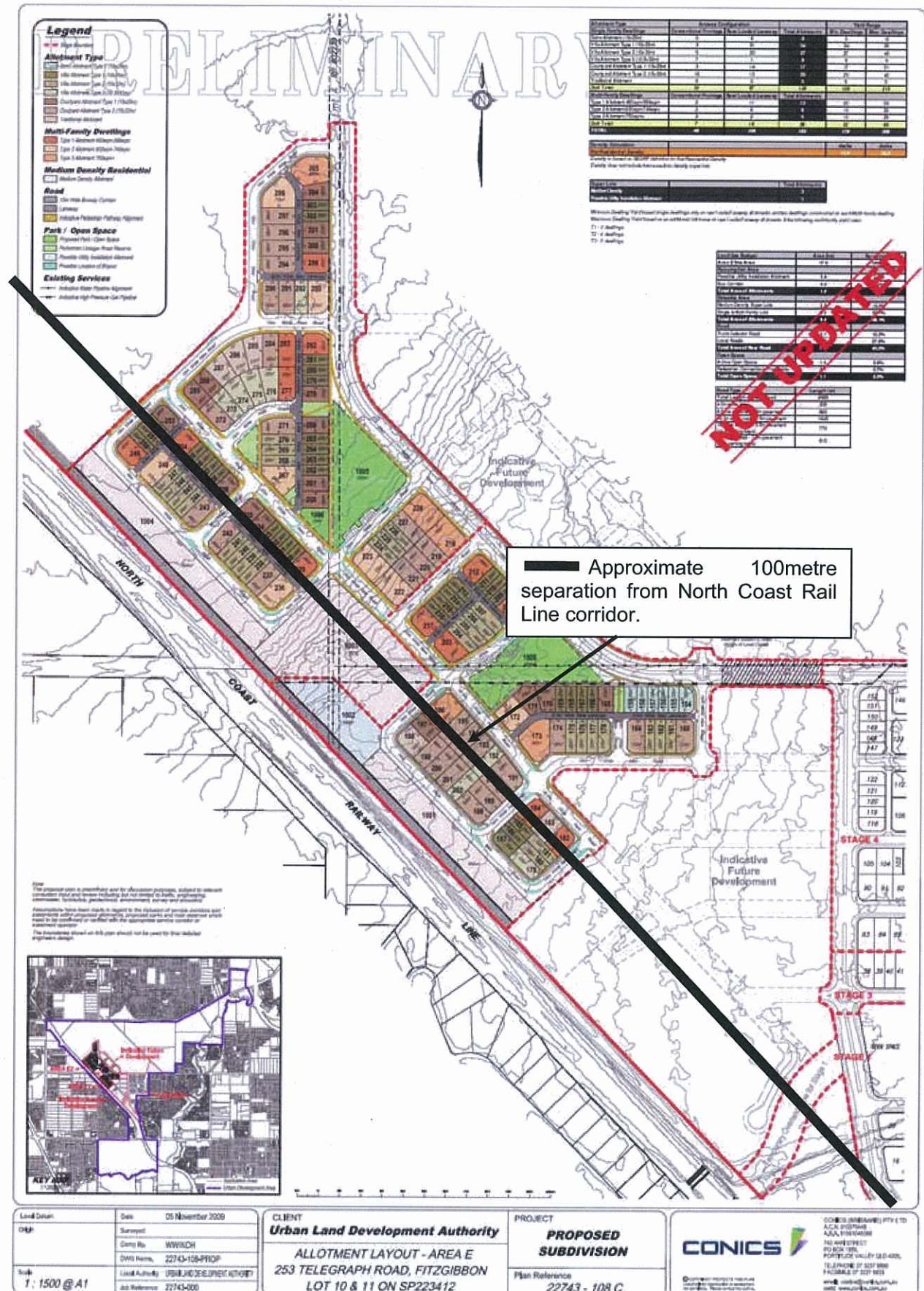
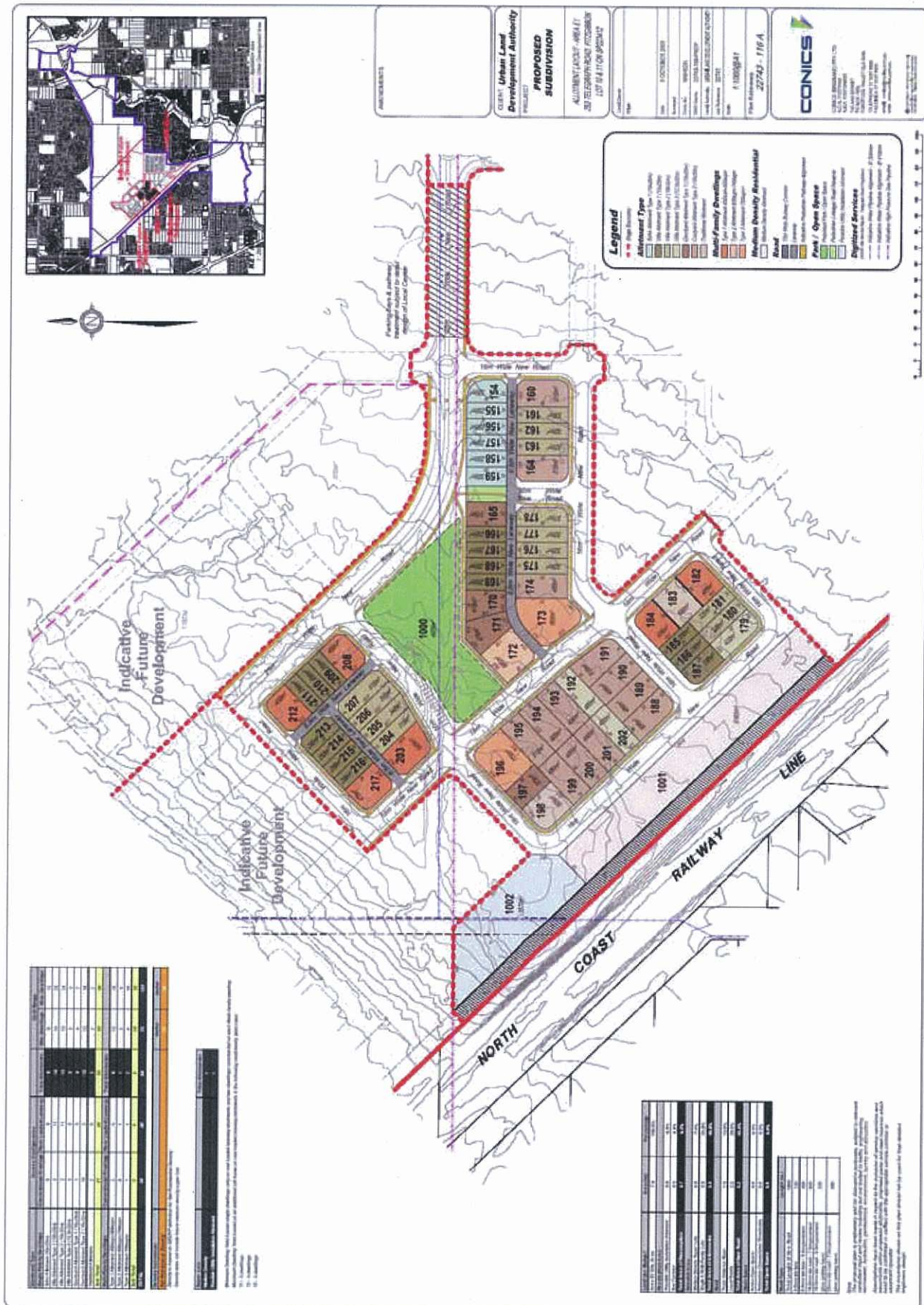
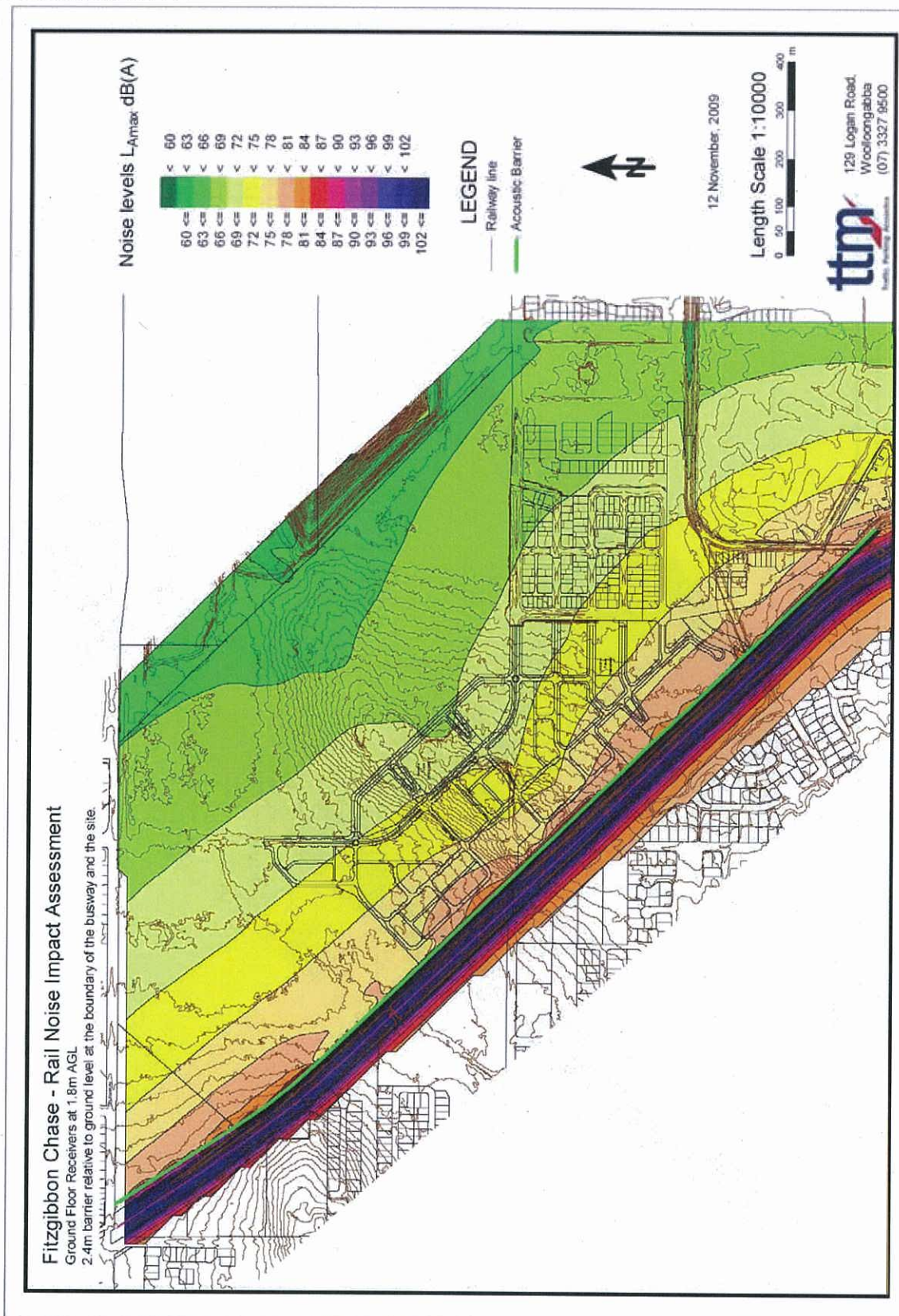


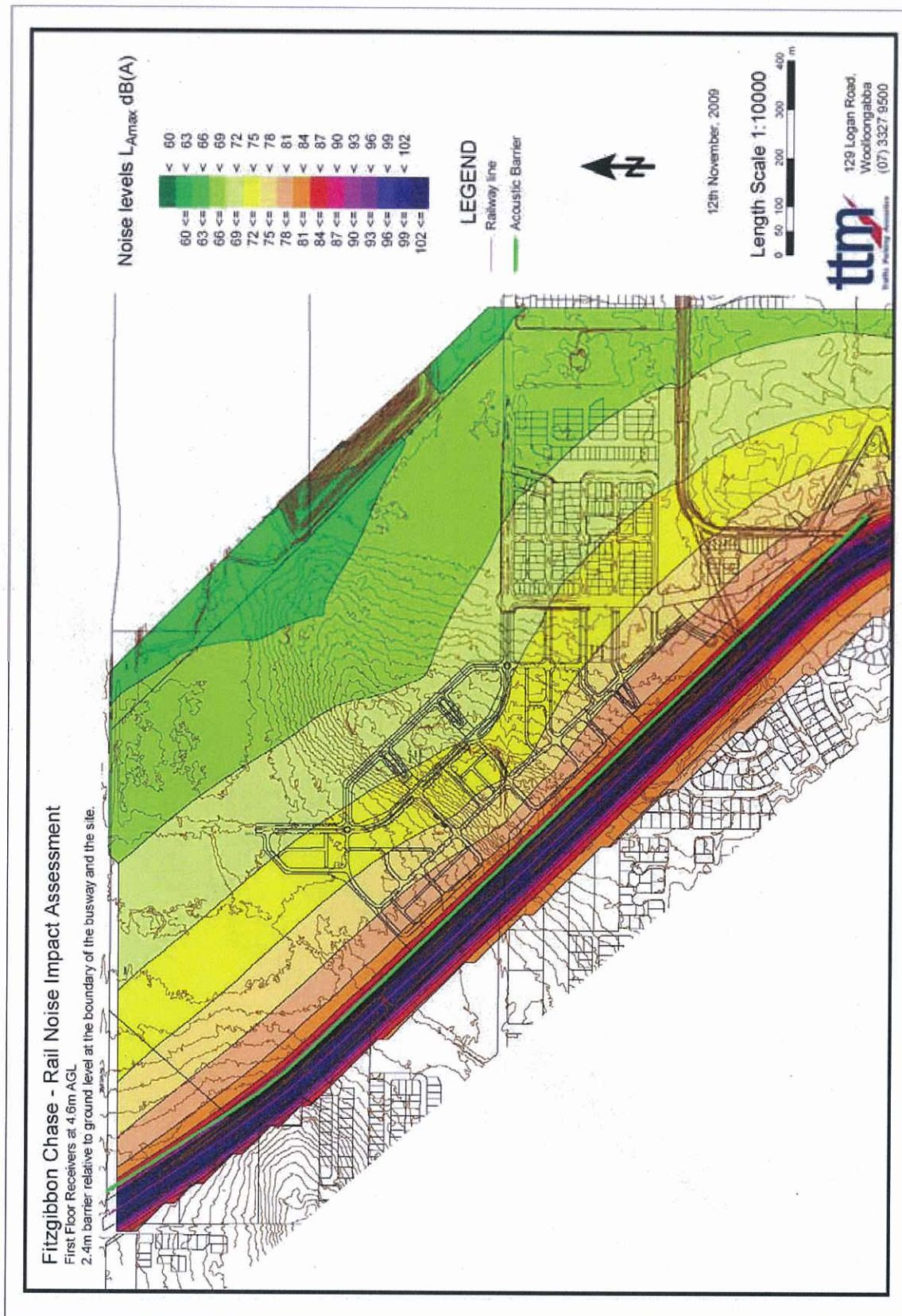


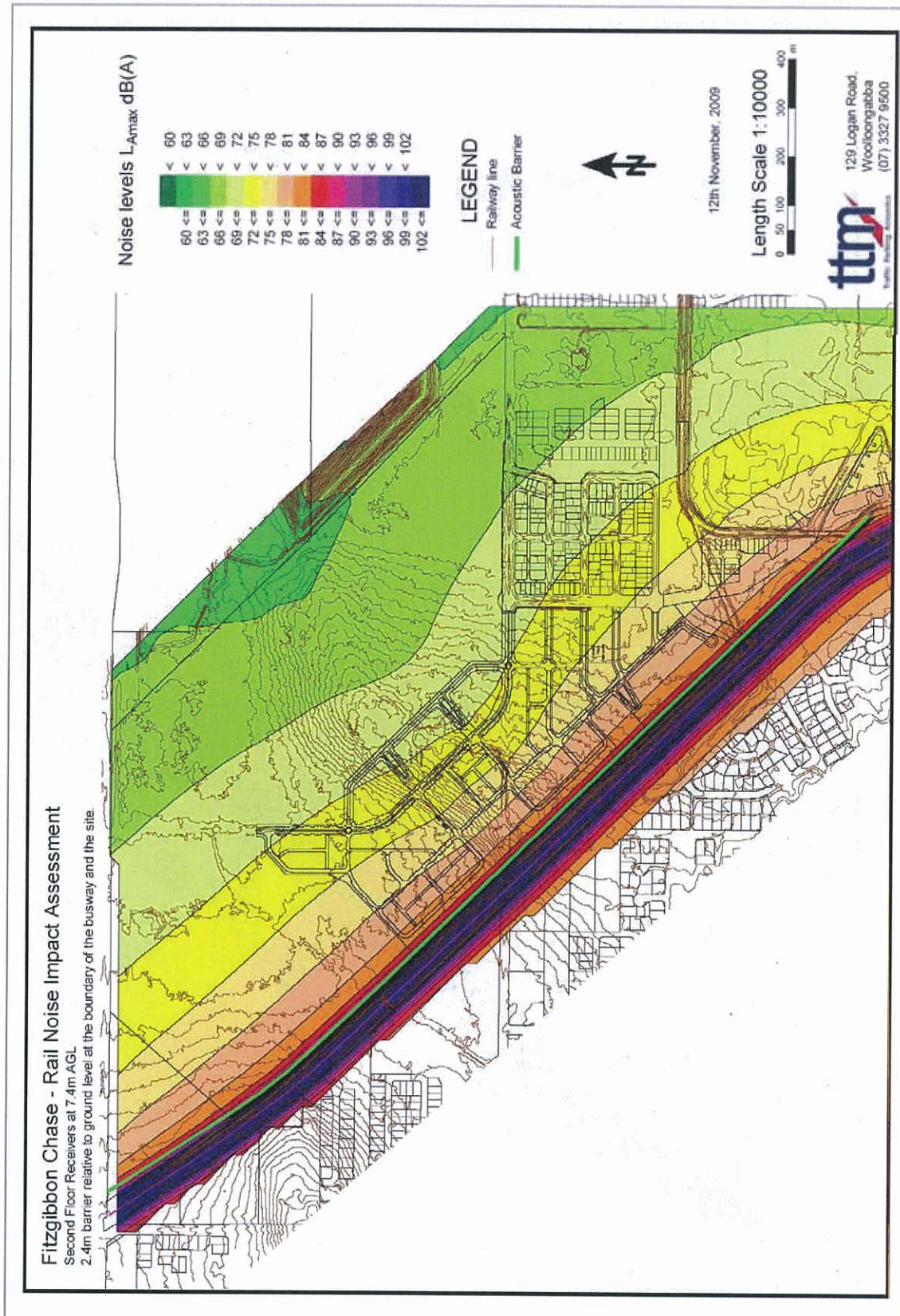


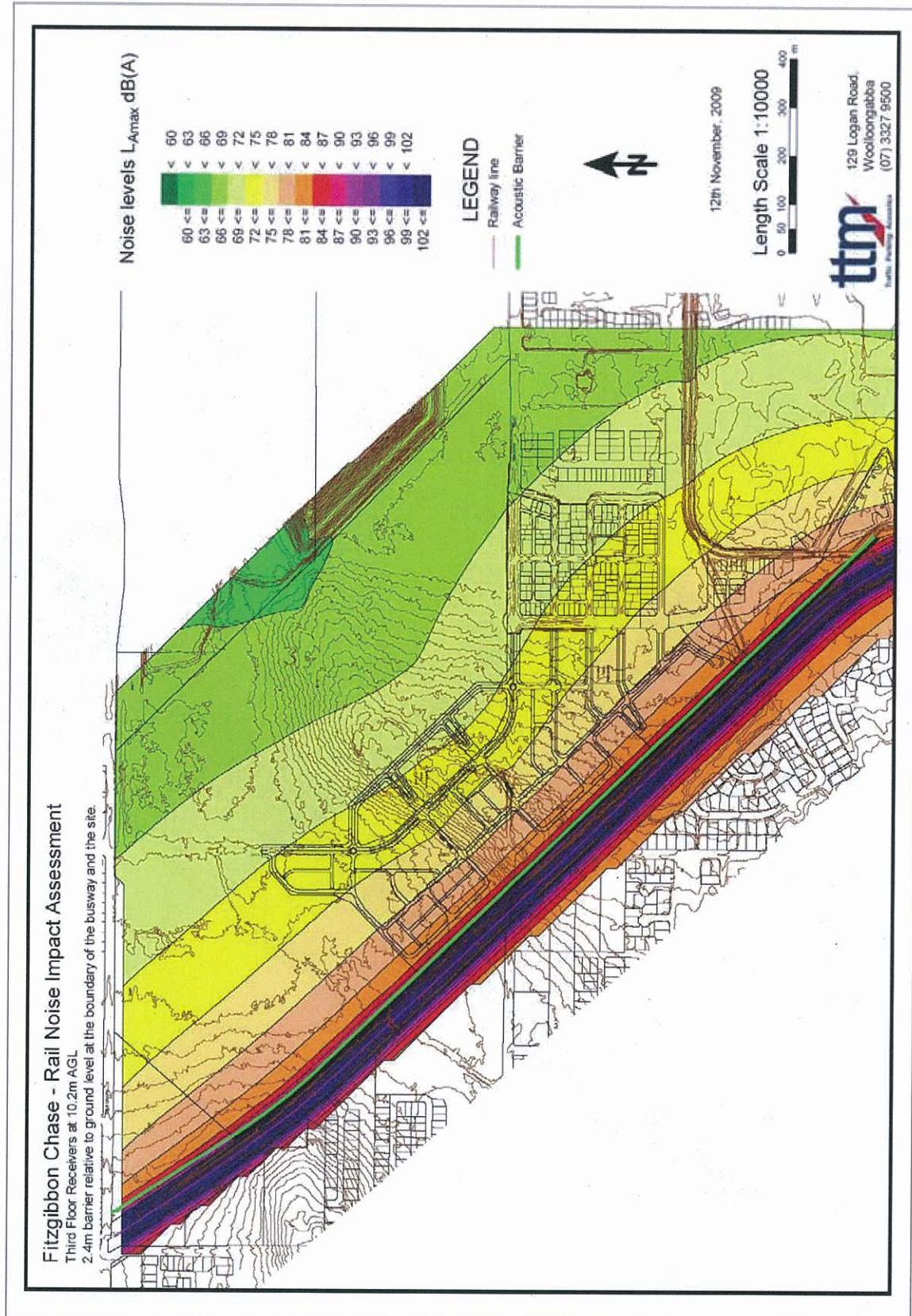
APPENDIX B

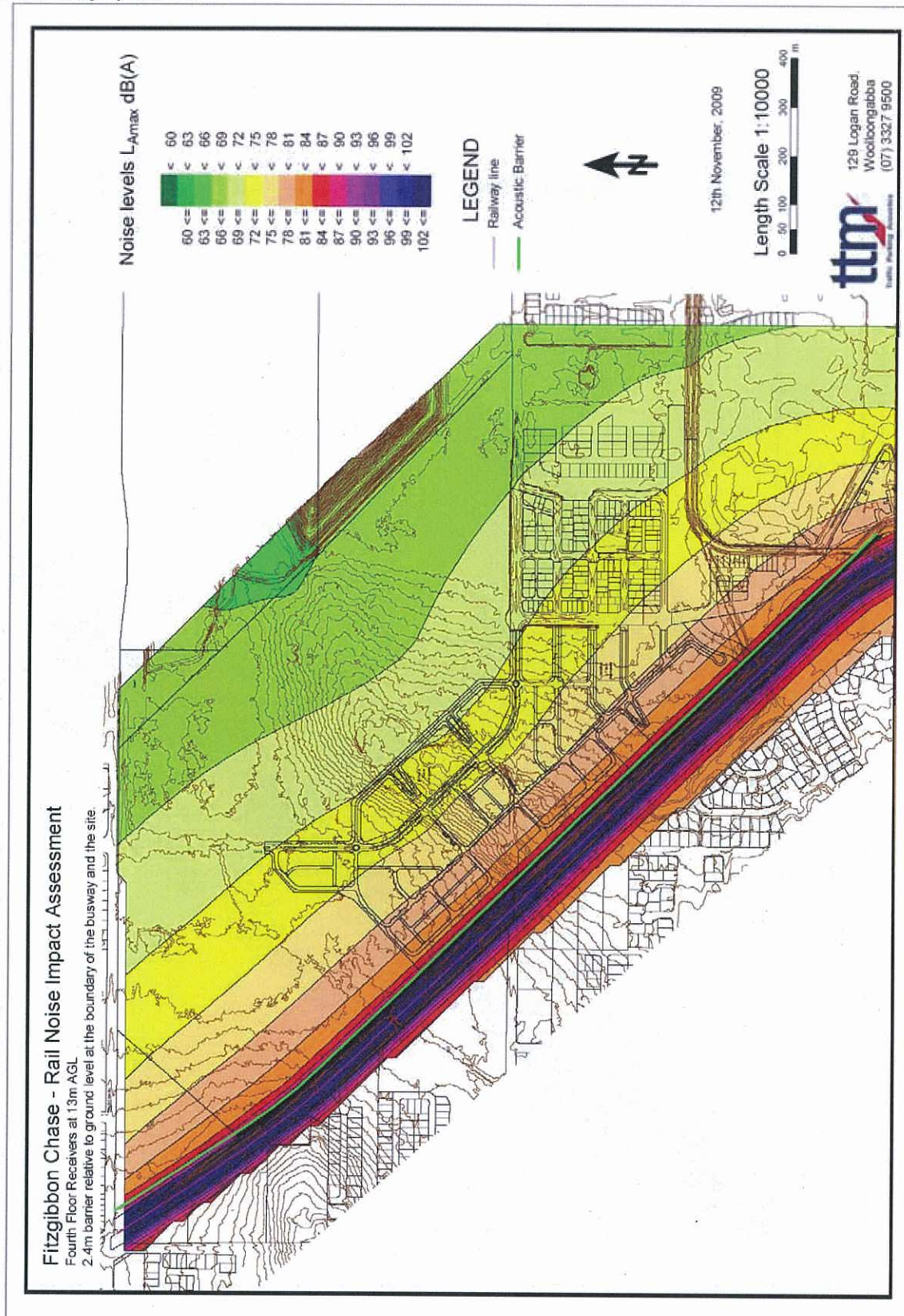
SoundPLAN Results – Noise Contour Maps

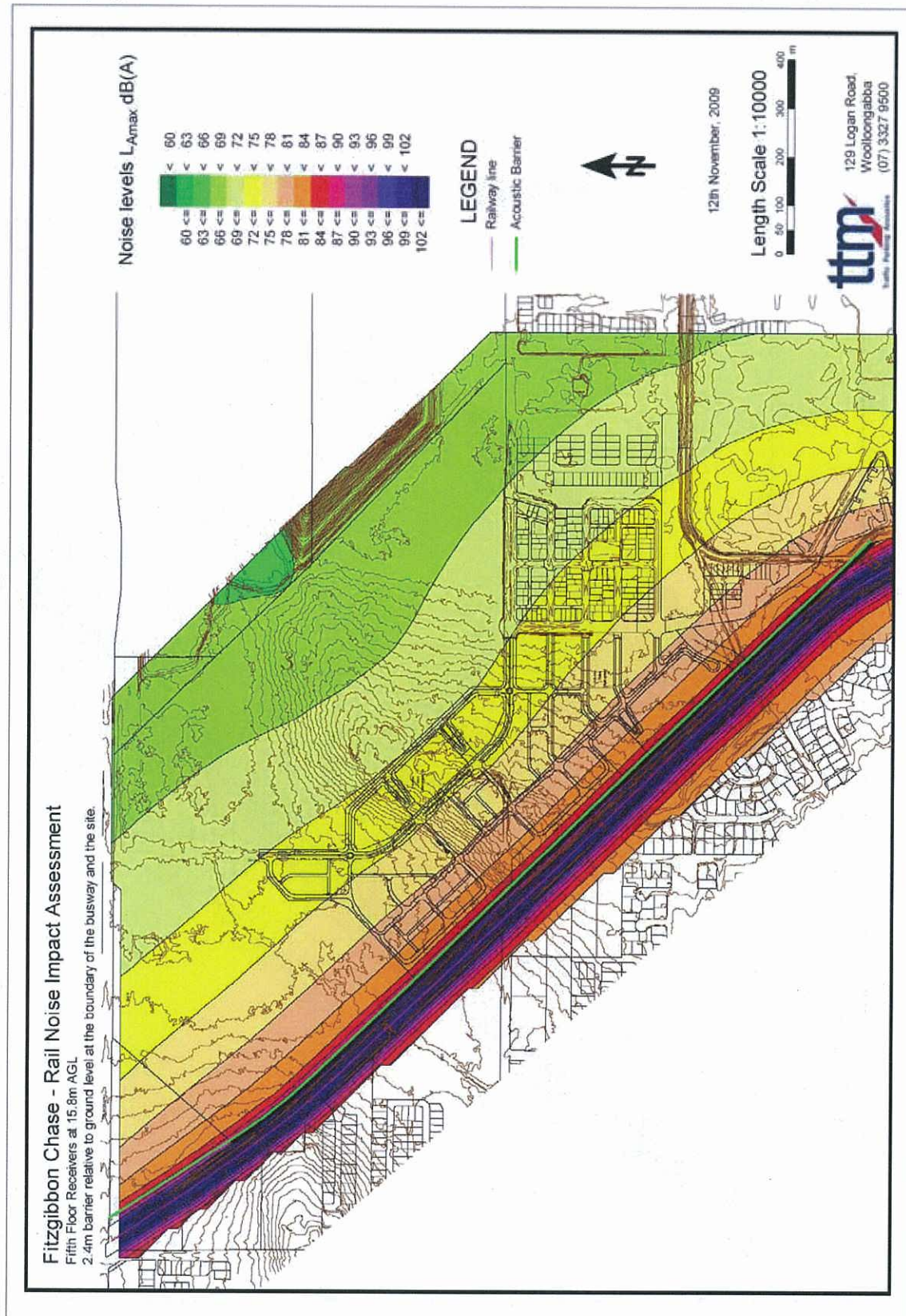








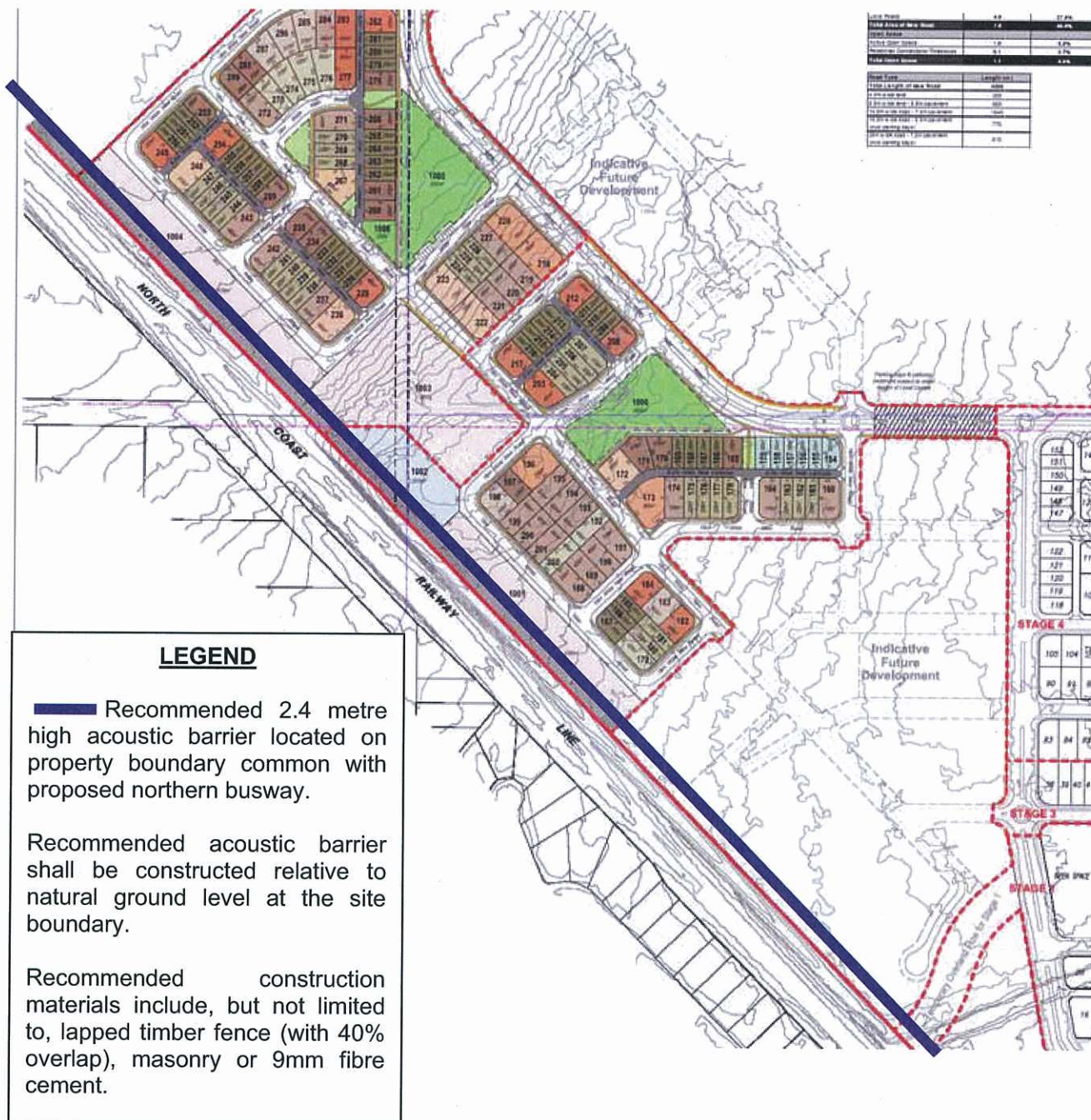




APPENDIX C

Recommended Acoustic Barrier

Area E:



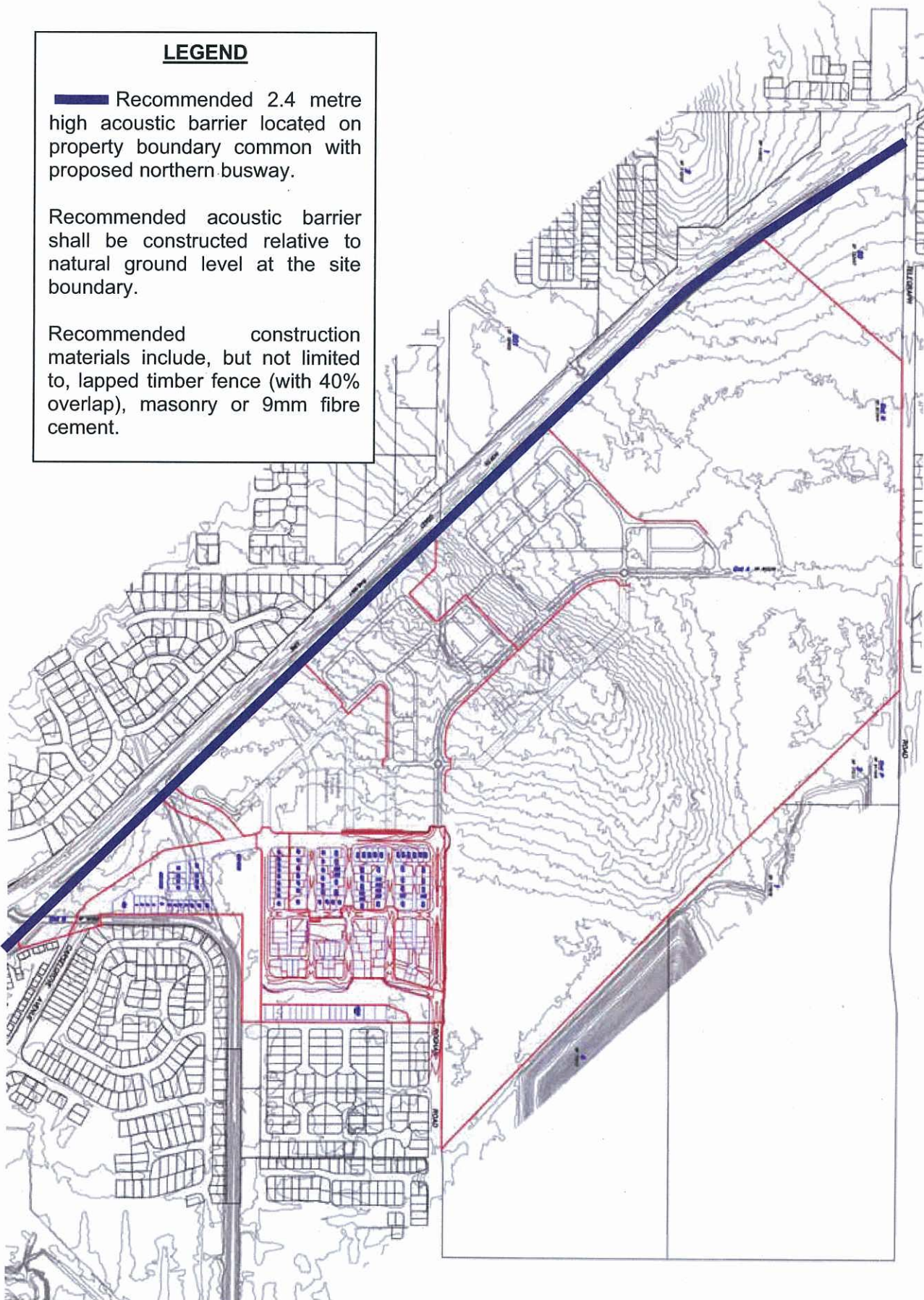
Fitzgibbon Chase:

LEGEND

■ Recommended 2.4 metre high acoustic barrier located on property boundary common with proposed northern busway.

Recommended acoustic barrier shall be constructed relative to natural ground level at the site boundary.

Recommended construction materials include, but not limited to, lapped timber fence (with 40% overlap), masonry or 9mm fibre cement.



LANDSCAPE STRATEGY PLAN

ECOLOGICAL LINKS

A continuous connection between the Neighbourhood Park and proposed District park will be provided. This will be achieved by:

- Retaining native vegetation where appropriate within open space and road reserves (ie: where no conflict with earthworks, stormwater quality treatment devices or services infrastructure)
- Supplementing existing vegetation with additional trees, shrubs and groundcovers. Species selection is to comply with the requirements of the Bushfire Management Plan for the site (ie: fire retardant species are to be selected where in close proximity to residential lots).
- A minimum of 50% of all species used on site are to be native. Species selections are derived from regional ecosystem descriptions (RE 12.3.6 and 12.5.2) and Brisbane City Council street tree species lists.

STREETSCAPE

Streetscape character will be traditional to blend with adjacent suburban development, but will also incorporate water sensitive urban design.

- Street trees will be provided at minimum of 1 tree per lot, generally as shown on plan.
- Bioretention (biopods) will be incorporated within road verges as a stormwater quality treatment measure. The location and general extent of the biopods shown has been developed in conjunction with the project civil and stormwater engineer. Siting and capacity of the biopods will be to engineer's details with a minimum internal width of 1.0m. Additional stormwater quality treatment area is provided outside lots 278-282.
- Footpaths (1.5m wide minimum) will be provided generally as shown on plan and will be shaded by street trees.

NEIGHBOURHOOD PARK

The park frontages of lots 270-277 will be accessed by a concrete path within a 4m wide road reserve (pedestrian, cyclist and postage access only). Carparking is located nearby, along with signage to direct visitors to the primary frontages (park fronts) of these lots.

An existing BCC water easement also runs in front of these lots. It is shown within the Neighbourhood Park detail plan (ULD12 SK02).

Multi-purpose hardstand and turf areas have been provided along the concrete path as spillout space for residents. The spaces are framed by retained vegetation and low concrete seating walls.

Connection to District Park

A shared path will link the district park to the internal roads and shared pathway of Area E2 via the Neighbourhood park. Facilities located along this path include:

- park shelter and outdoor seating shaded by retained trees and overlooking a grassed play space. The shelter is located in a site which is visible from the collector road and will be lit at night as required.
- fitness equipment to form part of a cohesive circuit of equipment throughout the open space areas of Fitzgibbon Chase

Community Plaza node

A multi-purpose hardstand area is located at a prominent location (road intersection). It incorporates seating and a drinking fountain within an area of pavement shaded by feature spreading canopy trees. The pavement not only emphasises the entry to the park, but allows quiet play and / or a gathering space for residents. The space adjoins a large grassed area to allow activity to spill out into the park.

Retained vegetation

Existing healthy native trees which do not conflict with earthworks, stormwater treatment or services infrastructure are to be incorporated within parkland detail design as a focus of the collector road and the pedestrian network. Supplementary planting around retained trees is to include native tree, shrub and groundcover planting of predominantly fire-retardant species.

POCKET PARK

A pocket park is provided in front of lots 278-282. It includes:

- additional area for stormwater quality treatment
- opportunities for additional planting to strengthen the design themes of the pedestrian / cycle link (to future detail)
- carparking around the perimeter of the park

General

Detail design and documentation of all parkland will incorporate:

- bollards and maintenance access at the park boundary.
 - robust park furniture to future detail
- Materials and species selections will continue the themes established within the design of the Local Centre

TYPICAL SPECIES SELECTIONS

Minimum of 50% of all species used on site are to be native. An indicative palette of species is as follows:

Trees

- Angophora leiocarpa
- Buckinghamia celsissima
- Cryptocarya triflinervis
- Casuarina glauca
- Cupaniopsis anacardioides
- Elaeocarpus obovatus
- Eucalyptus terebinthifolia
- Eucalyptus acmenoides
- Ficus spp (where space allows)
- Flindersia spp
- Hibiscus tiliaceus
- Lophostemon confertus
- Lophostemon suaveolens
- Melaleuca quinquenervia
- Melaleuca bracteata
- Pongamia pinnata

Shrubs:

- Acacia spp
- Banksia spp
- Beyeria oblongifolia
- Banksia spp
- Callistemon spp
- Leptospermum spp
- Myoporum ellipticum
- Notelaea longifolia
- Notelaea longifolia
- Pittosporum revolutum

Groundcovers

- Liriope muscari
- Lomandra spp
- Hardenbergia violacea
- Baumea articulata / rubiginosa
- Cinnam pedunculatum
- Gahnia aspera
- Juncus spp
- Dietes grandiflora / bicolor

PARK INTERFACE:

Retaining wall with fence above along park RP boundary. Wall heights and earthworks to engineer's details.

MAINTENANCE ACCESS POINT:

Vehicle access point for maintenance of stormwater outlets and environmental park area. Maximum 1.5m wide ramp, 4m wide. Side barriers to be planted at a suitable density to allow better stabilisation. Details to be provided at operational works stage. Ensure vehicular maintenance track along base of retaining wall allows access to all stormwater outlets

PAVEMENT TREATMENT:

At intersection to signify parkland node

ENVIRONMENTAL PARK

REAR LANEWAYS:

Laneways provide vehicle and servicing access to allotments. Tree planting will be possible on allotments only.

POCKET PARK:

Detail design is to incorporate bioretention areas, maintenance access and shade trees.

PEDESTALIAN / CYCLE LINK:

Detail design of road corridor is to allow a shared path to one side, shaded by new trees. Path to be minimum 2.5m wide

STREET TREES:

Provide minimum 1 street tree per allotment on average. Where lots are rear-loaded (laneway access), additional street trees can be provided to the primary frontage.

LEGEND

- Proposed residential lot
- Retained vegetation (indicative)
- Road
- Pathway - shared (width varies 2-3m)
- Pathway - pedestrian (1.5m wide)
- Community plaza space
- Community facilities along shared pathway
- Xanthostemon chrysanthus trees to collector road
- Lophostemon confertus trees to collector road
- Street trees (assorted species)
- Bioretention pools (in addition to bioretention centre needed to Collector Road)
- Stormwater outlets (headwall & outlet stabilisation to engineer's future details, planting as required).

PLANS AND DOCUMENTS referred to in the ULDA APPROVAL dated 29/10/10





POTENTIAL LOCATION FOR PUBLIC ART (TO FUTURE DETAIL)
SIGNAGE WALL IDENTIFYING PARK-FRONT LOTS. ENSURE NO CONFLICT BETWEEN WALL DESIGN & ACCESS REQUIREMENTS FOR EASEMENT
MAINTENANCE ACCESS POINT

- LEGEND**
- TURF
 - RETAINED VEGETATION
 - FEATURE CONCRETES
 - PLAIN CONCRETE
 - PLANTING AREA
 - WALLS
 - NEW TREES
 - BOLLARDS TO PARK BOUNDARIES
 - EXISTING CONTOUR
 - PROPOSED LEVEL (APPROXIMATE)

NOTE:

THE WATER EASEMENT IS TO BE MAINTAINED WITH CLEAR VEHICLE ACCESS ALONG ITS LENGTH. LEVELS WITHIN THE EASEMENT ARE TO BE MAINTAINED AS CLOSE TO NATURAL GROUND AS POSSIBLE. FURNITURE WILL NOT BE PERMITTED WITHIN THE EASEMENT
ALL WORKS SHOWN ARE CONCEPTUAL ONLY AND ARE TO BE CONFIRMED AT DETAIL DESIGN / OPERATIONAL WORKS INCLUDING NEGOTIATION WITH PROJECT ENGINEER FOR FINISHED LEVELS, TREE RETENTION AND WORKS AREAS



KEY

- 01 FIELD INLET AT LOW POINT
- 02 GRASSED KICKABOUT AREA. FILLED TO RL 11.2 (APPROX 300MM-700MM FILL)
- 03 LOW FEATURE WALL DEFINES EDGE OF RETAINED VEGETATION AND PROVIDES SEATING AT EDGE OF KICKABOUT SPACE.
- 04 LOW SEATING WALLS FRAME MULTIFUNCTIONAL PAVED AREAS NEAR LOTS. POTENTIAL USES INCLUDE READING NOOKS, MEETING SPACES, SHADED SEATING AREAS ETC.
- 05 SHELTER AT A HIGH POINT OF PARKLAND, NESTLED WITHIN RETAINED TREES
- 06 FITNESS EQUIPMENT NODE DESIGNED AS PART OF A COHESIVE CIRCUIT.
- 07 SHADED GRASSED CLEARING WITHIN AREA OF RETAINED VEGETATION FOR SUPERVISED PLAY NEAR SHELTER.
- 08 COMMUNAL PLAZA SPACE AT PROMINENT LOCATION. INCLUDE SHADE TREES, SEATING AREAS, AND LARGE FLAT MULTIFUNCTIONAL HARDSTAND AREA FOR GAMES AND ACTIVITIES. GRASSED AREA NEARBY ACCOMMODATES 'SPILLOVER' ACTIVITIES.
- 09 PLANTED VERGE - MAY ACCOMMODATE BIORETENTION IF REQUIRED AT DETAIL DESIGN

NOTES:

EXISTING CONTOURS AND FINISHED SPOT LEVELS SHOWN FOR REFERENCE ONLY. FINAL EARTHWORKS TO BE DETERMINED WITH ENGINEERS.
EXTENT OF RETAINED VEGETATION SUBJECT TO SITE ASSESSMENT OF INDIVIDUAL TREES (HEALTH AND VIGOUR).

BANKS
Turfed banks 1:4 maximum

RETAINED VEGETATION
Turfed or planted understorey to be determined at detail design phase. Existing vegetation shown is to be assessed for health and longevity before incorporation into detail design.

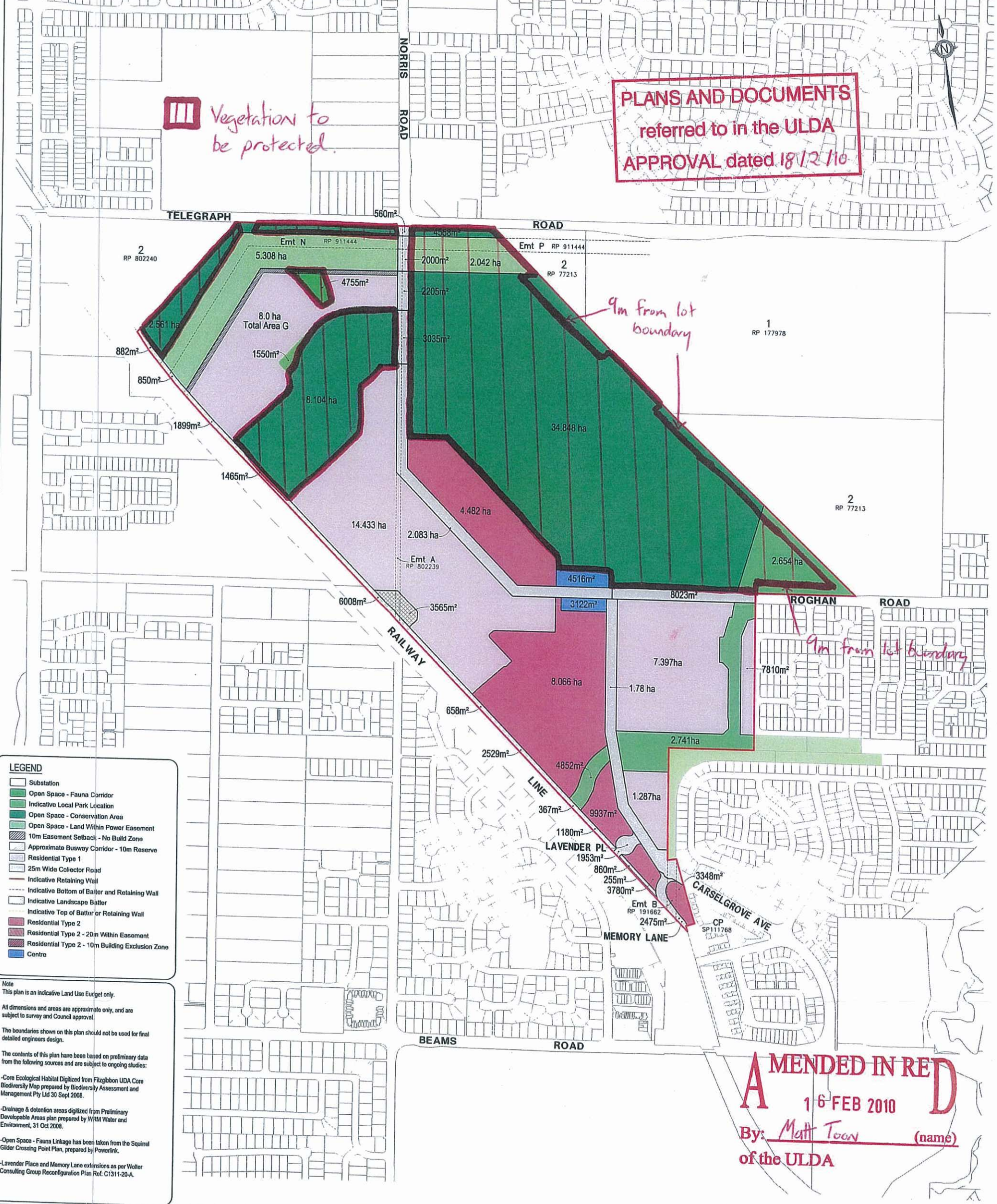
PATH CONNECTION
2.5m wide coloured concrete path. Continues to District Park (conservation area). Maximum path grade 1:20, adjacent planting to comply with CPTED guidelines

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 29/10/16

PRELIMINARY ONLY

 Vegetation to be protected.

PLANS AND DOCUMENTS referred to in the ULDA APPROVAL dated 18/2/10



- LEGEND**
- Substation
 - Open Space - Fauna Corridor
 - Indicative Local Park Location
 - Open Space - Conservation Area
 - Open Space - Land Within Power Easement
 - 10m Easement Setback - No Build Zone
 - Approximate Busway Corridor - 10m Reserve
 - Residential Type 1
 - 25m Wide Collector Road
 - Indicative Retaining Wall
 - Indicative Bottom of Batter and Retaining Wall
 - Indicative Landscape Batter
 - Indicative Top of Batter or Retaining Wall
 - Residential Type 2
 - Residential Type 2 - 20m Within Easement
 - Residential Type 2 - 10m Building Exclusion Zone
 - Centre

Note
This plan is an indicative Land Use Budget only.
All dimensions and areas are approximate only, and are subject to survey and Council approval.
The boundaries shown on this plan should not be used for final detailed engineers design.
The contents of this plan have been based on preliminary data from the following sources and are subject to ongoing studies:
-Core Ecological Habitat Digitized from Fitzgibbon UDA Core Biodiversity Map prepared by Biodiversity Assessment and Management Pty Ltd 30 Sept 2008.
-Drainage and detention areas digitized from Preliminary Developable Areas plan prepared by WRM Water and Environment, 31 Oct 2008.
-Open Space - Fauna Linkage has been taken from the Squirrel Glider Crossing Point Plan, prepared by Powerlink.
-Lavender Place and Memory Lane extensions as per Wolter Consulting Group Reconfiguration Plan Ref: C1311-20-A.

AMENDED IN RED
16 FEB 2010
By: Matt Toon (name)
of the ULDA

Level Datum	Date
Origin	16 FEB 2010
Scale	1:4000 @ A1
	Surveyed
	Comp By. TJE/KCH/WW
	DWG Name. 22743 Land Use
	Local Authority ULDA
	Job Reference 22743-DOH

CLIENT
URBAN LAND DEVELOPMENT AUTHORITY
PROPOSED LAND USE BUDGET
Vegetation Protection Plan

PROJECT
FITZGIBBON DEPARTMENT OF HOUSING LAND
Plan Reference
22743-76D

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