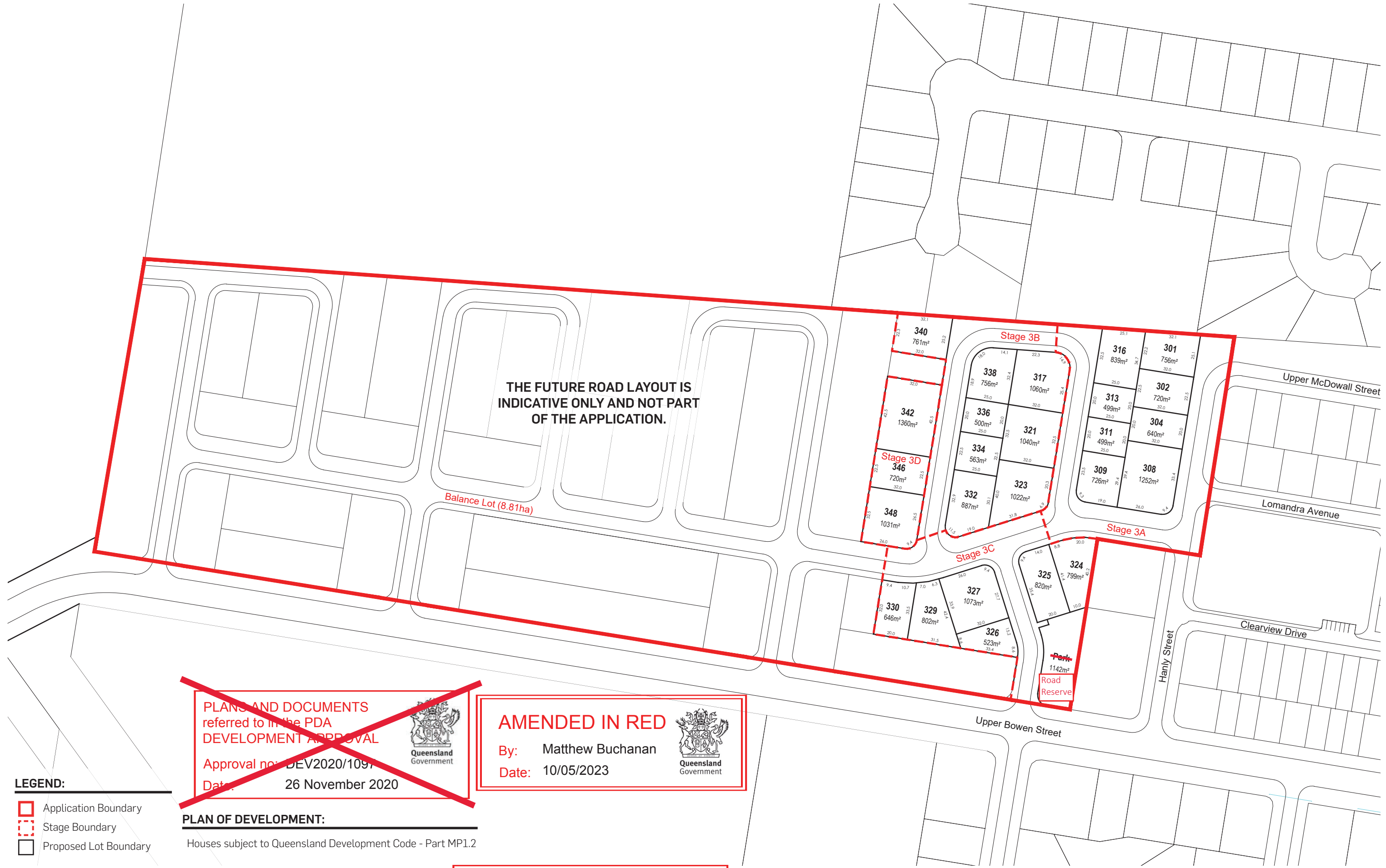




THE FUTURE ROAD LAYOUT IS
INDICATIVE ONLY AND NOT PART
OF THE APPLICATION.

Balance Lot (8.81ha)

~~PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL~~

~~Approval no: DEV2020/1097~~

~~Date: 26 November 2020~~



AMENDED IN RED

By: Matthew Buchanan

Date: 10/05/2023



PLAN OF DEVELOPMENT:

Houses subject to Queensland Development Code - Part MP1.2

**PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL**

Approval no: DEV2020/1097/5

Date: 11/05/2023

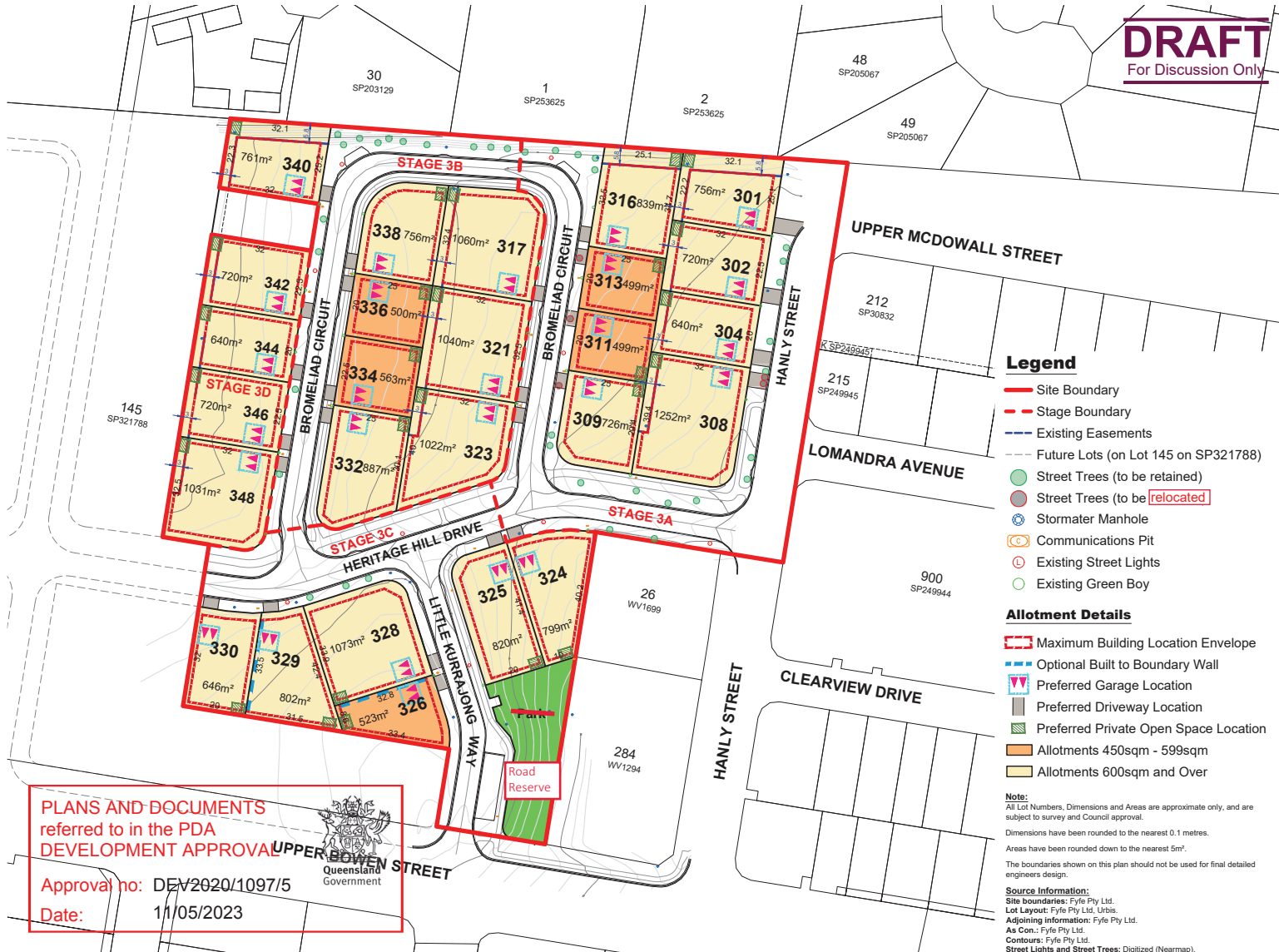


**UPPER BOWEN STREET, ROMA
OVERALL ROL**

DATE: 09.11.2020
JOB NO: P0019621
DWG NO: ROL-02
REV: 6

1:2000 @ A3
0 20 40 60 80 100

Amended in red by RPS 1/03/2023

**Notes:****General**

- All development is to be undertaken in accordance with the Development Approval.
- The maximum height of buildings shall not exceed 2 storeys or 8.5m above natural ground level.
- All lots must contain a house.

Building Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise dimensioned on the plan.
- The location of optional built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted, side setbacks shall be in accordance with the Plan of Development Table.
- Built to boundary walls are to have a maximum length of 9m and a maximum height of 3.5m above natural ground level.
- Built to boundary walls, if adopted, are only permitted for Class 10a buildings as defined by the Queensland Development Code and the Building Code of Australia (e.g. garage, carport or the like). Sheds are not permitted to be built to boundary - standard side setback applies.
- Eaves should not encroach (other than where building is a built to boundary) closer than 300mm to the lot boundary, excluding the Primary Street Frontage where eaves should not be closer than 2.4m.
- Boundary setbacks are measured as the shortest distance from the outermost projection of the building or structure to the vertical projection of the lot boundary.
- Maximum building location envelopes are diagrammatic only – setbacks must align with the Plan of Development table. Maximum building location envelopes are subject to maximum site cover requirements, proposed easements and/or other underground services.

Building Articulation and Street Surveillance

- Buildings are to address the Primary Street Frontage. The Primary Street Frontage is defined as the frontage where the main vehicular access (driveway) is located.
- All buildings are to have casual surveillance of the street by way of porches, balconies or windows.
- Buildings are to be articulated to reduce the mass of the building by incorporating two or more of the following design elements:
 - Windows recessed into the façade;
 - Building recesses providing variation in the façade (100mm minimum);
 - Roof overhangs;
 - Balconies, porches or verandahs; or
 - Window hoods / screens.
- Any 2 storey building must provide fixed privacy screens to all side boundary windows or balconies.
- Building character and identity should be demonstrated through:
 - A variety of building materials and finishes; and
 - Varied roof forms and roof pitches.
- Buildings to incorporate at least two openings to all habitable rooms, including internal windows to facilitate cross ventilation. Opening includes door / doorways.

Outdoor Living Spaces

- Private open space accessible from the ground floor must not be less than 12m² with a minimum dimension of 2.4m.

Fencing

- Fencing to Primary Frontages must be setback 1.0m behind the front building wall.
- Fencing on corner lots along the street frontages should be designed as front fences addressing both streets (rather than a front and side fence). Fences on corner lots are to incorporate a variety of materials or a combination of colours or recesses so as to be decorative in nature.
- Fencing between lots must be solid 1.8m in height and be constructed as either good neighbour timber fencing with capping and finish, or Colorbond style fencing, and must finish a minimum of 1.0m behind the front building wall.
- Fencing interfacing with a park must not exceed 1.5m in height and be no more than 25% transparent.

On-site Car Parking and Driveways

- On-site carparking must be provided as follows, with a minimum of 1 space covered per dwelling:
 - a) Studio, 1 and 2 bedroom dwelling = 1 car space
 - b) 3+ bedroom dwelling = 2 car spaces
- On-site car parking can be provided in tandem.
- Carports must not be enclosed and are to be constructed from light weight materials.
- Garages / carports should be located on the side boundary shown as the optional built to boundary wall, whether or not the dwelling has adopted the BTB setback.
- The maximum width of a driveway shall be 4.8m at the lot boundary.
- Driveways must avoid on-street assets, such as street lights, drainage pits, street trees, existing water meter connections and service pillars otherwise relocations are at the home owners cost and reasonability to negotiate with the asset owner.
- Provide materials and finishes to the driveway surface in order to reduce the visual impact of the these surfaces when viewed from the street. One of a combination of coloured aggregate, cement paving and/or patterns in the surface design can be used.

Plan of Development Table	Ground Floor	First Floor
Front Setback		
Front / Primary Frontage	2.4m	2.4m
Garage	5.5m	N/A
Carport	0.0m	N/A
Rear Setback		
Rear	1.5m	2.0m
Park	1.5m	2.0m
Side Setback		
Built to Boundary	0.0m	2.0m
Non Built to Boundary	1.5m	2.0m
Corner Lots		
Secondary Frontage to Street	2.5m	2.5m
Site Cover		
Maximum Site Cover	Lots 450sqm - 599sqm: 60% Lots 600sqm and Over: 50%	

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2020/1097/5
Date: 01/08/2022

AMENDED IN RED

By: M. Bais
Date: 25 July 2022

PLAN REF: 151044 - 01
Rev No: B
DATE: 22 JULY 2022
CLIENT: EDQ
DRAWN BY: NV
CHECKED BY: MD



AMENDED IN RED

By: Matthew Buchanan
Date: 10/05/2023



**CLEARVIEW RISE
PLAN OF DEVELOPMENT
STAGE 3**

Amended in red by RPS 20/02/2023

URBAN DESIGN
Level 4 HQ South
520 Wickham Street
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W rpsgroup.com



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Landscape DA Report

for proposed Stage 3 Streetscape Works
January 2013 - Revision B

AMENDED IN RED

By: Matthew Buchanan
Date: 10/05/2023



~~PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL
Approval no: DEV2020/1097
Date: 24 August 2020~~



**PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL**

Approval no: DEV2020/1097/5
Date: 11/05/2023



Landscape and Public Realm
Report by: Lat27, for the ULDA



Document Transmittal

Drawing reference 10090-01 Roma Landscape DA Report Stage 3_Revision B

Date Issued 22-01-2013 to Genaea Mitchell, Development Manager ULDA

Contact Andrew Neighbour, Associate Director

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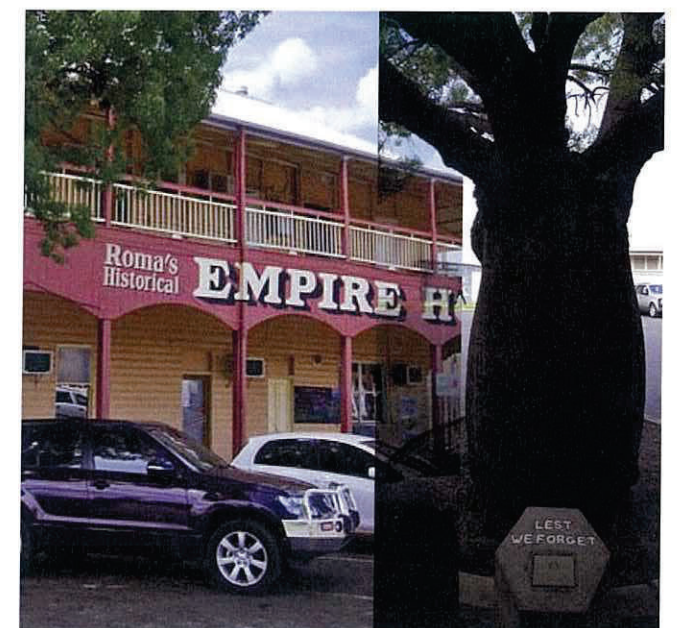
Reviewed Damian Thompson

2

Bowen st



January, 2013 Landscape DA Report Stage 3



Document prepared by Lat27

Landscape Concept Report

Qualification

Lat27 have been commissioned by the Urban Land Development Authority (ULDA) to prepare the master plan, public realm design and landscape design for their Urban Development Area in Roma. The 24ha property is located adjacent to the Roma Hospital, approximately 1.5 kilometres from the Roma Town Centre.

The Master Plan has been approved and endorsed by the ULDA and the Maranoa Regional Council and this report outlines the particular 'staged works' within this Master Plan. Stage 3 of the Master Plan includes 43 residential allotments and streetscape works. Open space or parkland is not included within this stage of works.

Site Context

Roma is a town in the western Darling Downs area of Queensland, Australia, 515 km (318 miles) by rail WNW of Brisbane. It is situated at the junction of the Warrego and Carnarvon highways. It is the centre of a rich pastoral and wheat-growing district and more recently becoming a centre for a high proportion of workers within the oil and gas industry.

The 'site' within the Roma Urban Development Area (UDA) is known locally as 'Hospital Hill' and is bound by McDowall Street to the North and Bowen Street to the South.

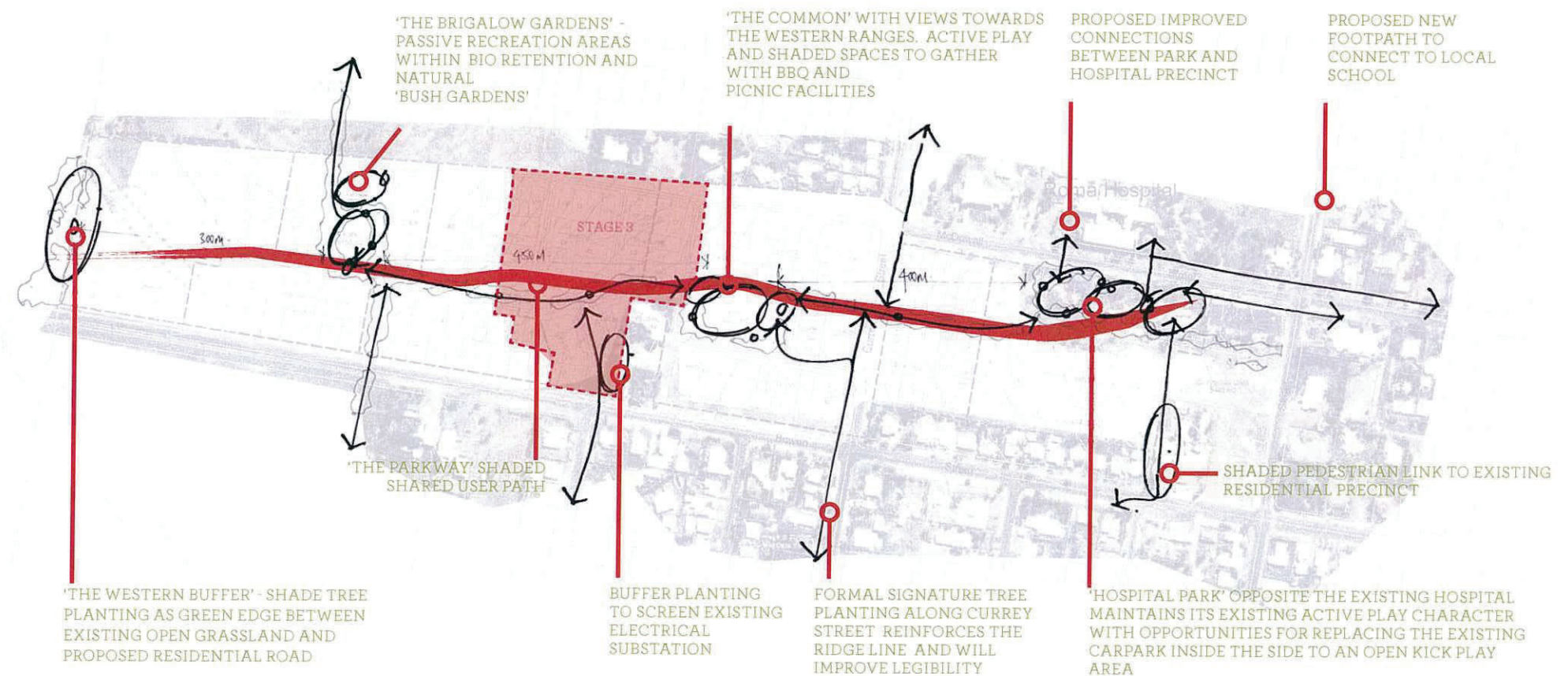
The Roma Hospital on McDowall Street is the most dominant of features adjacent to the site, occupying some of the highest land in the township. The hospital is of regional scale and has expanded over recent years to include nurse's accommodation and has the potential in the future to develop into a far more diversified community health and specialist offer in response the town's population increase on the back of the mining boom in the region.

The Concept

The public realm concept is to develop a diverse range of character use precincts connected by a shaded and legible pedestrian circulation network. It is imperative that this network provides direct and safe connections to the broader township.



Master Plan



Concept Master Plan

Stage 3 Design Intent

Stage three landscape works is seen as an extension of the stage 1 and 2 Streetscape works and will continue to use some of the similar palate of finishes and materials.

The Parkway Scheme

Linking all stages of this project is the 'parkway' concept which provides a shaded edge to the main internal collector roadway and shared pathway. The works in Stage 3 will complement what has been achieved in previous stages and establish a consistency of character to be carried through to later stages.

Within the Parkway;

- + The pavement is to be 2.5m wide in coloured concrete to match that already installed within stage 1
- + Street trees are to be mixed species at varied centres
- + Pedestrian street lighting to relevant Australian standards

Streetscape

The proposed signature street trees and planting treatments will help to reinforce the road hierarchy, establishing a legibility within the development that will be important in the interim until all stages have been completed. Subtle mounding and buffer planting will be used to screen the Energex Sub Station and associated fencing. All planting in this vicinity will comply to the required design standards associated with power easements and boundary conditions.

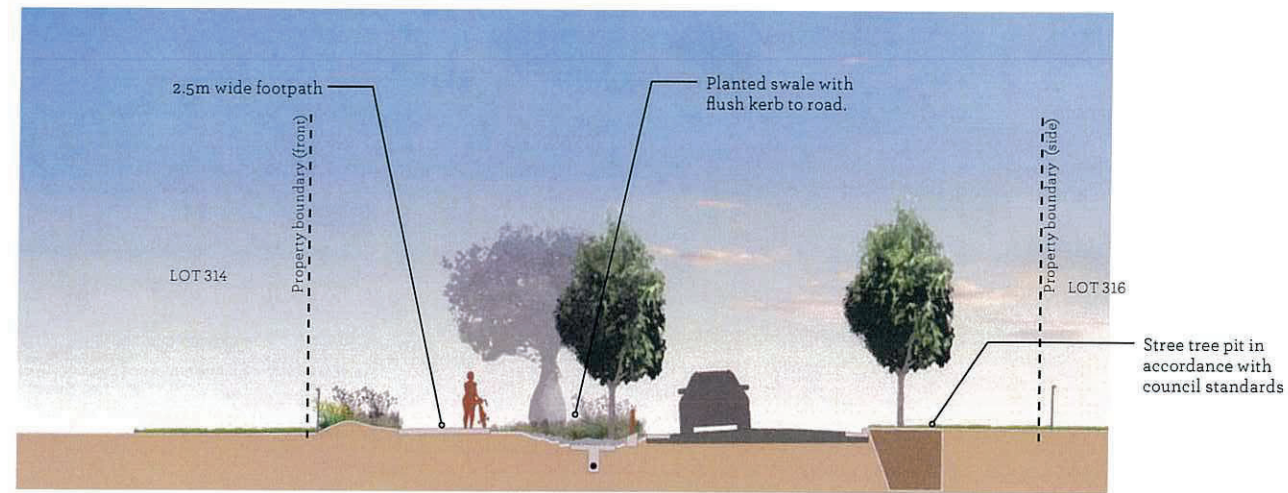


Typical Streetscape Sections

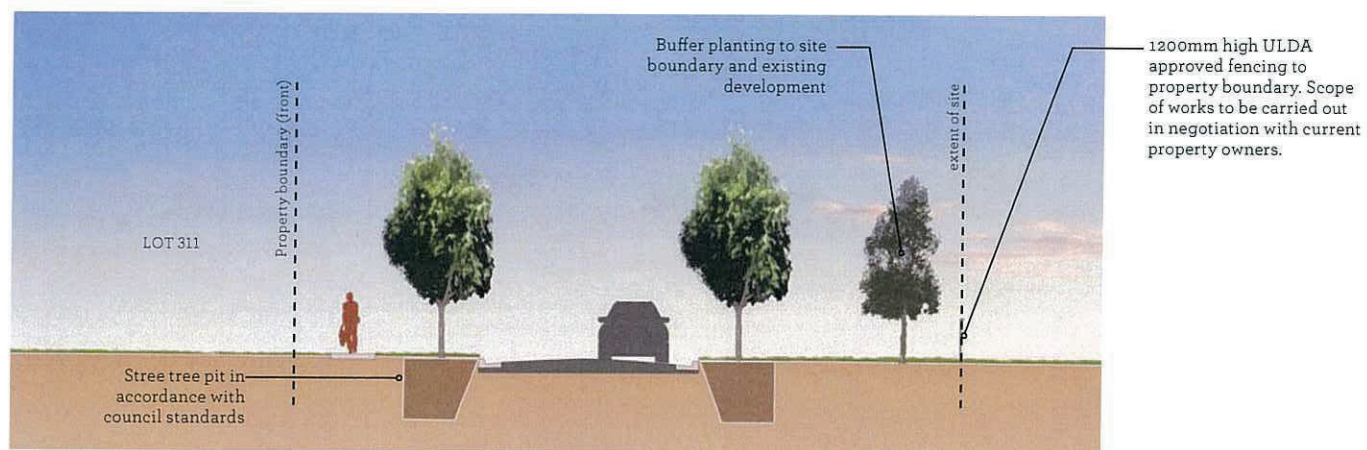
The following typical sections have been developed to convey the scale and intent of the proposed landscape works

The scale and form of the trees indicated are typical of 5-10 years growth.

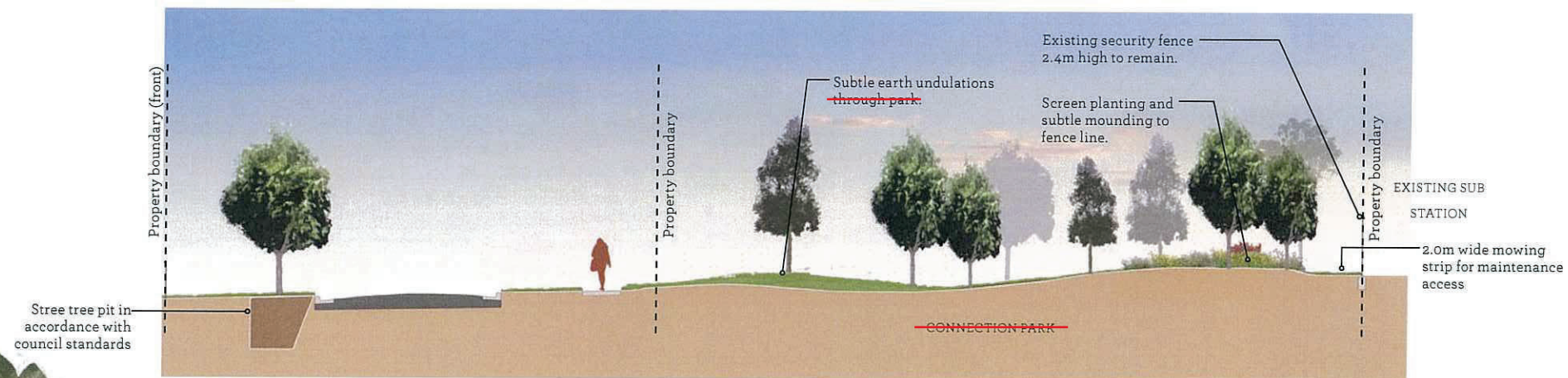
Refer civil engineers typical details for location of inground services



SECTION A-A - TYPICAL 'PARKWAY' DETAIL



SECTION B-B



SECTION C-C - TYPICAL SCREEN PLANTING TO SUB STATION AND PROPERTY BOUNDARY



SECTION REFERENCE PLAN



Planting Palette

The following species list has been developed in consultation with Maranoa Shire Council and is based on both site inspection and research into what grows successfully in the Roma region.

This list of species will be developed through detail design and is indicative of the character and type of locally occurring and drought hardy vegetation that will be used in the proposed landscape works.

Street Trees

Species
Bolusanthus speciosus 'wisteria tree'
Brachychiton discolour
Brachychiton australis
Brachychiton bidwillii
Callistemon viminalis
Casuarina crista
Casuarina cunninghamiana
Colvillea racemosa
Eucalyptus torquate
Eucalyptus formica
Gevia parvifolia
Lagerstroemia speciosa
Melaleuca linariifolia
Melaleuca trichostachya
Melaleuca irbyana
Melaleuca quinquenervia
Melaleuca viridiflora
Pinus roxburghii 'chir pine'
Pittosporum angustifolium syn phylliraeoide
Pittosporum rhombifolium
Tipuana tipu
Ulmus parvifolia

Ground covers

Species
Dianella sp
Dieties sp
Eremophilla Kalbarri Carpet
Hardenbergia (some sun protection)
Imperata cylindrical
Liriope sp.
Lomandra hystrix
Lomandra Longifolia
Themeda triandra

Specific Communities

Species
<i>Riparian Zones (Local Species)</i>
Acacia stenopylla
Callistemon viminalis
Casuarina cunninghamiana
Lomandra longifolia
Meleleuca linariifolia

Cypress Pine Forest (Local Species)

Callitris glaucophylla
Eremophila sp.

Brigalow Open Forest sp. (Local Species)

Acacia harpophylla
Acacia catenulata
Casuarina crista

Belah Woodland (Local Species)

Casuarina crista
Wilga

Bendee Open Forest (Local Species)

Acacia catenulata
Acacia shirleyi
Aristida sp.

Grassy Downs with Myall (Local Species)

Acacia pendula
Blue grass
Mitchell grass
Flinders Grass



Brachychiton discolour flower



Bolusanthus speciosus 'wisteria tree'



Tipuana tipu



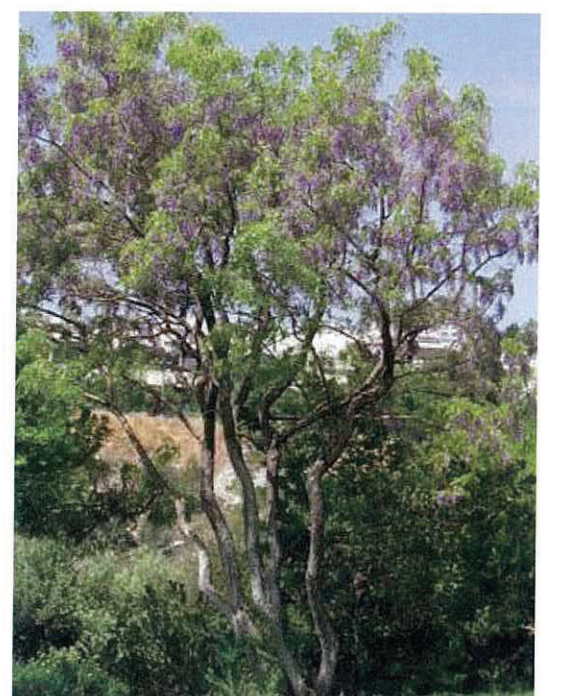
Brachychiton australis



Pittosporum rhombifolium



Brachychiton discolour



Bolusanthus speciosus 'wisteria tree'