

SILKWOOD HOMES

SILVER GUM 227 - METRO

PROPOSED DWELLING FOR:

DINI TJAHJANTO AND ADRIAN LOOI ATF DINI AND

ADRIAN LOOI FAMILY TRUST

JOB NO.: SILK1011

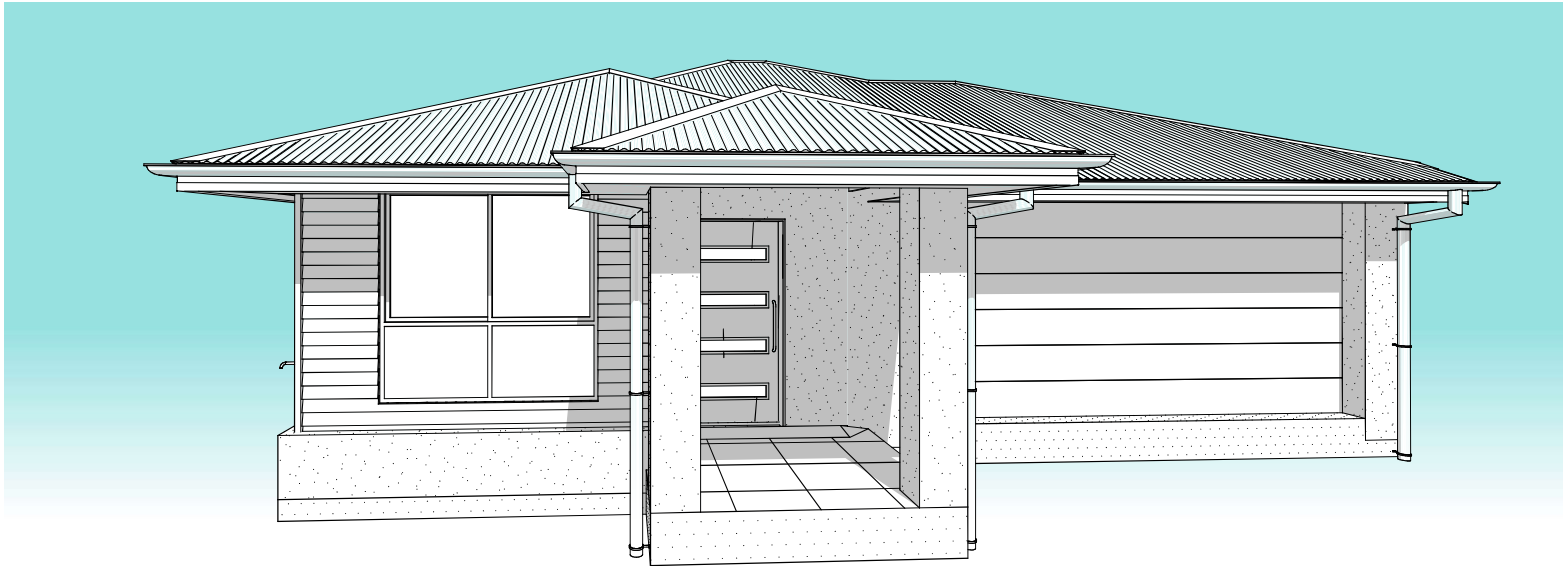
SITE ADDRESS

LOT 5690, CAPE BARREN CIRCUIT,

AURA ESTATE, BANYA QLD 4551

Layout Index

Layout No:	Layout Name
1	COVER PAGE
2	GENERAL NOTES
3	ACOUSTIC NOTES
4	SITE PLAN
5	DRIVEWAY & PATHWAY SECTION
6	LANDSCAPING PLAN
7	GROUND FLOOR PLAN
8	CIRCULATION PLAN
9	ADDITIONAL NOTES
10	ELEVATIONS
11	ELEVATIONS
12	SECTION
13	SLAB PLAN
14	FRAME LAYOUT PLAN
15	FLOOR COVERINGS & LIGHTS/FAN/USB/DATA/INTERCOM
16	POWER POINT & EMERGENCY CIRCUIT PLAN
17	ROOF PLAN
18	INTERNAL ELEVATIONS
19	INTERNAL ELEVATIONS
20	DETAILS
21	FIRE SAFETY PLAN
22	HYDRAULICS PLAN



GENERAL NOTES

1. THE BUILDING CODE OF AUSTRALIA (B.C.A.) & RELEVANT AMENDMENTS AND UPDATES, INCLUDING THE STANDARDS ASSOCIATION OF AUST. (AS.) CODES SHALL BE THE MINIMUM STANDARDS FOR COMPLIANCE.
2. CHECK ALL DIMENSIONS OF SITE AND BUILDING(S) SETOUT PLANS AND CHECK AGAINST SURVEYORS SITE SETOUT. CLARIFY ANY DISCREPANCY TO NOTED DIMENSIONS OR OFFSETS PRIOR TO CONSTRUCTION OF ANY WORK. ENSURE SURVEYORS WORK RELATES TO CURRENT SITE FIELD WORK
3. NOTED DIMENSIONS SHALL TAKE PRECEDENCE TO SCALED DIMENSIONS.
4. CHECK HYDRAULIC AND MECHANICAL PLANS FOR SETOUT AND SIZING OF SERVICE DUCT(S) WHERE & IF APPLICABLE.
5. CO-ORDINATE ALL CONSULTANTS DOCUMENTS AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE RELEVANT CONSULTANT(S) PRIOR TO THE CONSTRUCTION OF THAT PART OF THE WORKS.
6. CHECK ON SITE - OPENINGS BEFORE FABRICATION OF DOORS, WINDOWS & ANY OTHER FIXTURES. GIVEN SIZES ARE FOR QUOTATION PURPOSES ONLY AND MUST BE CONFIRMED ON SITE.
7. CHECK THE CONSTRUCTION PLAN IS THE MOST RECENT AMENDMENT. IF IN DOUBT CONFIRM WITH THE RELEVANT CONSULTANT.
8. REFER SPECIFIC CONDITIONS OF BUILDING APPROVAL FOR ANY ADDITIONAL REQUIREMENTS.
9. ENSURE DOORS TO SANITARY COMPARTMENTS COMPLY WITH THE BUILDING CODE OF AUSTRALIA F2.5 AND HAVE EITHER :
(a) LIFT OFF HINGES FOR INWARD SWINGING DOORS or
(b) OUTWARD SWINGING DOORS.
10. ALL AREAS UNDER BUILDING WORK TO BE PROTECTED FROM TERMITE ATTACK IN ACCORDANCE WITH AN APPROVED METHOD UNDER AS.3660.1
11. TIMBER FRAMING SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA (B.C.A.) , PLUS ALL AMENDMENTS, AND THE 'LIGHT TIMBER FRAMING CODE' AS.1684, PART 2 FOR NON-CYCLONIC AREAS AND AS.1684 PART 1 FOR CYCLONIC AREAS.

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2023/1375
Date: 28 April 2023



AUSTRALIAN STANDARDS

ALL WORKMANSHIP AND MATERIALS SHALL COMPLY WITH RELEVANT CURRENT AUSTRALIAN STANDARDS AND THE CURRENT BUILDING ACT.

SMOKE ALARMS TO COMPLY WITH B.C.A. CLASS 1&10 PART 3,7,2 AND WITH A.S. 3786.

ALUMINIUM FRAMED, GLAZED JOINERY SHALL BE INSTALLED IN ACCORDANCE WITH A.S.1288 "INSTALLATION OF GLASS IN BUILDINGS"

WET AREAS SHALL BE WATERPROOFED IN ACCORDANCE WITH AS.3740 "WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS"

AREAS OF BUILDING TO BE TERMITE PROTECTED SHALL BE DONE SO IN ACCORDANCE WITH AS.3660.1 "PROTECTION OF BUILDING FROM SUBTERRANEAN TERMITES" PART 1:NEW BUILDINGS.

REQUIREMENTS FOR SUSTAINABLE BUILDINGS

FOR NEW CLASS 1 BUILDING AND SOLE-OCCUPANCY UNIT OF A NEW CLASS 2 BUILDING, AND RENOVATED BATHROOMS IN AN EXISTING CLASS 1 AND A SOLE-OCCUPANCY UNIT OF AN EXISTING CLASS 2 FOR BUILDING.

ACCEPTABLE SOLUTIONS:

SHOWER ROSES: (TO RETICULATED MAINS WATER SUPPLY AREAS ONLY)
THIS APPLIES TO NEW CLASS 1 BUILDINGS AND SOLE-OCCUPANCY UNITS OF NEW CLASS 2 BUILDINGS, OR WHERE THE BATHROOM OF THESE BUILDING RENOVATIONS. SHOWER ROSES TO BE 3 STAR RATING UNDER WATER EFFICIENCY LABELLING SCHEME (WELS) OR A AAA RATING WHEN ASSESSED AGAINST AS/NZ 6400:2005 WATER EFFICIENT PRODUCTS- RATING AND LABELLING.

WATER PRESSURE LIMIT: (TO RETICULATED MAINS WATER SUPPLY AREAS ONLY)
THE MAXIMUM PRESSURE LEVEL OF WATER FROM ANY OUTLET WITHIN THE PROPERTY BOUNDARIES OF A NEW CLASS 1 BUILDING MUST NOT EXCEED 500KPA. COMPLIANCE CAN BE ACHIEVED THROUGH THE INSTALLATION OF A WATER PRESSURE LIMITING DEVICE IN LINE WITH THE WATER METER. WHERE IT IS KNOWN THAT THE PRESSURE LEVEL OF THE WATER SUPPLY DOES NOT EXCEED 500KPA, WATER PRESSURE LIMITING DEVICE IS NOT REQUIRED.

DUAL FLUSH TOILETS:
THIS APPLIES TO NEW CLASS 1 BUILDINGS AND SOLE-OCCUPANCY UNITS OF NEW CLASS 2 BUILDINGS OR WHERE TOILETS ARE REPLACED IN THE BATHROOMS OF THESE BUILDING CLASSIFICATIONS UNDERGO RENOVATIONS. A TOILET MUST HAVE A DUAL FLUSH CAPACITY THAT DOES NOT EXCEED 6 LITRES ON FULL FLUSH AND 3 ON HALF FLUSH.

ENERGY EFFICIENT LIGHTING:
THIS APPLIES TO NEW CLASS 1 BUILDINGS AND SOLE-OCCUPANCY UNITS IN CLASS 2 BUILDINGS. ENERGY EFFICIENT LIGHTING INCLUDES FLUORESCENT AND COMPACT FLUORESCENT LIGHTS. IT DOES NOT INCLUDE INCANDESCENT OR HALOGEN LIGHTS. COMPLIANCE IS ACHIEVED WHEN ENERGY EFFICIENT LIGHTS ARE USED FOR ABOUT 80% OF THE TOTAL FLOOR AREA OF THE BUILDING OR SOLE-OCCUPANCY UNIT. (FLOOR AREA MEANS THE AREA OF A ROOM MEASURED WITHIN THE FINISHED SURFACES OF THE WALLS, AND INCLUDES THE AREA OCCUPIED BY ANY CUPBOARD OR OTHER BUILT IN FURNITURE, FIXTURE OR FITTING) THIS AREA INCLUDES ASSOCIATED GARAGES.

WHERE PART OF A HOUSE IS LIT BY MORE THEN ONE LIGHT SOURCE, AND ONE MORE OF THOSE LIGHT SOURCES IS NOT DEEMED TO BE EFFICIENT LIGHTING, THEN THAT PART OF THE HOUSE IS NOT CONSIDERED TO HAVE EFFICIENT LIGHTING, AND THEN THEREFORE DOES NOT QUALIFY TOWARDS THE 80% EFFICIENT LIGHT REQUIREMENT.

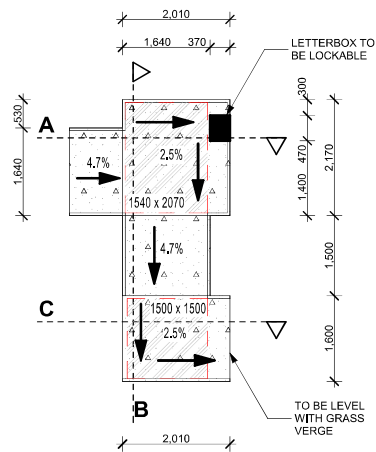
HOT WATER SUPPLY: IN A NEW CLASS 1
A SUITABLE HOT WATER SYSTEM INCLUDES:
A) A GAS HOT WATER SYSTEM WITH A FIVE STAR ENERGY RATING: OR
B) A HEAT PUMP OR A SOLAR HOT WATER SYSTEM WHERE:
1) IN A BUILDING 3 OR MORE BEDROOMS , THE HOT WATER SYSTEM, MUST BE ELIGIBLE TO RECEIVE AT LEAST 22 RENEWABLE ENERGY CERTIFICATES; OR
II) IN A BUILDING WITH 1 OR 2 BEDROOMS THE HOT WATER SYSTEM MUST BE ELIGIBLE TO RECEIVE AT LEAST 14 RENEWABLE ENERGY CERTIFICATES.

NOTES:
* METER BOX & HWS POSITIONS TO BE DETERMINED BY SUPERVISOR.
* L.O.H. DOORS TO W.C.
* SHOWERS - NO DOOR 900 CLEAR OPENING U.N.O.
* Smoke alarms to comply with the Building Regs 06 Part 3A, Fire & Emergency Services Bill 2016 & the NCC.



CATEGORY 1 - ACOUSTICS TABLE

Noise category	Minimum transport noise reduction (dB (A)) required for habitable rooms	Component of building's external envelope	Minimum R_w required for each component
Category 1	25	Glazing	27 (where total area of glazing for a habitable room is greater than 1.8m ²)
			24 (where total area of glazing for a habitable room is less than or equal to 1.8m ²)
		External walls	35
		Roof	35
		Entry Doors	28
Component of building's external envelope	Minimum R_w	Acceptable forms of construction	
Glazing	27	Minimum 4mm thick laminated glass, with full perimeter <i>acoustically rated seals</i> .	
	24	Minimum 4mm thick laminated glass with full standard weather seals.	
External wall (Brick veneer) or (Cladding)	35	Single leaf of clay brick masonry at least 110mm thick with: (i) a row of at least 70mm x 35mm timber studs or 64mm steel studs at 600mm centres, spaced at least 20mm from the masonry wall; and (ii) One layer of plasterboard at least 10mm thick fixed to outside face of studs OR Minimum 6mm thick fibre cement sheeting or weatherboards or plank cladding externally, minimum 90mm deep timber stud or 92mm metal stud, standard plasterboard at least 13mm thick internally.	
External wall (Cladding)	35	James Hardies "HardieSmart" wall system using components listed in "Design Guide" on 70mm stud wall.	
Roof	35	Concrete or terracotta tile or metal sheet roof with sarking, plasterboard ceiling at least 10mm thick fixed to ceiling cavity.	
Entry Doors	28	Fixed so as to overlap the frame or rebate of the frame, constructed of - (i) Wood, particleboard or blockboard not less than 33mm thick; or (ii) Compressed fibre reinforced sheeting not less than 9mm thick; or (iii) Other suitable material with a mass per unit area not less than 24.4kg/m ² ; or (iv) Solid core timber door not less than 35mm thick fitted with full perimeter <i>acoustically rated seals</i> .	

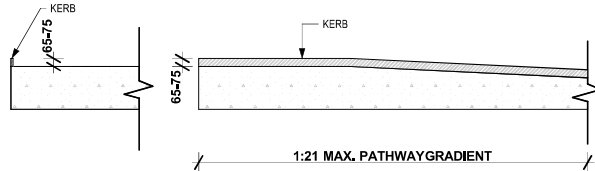


NOTE:

EXTERNAL HARD STAND AREAS (CONCRETE) TO HAVE MAX 1:40 GRADIENT IN DIRECTION OF TRAVEL & 1:40 ACROSS THE DIRECTION OF TRAVEL

PATHWAY DETAIL

SCALE: 1:100



KERB DETAIL

SCALE: 1:50

NOTE:

PAD LEVEL CRITICAL DUE TO MAX 1:14 DRIVEWAY GRADIENT

SITE PLAN

SCALE: 1:200

DO NOT SCALE - WRITTEN DIMENSIONS TAKE PRECEDENCE

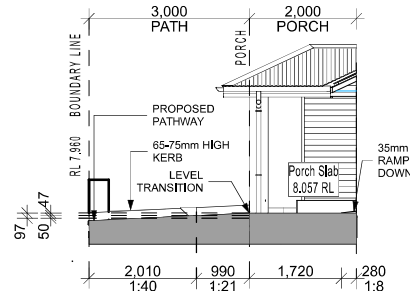
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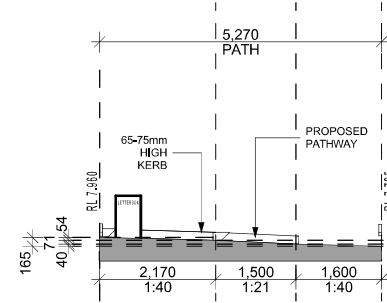
Date: 28 April 2023



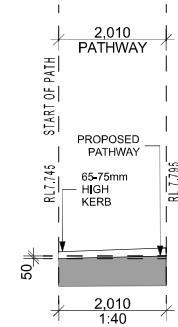
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B

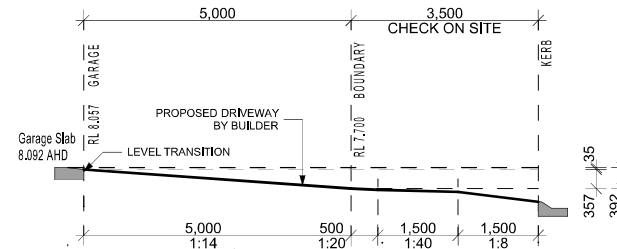


C



PATHWAY SECTION

SCALE: 1:100



DRIVEWAY SECTION

SCALE: 1:100



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QLD LICENSE #: 1218048 ABN 65767966
NSW LICENSE #: 248052C ABN 14156406352
UNIT 4/13 INDY COURT
NERANG, QLD 4211 AUSTRALIA

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Project Details:

WxD

I WE APPROVE THESE DRAWINGS TO BE CORRECT AS PER CONTRACT

SIGNATURE _____ DATE _____

SIGNATURE _____ DATE _____

Issue	Date	Drawn	Amendments
G	06.12.2022	D.O.	WxD AMENDS
F	28.11.2022	T.J.	WxD AMENDS
E	24.11.2022	T.J.	WxD AMENDS
D	16.11.2022	D.O.	WxD AMENDS
C	11.11.2022	D.O.	WxD AMENDS

CLIENT: DINI TJAHJANTO AND ADRIAN LOOI
ATF DINI AND ADRIAN LOOI FAMILY TRUST
AT: LOT 5690, CAPE BARREN CIRCUIT
AURA ESTATE, BANYA QLD 4551

Facade:
METRO
Design Name:
SILVER GUM 227

Title:
DRIVEWAY & PATHWAY SECTION
Page:
5 OF 22

Issue:
G
Scale: As Shown
Plot Date: 06/12/2022
Job No.:
SILK1011
Drawn By: T.J.
Checked By:

NOTES:
EAVES: 450mm UNLESS NOTED OTHERWISE
WIND CLASS: TBC
SOIL CLASS: TBC
ROOF PITCH: 25°
BAL RATING: NIL
ACOUSTICS: CATEGORY 1

PROVIDE EXPANSION JOINTS TO CEILINGS WHERE REQUIRED

PROVIDE 22mm ENGINEERED STONE BENCHTOPS THROUGHOUT DWELLING

PROVIDE ROLLER BLINDS & BARRIER SCREENS TO ALL SLIDING GLASS DOORS & SLIDING WINDOWS ONLY

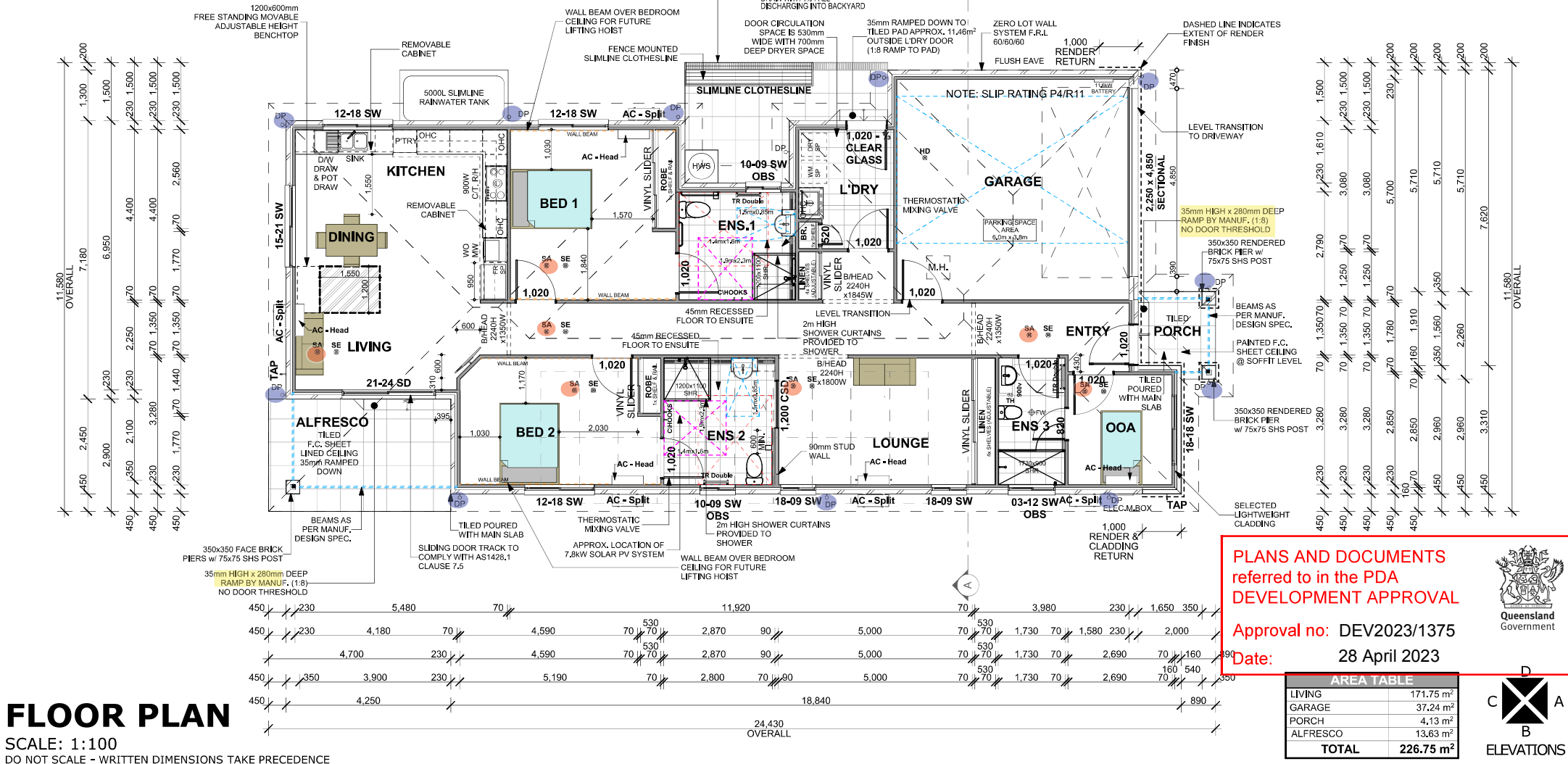
NOTE:
SDA: HIGH PHYSICAL SUPPORT REQUIREMENTS
LHA: PLATINUM
NCC: CLASS 1B
2590H CEILINGS

NOTES:
SLIDING DOOR TRACKS TO COMPLY WITH AS1428.1 CLAUSE 7.5

NOTES:
240x45 MGP12 BEAMS WITH 2 BATTEN SCREWS AT MAX. 450mm CENTRES (TO MATCH STUD CENTRES)
50mm PENETRATIONS TO BEDROOMS AS SHOWN ON PLANS

AURA ESTATE ENERGY EFFICIENCY REQUIREMENTS:

- ALL DWELLINGS ARE TO BE WIRED WITH AN "OFF-PEAK" ENERGY CIRCUIT ENABLING THE GENERAL HOUSEHOLD APPLIANCES TO BE CONNECTED AT THE DISCRETION OF THE HOME OWNER.
- ALL POOL/SPA PUMPS ARE TO BE 5-STAR ENERGY RATED OR CONNECT TO "OFF-PEAK" ENERGY CIRCUITS.
- ALL SPLIT SYSTEM AIR CONDITIONERS ARE TO BE "PEAK SMART" ENABLED AND ACTIVATED.
- ALL HOT WATER SYSTEMS ARE TO BE CONNECTED TO "OFF-PEAK" ENERGY CIRCUITS UNLESS SOLAR HOT WATER IS INSTALLED AND/OR LP GAS CONTINUOUS FLOW HOT WATER SYSTEMS.



FLOOR PLAN

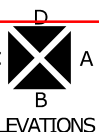
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PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2023/1375

Date: 28 April 2023

AREA TABLE	
LIVING	171.75 m ²
GARAGE	37.24 m ²
PORCH	4.13 m ²
ALFRESCO	13.63 m ²
TOTAL	226.75 m ²



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Facade:
METRO
Design Name:
SILVER GUM 227

Title:
GROUND FLOOR PLAN
Page:
7 OF 22

Issue:
G
Scale: As Shown
Pkg Date: 06/12/2022
Job No:
SILK1011
Drawn By: T.J.
Checked By:

NOTES:
EAVES: 450mm UNLESS NOTED OTHERWISE
WIND CLASS: TBC
SOIL CLASS: TBC
ROOF PITCH: 25°
BAL RATING: NIL
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PROVIDE EXPANSION JOINTS TO CEILINGS WHERE REQUIRED

PROVIDE 22mm ENGINEERED STONE BENCHTOPS THROUGHOUT DWELLING

PROVIDE ROLLER BLINDS & BARRIER SCREENS TO ALL SLIDING GLASS DOORS & SLIDING WINDOWS ONLY

NOTE:
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LHA: PLATINUM
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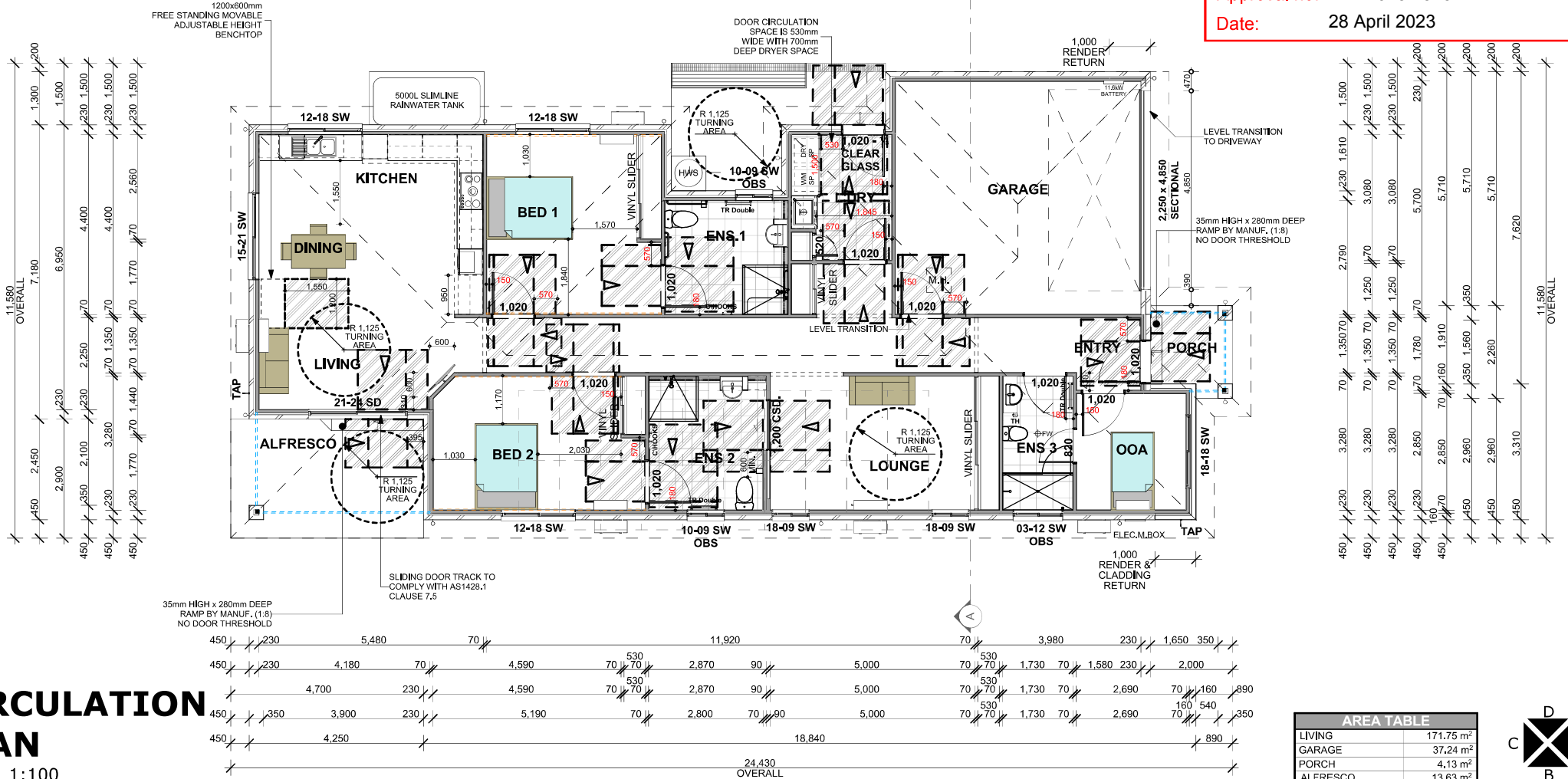
NOTES:
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NOTES:
240x45 MGP12 BEAMS WITH 2 BATTEN SCREWS AT MAX. 450mm CENTRES (TO MATCH STUD CENTRES)
50mm PENETRATIONS TO BEDROOMS AS SHOWN ON PLANS

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CIRCULATION PLAN

SCALE: 1:100

DO NOT SCALE - WRITTEN DIMENSIONS TAKE PRECEDENCE

AREA TABLE	
LIVING	171.75 m ²
GARAGE	37.24 m ²
PORCH	4.13 m ²
ALFRESCO	13.63 m ²
TOTAL	226.75 m²



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Title:	CIRCULATION PLAN	Issue:	G	Scale:	As Shown
Page:	8 OF 22	Plot Date:	06/12/2022	Job No.:	
		Drawn By:	T.J.	Checked By:	
		SILK1011			

1. PEDESTRIAN ENTRY

- STEP FREE LEVEL TRANSITION OF SURFACE MATERIALS TO ALL DOORWAYS WITH **MAX 3MM** (SQUARE EDGE) OR 5MM (ROUNDED EDGE) IF HEIGHT DIFFERENCE REQUIRED
- STEP FREE, EVEN, **FIRM P4 / R11** SLIP RESISTANT SURFACE TO THE MIN 1200MM CLEAR WIDTH WALKWAYS (ACCESS-WAY) FROM THE FRONT BOUNDARY TO THE DWELLING ACCESS AND PARTICIPANT PARKING SPACE, WITH A CROSS FALL OF LESS THAN 1:40 GRADE (2.5% GRADE) AND A GRADE IN THE DIRECTION OF TRAVEL OF LESS THAN 1:21 GRADE (4.7% GRADE) & 65MM HIGH KERB TO EACH SIDE OF THE ACCESS-WAYS
- STEP FREE, EVEN, **FIRM P4 / R11** SLIP RESISTANT SURFACE TO 1500MM X 1500MM LANDING RAMPS (MIN 9.0M INTERVALS IN AN ACCESS RAMP AND CHANGE OF DIRECTION WITH A CROSS FALL OF LESS THAN 1:40 GRADE (2.5% GRADE) AND A GRADE IN THE DIRECTION OF TRAVEL OF LESS THAN 1:40 GRADE (2.5% GRADE)
- 280MM DEEP X 35MM HIGH (1:8 GRADE) X FULL WIDTH OF DOOR, THRESHOLD RAMP, WITH P5 R12 SLIP RESISTANCE TO ALL EXTERNAL DOORS
- CLEAR OPENING OF 950MM MIN WHEN DOOR OPEN AT 90 DEGREE ANGLE TO THE JAMB

2. CAR PARKING

- EVEN, **FIRM P4 / R11** SLIP RESISTANT SURFACE TO THE WALKWAYS, LANDINGS AND RAMPS TO THE DWELLING ACCESS & ACCESSIBLE PATH OF TRAVEL & GARAGE FLOOR
- MIN PARKING DIMENSIONS FOR PARTICIPANT CAR 3800MM WIDTH 5400MM LENGTH MAXIMUM GRADE OF 1:40 (2.5% GRADE) IN ANY DIRECTION
- STEP FREE LEVEL TRANSITION TO ALL DOORWAYS WITH **MAX 3MM** (SQUARE EDGE) OR 5MM (ROUNDED EDGE) IF HEIGHT DIFFERENCE REQUIRED
- ROOF OVER SPACE WITH CLEAR VERTICAL CLEARANCE IN ACCORDANCE WITH AS2890.6 - GARAGE DOOR HEAD HEIGHT MIN 2200MM (2250MM IDEALLY)

3. ENTRANCE DOORS AND HARDWARE

- MIN CLEAR, UNDER ROOF DOOR LANDING 1500MM X 1500MM WITH MAXIMUM GRADE OF 1:40 (2.5% GRADE) IN ANY DIRECTION
- DOOR HARDWARE TO BE LEVER TYPE AND 1050MM AFFL (BETWEEN 900MM - 1100MM)
- CONTRAST COLOUR (MIN 30% CONTRAST) PAINT TO ALL INTERNAL & INSIDE OF EXTERNAL DOOR FRAMES / ARCHITRAVES (MIN 50MM WIDE)
- STEP FREE LEVEL TRANSITION TO ALL DOORWAYS WITH **MAX 3MM** (SQUARE EDGE) OR 5MM (ROUNDED EDGE) IF HEIGHT DIFFERENCE REQUIRED
- CLEAR OPENING OF 950MM MIN WHEN DOOR OPEN AT 90 DEGREE ANGLE TO THE JAMB
- POWER AND CONTROL CABLING TO HEAD OF ALL EXTERNAL DOORS - INSIDE HINGED SIDE ABOVE THE DOOR
- LEVER TYPE DOOR HANDLES WITH BETWEEN 35MM - 45MM SPACE BETWEEN INSIDE OF HANDLE AND THE DOOR FACE & A MIN 20MM CRANKED (CURVED) END ON THE HANDLE
- MIN 530MM CLEARANCE FROM ADJOINING WALL SKIRTING TO LATCH SIDE OF ALL DOORS (EXCLUDES OOA BEDROOM, BATHROOM & UTILITY AREAS)

4. INTERNAL CORRIDORS

- CONTRAST COLOUR (MIN 30% CONTRAST) PAINT TO ALL INTERNAL & INSIDE OF EXTERNAL DOOR FRAMES / ARCHITRAVES (MIN 50MM WIDE)
- POWER AND CONTROL CABLING TO HEAD OF ALL INTERNAL PARTICIPANT BEDROOM DOORS - INSIDE HINGED SIDE ABOVE THE DOOR
- MIN CLEAR WIDTH OF 1200MM MEASURED SKIRTING TO SKIRTING

5. WINDOWS - SLIDING DOORS

- ALL WINDOW SILLS TO THE PARTICIPANT BEDROOMS AND LIVING AREA WINDOWS TO BE MAX 1000MM AFFL (EXCLUDES KITCHEN, BATHROOMS & UTILITY AREAS)
- ALL WINDOW CONTROLS / LOCKS TO THE PARTICIPANT BEDROOMS AND LIVING AREA WINDOWS TO BE OPERABLE FROM A SEATED POSITION - MAX 1100MM AFFL (BETWEEN 600MM - 1100MM (EXCLUDES KITCHEN, BATHROOMS & UTILITY AREAS)
- ALL WINDOWS TO BE KEY LOCKED
- STEP FREE LEVEL TRANSITION TO ALL DOORWAYS WITH **MAX 3MM** (SQUARE EDGE) OR 5MM (ROUNDED EDGE) IF HEIGHT DIFFERENCE REQUIRED
- CLEAR OPENING OF 950MM MIN WHEN DOOR OPEN AT 90 DEGREE ANGLE TO THE JAMB
- POWER AND CONTROL CABLING TO ONE SIDE OF EACH WINDOW TO PARTICIPANT BEDROOMS & LIVING ROOMS (EXCLUDES KITCHEN, BATHROOMS & UTILITY AREAS)

6. SANITARY ROOMS

- MIN CLEAR CIRCULATION SPACE OF THE SHOWER RECESS OF 1600MM WIDE X 2500MM DEEP - CLEAR OF SWING DOOR, & BASIN
- MIN CLEAR CIRCULATION SPACE OF THE VANITY BASIN OF 850MM WIDE X 1500MM DEEP - CLEAR OF SWING DOOR AND SHOWER FIXTURES
- MIN CLEAR CIRCULATION SPACE IMMEDIATELY FORWARD OF THE PAN OF 1900MM WIDE X 2300MM LONG - CLEAR OF SWING DOOR, BASIN AND SHOWER FIXTURES
- TOILET SEAT TO BE BETWEEN 460MM - 480MM AFFL AND 450MM - 460MM FROM THE SIDE WALL TO THE CENTRE OF THE TOILET PAN AND 790MM - 810MM FROM THE REAR WALL TO THE FRONT OF THE PAN
- MIN, 600mm CLEAR OF CISTERN FROM WC PAN
- TOILET SEAT TO BE CONTRASTING COLOUR TO THE PAN AND CISTERN
- TOILET FLUSHING CONTROLS TO BE PROUD OF THE CISTERN SURFACE
- MIN 300MM LUX TASK LIGHTING ABOVE ALL WORKSPACES - VANITY SINKS (DOWN LIGHTS ABOVE SINK)
- STEP FREE, HOBLESS SHOWER (**MAX 3MM** (SQUARE EDGE) OR 5MM (ROUNDED EDGE) STEP - IF REQUIRED)
- SHOWER ROSE AND TAP TO BE ON REAR WALL OF SHOWER RECESS - REFER A.S. 1428.1 PAGE FOR SETOUT MEASUREMENTS

- 1X VERTICAL SHOWER SUPPORT GRAB RAIL TO BE INSTALLED IN SHOWER WALL - AS RAIL FOR SHOWER HEAD - 580MM - 600MM FROM THE INTERNAL CORNER, 900MM - 1100MM TO THE BOTTOM OF THE RAIL & 1880MM - 1900MM TO THE TOP OF THE RAIL
- SHOWER CURTAIN TO PARTICIPANT SHOWER RECESS (1160MM X 1100MM) - CURTAIN RAIL MIN 2000MM AFFL
- LEVER STYLE MIXER TAP LOCATED BETWEEN 900MM - 1100MM AFFL AND 300MM - 800MM FROM THE INTERNAL CORNER
- SHOWER HEAD WATER OUTLET TO BE 700MM AFFL (695MM - 705MM) TO THE CENTRE - NO SPECIFIC MEASUREMENT FROM THE INTERNAL CORNER
- FLOOR GRADIENT 1:80 GRADE (1.25% GRADE) MAX/MIN TO THE ENTIRE FLOOR - ALTERNATIVELY 1:60 - 1:80 GRADE TO SHOWER RECESS & 1:80 - 1:100 GRADE TO THE REMAINDER OF THE ENSUITE
- WASH BASIN TO BE MAX 830MM AFFL TO THE TOP LIP OF THE BASIN
- MIN BASIN DEPTH 430MM & MIN CIRCULATION SPACE UNDER THE BASIN FOR 850MM WIDTH - CENTRED ON BASIN
- LEVER TAPWARE TO VANITY SINKS ALL OPERABLE PARTS (HANDLE & SPOUT) TO BE WITHIN 300MM OF THE FRONT OF THE BENCH - MEASURED THROUGH MOVEMENT ARC
- P3 / R10 CERTIFIED SLIP RESISTANCE TO ALL ENSUITE FLOORS
- 12MM STRUCTURAL PLY TO THE ENTIRE PARTICIPANT ENSUITE WALLS SURROUNDING THE TOILET, SHOWER AND BATHROOM (ENSUITE 1,2,3)
- PROVIDE IN-USE SNIB LOCKS WITH 4500 LATCH LEVER TO POWDER ROOM & ENSUITE 1 DOOR

7. KITCHEN

- FLOOR FINISHES (VINYL) TO EXTEND UNDER THE 2X KITCHEN REMOVABLE CUPBOARDS TO ENABLE EASY ADAPTATION
- MIN 1550MM CLEARANCE IN FRONT OF ALL BENCHES / FIXED APPLIANCES (OUTERMOST BENCH EDGE - NOT HANDLE) APPLIANCES ASSUMED 700MM DEEP
- MIN 300MM LUX TASK LIGHTING ABOVE ALL WORKSPACES IN KITCHEN (INCLUDING HEIGHT ADJUSTABLE BENCH), LAUNDRY BENCH AND VANITY SINKS (DOWN LIGHTS @ 1200MM CENTRES MIN)
- FREESTANDING HEIGHT ADJUSTABLE MOVABLE BENCH (HEIGHT RANGE 720MM CLEAR UNDERNEATH - 1020MM UNDERNEATH)
- D PULL HANDLES TO ALL CUPBOARD DOORS, CUPBOARD DRAWERS AND OVER HEAD CUPBOARD DOORS - 35MM SPACE BEHIND OR 20MM OVERHANGING DOOR LIP - TO OVERHEAD CUPBOARDS ONLY
- OVEN TO BE SIDE HINGED DOOR - PART OF DOOR HANDLE LOCATED BETWEEN 600MM TO 1100MM AFFL
- OVEN TO HAVE A MIN 1X TELESCOPIC SHELF (NON-REMOVABLE)
- ELECTRIC CERAMIC COOKTOP WITH KNOB OR TOUCH CONTROLS TO THE FRONT LOCATED MIN 300MM FROM INTERNAL CORNER OR WALL
- REMOVABLE CUPBOARD (ACCESSIBLE BENCHTOP) SECTION TO THE BENCH BETWEEN THE OVEN TOWER AND THE COOKTOP - MIN 900MM WIDE X 440MM DEEP WITH 720MM CLEAR SPACE UNDER - ACCESSIBLE FROM A SEATED POSITION
- REMOVABLE CUPBOARD SECTION TO THE BENCH UNDER THE KITCHEN SINK - MIN 900MM WIDE X 440MM DEEP WITH 720MM CLEAR SPACE UNDER - ACCESSIBLE FROM A SEATED POSITION
- ENGINEERED STONE BENCH SPACES TO BE MIN 600MM DEEP - CLEAR OF SPLASH TILES AND POWER POINTS (MIN 630MM STONE SLAB)
- LEVER TAPWARE TO THE KITCHEN SINK, LAUNDRY SINK, VANITY SINKS ALL OPERABLE PARTS (HANDLE & SPOUT) TO BE WITHIN 300MM OF THE FRONT OF THE BENCH - MEASURED THROUGH MOVEMENT ARC
- 1X DOUBLE POWER POINT (35MM ROCKER ACTION), WITHIN 300MM OF THE FRONT EDGE OF THE KITCHEN BENCH MAX 1100MM AFL LOCATED ADJACENT TO MIN 600MM DEEP BENCHTOP
- DRAWER STYLE DISHWASHER
- PANTRY CUPBOARD TO HAVE BASKET TYPE PULL OUT SHELVES
- P3 / R10 CERTIFIED SLIP RESISTANCE TO KITCHEN FLOORS

8. LAUNDRY

- MIN 1550MM CLEARANCE IN FRONT OF ALL BENCHES / FIXED APPLIANCES (OUTERMOST BENCH EDGE - NOT HANDLE) APPLIANCES ASSUMED 700MM DEEP
- MIN 300MM LUX TASK LIGHTING ABOVE ALL WORKSPACES - LAUNDRY (DOWN LIGHTS ABOVE BENCH)
- D PULL HANDLES TO ALL CUPBOARD DOORS, CUPBOARD DRAWERS AND OVERHEAD CUPBOARD DOORS - 35MM SPACE BEHIND OR 20MM OVERHANGING DOOR LIP - TO OVERHEAD CUPBOARDS ONLY
- STEP FREE LEVEL TRANSITION TO ALL DOORWAYS WITH **MAX 3MM** (SQUARE EDGE) OR 5MM (ROUNDED EDGE) IF HEIGHT DIFFERENCE REQUIRED
- CLEAR OPENING OF 950MM MIN WHEN DOOR OPEN AT 90 DEGREE ANGLE TO THE JAMB
- LEVER TAPWARE TO THE LAUNDRY SINK ALL OPERABLE PARTS (HANDLE & SPOUT) TO BE WITHIN 300MM OF THE FRONT OF THE BENCH - MEASURED THROUGH MOVEMENT ARC
- P3 / R10 CERTIFIED SLIP RESISTANCE TO LAUNDRY FLOORS

9. BEDROOMS

- CLEAR OPENING OF 950MM MIN WHEN DOOR OPEN AT 90 DEGREE ANGLE TO THE JAMB
- P3 / R10 CERTIFIED SLIP RESISTANCE TO BEDROOM FLOORS
- BEDROOMS MIN SIZES MEASURED TO WALLS (NOT SKIRTING)
- 1400MM MIN INTERNAL ROBE MEASUREMENT
- QUEEN BED SIZE 1530MM WIDE X 2100MM MIN
- MIN 1540MM DISTANCE TO ROBE DOOR FROM THE BED HEAD - MIN 1000MM TO THE OTHER 2X SIDES OF THE BED - MEASURED FROM THE WALL SURFACE TO THE EDGE OF THE BED
- MIN DOOR CIRCULATION SPACE IMMEDIATELY FORWARD OF THE BED (MIN 1540MM WIDE X 1450MM MIN DEPTH (CLEAR OF THE BED))
- 3X DOUBLE POWER POINTS ON THE HEAD OF THE BED WALL & 1X DOUBLE POWER POINT ON THE WALL OPPOSITE THE BED HEAD

10. LIVING ROOMS

- FAMILY / LIVING ROOM MIN CIRCULATION SPACE OF 2250MM DIAMETER CIRCLE

11. SWITCHES AND POWERPOINTS

- LIGHT SWITCHES (35MM ROCKER ACTION), AC CONTROLS, FAN CONTROLS, VIDEO INTERCOM SCREENS ALL TO BE 1050MM AFFL (900MM - 1100MM)
- POWER POINTS (35MM ROCKER ACTION), NBN CONNECTION, USB CONNECTION, TV POINTS, EMERGENCY POWER POINTS (35MM ROCKER ACTION TO BE EITHER 700MM OR 900MM TO CENTRE OF PLATE (BETWEEN 600- 900) & 500MM TO ANY INTERNAL CORNER
- SINGLE POWER POINT (STD PLATE) ON EMERGENCY BATTERY CIRCUIT TO BE ABOVE INTERNAL HINGED SIDE OF PARTICIPANT BEDROOM ENTRY DOOR, FRONT ENTRY DOOR, LAUNDRY DOOR (INTERNAL & EXTERNAL DOORS), GARAGE INTERNAL DOOR AND ALL GLASS SLIDING DOORS
- SINGLE POWER POINT (STD PLATE) ON MAINS CIRCUIT TO BE ABOVE EITHER SIDE OF THE PARTICIPANT BEDROOM WINDOWS, ALL LIVING AREA WINDOWS (EXCLUDES WET AREAS AND KITCHEN)
- SINGLE POWER POINT (STD PLATE) ON MAINS CIRCUIT TO THE CEILING OF THE PARTICIPANTS BEDROOM (FOR FUTURE HOIST)
- DIMMER CONTROL (ROTARY) SWITCHES TO ALL PARTICIPANTS BEDROOMS, LIVING AREAS LIGHTS LEVEL WITH DOOR HANDLE

12. FLOORING AND SLIP RESISTANCE

- P3 / R10 CERTIFIED SLIP RESISTANCE TO ALL INTERNAL FLOOR SURFACES (KITCHEN, LAUNDRY, BEDROOMS, WET AREAS, MAIN FLOOR)
- EVEN, **FIRM P4 / R11** SLIP RESISTANT SURFACE TO THE WALKWAYS, LANDINGS AND RAMPS OF THE DWELLING ACCESS & ACCESSIBLE PATH OF TRAVEL & GARAGE FLOOR
- ALL INTERNAL FLOORING (INCLUDING WET AREAS) SHALL BE **FIRM**, EVEN AND FEATURE A LEVEL TRANSITION BETWEEN ABUTTING SURFACES OF A MAXIMUM VERTICAL TOLERANCE OF 3mm OR 5mm (PROVIDED THE LIP IS ROUNDED OR BEVELLED)

13. INTERNAL STAIRS - NOT APPLICABLE

14. USE OF LIFTS - NOT APPLICABLE

15. COMMON USE AREAS POS AND LANDSCAPING

- LETTERBOXES ARE TO BE LOCKABLE, BE ON 1540MM X 2070MM HARDSTAND WITH A MAX GRADE IN ANY DIRECTION OF 1:40 (2.5% GRADE) ACCESSED BY CONTINUOUS PATH, LETTERBOX 600MM - 1100MM AFFL

16. STORAGE

- MIN 600MM WIDTH STORAGE CUPBOARD WITH ADJUSTABLE SHELVING

17. BREAKOUT ROOM - NOT APPLICABLE

18. LUMINANCE CONTRAST REQUIREMENTS

- CONTRAST COLOUR (MIN 30% CONTRAST) PAINT TO ALL INTERNAL & INSIDE OF EXTERNAL DOOR FRAMES / ARCHITRAVES (MIN 50MM WIDE)
- SOLID - NON-TRANSLUCENT GLAZING STRIP 75MM WIDE BETWEEN 900 - 1000MM AFFL TO FULL WIDTH OF THE SLIDING GLASS DOORS
- TOILET SEAT MIN 30% CONTRAST TO THE PAN, WALL OR FLOOR
- WALL TO FLOOR MIN 30% CONTRAST

19. CEILING HOISTS

- SINGLE POWER POINT (STD PLATE) ON MAINS CIRCUIT TO THE CEILING OF THE PARTICIPANTS BEDROOM (FOR FUTURE HOIST)
- 240MM X 45MM WALL FIXED BEAMS TO EACH SIDE OF THE PARTICIPANTS BEDROOM - AS PER ENGINEERS CERTIFIED DETAIL (FOR FUTURE HOIST)
- PROVISION TO SUIT HOIST THAT IS ABLE TO GO UP/DOWN THE BED AS WELL AS SIDE TO SIDE - MIN LOAD CAPACITY OF 250KG

20. HEATING AND COOLING

- A/C CONTROLS, FAN CONTROLS ALL TO BE 1050MM AFFL (900MM - 1100MM) & MIN 500MM FROM ANY INTERNAL CORNER
- ALL SPLIT SYSTEM UNITS TO BE REVERSE CYCLE AND PLACED APPROX 300MM FROM THE TRUSS BOTTOM CHORD TO THE TOP OF THE EVAPORATOR UNIT TO ACCOMMODATE BEAM
- DUCTED A/C REQUIRED ZONING TO HABITABLE ROOMS

21. EMERGENCY POWER SOLUTIONS

- BATTERY UPS EMERGENCY POWER CIRCUIT TO CATER FOR A MIN 2 HOUR POWER OUTAGE - MIN 2X DOUBLE POWER POINTS TO BEDROOMS AND ALL AUTOMATED DOOR USED FOR ENTRY AND EGRESS

22. ASSISTIVE TECHNOLOGY

- HI SPEED, STABLE INTERNET COVERAGE BY WIFI ROUTER NETGEAR NIGHTHAWK 8 STREAM AX8 STREAM AX6800 TRIBAND WIFI (SPEED UP TO 4.8 GBPS 6 600MBPS) 20M COVERAGE OR EQUAL, LOCATED IN THE GARAGE AND COVERAGE TO ENTIRE HOME
- VIDEO INTERCOM SCREENS (TABLET TYPE) ALL TO BE 1050MM AFFL (900MM - 1100MM)
- VIDEO INTERCOM WITH TABLET SCREENS TO EACH BEDROOM (INCLUDING OOA) AND CAMERA / DOORBELL TO FRONT DOOR EXTERNAL WALL

23. FIRE SAFETY

- SMOKE ALARMS TO BEDROOM AND LIVING SPACES WITH VISUAL AS WELL AS AUDITORY ALARM
- EMERGENCY FIRE EVACUATION PLAN PROVIDED TO OCCUPANTS
- EVACUATION LIGHT SIGNS TO HALLWAYS

24. ROBUST DESIGN - NOT APPLICABLE

PLANS AND DOCUMENTS

Approved by: Dini Tjahjanto

Approved by: Adrian Looi

DEVELOPMENT APPROVAL

Approval no: DEV2023/1375

Date: 28 April 2023



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Project Details:

WXD

IF WE APPROVE THESE DRAWINGS TO BE CORRECT AS PER CONTRACT

SIGNATURE _____ DATE _____

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Issue	Date	Drawn	Amendments
G	06.12.2022	D.O.	WXD AMENDS
F	28.11.2022	T.J.	WXD AMENDS
E	24.11.2022	T.J.	WXD AMENDS
D	16.11.2022	D.O.	WXD AMENDS
C	11.11.2022	D.O.	WXD AMENDS

CLIENT: DINI TJAHJANTO AND ADRIAN LOOI
ATP: DINI AND ADRIAN LOOI FAMILY TRUST
AT: LOT 5690, CAPE BARREN CIRCUIT
AURA ESTATE, BANYA QLD 4551

Facade:
METRO
Design Name:
SILVER GUM 227

Title:
ADDITIONAL NOTES
Page:
9 OF 22

Issue:
G
Scale: As Shown
Plot Date: 06/12/2022
Job No.:
Drawn By: T.J.
Checked By:
SILK1011

NOTES:

EAVES: 450mm UNLESS NOTED OTHERWISE
WIND CLASS: TBC
SOIL CLASS: TBC
ROOF PITCH: 25°
BAL RATING: NIL
ACOUSTICS: CATEGORY 1

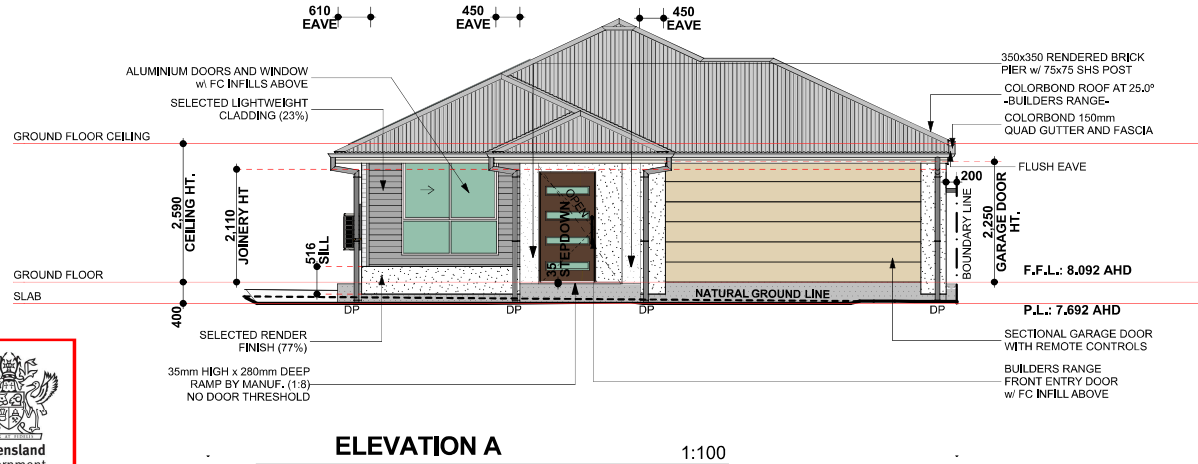
CLADDING KEY:

4.5mm SOFFIT
6mm FC SHEET
8.5mm EZI-LAP
9mm AXON
8mm MATRIX
7.5mm BLUE BOARD
9mm PRIMELINE

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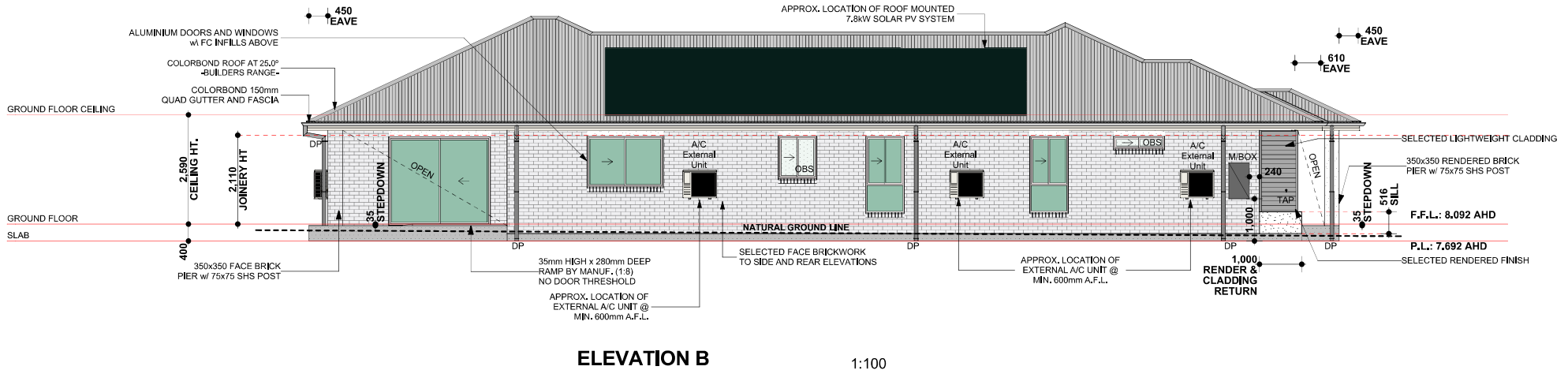
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ELEVATION A

1:100



ELEVATION B

1:100

NOTES:

-PROVIDE MIN 3 No. STUDS TO SIDES OF DOOR/WINDOW OPENINGS TO SUIT LIGHT WEIGHT CLADDING FIXING

-NOTE: PROVIDE 68x31 TIMBER STOPS TO ALL CORNERS TO SUIT FINISHING OF WEATHERBOARDS.

-42x42 SURROUNDS TO ALL WINDOWS IN LIGHTWEIGHT CLADDING

-42x42 SURROUNDS TO ALL GLASS SLIDING DOORS IN LIGHTWEIGHT CLADDING

-BARRIER SCREENS TO ALL SLIDING GLASS DOORS & SLIDING GLASS WINDOWS ONLY

MASONRY CONTROL JOINTS:

-WHERE ARTICULATION IS BESIDE A WINDOW, IT MUST EXTEND FROM THE DAMP-PROOF COURSE, ALONG THE EDGE OF WINDOW TO THE TOP OF THE BRICKWORK OR SOFFIT

- JOINTS MUST HAVE A WIDTH OF AT LEAST 10mm AND MUST BE ADEQUATELY WEATHERPROOFED

ELEVATIONS

SCALE: 1:100

DO NOT SCALE - WRITTEN DIMENSIONS TAKE PRECEDENCE

NOTES:

- TIMBER ROOF TRUSSES AND WALL FRAMES TO MANUFACTURES SPECIFICATIONS
- GLAZING TO WINDOWS/DOORS TO AS1288 - 2006
- ALL WINDOWS TO COMPLY WITH BCA CLAUSE 3.9.2.5
- LAMINATED GLAZING TO WET AREA WINDOWS TO AS1288 - 2006
- EXPANSION JOINTS TO BRICKWORK IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS



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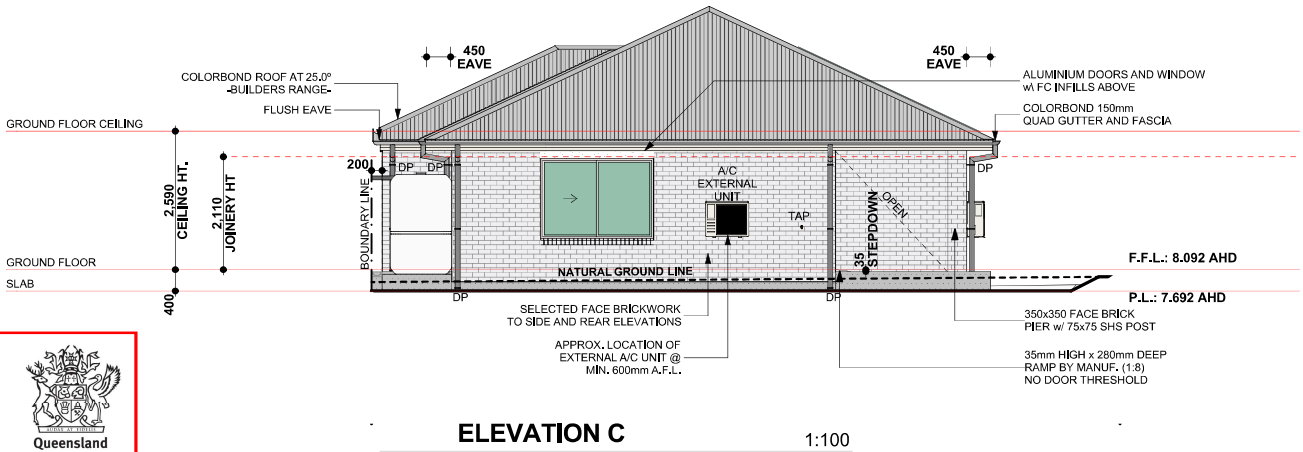
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Queensland Government



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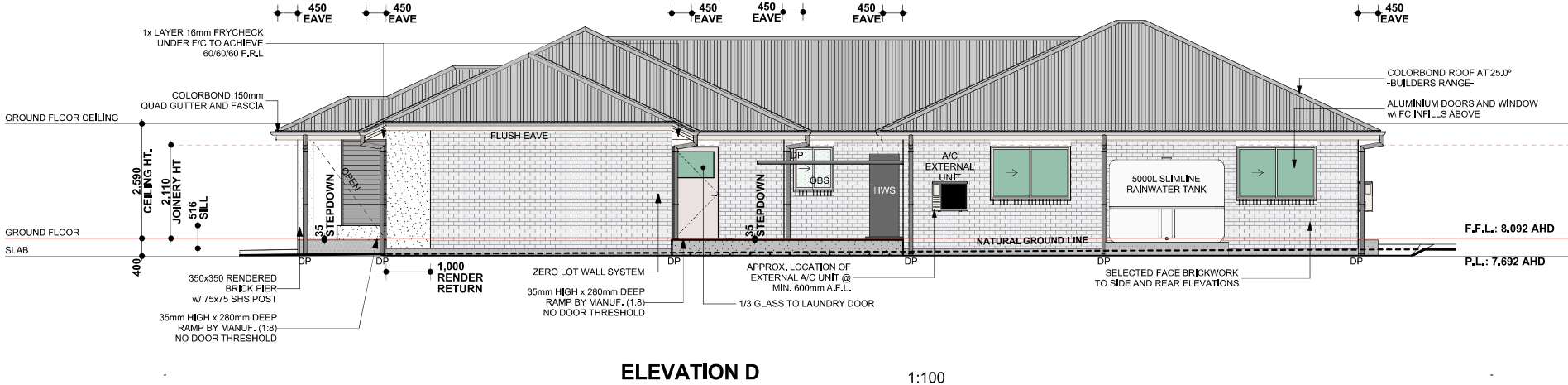
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