

DEVELOPMENT STATISTICS - PROPOSAL PLAN AREA E2					
Allotment Type	Access Configuration		Yield Range		
Single Family Dwellings	Conventional Frontage	Rear Loaded Laneway	Total Allotments	Min. Dwellings	Max. Dwellings
Villa Allotment Type 1 (10x25m)	16	8	24	24	32
Villa Allotment Type 2 (10x32m)	30	9	39	39	48
Villa Allotment Type 3 (12.5x32m)	10	1	11	11	12
Courtyard Allotment Type 1 (15x25m)	1	4	5	5	9
Courtyard Allotment Type 2 (15x32m)	3	3	6	6	9
Sub Total	60	25	85	85	110
Multi-Family Dwellings	Conventional Frontage	Rear Loaded Laneway	Total Allotments		
Type 1 Allotment 450sqm-599sqm	4	1	5	10	15
Type 2 Allotment 600sqm-749sqm	4	4	8	16	32
Type 3 Allotment 750sqm+	2	1	3	6	15
Sub Total	10	6	16	32	62
TOTAL	70	31	101	117	172

Density Calculation		dw/ha	dw/ha
Net Residential Density		17	24

Density is based on SEQRP definition for Net Residential Density
Density does not include future medium density super lots

Super Lots	Total Allotments
Medium Density	2

Minimum Dwelling Yield based single dwellings only on rear loaded laneway allotments and two dwellings constructed on each Multi-family dwelling

Maximum Dwelling Yield based on an additional loft home on rear loaded laneway allotments & the following multi-family yield rates:

T1 - 3 dwellings
T2 - 4 dwellings
T3 - 5 dwellings

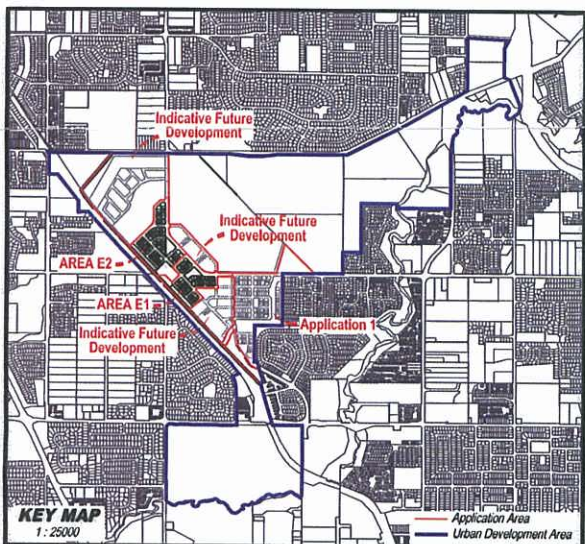
LAND USE BUDGET - PROPOSAL PLAN AREA E2		
Land Use Budget	Area (ha)	Percentage
Area E2 Site Area	10.135	100.0%
Resumption Area		
Bus Corridor	0.345	3.4%
Total Area of Resumption	0.345	3.4%
Saleable Area		
Medium Density Super Lots	1.606	15.8%
Single & Multi-Family Lots	3.896	38.4%
Total Area of Allotments	5.502	54.3%
Road		
Trunk Collector Road	1.131	11.2%
Local Roads	2.536	25.0%
Total Area of New Road	3.667	36.2%
Open Space		
Active Open Space	0.504	5.0%
Pedestrian Connections-Thresholds	0.117	1.2%
Total Open Space	0.621	6.1%

Road Type	Length (m)
Total Length of New Road	2160
4.0m wide lane	183
6.5m wide lane - 5.5m pavement	252
16.0m wide road - 7.5m pavement	838
18.0m wide road - 5.5m pavement (plus parking bays)	170
18.5m wide road - 7.5m pavement (plus parking bays)	224
20.0m wide road - 7.5m pavement (plus parking bays)	85
25m wide road - 7.0m pavement (plus parking bays)	437

Note
The proposal plan is preliminary and for discussion purposes, subject to relevant consultant input and review including but not limited to traffic, engineering, stormwater, hydraulics, geotechnics, environment, survey and acoustics.

North-South Water Pipeline assumed to be re-aligned to eastern trunk road reserve. Subject to confirmation of easement operator & engineering design.

The boundaries shown on this plan should not be used for final detailed engineers design.



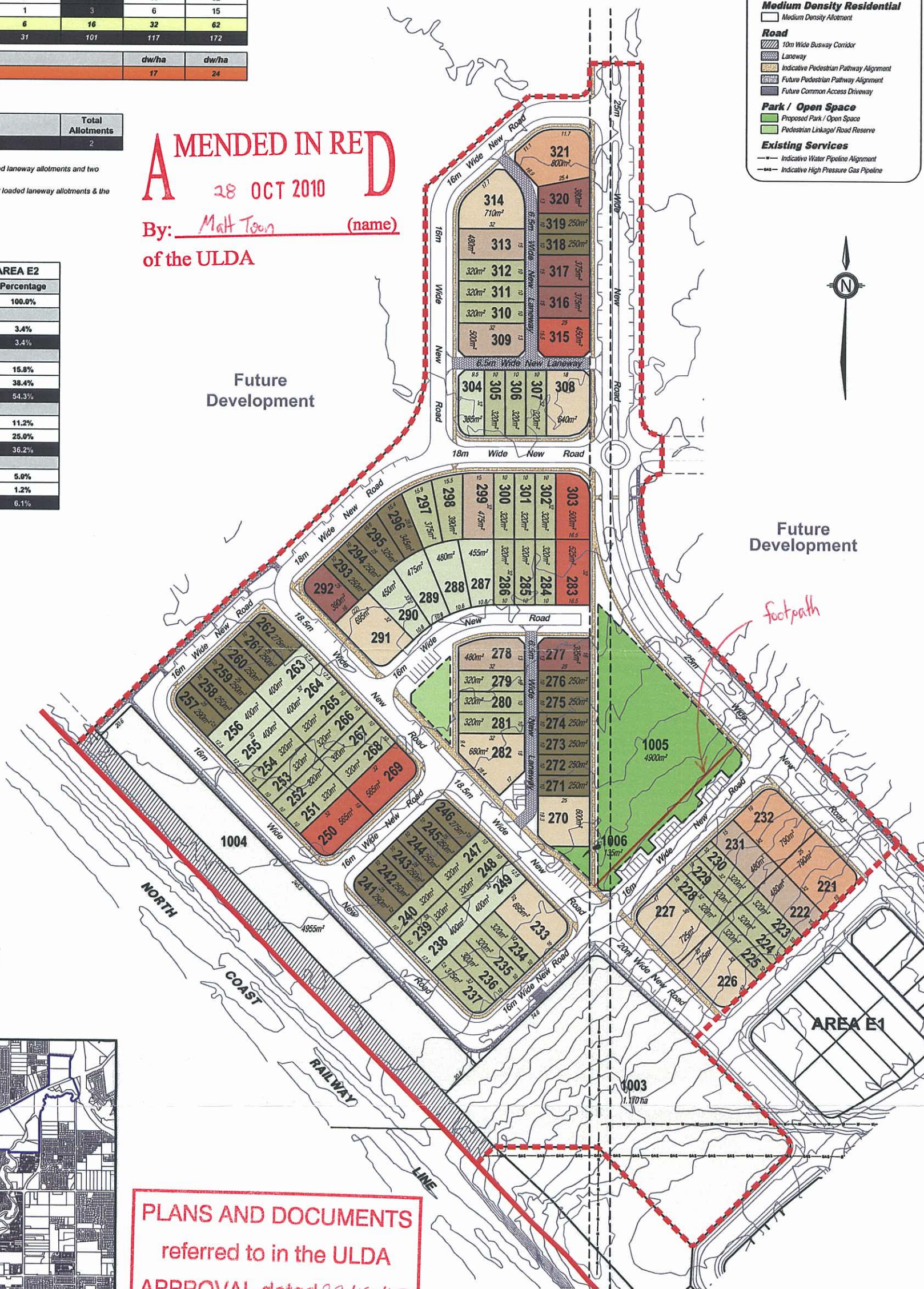
AMENDED IN RED
28 OCT 2010

By: Matt Toon (name)
of the ULDA

Future Development

Legend

- Stage Boundary
- Allotment Type**
 - Villa Allotment Type 1 (10x25m)
 - Villa Allotment Type 2 (10x32m)
 - Villa Allotment Type 3 (12.5x32m)
 - Courtyard Allotment Type 1 (15x25m)
 - Courtyard Allotment Type 2 (15x32m)
- Multi-Family Dwellings**
 - Type 1 Allotment 450sqm-599sqm
 - Type 2 Allotment 600sqm-749sqm
 - Type 3 Allotment 750sqm+
- Medium Density Residential**
 - Medium Density Allotment
- Road**
 - 10m Wide Busway Corridor
 - Laneway
 - Indicative Pedestrian Pathway Alignment
 - Future Pedestrian Pathway Alignment
 - Future Common Access Driveway
- Park / Open Space**
 - Proposed Park / Open Space
 - Pedestrian Linkage/ Road Reserve
- Existing Services**
 - Indicative Water Pipeline Alignment
 - Indicative High Pressure Gas Pipeline



PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 29/10/10

REVISION A: Edit road pavement and parking bays B: Amend lot numbers and road width between lots 277 and 283 C: Edit Park and medium density D: Amend Busway and adjust lots and stats	Level Datum		Date	26 JULY 2010	CLIENT Urban Land Development Authority ALLOTMENT LAYOUT - AREA E2 253 TELEGRAPH ROAD, FITZGIBBON LOTS 10 & 11 ON SP 223412	PROJECT PROPOSED SUBDIVISION Plan Ref 22743-127 Rev D
	Origin		Comp By.	WW/KCH/TJE		
			DWG Name.	22743-108-PROP		
			Local Authority	Urban Land Development Authority		
Scale 1:1000			Locality	FITZGIBBON	RPS RPS Australia Pty Ltd ACN 140 292 762 ABN 64 140 292 762 743 Ann Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3237 8899 F +61 7 3237 8833 W rpsgroup.com.au	
	Sheet A1		Job Reference	22743		

Site Development Table	Villa Allotments 10m Frontage		Villa Allotments 12.5m Frontage		Courtyard Allotments 15m Frontage		Multi-Family Dwellings	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m
Rear	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	2.0m
Side - General Lots								
Built to Boundary	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a
Non Built to Boundary	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m	3.0m	3.0m
Laneway Lots								
Rear of Lot (from laneway boundary)	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m

Notes -

General:

- All development is to be undertaken in accordance with the Development Approval
- Loft Homes are permissible over garages in Laneway Allotments
- The maximum height of building shall not exceed 3 storeys

Orientation:

- Entries - Front doors of dwellings are to address the Primary Street Frontage identifies in the Site Development Plan
- Where Multi Family Allotments encompass more than one frontage they are to be designed to address (entries) each street frontage
- Loft Homes must be located off the adjoining Laneway
- Dwellings built on corner lots should address both street frontages

Setbacks:

- Setbacks are as per the Site Setback Table unless otherwise specified.
- Built to boundary walls are optional. The location of built to boundary walls are indicated on the Site Development Plan. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Site Setback Table
- Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres
- Boundary setbacks are measured to the wall of the structure
- Eaves should not encroach (other than where building are built to boundary) closer than 450mm to the lot boundary excluding the Primary Street Frontage where eaves should not be closer than 2400mm

Parking:

- Minimum off-street parking requirements
Studio, 1 and 2 bed dwellings - 1 space per dwelling
Other - 2 spaces per dwelling, which may be in tandem
- Villa Allotments (not on a Laneway) with a frontage of less than 12.5 metres are to have tandem parking with a setback to a garage of 5.5 metres.
Double garages will not be permitted on single storey dwelling on a lot less than 12.5m wide.
Double garages may be permitted on a lot with a frontage of 10.0 to 12.5m wide where Fitzgibbon Chase Design Guideline approval has been given by an officer of the ULDA Fitzgibbon Chase Development Team.
- Parking spaces on driveways do not have to comply with AS2890
- Garages and Carports served off a Laneway must be built with a minimum 1.0 metre Rear Setback

Site Cover and Amenity:

- Site cover for each lot is not to exceed 60% of the lot except on Multi Family Allotments where the site cover shall not exceed 70% of the lot
- Private amenity space accessible from the ground floor must not be less than 15sqm with a minimum dimension of 3.0m. Private amenity space for apartments (including Loft Homes) above ground level must not be less than 9sqm which may be in the form of a balcony with a minimum dimension of 1.8 metres

Multi Family Dwellings

- Multi Family Dwelling Allotments are not permitted to be developed with only one single dwelling
- Type 1 (T1) - 450m² - 599m² - maximum 3 dwellings
Type 2 (T2) - 600m² - 749m² - maximum 4 dwellings
Type 3 (T3) - 750m² + - maximum 5 dwellings

Fencing

- Fencing on all Primary Street or Park Frontages to be either 50% transparent or not to exceed 1.2 metres in height.
- Fencing on secondary street frontages may be permitted where Fitzgibbon Chase Design Guideline approval has been given by an officer of the ULDA Fitzgibbon Chase Development Team.

Definitions:

Loft Homes - A dwelling built above a garage with its own entry door at ground level
Laneway Allotment - Lot serviced by a Laneway
Streets - Roads/Streets other than a Laneway

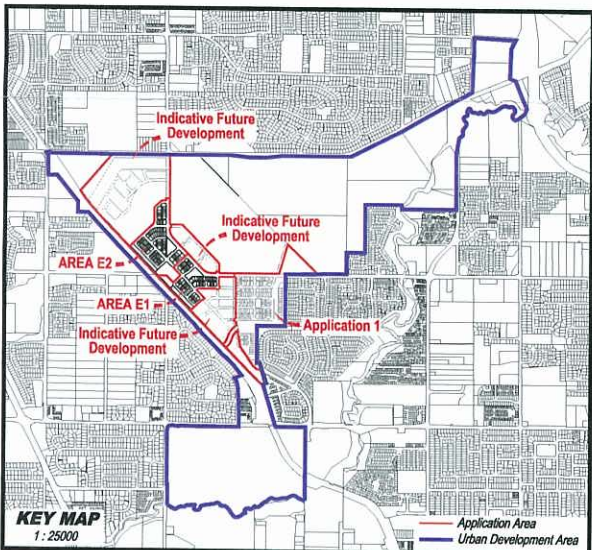
Note:

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North-South Water Pipeline assumed to be re-aligned to eastern trunk road reserve. Subject to confirmation of easement operator & engineering design.

Assumptions have been made in regard to the inclusion of service corridors and easements within proposed allotments, proposed parks and road reserves which need to be confirmed or verified with the appropriate service corridor or easement operator

The boundaries shown on this plan should not be used for final detailed engineers design.



AMENDED IN RED
20 OCT 2010
By: Math Toon (name)
of the ULDA

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 29/10/10

Legend

Stage Boundary

Park / Open Space

Proposed Park / Open Space
Pedestrian Linkage/ Road Reserve

Existing Services

Indicative Water Pipeline Alignment
Indicative High Pressure Gas Pipeline

Setbacks

Laneway Allotments
Building to Boundary Wall
0.0m Setback for Laneways
No Vehicle Access
Primary Frontage



REVISION A: amend notes and setback table add laneway setback B: Amend lot numbers C: Amend Park and medium density D: Amend Busway and adjust lots and stats E: Amend table and Notes as per E1	Level Datum		Date	06 OCTOBER 2010	CLIENT Urban Land Development Authority SITE DEVELOPMENT PLAN - AREA E2 253 TELEGRAPH ROAD, FITZGIBBON LOTS 10 & 11 ON SP 223412	PROJECT PROPOSED SUBDIVISION		 RPS Australia East Pty Ltd ACN 140 292 762 ABN 44 140 292 762 743 Ann Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3237 8899 F +61 7 3237 8833 W rpsgroup.com.au
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			DWG Name.	22743-108-PROP		Rev		
			Local Authority	Urban Land Development Authority		E		
	Scale	Sheet	Locality	FITZGIBBON				
	1 : 1000	A1	Job Reference	22743				