive interactions between visitors and employees according to Crime Prevention Through Environmental Design (CPTED).
- Bicycle and End-of-Trip facilities are provided to accommodate a minimum of 5% of staff plus 1 per 1,000m² of floor space.
- Public transport facilities are located within 200m of the site.
- Provisions for 5% of the vehicle parking capacity to accommodate hybrid and electric vehicle charging.
- Multiple designated public spaces with direct physical connection to the natural environment are available and universally accessible.
- Safe and direct equitable access are provided for pedestrians, and cyclists.
- Access to parking is off a shared laneway connected to Bonner street so as to not undermine the comfort or safety of pedestrians.

1. The Client/Consultant/Builder understands that they accept all responsibility and must check all details for the accuracy and information presented on the .DWG files.

2. TVS Architects accepts no liability for the .DWG files once they are clear of their control.

3. No changes to the files are allowable and any changes that are made by others after the files are submitted will be at their own risk.

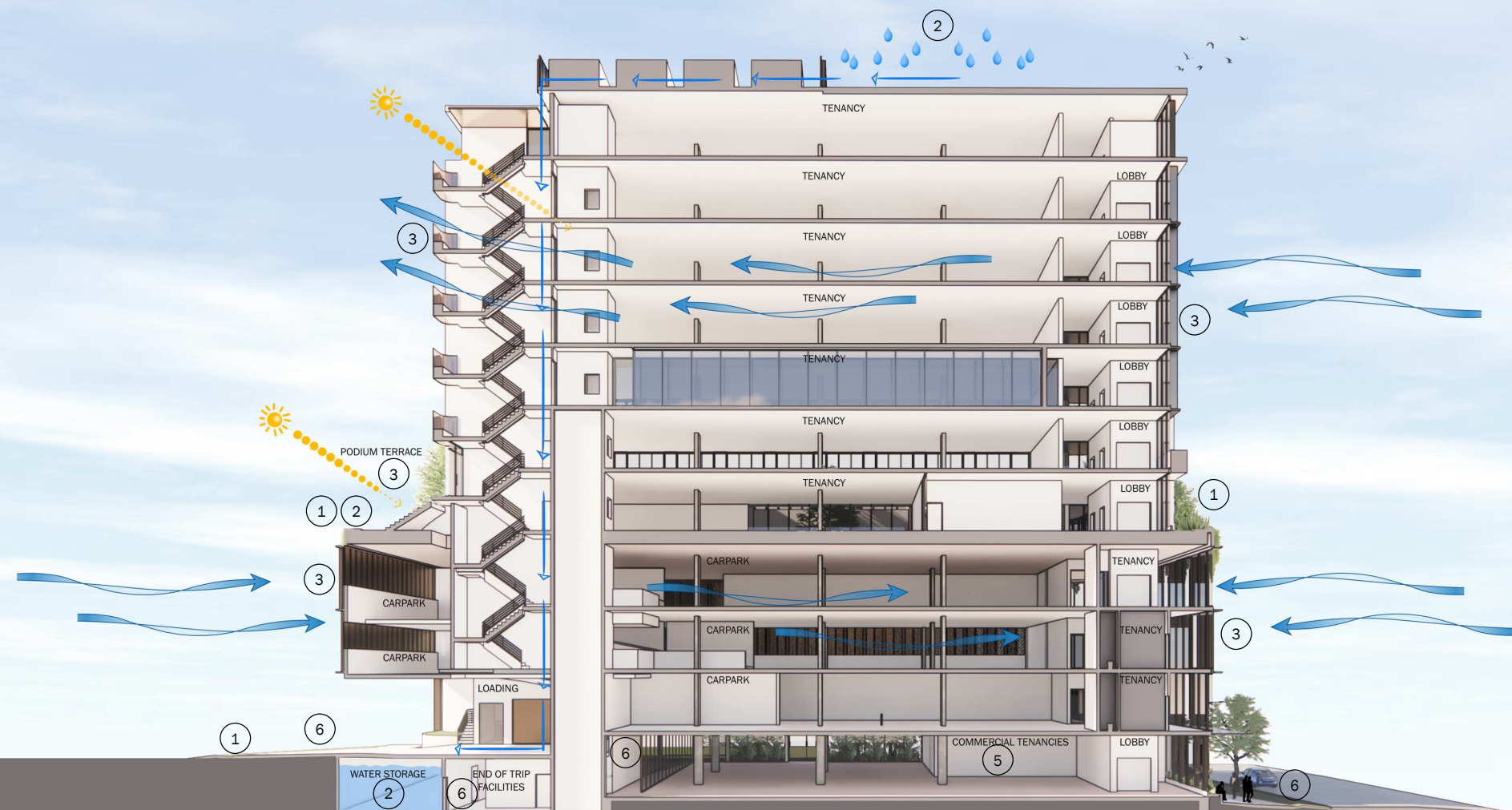
4. Any changes must not be plagiarised in any way by the receiving parties or design purposes that are not directly related to this project.

5. Any drawings should only be shared with those who are directly related then directly via email or on an USB based distribution and should not be forwarded on to any other parties unless approved to do so by TVS Architects.

6. All dimensions on the drawings are to be verified on site prior to commencement of work. Nominated dimensions are to be used in order to avoid any scaling or misinterpretation of drawings.

7. Any drawing issued without a current revision date represents an uncontrolled drawing and is invalid.

LEGEND



B	Development Application	03-08-22	C2
A	Amended Site Boundaries	28-03-23	C2
Revision	Description	Date	Initial



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ARCHITECTURE .
INTERIORS .
ENVIRONMENT .
MASTERPLANNING .

PROJECT
NORTH STAR
LOT 3A-2 CORNER OF KNOWLEDGE AND
BONNER STREET, GCHKP

CLIENT
GOLD COAST 888 TRUST

ESD DIAGRAMS

Project Architect/Designer	Drawn By	Date Drawn
MK	CZ	
Checked	Date Checked	Scale @ A1
-		
Drawing No.	Revision	

6140.1S.07.000

B