



01

South East View

- Carnegie Street



02

South View

- Carnegie Street



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6 Lorraine Avenue
Marcoola Beach, QLD, 4573
07 5448 8500
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QBCC Licence No. 65942

N	24.11.22	Refuse & parking amendments	ST	DJ
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L	21.11.22	Access paths & refuse Areas amended	ST	DJ
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A	29.07.22	Working Drawing Issue for Coordination	ST	DJ

Issue	Date	Subject	Initial	Auth
Amendments				
Client		SHADFORTH		
		LOTS 1174, 1175, 1176 & 1177 CARNEGIE ST & EDISON CRES, AURA		
Drawing Description				
3D VIEWS - CARNEGIE STREET				
Drawn	ST	Checked	DJ	
Scale	As Indicated	Date	10 06 21	
Project No.	2021-01	Sheet No.	00	
WORKING DRAWING		Issue	N	

PLANS AND DOCUMENTS
referred to in the PDA
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Approval no: DEV2022/1348
Date: 8 December 2022



NOTE:

DRAWINGS TO BE COORDINATED
WITH ALL OTHER CONSULTANTS



06

South East View

BUILDING 1



01

South West View

BUILDING 1

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01 South East View
- BUILDING 2



02 South West View
- BUILDING 2

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3D VIEWS - BUILDING 2				
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01 South East View

BUILDING 3



02 South West View

BUILDING 3

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WORKING DRAWING		Issue	N	

FLOOR PLAN NOTES

ALL CONSTRUCTION TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA REQUIRMENTS & RELEVANT AUSTRALIAN STANDARDS.

CONTRACTOR TO CONFIRM ALL DIMENSIONS & LEVELS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK INCLUDING BOUNDARY LINES & PEGS.

CONTRACTOR ALSO TO CONFIRM PRESENCE OF ANY EXISTING SERVICES BEFORE COMMENCING WORKS.

DIMENSIONS TAKE PREFERENCE OVER SCALE. DO NOT SCALE OFF DRAWING.

REFER TO CONSULTING ENGINEERS DRAWINGS FOR ALL CIVIL, STRUCTURAL DETAILS & HYDRAULIC ENGINEERS DRAWINGS FOR ALL HYDRAULIC DETAILS.

SHOULD SITE CONDITIONS DIFFER FROM THOSE INDICATED SEEK INSTRUCTIONS FROM DESIGNER.

REFER FLOOR PLAN FOR POSITIONS OF PORTABLE FIRE EXTINGUISHERS & FIXED EMERGENCY LIGHTING

PORTABLE FIRE EXTINGUISHERS TO BE INACCORDANCE WITH NCC E1.6 2019. ADDITIONAL EXTINGUISHERS MAY BE REQUIRED DEPENDING ON TENANCY LAYOUT & ASSOCIATED BUSINESS USES.

MECHANICAL VENTILATION TO AS. 1668.2 & AS/NZS 3666.1 AS INDICATED. MIN 25 l/s EXHAUST FLOW RATE TO ALL WC'S.

PHYSICAL TERMITE BARRIER SYSTEM TO BE USED IN ACCORDANCE WITH AS. 3660.1. ALL TIMBER TREATED H2/H3 AGAINST TERMITES.

LIGHTING TO AS/NZS 1680.0 & NCC 2019 J6

ALL EXIT DOORS TO COMPLY WITH NCC 2019 CLAUSES D2.10, D2.19 & D2.21 DOOR HARDWARE TO ALL EXIT DOORS TO COMPLY WITH NCC 2019 CLAUSE D2.20

PROVIDE ROOF SAFTEY MESH TO AS/NZS 4389 (1996)

TIMBER/STEEL STUD PARTITIONING TO TOILETS. CEILING HEIGHT 2700mm MIN. WALLS AND CEILING LINED WITH WATER PROOF PLASTERBOARD.

FIX PLASTERBOARD CEILING OVER AMENITY AREAS (TYP) WATERPROOF WET AREAS TO AS 3740 AND TO COMPLY WITH NCC 2019 CLAUSE F1.7

ROOF INSULATION R2.5 "ANTICON" FOIL BACKED FIBRE GLASS INSULATION

PROVIDE NON-COMBUSTIBLE MINERAL FIBRE INSULATION UNDERNEATH ROOF SHEETING TO SEAL ALL FIRE WALLS. (CSR BRADFORD FIRE SEAL OR EQUIVALENT)

UNISEX ACCESSIBLE FACILITIES TO AS 1428.1, 2009

FIRE HYDRANTS INSTALLED TO ENGINEERS DETAIL. REFER HYDRAULICS ENGINEER DRAWINGS FOR POSITION OF FIRE HYDRANTS

ROOF PLAN NOTES

ALL GUTTER AND DOWNPIPES SIZES AND DETAILS TO HYDRAULIC ENGINEERS DETAILS
FALL PROTECTION TO NCC 2016-VOLUME ONE APPENDICES. QLD PART G.101. CERTAIN ATTACHMENTS.
QLD G101.1 PREVENTION OF FALLS FROM BUILDINGS OR STRUCTURES.

WHERE A PERSON IS EXPOSED TO THE HAZARD OF FALLING FROM A BUILDING OR MAINTENANCE WORK IS BEING CARRIED OUT-

(A) A WORK SYSTEM DESIGNED TO PREVENT SUCH FALLS MUST BE USED; & (B) WHERE SAFETY ANCHORAGE POINTS ARE USED THEY MUST BE POSITIONED ON THE BUILDING OR STRUCTURE SO THAT A LIFELINE OR SAFETY HARNESS MAY BE ATTACHED BEFORE PROCEEDING T O A POINT WHERE IT IS POSSIBLE TO FALL; &

(C) ANCHORAGE POINTS FOR THE ATTACHMENT OF SAFETY HARNESS MUST COMPLY WITH AS 2625.

NOTE:
DRAWINGS TO BE COORDINATED
WITH ALL OTHER CONSULTANTS

CONSTRUCTION GENERALLY

THE BUILDER SHALL BE RESPONSIBLE FOR MAINTAINING STABILITY OF THE STRUCTURE UNTIL COMPLETION OF CONSTRUCTION AND SHALL ENSURE THAT NO PART OF THE STRUCTURE IS OVER STRESSED BY CONSTRUCTION LOADING.

STRUCTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS DRAWINGS AND SPECIFICATIONS.

ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES OF PRACTICE EXCEPT WHERE VERIFIED BY THE SPECIFICATIONS AND DRAWINGS.

AS 1720 - TIMBER STRUCTURES
AS 3600 - CONCRETE STRUCTURES AS 4100 - STEEL STRUCTURES
NATIONAL CONSTRUCTION CODE OF AUSTRALIA

REMOVE ALL VEGETATION AND TOPSOIL WITHIN THE AREA THAT THE BUILDING IS TO OCCUPY. CUT OR FILL TO LEVELS SHOWN IN THE DRAWINGS. MATERIAL TO BE USED AS FILL SHOULD BE APPROVED BY THE ENGINEER AND COMPACTED AS SPECIFIED.

PROVIDE EROSION AND SEDIMENT CONTROL STRUCTURES AND MAINTAIN IN A FUNCTIONAL CONDITION TO LOCAL AUTHORITY REQUIREMENTS.

OPENINGS IN EXTERNAL WALL CLADDING EXPOSED TO THE WEATHER MUST BE FLASHED USING MATERIALS THAT COMPLY WITH AS 2904.

RETICULATE STORMWATER TO STREET CHANNEL, APPROVED EASEMENT OR OTHERWISE AS DIRECTED BY THE LOCAL AUTHORITY & DESIGNED BY THE HYDRAULIC ENGINEER.

SEWERAGE DISPOSAL SHALL BE AS DESIGNED BY THE HYDRAULIC ENGINEER.

NOTE:

STAIRS:
BUILDER TO ENSURE A MIN 1000mm CLEAR WIDTH BETWEEN HANDRAILS ON STAIRS

HALWAYS:
BUILDER TO ENSURE MIN. 1220mm CLEAR BETWEEN INTERNAL HALLWAY WALL CLADDING

FIRE RATED WALLS

ALL CONCRETE TILT UPFIRE RATED WALLS OR LIGHTWEIGHT FIRE RATED WALLS TO FINISH AT THE UNDERSIDE OF ROOF SHEETING.

NOTE: ENGINEER TO DESIGN ROOF FRAME TO ENABLE WALLS TO EXTEND UP TO UNDERSIDE OF ROOF SHEETING

RP DESCRIPTION

LOT 1174, 1175, 1176 & 1177
REGISTERED PLAN: SP 305381
LOCALITY: Baringa
LOCAL AUTHORITY: Sunshine Coast Regional Council

SITE AREA - LOT 1074 1,506sqm
SITE AREA - LOT 1075 1,506sqm
SITE AREA - LOT 1076 1,506sqm
SITE AREA - LOT 1077 1,649sqm

TOTAL SITE AREA 6,167sqm

AREA SCHEDULE

	Level 1	Mezz.
TENANCY 1	854m ²	143m ²
TENANCY 2	900m ²	
TENANCY 3	678m ²	95m ²
TENANCY 4	1,096m ²	130m ²
SUB-TOTAL	3,528m ²	368m ²
TOTAL GFA	3,528 + 368 =	3,896m ²
CAR PARKING CALCULATIONS	TRADE & HARDWARE SUPPLIES CARPARKING REQUIRES 1 SPACE PER 50 UP TO 500 THEN 1 SPACE PER 100 THEREAFTER 500m ² = 10 CARS 3,396m ² = 33.96CARS	
CARPARKING REQUIRED	=	43.96 SPACES
TOTAL CARPARKING ACHIEVED	=	44 SPACES
TOTAL SITE COVER	57.20%	3,528m ²
LANDSCAPE REQUIRED	10.0 %	616.7m2
LANDSCAPE PROVIDED	10.03%	619.0m2
BICYCLES PROVIDED (internally)		8
SITE IMPERVIOUS AREA	89.86%	5,541.5m2

FIRE COMPARTMENTS OR ATRIA AREAS

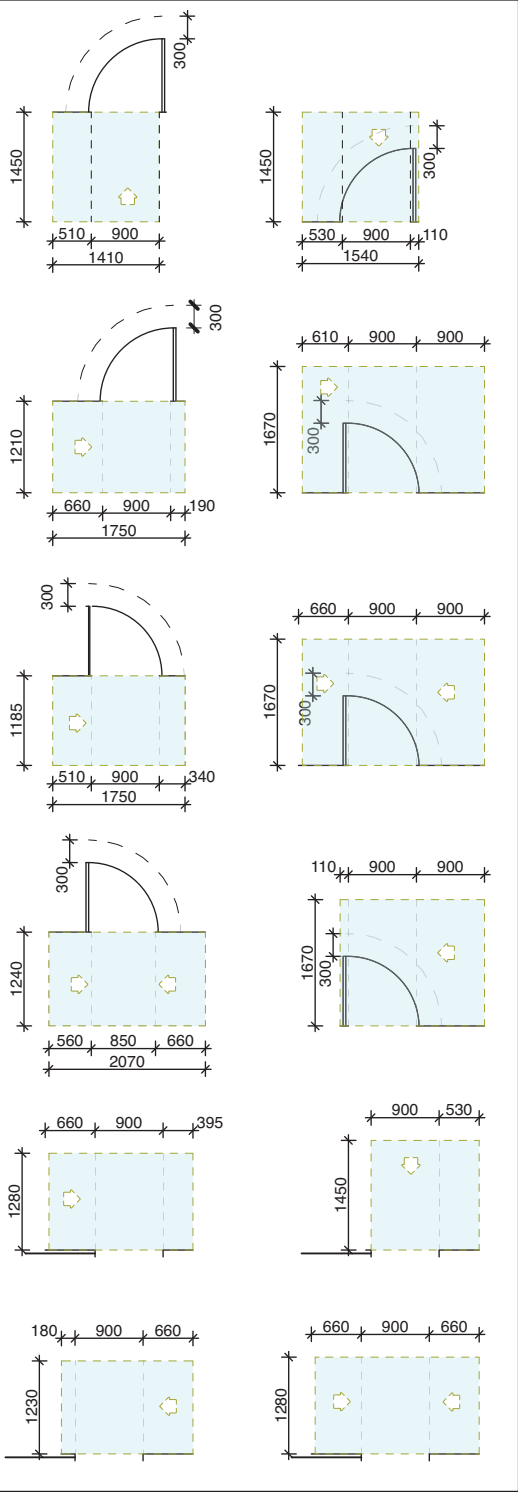
TYPE C CONSTRUCTION - MAX FLOOR AREA 2,000m²
CLASS 7 & 8 - MAX VOLUME 12,000m³

AREAS

BUILDING 1 = 998m² (49.90% of Allowable)
BUILDING 2 = 1,673m² (83.65% of Allowable)
BUILDING 3 = 1,226m² (61.30% of Allowable)

VOLUME

BUILDING 1 = VOLUME 5,862.00m³ (48.85% of Allowable)
BUILDING 2 = VOLUME 11,061.00m³ (92.17% of Allowable)
BUILDING 3 = VOLUME 8,800.00m³ (73.33% of Allowable)



CIRCULATION

Scale 1:100@ A3

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LANDSCAPE DESIGN

Design Intent: to create a pleasant streetscape environment and landscaped open space, which enhances the attractiveness of Aura.

LANDSCAPING

Landscaping practices are encouraged to achieve the following goals;

- to reduce the amount of potable water used in landscaping and to maximise opportunities for rainwater harvesting and reuse;
- limit the use of turf such that it does not represent more than 30% of the total landscaping within a lot; and
- use of species such that at least 90% of total site landscaping is drought tolerant.

To encourage practices that reduce the amount of topsoil and fill removed from the lot. Where practical, topsoil is to remain on the lot and utilised in garden areas to promote positive plant growth and aid in decreasing surface runoff and erosion control.

LANDSCAPE DENSITY

- At least 10% of the site is to be landscaped for lots greater than 2200m2 or a minimum of 5% of the site is landscaped for lots less than 2200m2. Landscaped areas must comprise soft native landscaping and must be a minimum of 1 metre wide to be included in the 5-10% calculation for the lot landscaped area (percentage dependent on site area).
- A landscape strip is to be provided within the site boundary measuring a minimum width of 2 metres to both principal and secondary street frontages.
- A minimum of 70% of the lot landscaping requirement is to be located between the building and the principal street frontage.
- Where lots have two street frontages, landscaping can be calculated using both principal and secondary street frontages.
- Trees are to be provided every 9 lineal metres minimum of street frontage.
- There must be a minimum of 3 x 1.5m plants or trees (at time of planting).
- Plant selection must be made up of 90% native drought tolerant species. Landscaping is to be provided to all public areas and is to be maintained in perpetuity to a high level which enhances the overall amenity of the streetscape.
- Trees, shrubs and ground covers must be the following minimum container sizes (at planting):-
 - trees to all frontages – 100 ltr
 - trees to entrances to Buildings – 200 ltr
 - all other trees – 45 ltr
- ground covers must partially screen and soften the appearance of any fencing to the street frontage.

LANDSCAPE WITHIN CARPARK AREA

Shade trees must be planted in car parks at a rate of one (1) tree per six (6) car parking spaces.

Landscaping must not impede the function of or access to services facilities and sight lines for vehicle movements.

Landscaping must provide good sight lines for vehicle and non-vehicular access to the lot and must:

- avoid dense screening to pathways;
- ensure all surfaces are stable and do not exceed maximum gradients; and
- guide direction of movement through the site.

BICYCLE PARKING

- Bicycle parks must be included per premise and must be in accordance with the rates prescribed by the endorsed Plan of Development for Precincts 3, 4, 5 and Part 6, as provided at Appendix C of this document.

NOTE:
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FENCING TYPICAL NOTES

Design intent:
All fencing is to be of a design that provides for maximum security and /or seperation without adversely affecting overall amenity and streetscape quality providing a consistent and uniform presentation.

Street front fencing

- Street frontages may be unfenced or where street frontage fencing is required for security purposes, it should be transparent (minimum 70 per cent transparent).
- Where fencing is provided, it should be:
black powder coated palisade type fencing as shown in Appendix E.
- Have a maximum height of 1800mm to public areas and 2000mm to private areas.
- maximum fence post spacing is to be 2.4m with support posts size set in accordance with selected manufacturer’s requirements.
- Fencing to all street frontages must be located a minimum of 1.0m from the lot boundary to allow for landscape buffer.
- Gates must open inward or be sliding to avoid any pedestrian or vehicle conflicts.

Side & rear boundary fencing

- Fencing materials must be in keeping with the high amenity value of the built form.
- Acceptable fencing materials for rear and side boundaries include but are not limited to:
 - black coated wire mesh;
 - black powder coated palisade type fencing; and
 - rendered and painted masonry.
- Unacceptable fencing materials include:
 - Colorbond panels;
 - barbed wire; and
 - CCA treated timber; and
 - uncoated wire mesh

-All fencing must have a height of no greater than 1.8m to Public Areas and 2m to all other areas.

WATER EFFICIENCY

All lots within the Aura Business Park must include a water tank and include the following requirements:

- 50% of roof to drain to tank(s);
- a 5,000L tank is to be provided at a minimum. For premises with more than 5 toilets, the tank must be increased in size by 1,000 ltrs per toilet use.

To reduce the amount of potable water used in bathrooms, toilets and kitchen areas, provide tapware, sanitary fittings, fixtures and appliances with a minimum WELS rating of 3 stars or better.

NOTE***

5000L MIN RAINWATER TANK TO BE PROVIDED TO COMPLY WITH SECTION 9 OF THE AURA BUSINESS PARK DESIGN GUIDELINES.

HYDRAULIC ENGINEERS TO ENSURE THE PROPOSED 5000L RAINWATER TANK IS CONNECTED TO CAPTURE 50% OF ROOF WATER AND IS ABLE TO BE RE-USED FOR TOILETS & LANDSCAPING PURPOSES.

FENCING OPTIONS

ACCEPTABLE FENCING OPTIONS IF CLIENT REQUIRES IN THE FUTURE



TIMBER HORIZONTAL BATTEN OR POWDER COATED ALUMINIUM SCREEN FOR REFUSE BIN AREA / WATER TANK



FRONT FENCE & SLIDING GATE
1800h BLACK POWDER COATED PALISADES TYPE FENCING (MIN 70% TRANSPARENT).
1.0m MIN SETBACK OFF FRONT BOUNDARY (IF CLIENT REQUIRES)



SIDE BOUNDARY FENCE
1800mm HIGH BLACK COATED WIRE MESH TO SIDE BOUNDARY (IF CLIENT REQUIRES)

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NOTE:

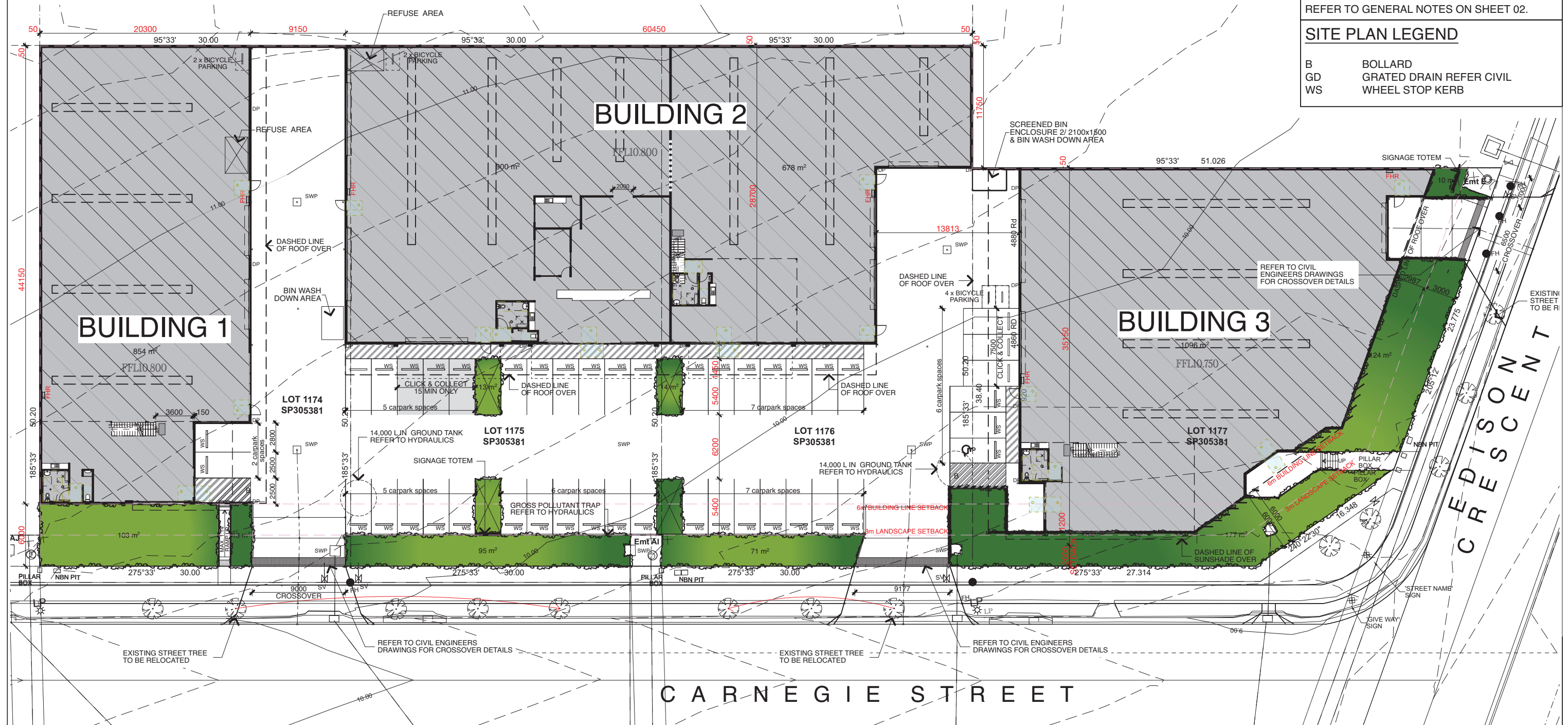
NO EDGE KERB HAS BEEN ALLOWED FOR ALONG CARPARKING & LANDSCAPE

BUILDER TO VERIFY ALL DIMENSIONS & LEVELS ON SITE PRIOR TO ORDERING OF MATERIALS & COMMENCEMENT OF CONSTRUCTION.

FFL'S TBC BY CIVIL ENGINEER
REFER TO GENERAL NOTES ON SHEET 02.

SITE PLAN LEGEND

B	BOLLARD
GD	GRATED DRAIN REFER CIVIL
WS	WHEEL STOP KERB



01 SITE / FLOOR PLAN - LEVEL 1

Scale 1:375 @ A3

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AURADrawn ST Checked DJ
Scale As Indicated Date 24.09.21Project No. 2021-01 Sheet No. 06
WORKING DRAWING Issue N

Drawing Description

SITE / FLOOR PLAN LEVEL 1

<u>SITE PLAN LEGEND</u>	
B	BOLLARD
GD	GRATED DRAIN REFER CIVIL
WS	WHEEL STOP KERB



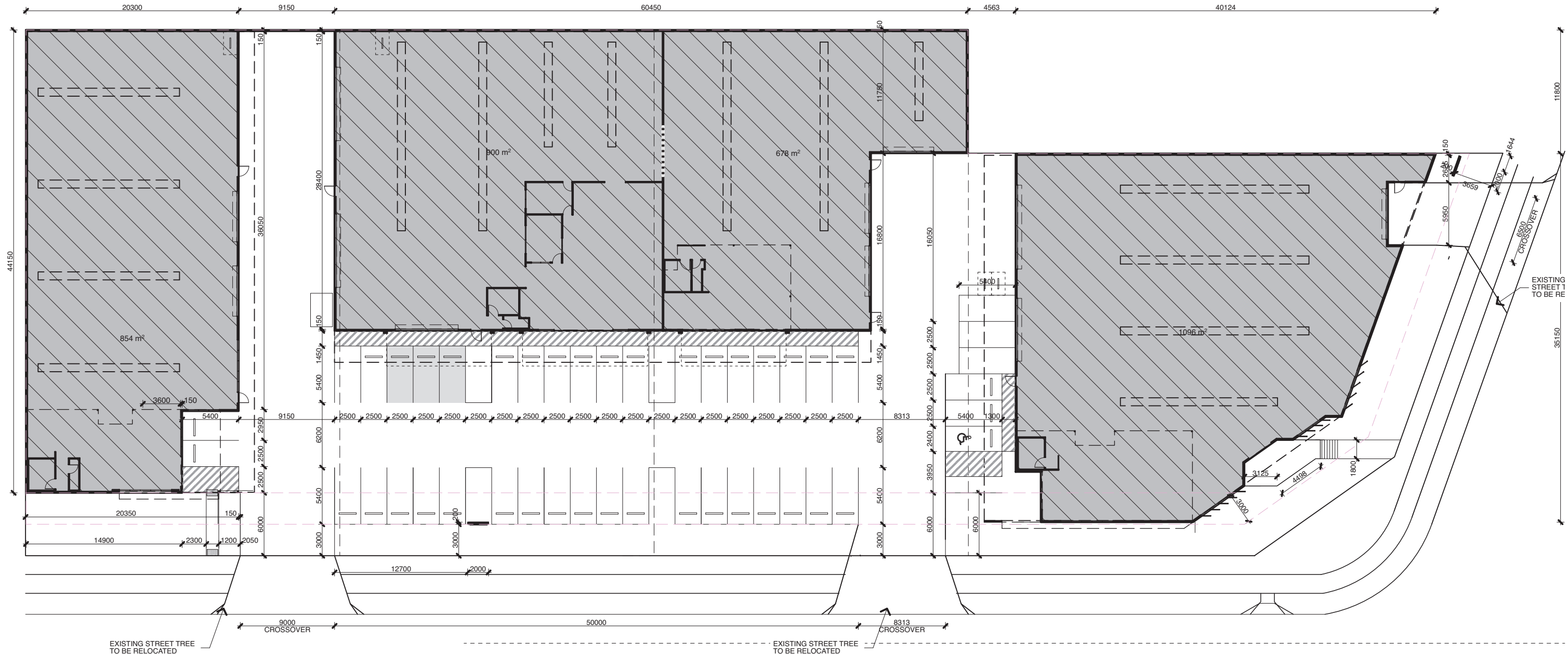
NOTE:
DRAWINGS TO BE COORDINATED
WITH ALL OTHER CONSULTANTS



N	24.11.22	Refuse & parking amendments	ST	DJ	 building suncoast green building design town planning 6 Lorraine Avenue Marcoola Beach, QLD, 4573 07 5448 8500 buildgreen@bigpond.com www.buildingsuncoastgreen.com.au QBCC Licence No. 65942
M	24.11.22	Dimensions to natural ground level	ST	DJ	
L	21.11.22	Access paths & refuse Areas amended	ST	DJ	
K	08.11.22	Existing Ground Lines shown	ST	DJ	
J	20.10.22	Landscape areas & bicycle parks	ST	DJ	
i	10.10.22	Amendments to elevation for approval	ST	DJ	
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B	05.08.22	Landscape areas amendment	ST	DJ	
A	29.07.22	Working Drawing Issue for Coordination	ST	DJ	
Issue Date Subject Initial Auth Amendments					

Client	SHADFORTH	
	LOTS 1174, 1175, 1176 & 1177 CARNEGIE ST & EDISON CRES, AURA	
Drawn	ST	Checked DJ
Scale	As Indicated	Date 24.09.21
Project No.	2021-01	Sheet No. 07
WORKING DRAWING	Issue	N
Drawing Description SITE / FLOOR PLAN / LEVEL 3		

BUILDER TO VERIFY ALL DIMENSIONS & LEVELS
ON SITE PRIOR TO ORDERING OF MATERIALS &
COMMENCEMENT OF CONSTRUCTION.
FFL'S TBC BY CIVIL ENGINEER
REFER TO GENERAL NOTES ON SHEET 02.



01 SITE SETOUT PLAN - LEVEL 1
Scale 1:375 @ A3

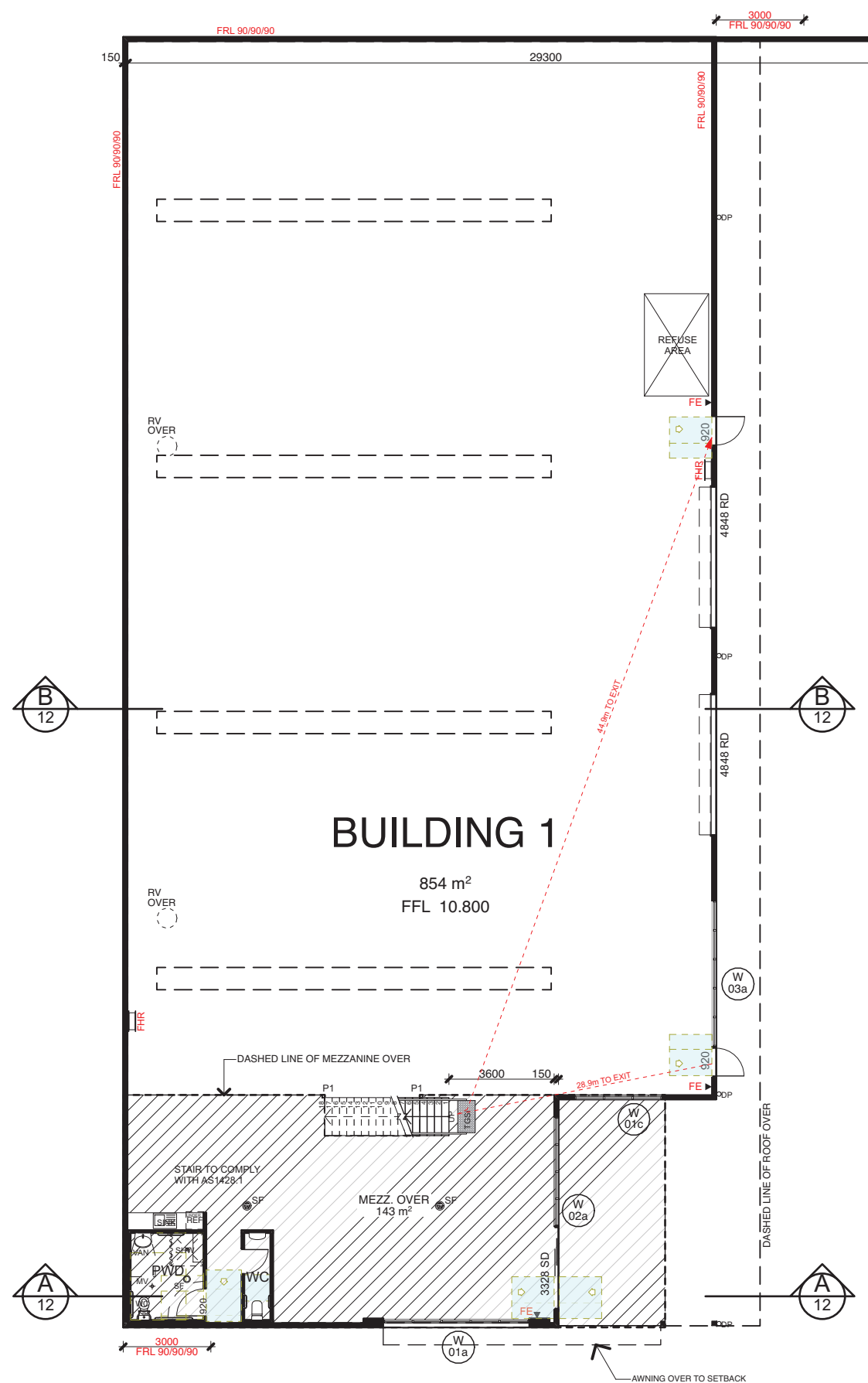
NOTE:
NO EDGE KERB HAS BEEN ALLOWED FOR ALONG
CARPARKING & LANDSCAPE

NOTE:
DRAWINGS TO BE COORDINATED
WITH ALL OTHER CONSULTANTS

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL
Approval no: DEV2022/1348
Date: 8 December 2022



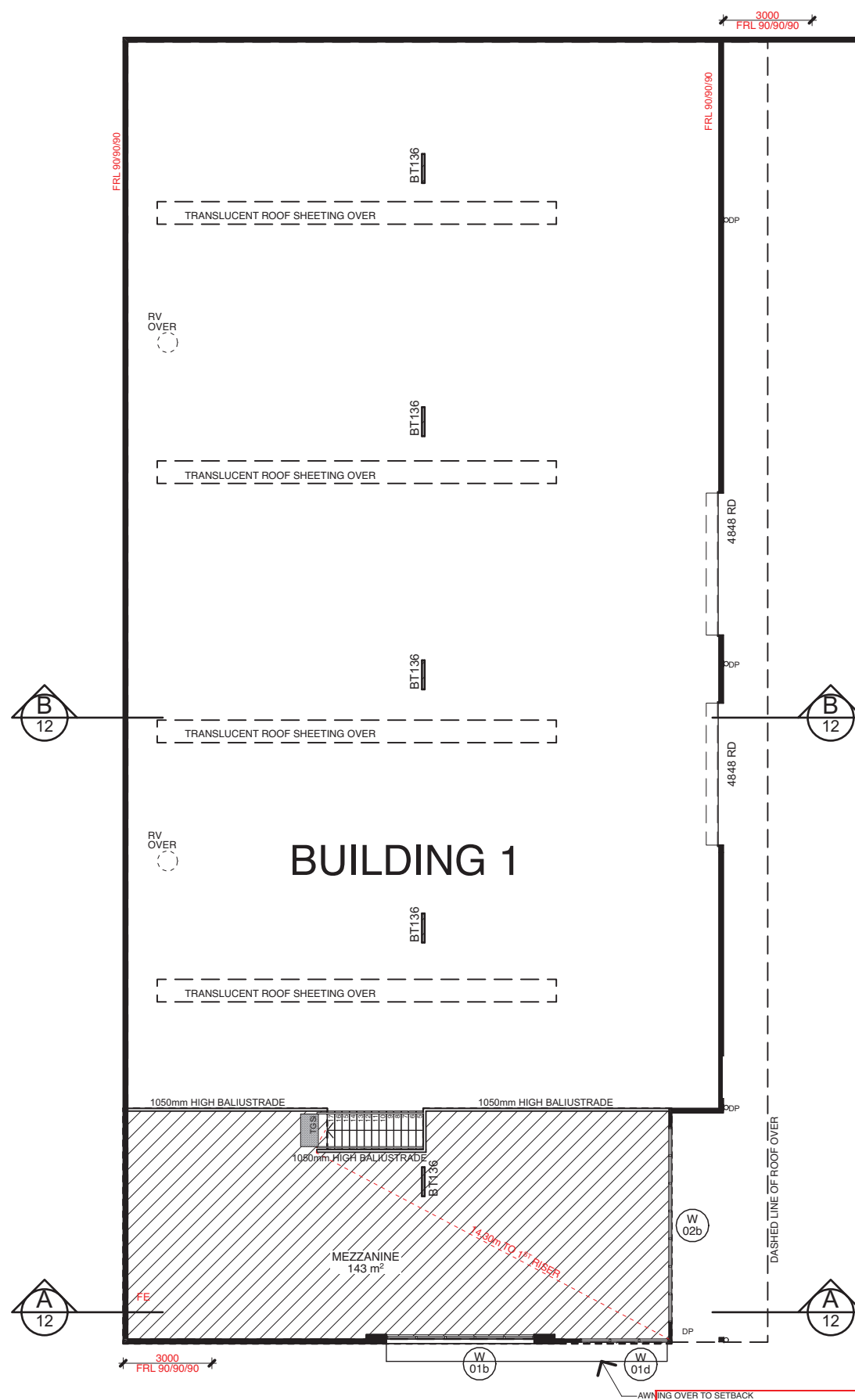
N24.11.22Refuse & parking amendmentsSTDJ M24.11.22Dimensions to natural ground levelSTDJ L21.11.22Access paths & refuse Areas amendedSTDJ K08.11.22Existing Ground Lines shownSTDJ J20.10.22Landscape areas & bicycle parksSTDJ i10.10.22Amendments to elevation for approvalSTDJ H30.09.22Amendments to elevation for approvalSTDJ G29.09.22Amendments to elevation for approvalSTDJ F20.09.22Reissued for approvalSTDJ E20.09.22Client changed & Additional 3D viewsSTDJ D16.09.22Client changed for review onlySTDJ C15.09.22Client changed for review onlySTDJ B05.08.22Landscape areas amendmentSTDJ A29.07.22Working Drawing Issue for CoordinationSTDJ Issue Date Subject Initial Auth Amendments				ClientSHADFORTH LOTS 1174, 1175, 1176 & 1177 CARNEGIE ST & EDISON CRES, AURA		building suncoast green building design town planning 6 Lorraine Avenue Maroochiba Beach, QLD, 4573 07 5448 8500 buildgreen@bigpond.com www.buildingsuncoastgreen.com.au QBCC Licence No. 65942
DrawnST CheckedDJ ScaleAs Indicated Date24.09.21 Project No. 2021-01 Sheet No. 08 WORKING DRAWING IssueN		Drawing Description SITE SETOUT PLAN LEVEL 1				



01 FLOOR PLAN LEVEL 1
BUILDING 1
Scale 1:200 @ A3

FIRE RATED WALLS
ALL CONCRETE TILT UP FIRE RATED WALLS OR LIGHTWEIGHT FIRE RATED WALLS TO FINISH AT THE UNDERSIDE OF ROOF SHEETING.
NOTE: ENGINEER TO DESIGN ROOF FRAME TO ENABLE WALLS TO EXTEND UP TO UNDERSIDE OF ROOF SHEETING

NOTE:
ALL PARTS OF THE BUILDING TO BE COVERED BY FIRE HOSE REEL & HYDRANT.
REFER TO HYDRAULIC ENGINEERS DRAWINGS FOR TYPE & LOCATION.



02 FLOOR PLAN LEVEL 2
BUILDING 1
Scale 1:200 @ A3

PLANS AND DOCUMENTS referred to in the PDA
DEVELOPMENT APPROVAL
Approval no: DEV2022/1348
Date: 8 December 2022



NOTE:
DRAWINGS TO BE COORDINATED WITH ALL OTHER CONSULTANTS

BUILDER TO VERIFY ALL DIMENSIONS & LEVELS ON SITE PRIOR TO ORDERING OF MATERIALS & COMMENCEMENT OF CONSTRUCTION.

FFL'S TBC BY CIVIL ENGINEER
REFER TO GENERAL NOTES ON SHEET 02.

FLOOR PLAN LEGEND

- P1 100 SHS POST TO ENGINEERS DETAIL
P2 89 SHS POST TO ENGINEERS DETAIL
150mm CONCRETE TILT UP WALL TO ENGINEERS DETAILS
90mm INTERNAL STUD WALLS TO ENGINEERS DETAILS
70mm INTERNAL STUD WALLS TO ENGINEERS DETAILS
90mm STUD WALLS TO ENGINEERS DETAILS MIN FRL 90/90/90
EXIT EMERGENCY EXITS (TENANCY UNDER 300m2): EXIT SIGN TO COMPLY WITH NCC 2016 CLAUSE E4.5. ALL EXIT DOORS TO COMPLY WITH NCC 2016 CLAUSE D2.19, D2.10 & D2.21.
EMERGENCY EXITS (TENANCY OVER 300m2): 10 WATT ILLUMINATED SINGLE SIDED EXIT SIGN MODEL E1112, CLASSIFICATION AS/NZS 2293.1 1998 LIGHTING TO AS/NZS 1680.0
SF STANLITE SF10 NON-MAINTAINED (10W HALOGEN FIXED FLUSH WITH CEILING) TO AS/NZS 2293.1.
BT136 (REQUIRED IF TENANCY IS OVER 300m2) STANLITE BT 136NPR SINGLE 36W NON- MAINTAINED OR ALTERNATIVE BRAND TO SUIT CLASSIFICATION AS 2293:PART 1, MOUNTED AT 6m MAX ABOVE FINISHED FLOOR LEVEL.
MV MECHANICALLY VENTILATED TO AS 1668.2 1991, MIN 25L/S EXHAUST FLOW RATE. CEILING 2400mm HIGH.
FE EXTINGUISHER TYPE: 3A:40B:(E) ENSURE FIRE EXTINGUISHERS ARE WITHIN 4m OF 'EXIT' DOOR. EXTINGUISHER LOCATION SIGN ABOVE IN ACCORDANCE WITH AS 2444-1995
SINK INSTANTANEOUS HWS IN VERMIN PROOF CABINET UNDER SINK (TYP.)
TGSIS TACTILE GROUND SURFACE INDICATORS TO COMPLY WITH AS 1428.4.1
FHR FIRE HOSE REEL WITHIN 4m OF 'EXIT' DOOR

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QBCC Licence No. 65942

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Issue	Date	Subject	Initial	Auth
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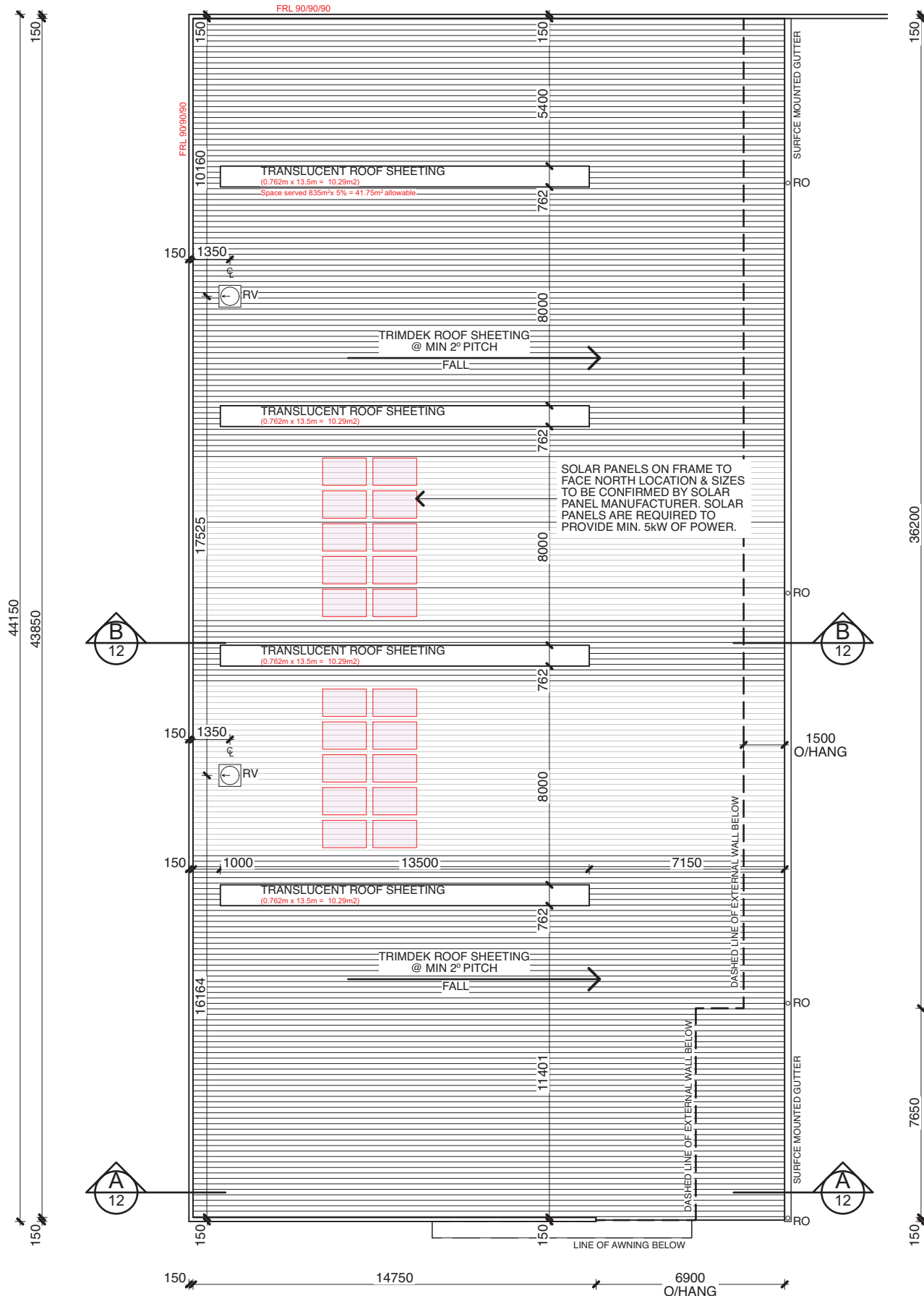
Amendments

Client SHADFORTH
LOTS 1174, 1175, 1176 & 1177
CARNEGIE ST & EDISON CRES,
AURA

Drawing Description

FLOOR PLAN LEVELS 1 & 2 - BUILDING 1

Drawn	ST	Checked	DJ
Scale	As Indicated	Date	10 06 21
Project No.	2021-01	Sheet No.	09
WORKING DRAWING	Issue	N	



01 ROOF PLAN LEVEL 3
BUILDING 1
Scale 1:200 @ A3

NOTE:
ALL PARTS OF THE BUILDING TO BE COVERED BY FIRE HOSE
REEL & HYDRANT.
REFER TO HYDRAULIC ENGINEERS DRAWINGS FOR TYPE &
LOCATION.

BUILDER TO VERIFY ALL DIMENSIONS & LEVELS
ON SITE PRIOR TO ORDERING OF MATERIALS &
COMMENCEMENT OF CONSTRUCTION.
FFL'S TBC BY CIVIL ENGINEER
REFER TO GENERAL NOTES ON SHEET 02.

ROOF PLAN LEGEND

- TRIMDECK PROFILE TRANSLUCENT SHEETING
@ 2 DEGREE PITCH
- RV ROTARY ROOF VENT
- RO ROOF OUTLET
- TOTAL AREA OF TRANSLUCENT ROOF LIGHT
= 41.160m² < 5% FLOOR AREA

ROOF PLAN NOTES

ALL GUTTER AND DOWNPIPES SIZES AND DETAILS TO HYDRAULIC
ENGINEERS DETAILS
ROOFLIGHTS TO COMPLY WITH PART J1.4 OF N.C.C
ROOF LIGHTS MUST HAVE :-
(a) TOTAL AREA OF NO MORE THAN 5% OF THE FLOOR AREA OF
THE ROOM OR SPACE SERVED
(b) TRANSPARENT AND TRANSLUCENT ELEMENTS WITH A
COMBINED PERFORMANCE OF:-
(i) TOTAL SYSTEM SHGC : < / = 0.29
(ii) TOTAL SYSTEM U-VALUE : < U3.9
FALL PROTECTION TO NCC 2016-VOLUME ONE APPENDICES. QLD
PART G.101. CERTAIN ATTACHMENTS.
QLD G101.1 PREVENTION OF FALLS FROM BUILDINGS OR
STRUCTURES.
WHERE A PERSON IS EXPOSED TO THE HAZARD OF FALLING FROM
A BUILDING OR MAINTENANCE WORK IS BEING CARRIED OUT.
(A) A WORK SYSTEM DESIGNED TO PREVENT SUCH FALLS MUST BE
USED; & (B) WHERE SAFETY ANCHORAGE POINTS ARE USED THEY
MUST BE POSITIONED ON THE BUILDING OR STRUCTURE SO THAT
A LIFELINE OR SAFETY HARNESS MAY BE ATTACHED BEFORE
PROCEEDING TO A POINT WHERE IT IS POSSIBLE TO FALL; &
(C) ANCHORAGE POINTS FOR THE ATTACHMENT OF SAFETY
HARNESS MUST COMPLY WITH AS 2625.

PLANS AND DOCUMENTS
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Approval no: DEV2022/1348
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Provide external roof colour
with a solar absorbance not
more than 0.45 (i.e.
avoid excess use of dark
colours and zinalume).

AMENDED IN RED
By: Andrew McKnight
Date: 29 November 2022



SOLAR PANELS

SOLAR PANELS ON FRAME TO FACE NORTH & SIZES TO BE
CONFIRMED BY SOLAR PANEL MANUFACTURER.
ENGINEERS TO NOTE****
LOCATION SHOWN IS A GUIDE ONLY. PANEL AMOUNT LOADS TO BE
CONSIDERED WHEN DESIGNING ROOF FRAME ALSO ROOF FRAME
DESIGN TO ALLOW FOR FUTURE ADDITIONAL SOLAR PANELS.
SOLAR PANELS TO BE INSTALLED UNDER THE MAX. BUILDING HEIGHT.

FIRE RATED WALLS

ALL CONCRETE TILT UP FIRE RATED WALLS OR
LIGHTWEIGHT FIRE RATED WALLS TO FINISH AT THE UNDERSIDE OF
ROOF SHEETING.
*NOTE: ENGINEER TO DESIGN ROOF FRAME TO ENABLE
WALLS TO EXTEND UP TO UNDERSIDE OF ROOF SHEETING*

NOTE:
DRAWINGS TO BE COORDINATED
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Issue Date Subject Initial Auth

Amendments

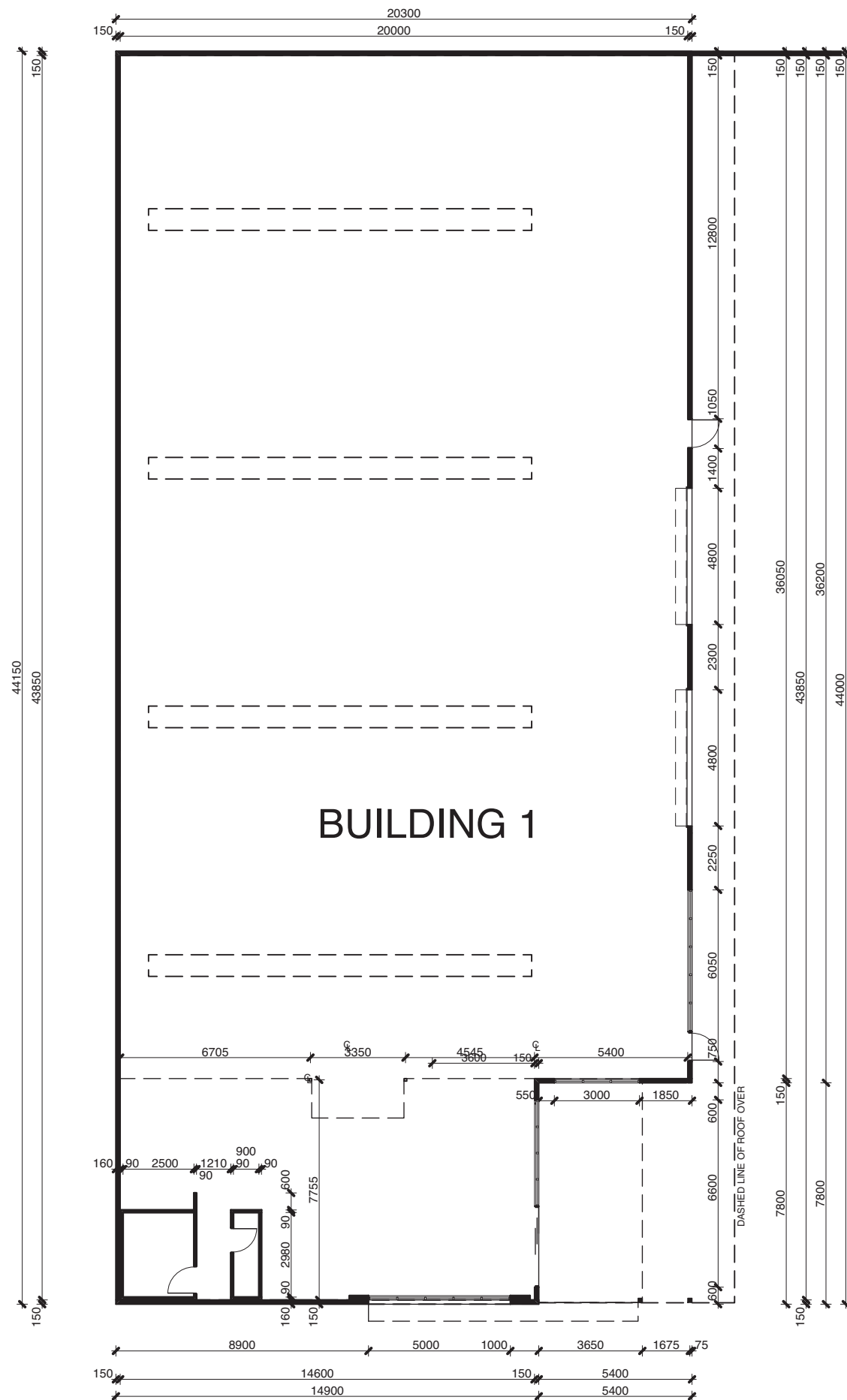
Client SHADFORTH

LOTS 1174, 1175, 1176 & 1177
CARNEGIE ST & EDISON CRES,
AURA

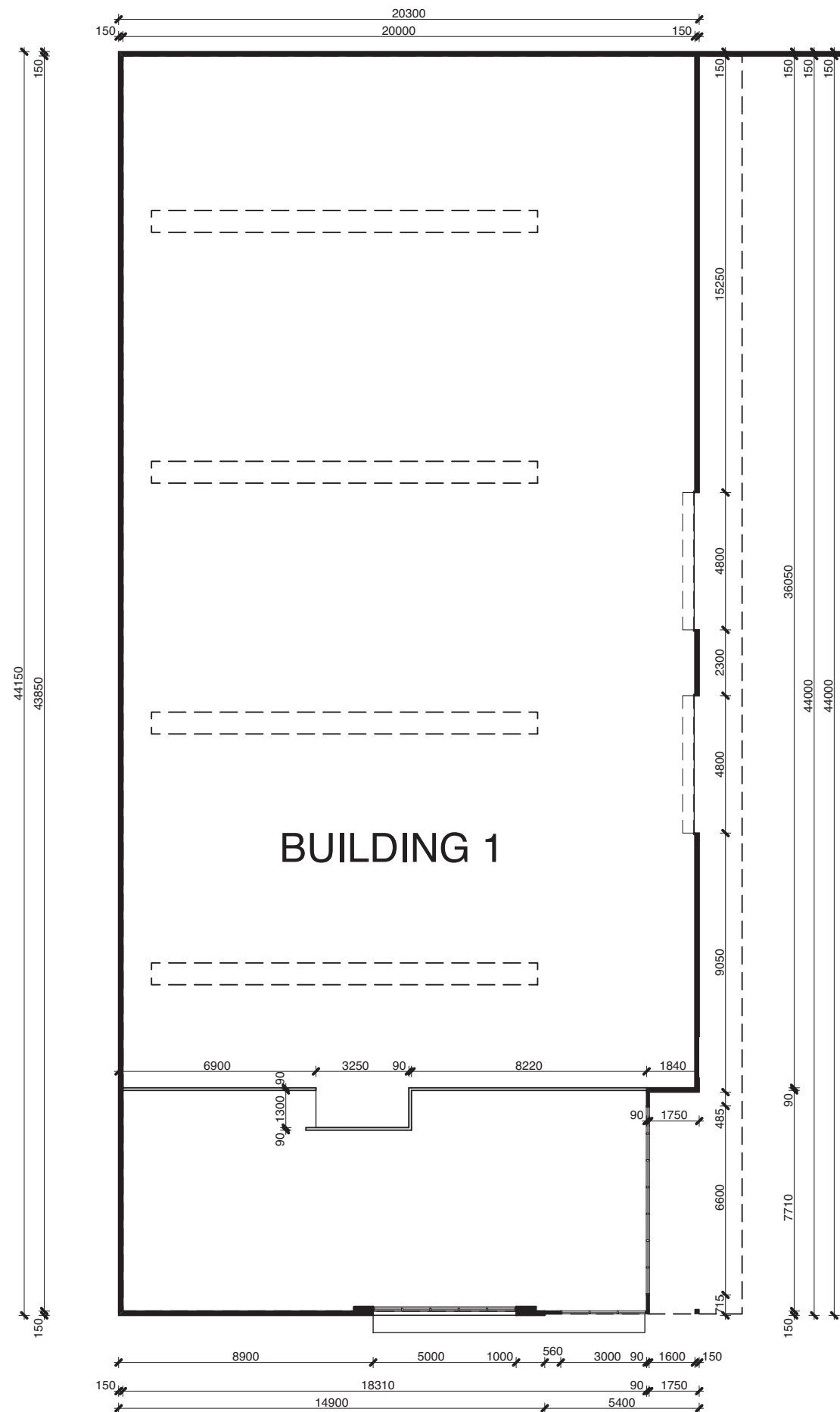
Drawing Description

ROOF LEVEL 3 - BUILDING 1

Drawn	ST	Checked	DJ
Scale	As Indicated	Date	10 06 21
Project No.	2021-01	Sheet No.	10
WORKING DRAWING	Issue		N



01 FLOOR PLAN LEVEL 1
- BUILDING 1 Scale 1:200 @ A3



02 FLOOR PLAN LEVEL 2
- BUILDING 1 Scale 1:200 @ A3

BUILDER TO VERIFY ALL DIMENSIONS & LEVELS
ON SITE PRIOR TO ORDERING OF MATERIALS &
COMMENCEMENT OF CONSTRUCTION.
FFL'S TBC BY CIVIL ENGINEER
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Issue	Date	Subject	Initial	Auth
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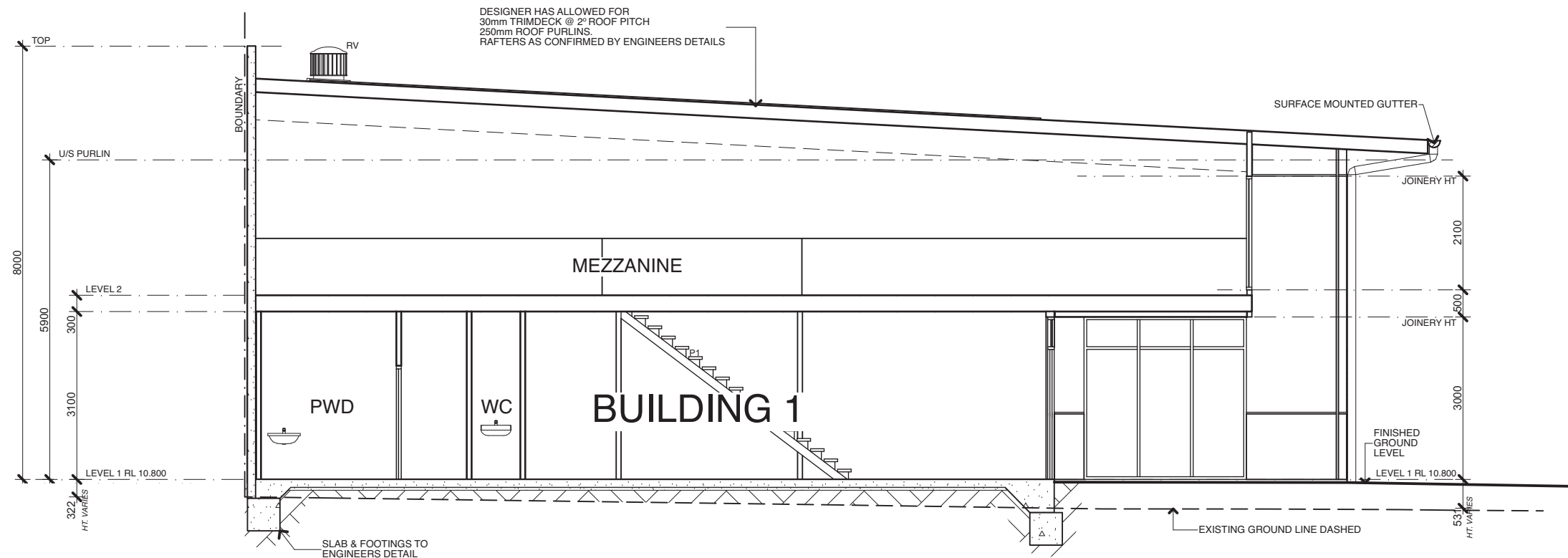
Amendments

Client SHADFORTH
LOTS 1174, 1175, 1176 & 1177
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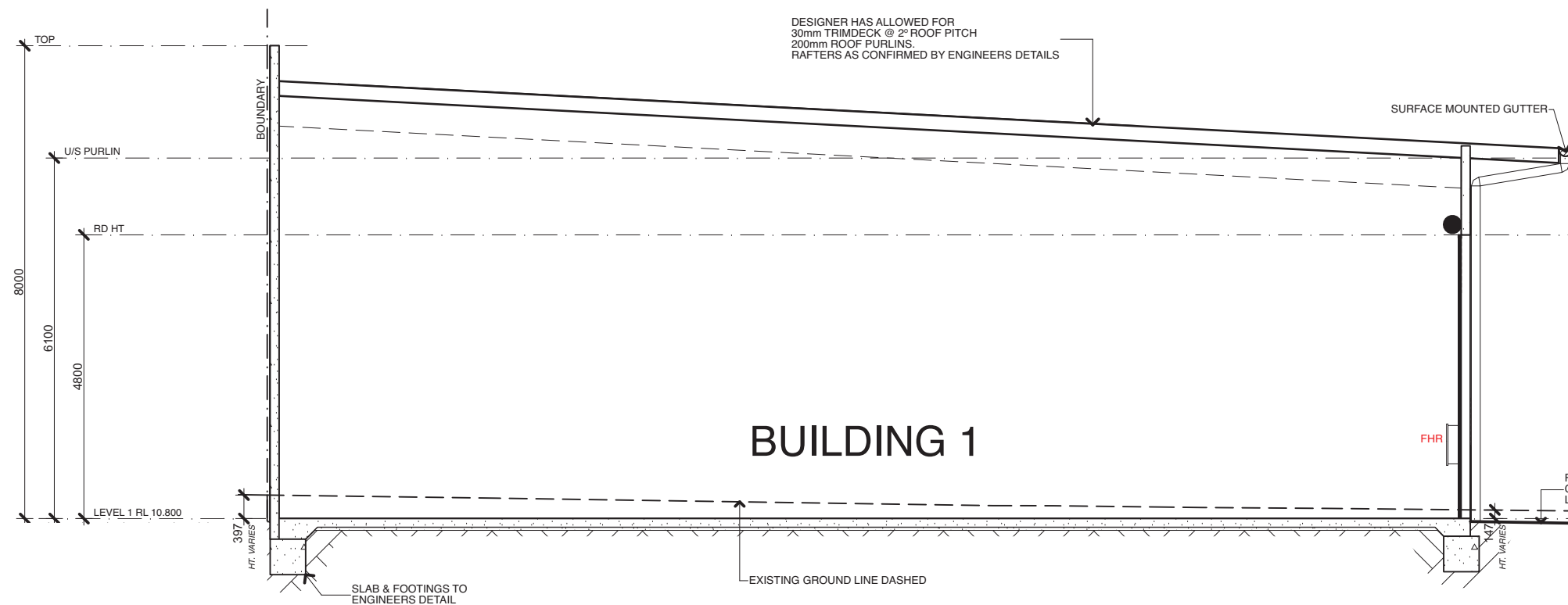
Drawing Description
SETOUT PLAN LEVELS 1 & 2 - BUILDING 1

Drawn	ST	Checked	DJ
Scale	As Indicated	Date	10 06 21
Project No.	2021-01	Sheet No.	11
WORKING DRAWING	Issue	N	

NOTE:
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WITH ALL OTHER CONSULTANTS



01 SECTION A
BUILDING 1 Scale 1:100 @ A3



02 SECTION B
BUILDING 1 Scale 1:100 @ A3

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FFL'S TBC BY CIVIL ENGINEER
REFER TO GENERAL NOTES ON SHEET 02.

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ALL CONCRETE TILT UPFIRE RATED WALLS OR LIGHTWEIGHT FIRE RATED WALLS TO FINISH AT THE UNDERSIDE OF ROOF SHEETING.

NOTE: ENGINEER TO DESIGN ROOF FRAME TO ENABLE WALLS TO EXTEND UP TO UNDERSIDE OF ROOF SHEETING

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Issue Date Subject Initial Auth

Amendments

Client SHADFORTH

LOTS 1174, 1175, 1176 & 1177
CARNEGIE ST & EDISON CRES,
AURA

Drawing Description

SECTIONS - BUILDING 1

Drawn	ST	Checked	DJ
Scale	As Indicated	Date	10 06 21
Project No.	2021-01	Sheet No.	12
WORKING DRAWING	Issue	N	

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2022/1348
Date: 8 December 2022



NOTE:
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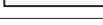


FFL'S TBC BY CIVIL ENGINEER
REFER TO GENERAL NOTES ON SHEET 02.

ELEVATION LEGEND

AF-FG	ALUMINIUM FRAMED FIXED GLASS
AF-HD	ALUMINIUM FRAMED HINGED DOORS
AF-SD	ALUMINIUM FRAMED SLIDING DOOR
AWN	AWNING
CTP	CONCRETE TILT PANEL TO ENG. DETAILS
F-DS	FEATURE DECORATIVE ALUMINIUM SCREEN
F-DB	FEATURE DECORATIVE ALUMINIUM BATTENS
F-CTP	CONCRETE TILT PANEL WITH 20mm GROOVE PATTERN TO ENG. DETAIL
M-FG	METAL FASCIA AND GUTTER
RC-CTW	RAW CONCRETE LOOK CONCRETE TILTUP PANEL TO ENGINEERS DETAIL
RV	ROOF VENT TO ENGINEERS DETAILS
RD	ROLLER DOOR
S-LWC	SELECT LIGHTWEIGHT CLADDING, PAINT FINISH
TRANS	TRANSPARENT ROOF SHEETING / ROOF LIGHT
TRS-2	TRIMDEK ROOF SHEETING @ 2 DEGREES PITCH

COLOUR SELECTION

	PAINT - DULUX 'VIVID WHITE'
	PAINT - SURFMIST
	PAINT - MONUMENT
	PAINT - DULUX 'WESTERN MYALL'
	PAINT - IVORY BLACK
	PAINT - VERMILLION
	PAINT - DULUX 'ORANGE DROP'



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Issue	Date	Subject	Initial	Auth
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Amendments

Client	SHADEORTH
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LOTS 1174, 1175, 1176 & 1177
CARNEGIE ST & EDISON CRES,
AURA

Drawing Description

ELEVATIONS - BUILDING 1

Drawn	ST	Checked	DJ
Scale	As Indicated	Date	10 06 21
Project No.	2021-01	Sheet No.	13
WORKING DRAWING		Issue	N

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2022/1348

Date: 8 December 2022



NOTE:

**DRAWINGS TO BE COORDINATED
WITH ALL OTHER CONSULTANTS**

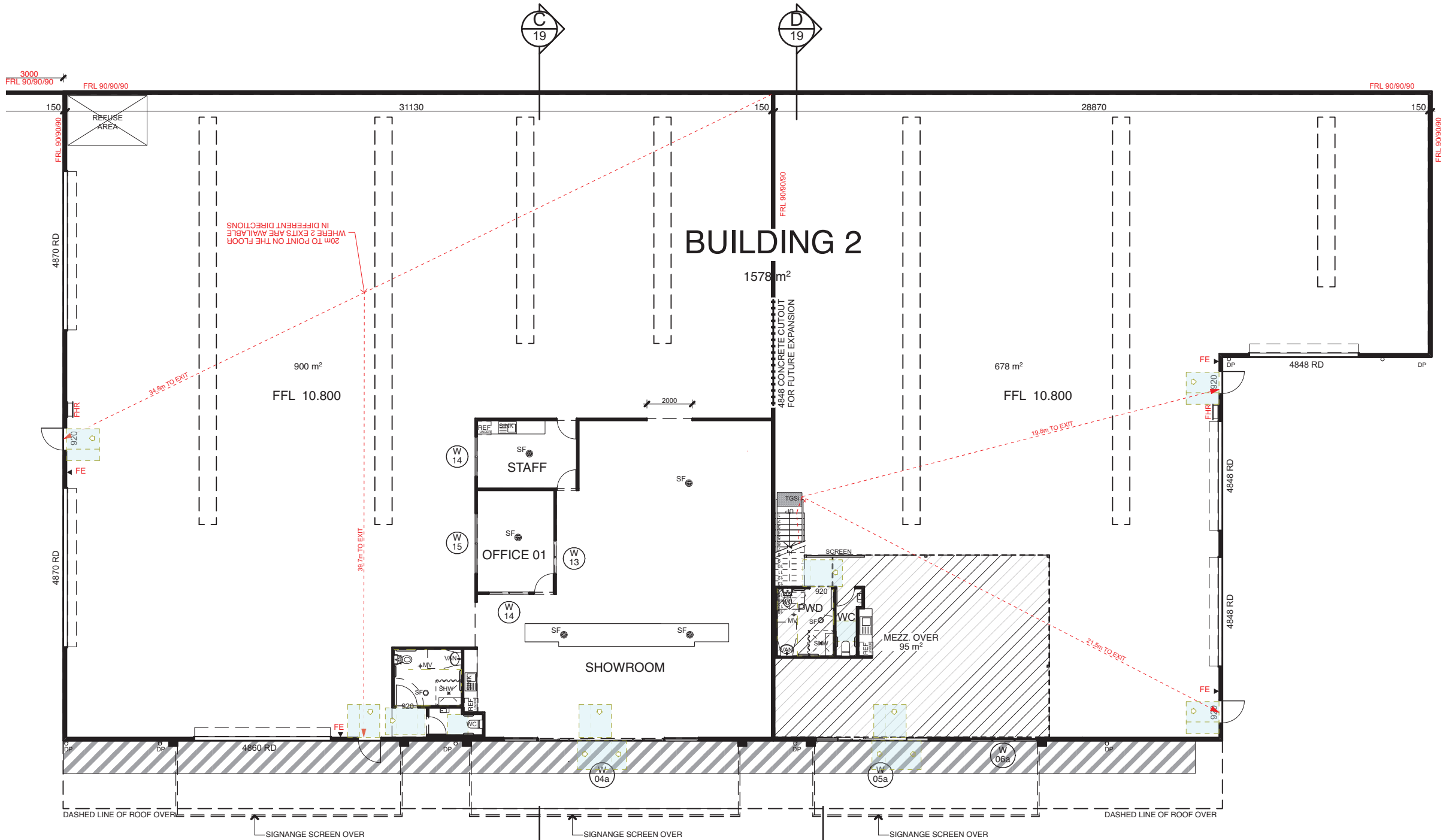
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FLOOR PLAN LEGEND

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150mm CONCRETE TILT UP WALL TO ENGINEERS DETAILS
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TACTILE GROUND SURFACE INDICATORS TO COMPLY WITH AS 1428.4.1
FHR FIRE HOSE REEL WITHIN 4m OF 'EXIT' DOOR

FIRE RATED WALLS

ALL CONCRETE TILT UP FIRE RATED WALLS OR LIGHTWEIGHT FIRE RATED WALLS TO FINISH AT THE UNDERSIDE OF ROOF SHEETING.
NOTE: ENGINEER TO DESIGN ROOF FRAME TO ENABLE WALLS TO EXTEND UP TO UNDERSIDE OF ROOF SHEETING



01 FLOOR PLAN LEVEL 1
BUILDING 2 Scale 1:200 @ A3

NOTE:
DRAWINGS TO BE COORDINATED WITH ALL OTHER CONSULTANTS

NOTE:
ALL PARTS OF THE BUILDING TO BE COVERED BY FIRE HOSE REEL & HYDRANT. REFER TO HYDRAULIC ENGINEERS DRAWINGS FOR TYPE & LOCATION.



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B	05.08.22	Landscape areas amendment	ST	DJ
A	29.07.22	Working Drawing Issue for Coordination	ST	DJ
Issue Date Subject Initial Auth				
Amendments				

Client SHADFORTH	
LOTS 1174, 1175, 1176 & 1177 CARNEGIE ST & EDISON CRES, AURA	
Drawn ST	Checked DJ
Scale As Indicated	Date 24.09.21
Project No. 2021-01	Sheet No. 14
WORKING DRAWING	Issue N
Drawing Description	
FLOOR PLAN LEVEL 1 - BUILDING 2	

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL
Approval no: DEV2022/1348
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building
suncoast
green

6 Lorraine Avenue
Maroochiba Beach, QLD, 4573
07 5448 8500
buildgreen@bigpond.com
www.buildingsuncoastgreen.com.au
QBCC Licence No 65942

BUILDER TO VERIFY ALL DIMENSIONS & LEVELS ON SITE PRIOR TO ORDERING OF MATERIALS & COMMENCEMENT OF CONSTRUCTION.
FFL'S TBC BY CIVIL ENGINEER
REFER TO GENERAL NOTES ON SHEET 02.

FLOOR PLAN LEGEND

- P1 100 SHS POST TO ENGINEERS DETAIL
P2 89 SHS POST TO ENGINEERS DETAIL
150mm CONCRETE TILT UP WALL TO ENGINEERS DETAILS
90mm INTERNAL STUD WALLS TO ENGINEERS DETAILS
70mm INTERNAL STUD WALLS TO ENGINEERS DETAILS
90mm STUD WALLS TO ENGINEERS DETAILS MIN FRL 90/90/90
EXIT EMERGENCY EXITS (TENANCY UNDER 300m2): EXIT SIGN TO COMPLY WITH NCC 2016 CLAUSE E4.5 . ALL EXIT DOORS TO COMPLY WITH NCC 2016 CLAUSE D2.19, D2.10 & D2.21.
EMERGENCY EXITS (TENANCY OVER 300m2): 10 WATT ILLUMINATED SINGLE SIDED EXIT SIGN MODEL E1112, CLASSIFICATION AS/NZS 2293.1 1998 LIGHTING TO AS/NZS 1680.0
SF STANLITE SF10 NON-MAINTAINED (10W HALOGEN FIXED FLUSH WITH CEILING) TO AS/NZS 2293.1.
BT136 (REQUIRED IF TENANCY IS OVER 300m2) STANLITE BT 136NPR SINGLE 36W NON- MAINTAINED OR ALTERNATIVE BRAND TO SUIT CLASSIFICATION AS 2293:PART 1. MOUNTED AT 6m MAX ABOVE FINISHED FLOOR LEVEL.
MV MECHANICALLY VENTILATED TO AS 1668.2 1991, MIN 25L/S EXHAUST FLOW RATE. CEILING 2400mm HIGH.
FE EXTINGUISHER TYPE: 3A:40B:(E) ENSURE FIRE EXTINGUISHERS ARE WITHIN 4m OF 'EXIT' DOOR. EXTINGUISHER LOCATION SIGN ABOVE IN ACCORDANCE WITH AS 2444-1995
SINK INSTANTANEOUS HWS IN VERMIN PROOF CABINET UNDER SINK (TYP.)
TGSIS TACTILE GROUND SURFACE INDICATORS TO COMPLY WITH AS 1428.4.1
FHR FIRE HOSE REEL WITHIN 4m OF 'EXIT' DOOR

FIRE RATED WALLS

ALL CONCRETE TILT UP FIRE RATED WALLS OR LIGHTWEIGHT FIRE RATED WALLS TO FINISH AT THE UNDERSIDE OF ROOF SHEETING.
NOTE: ENGINEER TO DESIGN ROOF FRAME TO ENABLE WALLS TO EXTEND UP TO UNDERSIDE OF ROOF SHEETING

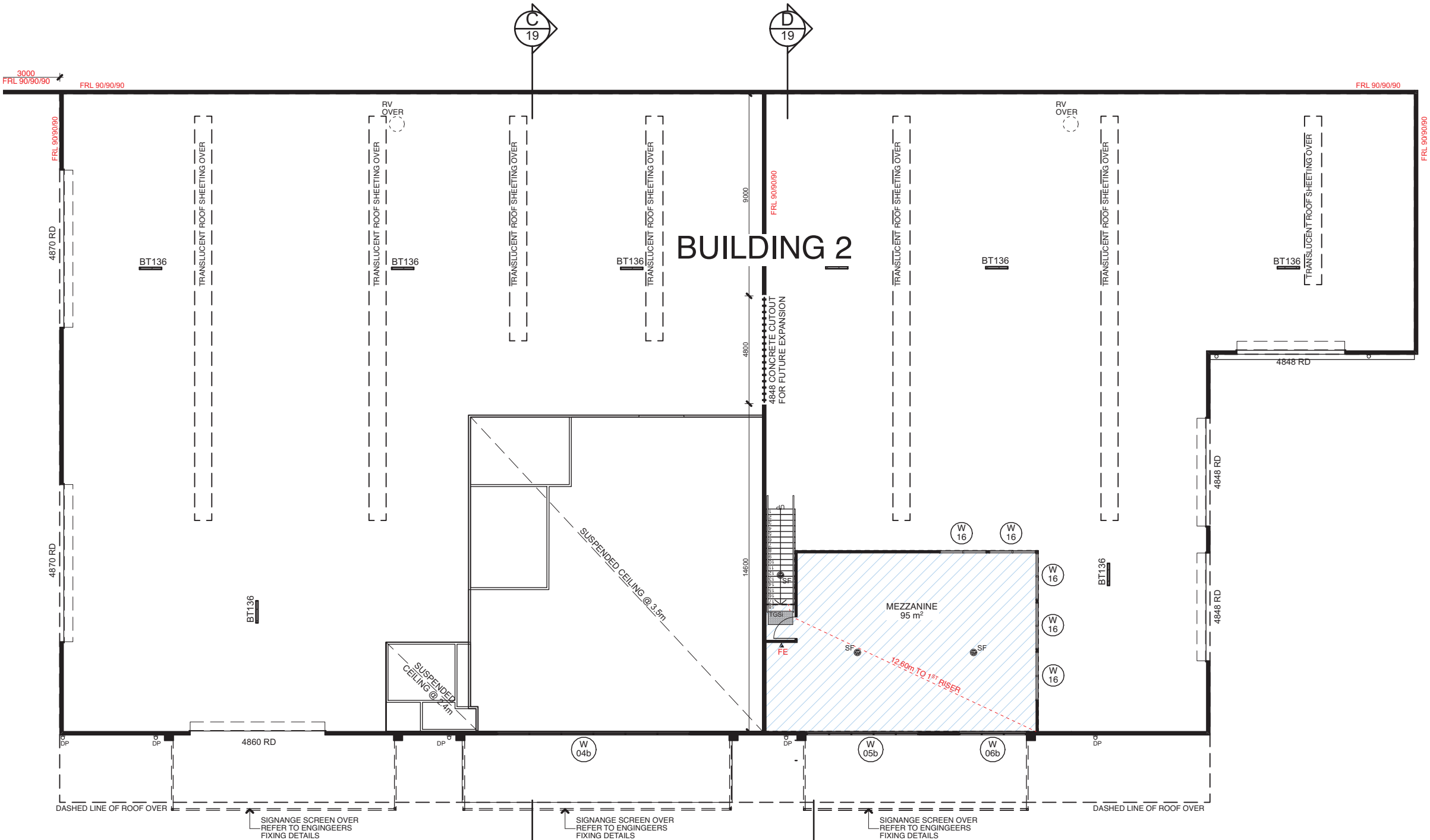
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

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building suncoast green

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buildgreen@bigpond.com
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01 FLOOR PLAN LEVEL 2
BUILDING 2 Scale 1:200 @ A3

NOTE:
DRAWINGS TO BE COORDINATED WITH ALL OTHER CONSULTANTS

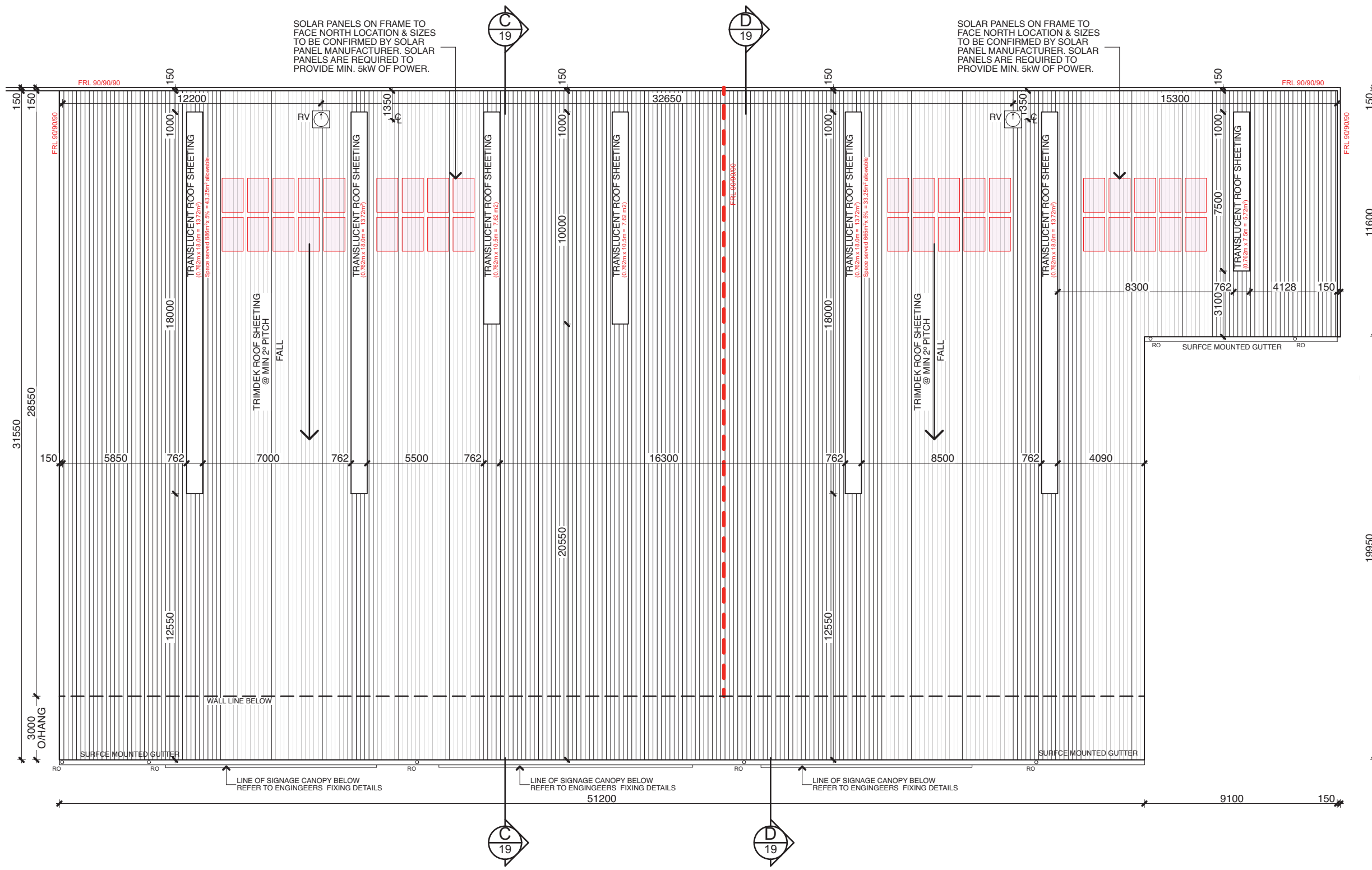
NOTE:
ALL PARTS OF THE BUILDING TO BE COVERED BY FIRE HOSE REEL & HYDRANT. REFER TO HYDRAULIC ENGINEERS DRAWINGS FOR TYPE & LOCATION.

NORTH



N	24.11.22	Refuse & parking amendments	ST	DJ
M	24.11.22	Dimensions to natural ground level	ST	DJ
L	21.11.22	Access paths & refuse Areas amended	ST	DJ
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Amendments				

Client SHADFORTH	
LOTS 1174, 1175, 1176 & 1177 CARNEGIE ST & EDISON CRES, AURA	
Drawn ST	Checked DJ
Scale As Indicated	Date 24.09.21
Project No. 2021-01	Sheet No. 15
WORKING DRAWING	Issue N
Drawing Description	
FLOOR PLAN LEVEL 2 - BUILDING 2	



01 ROOF PLAN LEVEL 3
BUILDING 2
Scale 1:200 @ A3

NOTE:
DRAWINGS TO BE COORDINATED
WITH ALL OTHER CONSULTANTS

FIRE RATED WALLS
ALL CONCRETE TILT UP FIRE RATED WALLS OR
LIGHTWEIGHT FIRE RATED WALLS TO FINISH AT THE UNDERSIDE OF
ROOF SHEETING.
*NOTE: ENGINEER TO DESIGN ROOF FRAME TO ENABLE
WALLS TO EXTEND UP TO UNDERSIDE OF ROOF SHEETING*



BUILDER TO VERIFY ALL DIMENSIONS & LEVELS
ON SITE PRIOR TO ORDERING OF MATERIALS &
COMMENCEMENT OF CONSTRUCTION.
FFL'S TBC BY CIVIL ENGINEER
REFER TO GENERAL NOTES ON SHEET 02.

ROOF PLAN LEGEND

TRIMDECK PROFILE TRANSLUCENT SHEETING
@ 2 DEGREE PITCH

RV ROTARY ROOF VENT
RO ROOF OUTLET

TOTAL AREA OF TRANSLUCENT ROOF LIGHT
= 75.840m² < 5% FLOOR AREA

ROOF PLAN NOTES

ALL GUTTER AND DOWNPIPES SIZES AND DETAILS TO HYDRAULIC
ENGINEERS DETAILS

ROOFLIGHTS TO COMPLY WITH PART J1.4 OF N.C.C

ROOF LIGHTS MUST HAVE :

(a) TOTAL AREA OF NO MORE THAN 5% OF THE FLOOR AREA OF
THE ROOM OR SPACE SERVED

(b) TRANSPARENT AND TRANSLUCENT ELEMENTS WITH A
COMBINED PERFORMANCE OF:

(i) TOTAL SYSTEM SHGC : < / = 0.29

(ii) TOTAL SYSTEM U-VALUE : < U3.9

FALL PROTECTION TO NCC 2016-VOLUME ONE APPENDICES. QLD
PART G.101. CERTAIN ATTACHMENTS.
QLD G101.1 PREVENTION OF FALLS FROM BUILDINGS OR
STRUCTURES.

WHERE A PERSON IS EXPOSED TO THE HAZARD OF FALLING FROM
A BUILDING OR MAINTENANCE WORK IS BEING CARRIED OUT.

(A) A WORK SYSTEM DESIGNED TO PREVENT SUCH FALLS MUST BE
USED; & (B) WHERE SAFETY ANCHORAGE POINTS ARE USED THEY
MUST BE POSITIONED ON THE BUILDING OR STRUCTURE SO THAT
A LIFELINE OR SAFETY HARNESS MAY BE ATTACHED BEFORE
PROCEEDING TO A POINT WHERE IT IS POSSIBLE TO FALL; &

(C) ANCHORAGE POINTS FOR THE ATTACHMENT OF SAFETY
HARNESS MUST COMPLY WITH AS 2625.

SOLAR PANELS

SOLAR PANELS ON FRAME TO FACE NORTH & SIZES TO BE
CONFIRMED BY SOLAR PANEL MANUFACTURER.

ENGINEERS TO NOTE****

LOCATION SHOWN IS A GUIDE ONLY. PANEL AMOUNT LOADS TO BE
CONSIDERED WHEN DESIGNING ROOF FRAME ALSO ROOF FRAME
DESIGN TO ALLOW FOR FUTURE ADDITIONAL SOLAR PANELS.
SOLAR PANELS TO BE INSTALLED UNDER THE MAX. BUILDING HEIGHT.

Provide external roof colour
with a solar absorbance not
more than 0.45 (i.e.
avoid excess use of dark
colours and zincalume).

AMENDED IN RED

By: Andrew McKnight
Date: 29 November 2022

Queensland Government

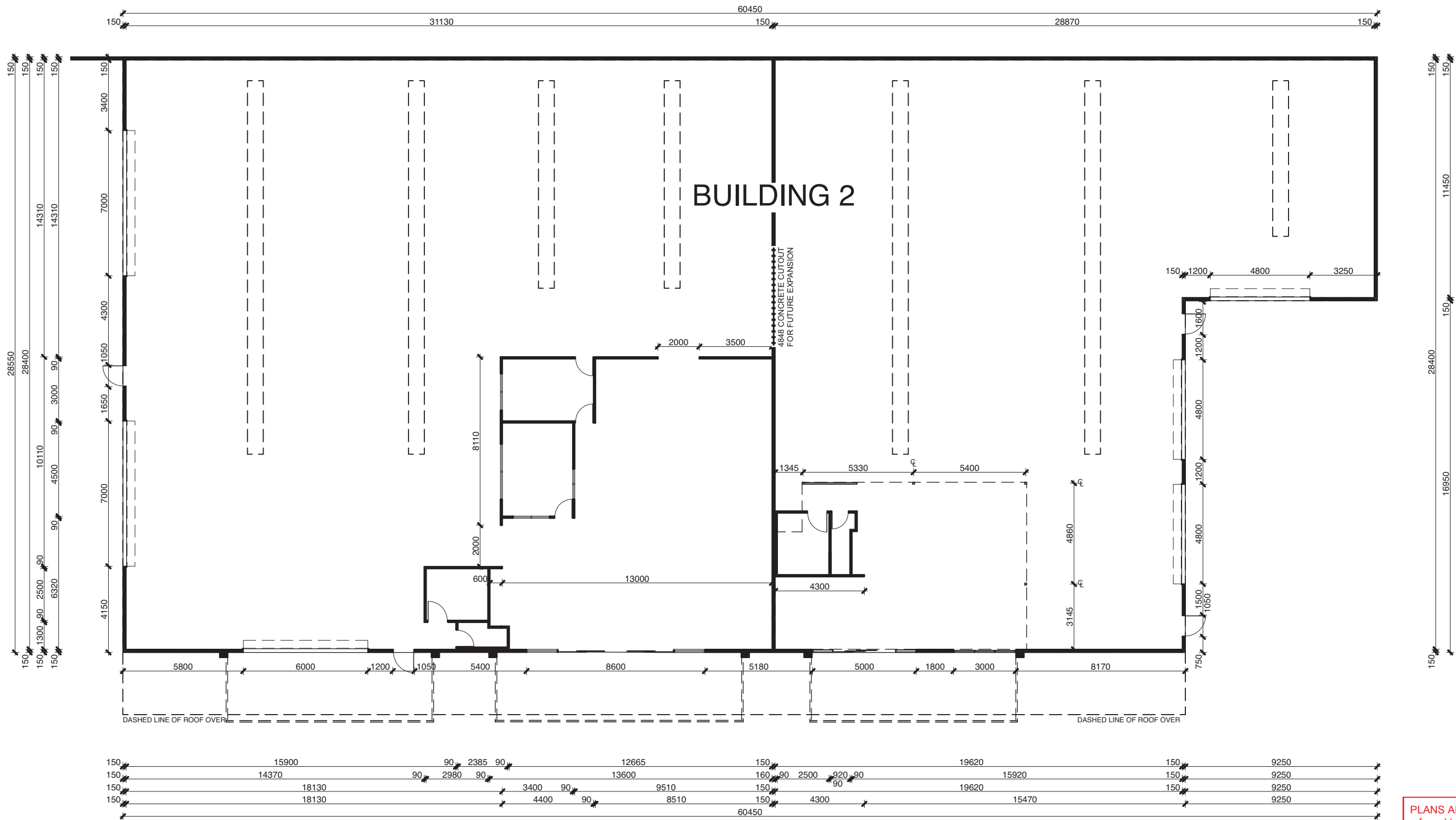
PLANS AND DOCUMENTS
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DEVELOPMENT APPROVAL

Approval no: DEV2022/1348
Date: 8 December 2022

Queensland Government

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FFL'S TBC BY CIVIL ENGINEER
REFER TO GENERAL NOTES ON SHEET 02.



01 FLOOR PLAN LEVEL 1
BUILDING 2 Scale 1:200 @ A3

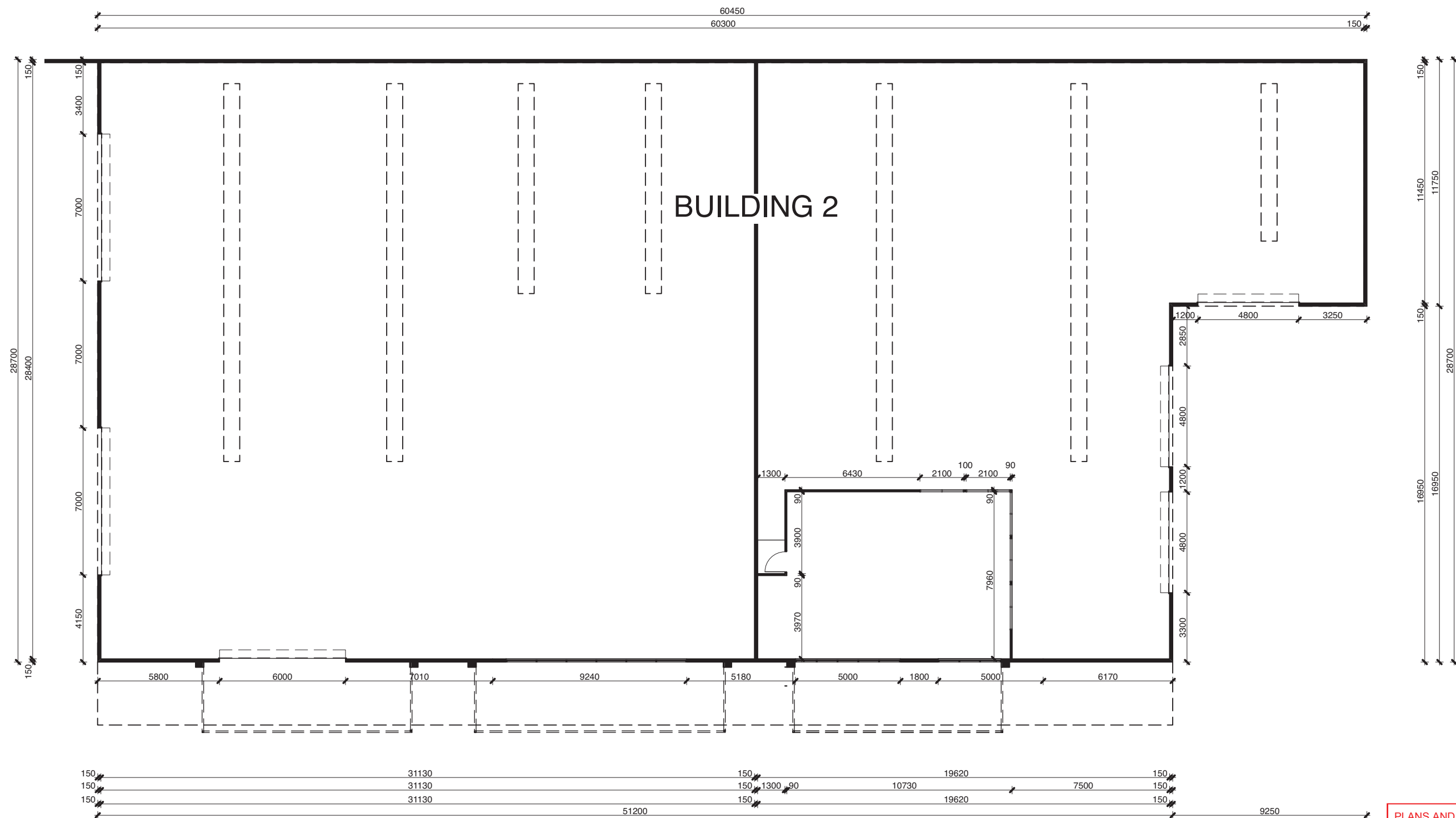
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				Client SHADFORTH LOTS 1174, 1175, 1176 & 1177 CARNEGIE ST & EDISON CRES, AURA		 building suncoast green building design town planning
				Drawn ST Checked DJ Scale As Indicated Date 24.09.21 Project No. 2021-01 Sheet No. 17 WORKING DRAWING Issue N		
				Drawing Description SETOUT PLAN LEVEL 1 - BUILDING 2		
Issue Date Subject Initial Auth Amendments N 24.11.22 Refuse & parking amendments ST DJ M 24.11.22 Dimensions to natural ground level ST DJ L 21.11.22 Access paths & refuse Areas amended ST DJ K 08.11.22 Existing Ground Lines shown ST DJ J 20.10.22 Landscape areas & bicycle parks ST DJ i 10.10.22 Amendments to elevation for approval ST DJ H 30.09.22 Amendments to elevation for approval ST DJ G 29.09.22 Amendments to elevation for approval ST DJ F 20.09.22 Reissued for approval ST DJ E 20.09.22 Client changed & Additional 3D views ST DJ D 16.09.22 Client changed for review only ST DJ C 15.09.22 Client changed for review only ST DJ B 05.08.22 Landscape areas amendment ST DJ A 29.07.22 Working Drawing Issue for Coordination ST DJ						

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01 FLOOR PLAN LEVEL 1

BUILDING 2 Scale 1:200 @ A3

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N M L K J i H G F E D C B A 24.11.22 24.11.22 21.11.22 08.11.22 20.10.22 10.10.22 30.09.22 29.09.22 20.09.22 20.09.22 16.09.22 15.09.22 05.08.22 29.07.22 Refuse & parking amendments Dimensions to natural ground level Access paths & refuse Areas amended Existing Ground Lines shown Landscape areas & bicycle parks Amendments to elevation for approval Amendments to elevation for approval Amendments to elevation for approval Reissued for approval Client changed & Additional 3D views Client changed for review only Client changed for review only Landscape areas amendment Working Drawing Issue for Coordination ST DJ ST DJ ST DJ ST DJ ST DJ ST DJ ST DJ ST DJ					Client SHADFORTH LOTS 1174, 1175, 1176 & 1177 CARNEGIE ST & EDISON CRES, AURA		</	
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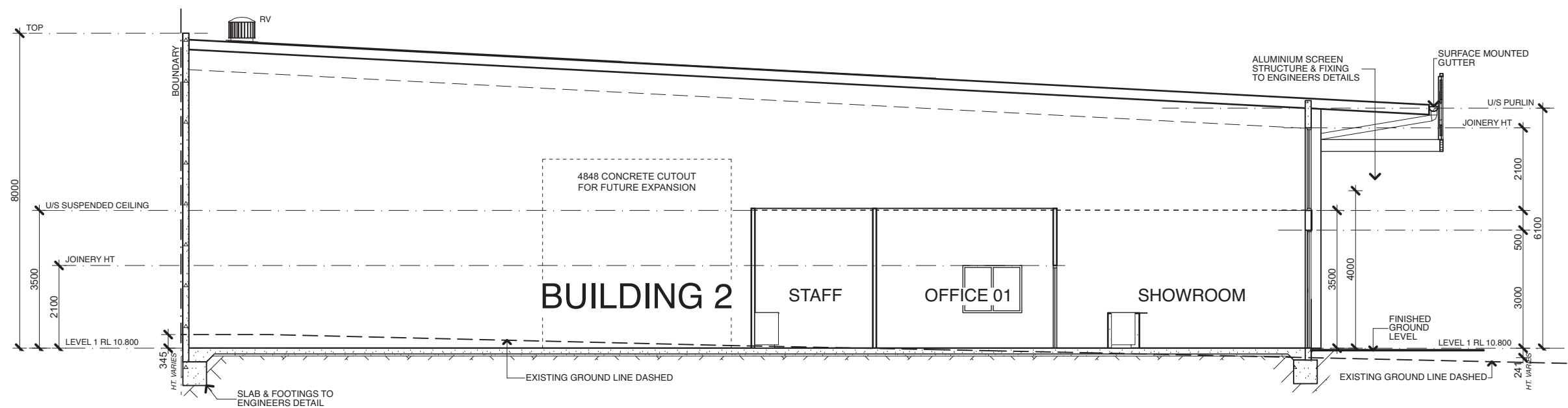
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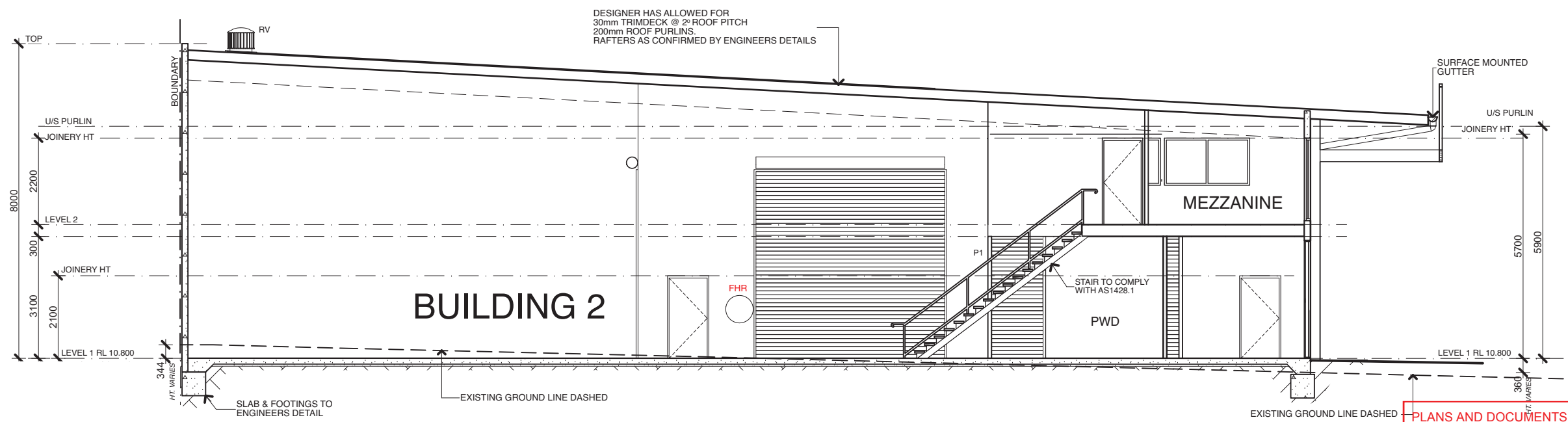
NOTE: ENGINEER TO DESIGN ROOF FRAME TO ENABLE WALLS TO EXTEND UP TO UNDERSIDE OF ROOF SHEETING



01 SECTION C

BUILDING 2

Scale 1:125 @ A3



02 SECTION D

BUILDING 2

Scale 1:125 @ A3

building suncoast green

building | design | town planning

6 Lorraine Avenue
Marcoola Beach, QLD, 4573
07 5448 8500
buildgreen@bigpond.com
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Issue	Date	Subject	Initial	Auth
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Amendments

Client SHADFORTH

LOTS 1174, 1175, 1176 & 1177
CARNEGIE ST & EDISON CRES,
AURA

Drawing Description				
SECTIONS - BUILDING 2				
Drawn	ST	Checked	DJ	
Scale	As Indicated	Date	10 06 21	
Project No.	2021-01	Sheet No.	19	
WORKING DRAWING	Issue	N		

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

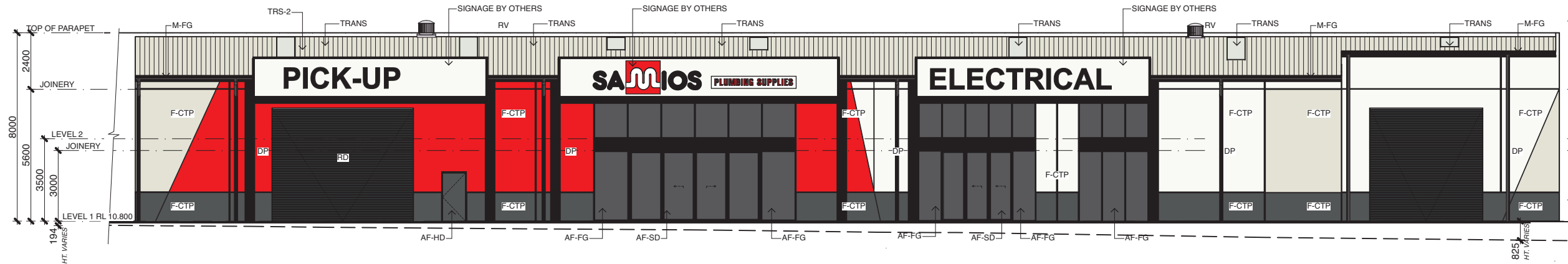
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Date: 8 December 2022

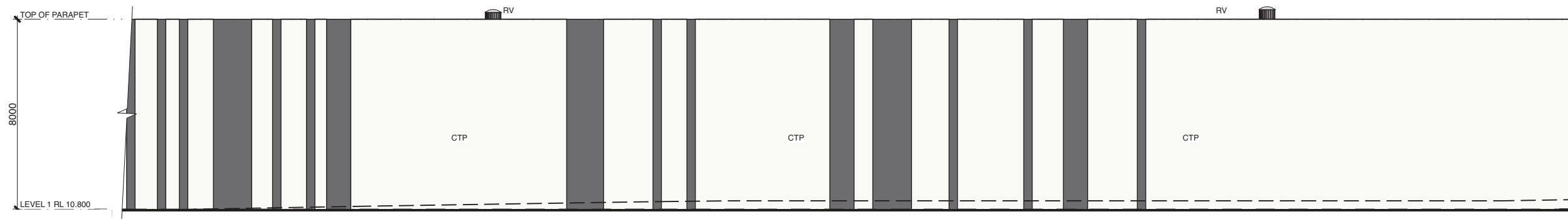


NOTE:

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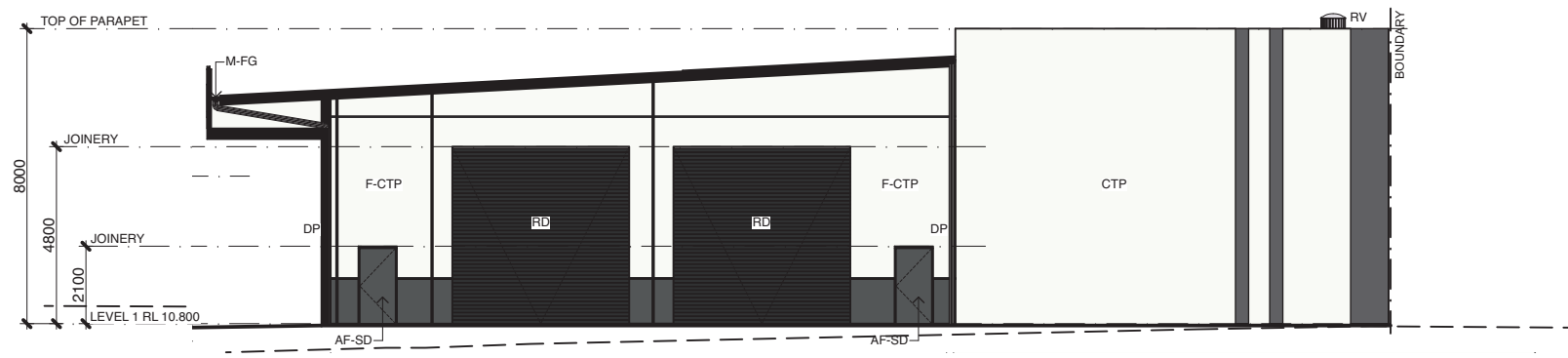
01 SOUTH ELEVATION
BUILDING 2
Scale 1:200 @ A3



02 NORTH ELEVATION
BUILDING 2
Scale 1:200 @ A3



03 WEST ELEVATION
BUILDING 2
Scale 1:200 @ A3



04 EAST ELEVATION
BUILDING 2
Scale 1:200 @ A3

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ELEVATION LEGEND	
AF-FG	ALUMINIUM FRAMED FIXED GLASS
AF-HD	ALUMINIUM FRAMED HINGED DOORS
AF-SD	ALUMINIUM FRAMED SLIDING DOOR
AWN	AWNING
CTP	CONCRETE TILT PANEL TO ENG. DETAILS
F-DS	FEATURE DECORATIVE ALUMINIUM SCREEN
F-DB	FEATURE DECORATIVE ALUMINIUM BATTENS
F-CTP	CONCRETE TILT PANEL WITH 20mm GROOVE PATTERN TO ENG. DETAIL
M-FG	METAL FASCIA AND GUTTER
RC-CTW	RAW CONCRETE LOOK CONCRETE TILTUP PANEL TO ENGINEERS DETAIL
RV	ROOF VENT TO ENGINEERS DETAILS
RD	ROLLER DOOR
S-LWC	SELECT LIGHTWEIGHT CLADDING, PAINT FINISH
TRANS	TRANSPARENT ROOF SHEETING / ROOF LIGHT
TRS-2	TRIMDEK ROOF SHEETING @ 2 DEGREES PITCH

COLOUR SELECTION	
	PAINT - DULUX 'VIVID WHITE'
	PAINT - SURFMIST
	PAINT - MONUMENT
	PAINT - DULUX 'WESTERN MYALL'
	PAINT - IVORY BLACK
	PAINT - VERMILLION
	PAINT - DULUX 'ORANGE DROP'

building
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Issue	Date	Subject	Initial	Auth
Amendments				
Client	SHADFORTH	LOTS 1174, 1175, 1176 & 1177 CARNEGIE ST & EDISON CRES, AURA		
Drawing Description				
ELEVATIONS - BUILDING 2				
Drawn	ST	Checked	DJ	
Scale	As Indicated	Date	10 06 21	
Project No.	2021-01	Sheet No.	20	
WORKING DRAWING		Issue	N	

PLANS AND DOCUMENTS referred to in the PDA
DEVELOPMENT APPROVAL

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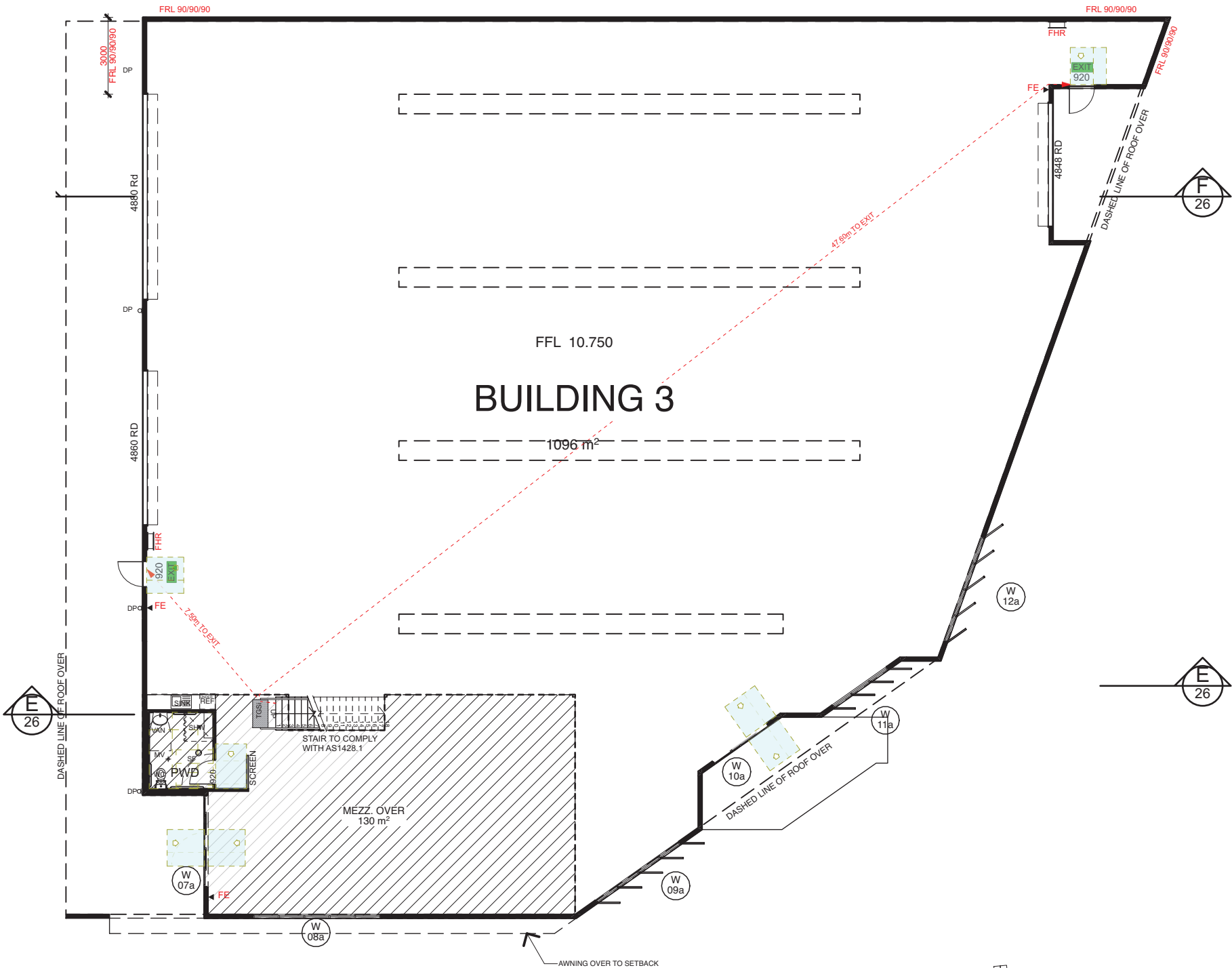
NOTE:
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FFL'S TBC BY CIVIL ENGINEER
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FLOOR PLAN LEGEND

- P1 100 SHS POST TO ENGINEERS DETAIL
- P2 89 SHS POST TO ENGINEERS DETAIL
- 150mm CONCRETE TILT UP WALL TO ENGINEERS DETAILS
- 90mm INTERNAL STUD WALLS TO ENGINEERS DETAILS
- 70mm INTERNAL STUD WALLS TO ENGINEERS DETAILS
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ALL CONCRETE TILT UP FIRE RATED WALLS OR LIGHTWEIGHT FIRE RATED WALLS TO FINISH AT THE UNDERSIDE OF ROOF SHEETING.
NOTE: ENGINEER TO DESIGN ROOF FRAME TO ENABLE WALLS TO EXTEND UP TO UNDERSIDE OF ROOF SHEETING



01 FLOOR PLAN LEVEL 1
BUILDING 3 Scale 1:200 @ A3

NOTE:
DRAWINGS TO BE COORDINATED WITH ALL OTHER CONSULTANTS

NOTE:
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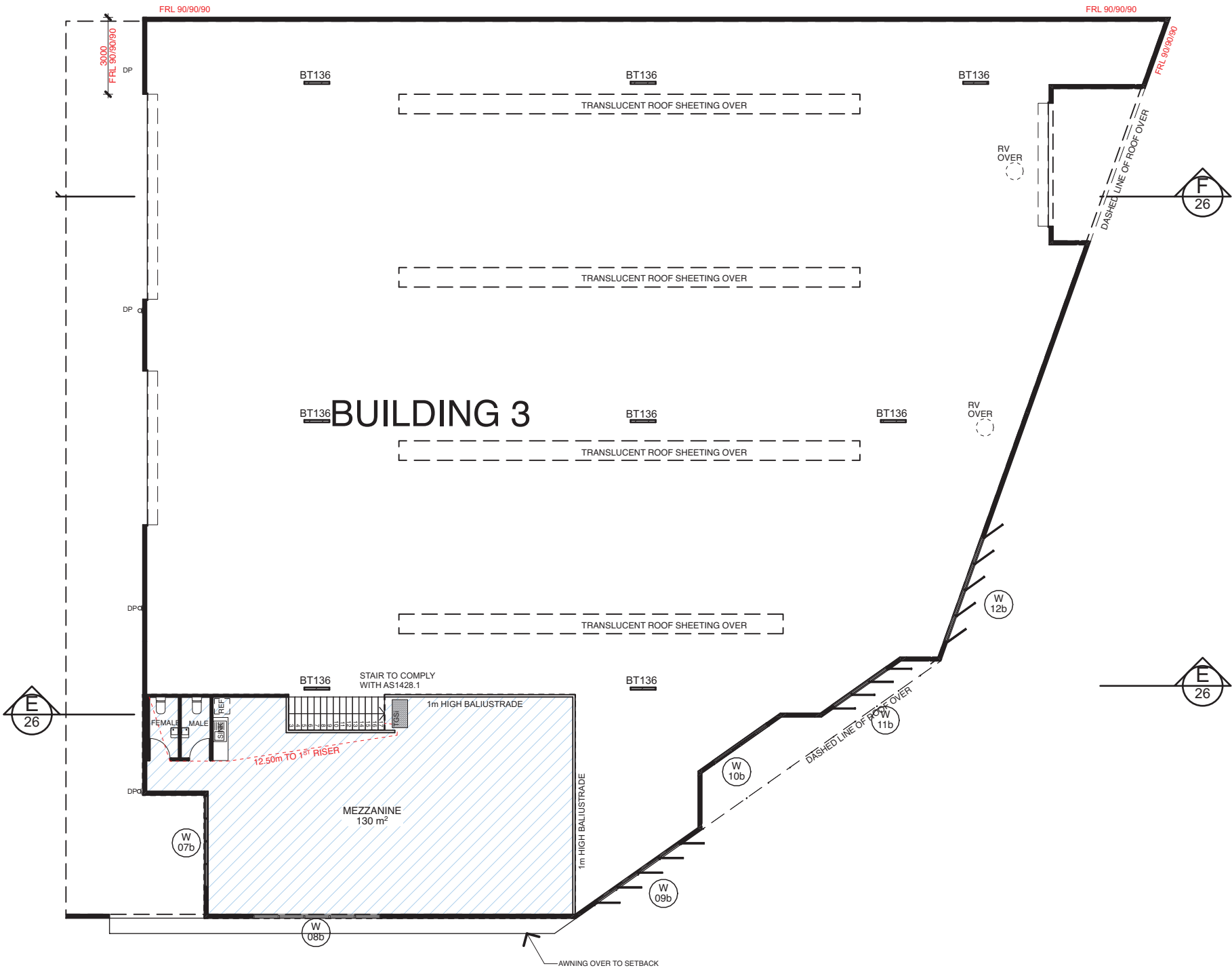
Client SHADFORTH				building suncoast green	
LOTS 1174, 1175, 1176 & 1177 CARNEGIE ST & EDISON CRES, AURA				building design town planning	
Drawn	ST	Checked	DJ	6 Lorraine Avenue Maroochiba Beach, QLD, 4573 07 5448 8500	
Scale	As Indicated	Date	24.09.21	buildgreen@bigpond.com www.buildingsuncoastgreen.com.au QBCC Licence No 65942	
Project No.	2021-01	Sheet No.	21		
	WORKING DRAWING	Issue	N		
Drawing Description				FLOOR PLAN LEVEL 1 - BUILDING 3	
Amendments					
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FLOOR PLAN LEGEND

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- EXIT EMERGENCY EXITS (TENANCY OVER 300m2): 10 WATT ILLUMINATED SINGLE SIDED EXIT SIGN MODEL E1112, CLASSIFICATION AS/NZS 2293.1 1998 LIGHTING TO AS/NZS 1680.0
- SF STANLITE SF10 NON-MAINTAINED (10W HALOGEN FIXED FLUSH WITH CEILING) TO AS/NZS 2293.1.
- BT136 (REQUIRED IF TENANCY IS OVER 300m2) STANLITE BT 136NPR SINGLE 36W NON- MAINTAINED OR ALTERNATIVE BRAND TO SUIT CLASSIFICATION AS 2293:PART 1. MOUNTED AT 6m MAX ABOVE FINISHED FLOOR LEVEL.
- MV MECHANICALLY VENTILATED TO AS 1668.2 1991, MIN 25L/S EXHAUST FLOW RATE. CEILING 2400mm HIGH.
- FE EXTINGUISHER TYPE: 3A:40B:(E) ENSURE FIRE EXTINGUISHERS ARE WITHIN 4m OF 'EXIT' DOOR. EXTINGUISHER LOCATION SIGN ABOVE IN ACCORDANCE WITH AS 2444-1995
- SINK INSTANTANEOUS HWS IN VERMIN PROOF CABINET UNDER SINK (TYP.)
- TGSIS TACTILE GROUND SURFACE INDICATORS TO COMPLY WITH AS 1428.4.1
- FHR FIRE HOSE REEL WITHIN 4m OF 'EXIT' DOOR

FIRE RATED WALLS
ALL CONCRETE TILT UP FIRE RATED WALLS OR LIGHTWEIGHT FIRE RATED WALLS TO FINISH AT THE UNDERSIDE OF ROOF SHEETING.
NOTE: ENGINEER TO DESIGN ROOF FRAME TO ENABLE WALLS TO EXTEND UP TO UNDERSIDE OF ROOF SHEETING



01 FLOOR PLAN LEVEL 2
BUILDING 3 Scale 1:200 @ A3

NOTE:
DRAWINGS TO BE COORDINATED WITH ALL OTHER CONSULTANTS

NOTE:
ALL PARTS OF THE BUILDING TO BE COVERED BY FIRE HOSE REEL & HYDRANT. REFER TO HYDRAULIC ENGINEERS DRAWINGS FOR TYPE & LOCATION.



Issue Date Subject Initial Auth Amendments	Client SHADFORTH LOTS 1174, 1175, 1176 & 1177 CARNEGIE ST & EDISON CRES, AURA Drawn ST Checked DJ Scale As Indicated Date 24.09.21 Project No. 2021-01 Sheet No. 22 WORKING DRAWING Issue N Drawing Description FLOOR PLAN LEVEL 2 - BUILDING 3	PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL Approval no: DEV2022/1348 Date: 8 December 2022 building suncoast green building design town planning 6 Lorraine Avenue Maroochiba Beach, QLD, 4573 07 5448 8500 buildgreen@bigpond.com www.buildingsuncoastgreen.com.au QBCC Licence No 65942
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BUILDER TO VERIFY ALL DIMENSIONS & LEVELS
ON SITE PRIOR TO ORDERING OF MATERIALS &
COMMENCEMENT OF CONSTRUCTION.
FFL'S TBC BY CIVIL ENGINEER
REFER TO GENERAL NOTES ON SHEET 02.



01 FLOOR PLAN LEVEL 1
BUILDING 3
Scale 1:200 @ A3

NOTE:
DRAWINGS TO BE COORDINATED
WITH ALL OTHER CONSULTANTS

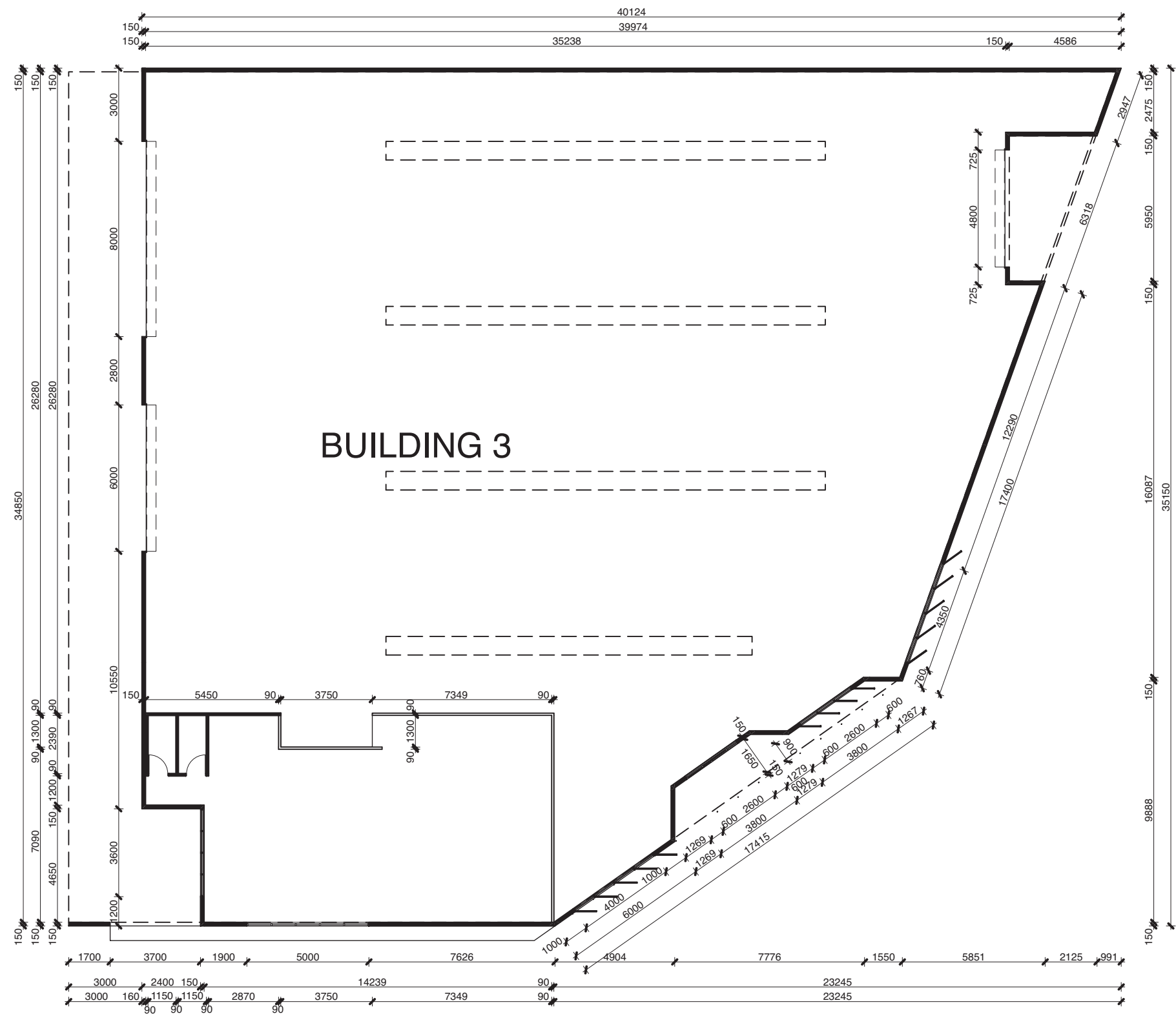


PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL
Approval no: DEV2022/1348
Date: 8 December 2022



				Client SHADFORTH					
				LOTS 1174, 1175, 1176 & 1177 CARNEGIE ST & EDISON CRES, AURA					
N	24.11.22	Refuse & parking amendments	ST	DJ	Drawn	ST	Checked	DJ	building suncoast green
M	24.11.22	Dimensions to natural ground level	ST	DJ					
L	21.11.22	Access paths & refuse Areas amended	ST	DJ	Scale	As Indicated	Date	24.09.21	building design town planning
K	08.11.22	Existing Ground Lines shown	ST	DJ					
J	20.10.22	Landscape areas & bicycle parks	ST	DJ	Project No.	2021-01	Sheet No.	24	6 Lorraine Avenue Maroochlea Beach, QLD, 4573 07 5448 8500
i	10.10.22	Amendments to elevation for approval	ST	DJ					
H	30.09.22	Amendments to elevation for approval	ST	DJ	WORKING DRAWING	Issue	N		buildgreen@bigpond.com www.buildingsuncoastgreen.com.au QBCC Licence No 65942
G	29.09.22	Amendments to elevation for approval	ST	DJ					
F	20.09.22	Reissued for approval	ST	DJ	Drawing Description SETOUT PLAN LEVEL 1 - BUILDING 3				
E	20.09.22	Client changed & Additional 3D views	ST	DJ					
D	16.09.22	Client changed for review only	ST	DJ					
C	15.09.22	Client changed for review only	ST	DJ					
B	05.08.22	Landscape areas amendment	ST	DJ					
A	29.07.22	Working Drawing Issue for Coordination	ST	DJ					
Issue Date Subject Initial Auth									
Amendments									

BUILDER TO VERIFY ALL DIMENSIONS & LEVELS
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FFL'S TBC BY CIVIL ENGINEER
REFER TO GENERAL NOTES ON SHEET 02.



01 FLOOR PLAN LEVEL 2
BUILDING 3 Scale 1:200 @ A3

NOTE:
DRAWINGS TO BE COORDINATED
WITH ALL OTHER CONSULTANTS

PLANS AND DOCUMENTS
referred to in the PDA
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Amendments				

Client		SHADFORTH	
		LOTS 1174, 1175, 1176 & 1177 CARNEGIE ST & EDISON CRES, AURA	
Drawn	ST	Checked	DJ
Scale	As Indicated	Date	24.09.21
Project No.	2021-01	Sheet No.	25
WORKING DRAWING		Issue	N
Drawing Description			
SETOUT PLAN LEVEL 2 - BUILDING 3			

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BUILDER TO VERIFY ALL DIMENSIONS & LEVELS ON SITE PRIOR TO ORDERING OF MATERIALS & COMMENCEMENT OF CONSTRUCTION.

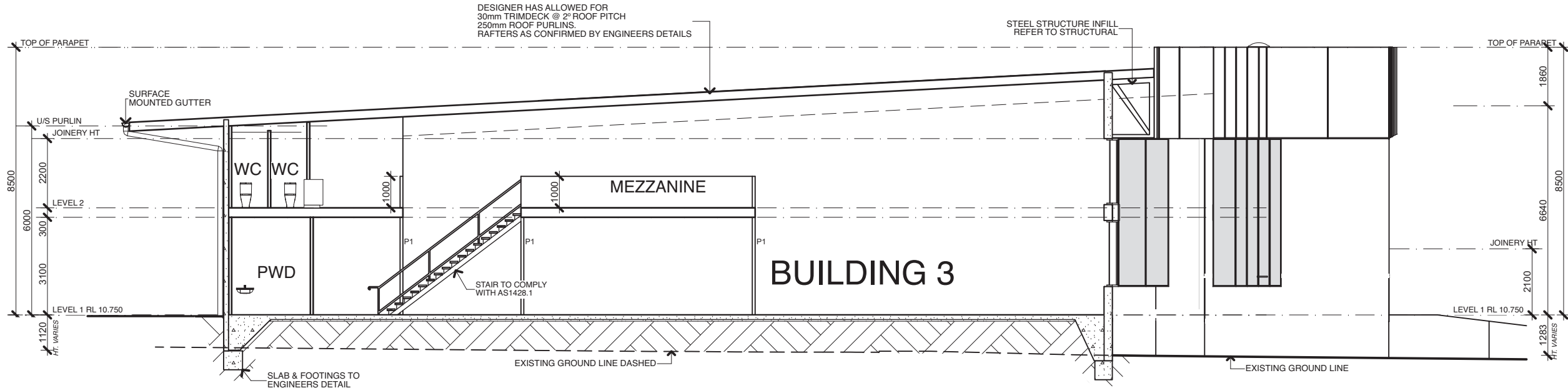
FFL'S TBC BY CIVIL ENGINEER

REFER TO GENERAL NOTES ON SHEET 02.

FIRE RATED WALLS

ALL CONCRETE TILT UP FIRE RATED WALLS OR LIGHTWEIGHT FIRE RATED WALLS TO FINISH AT THE UNDERSIDE OF ROOF SHEETING.

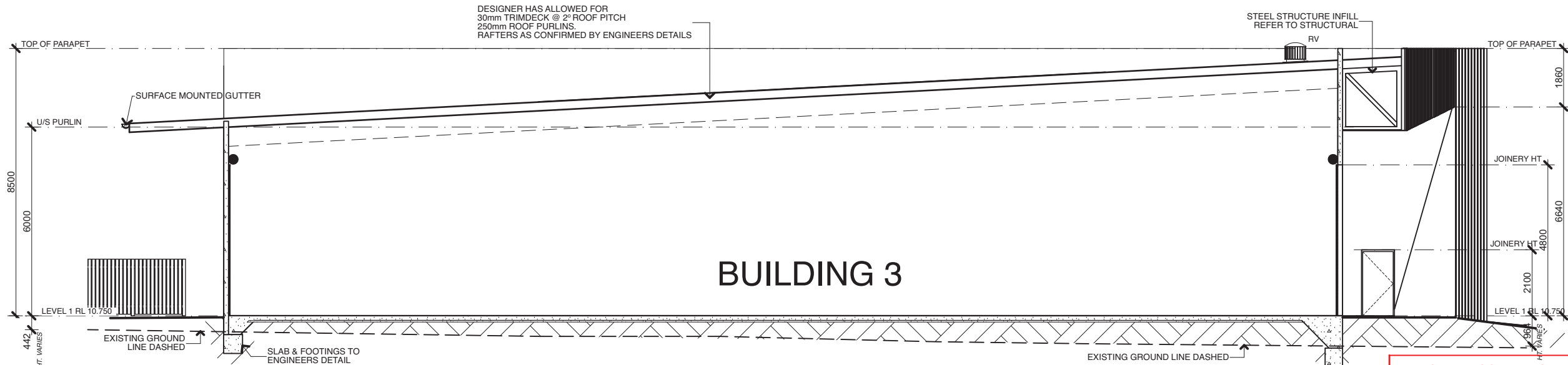
NOTE: ENGINEER TO DESIGN ROOF FRAME TO ENABLE WALLS TO EXTEND UP TO UNDERSIDE OF ROOF SHEETING



01 SECTION E

BUILDING 3

Scale 1:150 @ A3



02 SECTION F

BUILDING 3

Scale 1:150 @ A3

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2022/1348

Date: 8 December 2022



NOTE:

DRAWINGS TO BE COORDINATED WITH ALL OTHER CONSULTANTS

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A	29.07.22	Working Drawing Issue for Coordination	ST	DJ

Issue	Date	Subject	Initial	Auth
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Amendments

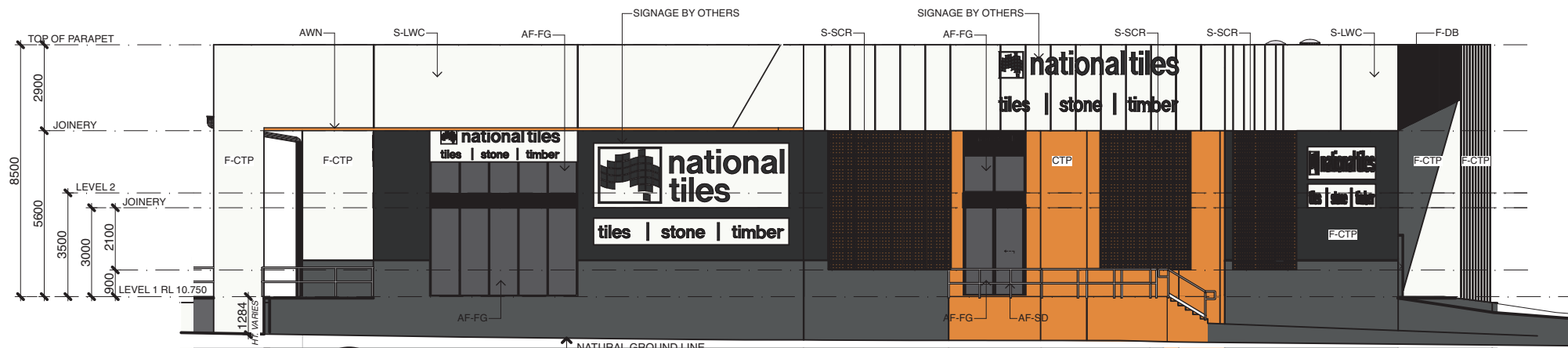
Client SHADFORTH

LOTS 1174, 1175, 1176 & 1177
CARNEGIE ST & EDISON CRES,
AURA

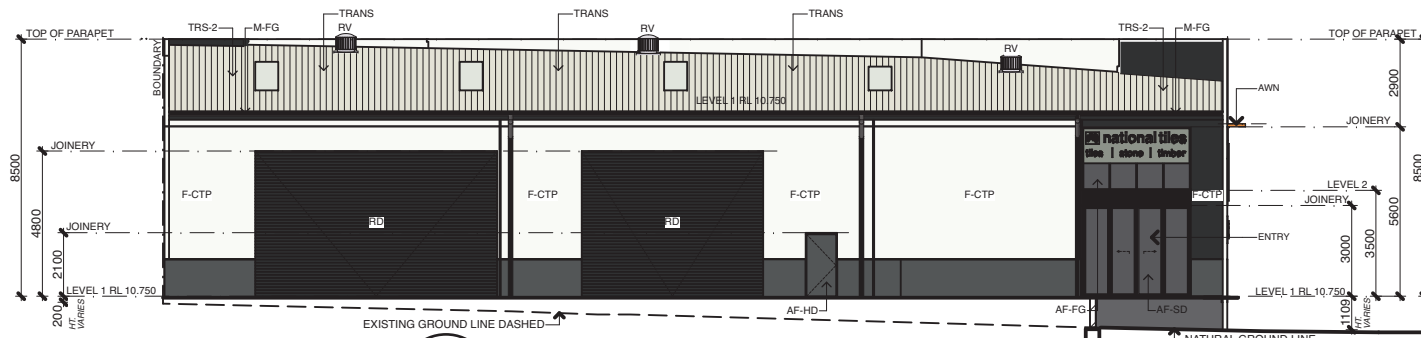
Drawing Description

SECTIONS - BUILDING 3

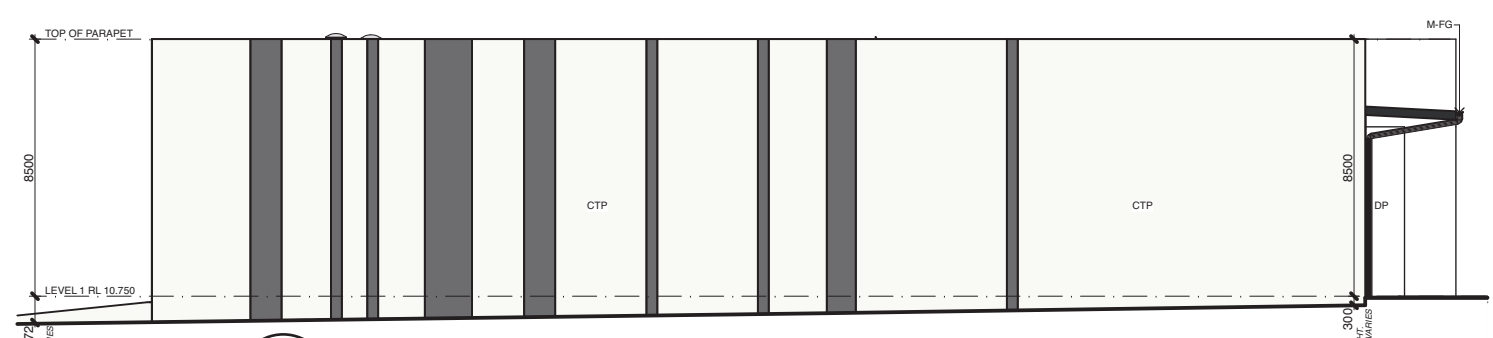
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Project No.	2021-01	Sheet No.	26
WORKING DRAWING	Issue		N



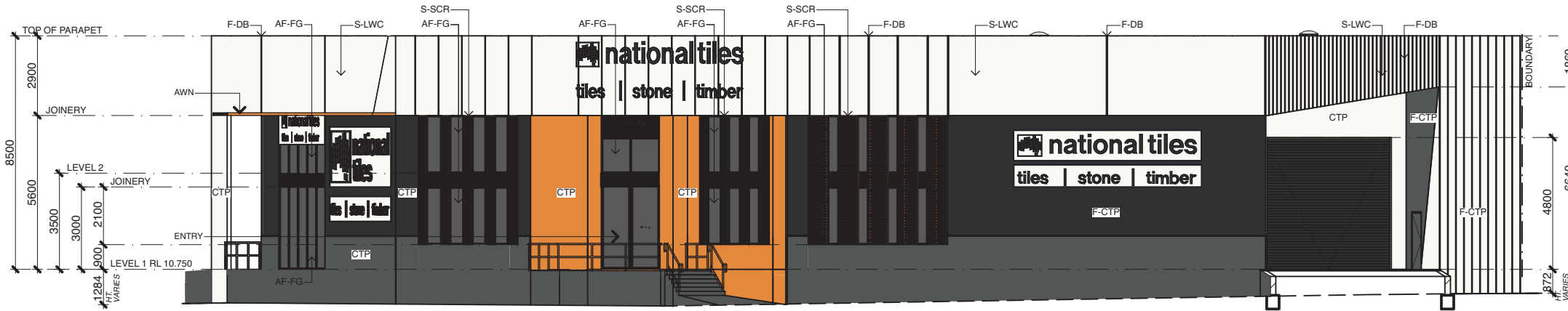
01 SOUTH ELEVATION
BUILDING 3
Scale 1:200 @ A3



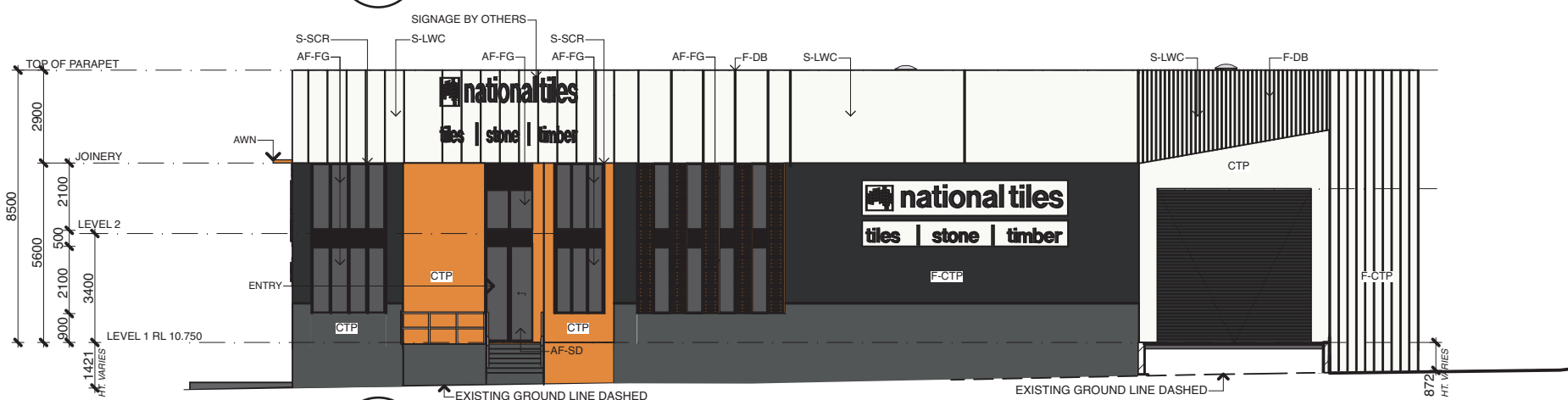
02 NORTH ELEVATION
BUILDING 3
Scale 1:250 @ A3



03 NORTH ELEVATION
BUILDING 3
Scale 1:250 @ A3



04 SOUTH-EAST ELEVATION
BUILDING 3
Scale 1:200 @ A3



05 EAST ELEVATION
BUILDING 3
Scale 1:200 @ A3

BUILDER TO VERIFY ALL DIMENSIONS & LEVELS ON SITE PRIOR TO ORDERING OF MATERIALS & COMMENCEMENT OF CONSTRUCTION.
FFL'S TBC BY CIVIL ENGINEER
REFER TO GENERAL NOTES ON SHEET 02.

COLOUR SELECTION

	PAINT - DULUX 'VIVID WHITE'
	PAINT - SURFMIST
	PAINT - MONUMENT
	PAINT - DULUX 'WESTERN MYALL'
	PAINT - IVORY BLACK
	PAINT - VERMILLION
	PAINT - DULUX 'ORANGE DROP'

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2022/1348
Date: 8 December 2022



ELEVATION LEGEND

AF-FG	ALUMINIUM FRAMED FIXED GLASS
AF-HD	ALUMINIUM FRAMED HINGED DOORS
AF-SD	ALUMINIUM FRAMED SLIDING DOOR
AWN	AWNING
CTP	CONCRETE TILT PANEL TO ENG. DETAILS
F-DS	FEATURE DECORATIVE ALUMINIUM SCREEN
F-DB	FEATURE DECORATIVE ALUMINIUM BATTENS
F-CTP	CONCRETE TILT PANEL WITH 20mm GROOVE PATTERN TO ENG. DETAIL
M-FG	METAL FASCIA AND GUTTER
RC-CTW	RAW CONCRETE LOOK CONCRETE TILTUP PANEL TO ENGINEERS DETAIL
RV	ROOF VENT TO ENGINEERS DETAILS
RD	ROLLER DOOR
S-LWC	SELECT LIGHTWEIGHT CLADDING, PAINT FINISH
TRANS	TRANSPARENT ROOF SHEETING / ROOF LIGHT
TRS-2	TRIMDEK ROOF SHEETING @ 2 DEGREES PITCH

NOTE:
DRAWINGS TO BE COORDINATED WITH ALL OTHER CONSULTANTS

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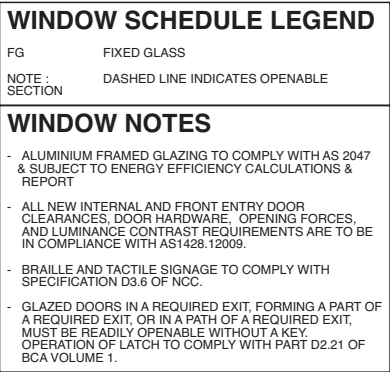
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Amendments

Client SHADFORTH
LOTS 1174, 1175, 1176 & 1177
CARNEGIE ST & EDISON CRES,
AURA

Drawing Description
ELEVATIONS - BUILDING 3

Drawn	ST	Checked	DJ
Scale	As Indicated	Date	10 06 21
Project No.	2021-01	Sheet No.	27
WORKING DRAWING	Issue	N	



ELEVATION

FIXED GLASS WINDOW & SLIDING GLASS DOORS
920 CLEAR WIDTH



ELEVATION

FIXED GLASS WINDOW

NOTE:
DRAWINGS TO BE COORDINATED
WITH ALL OTHER CONSULTANTS



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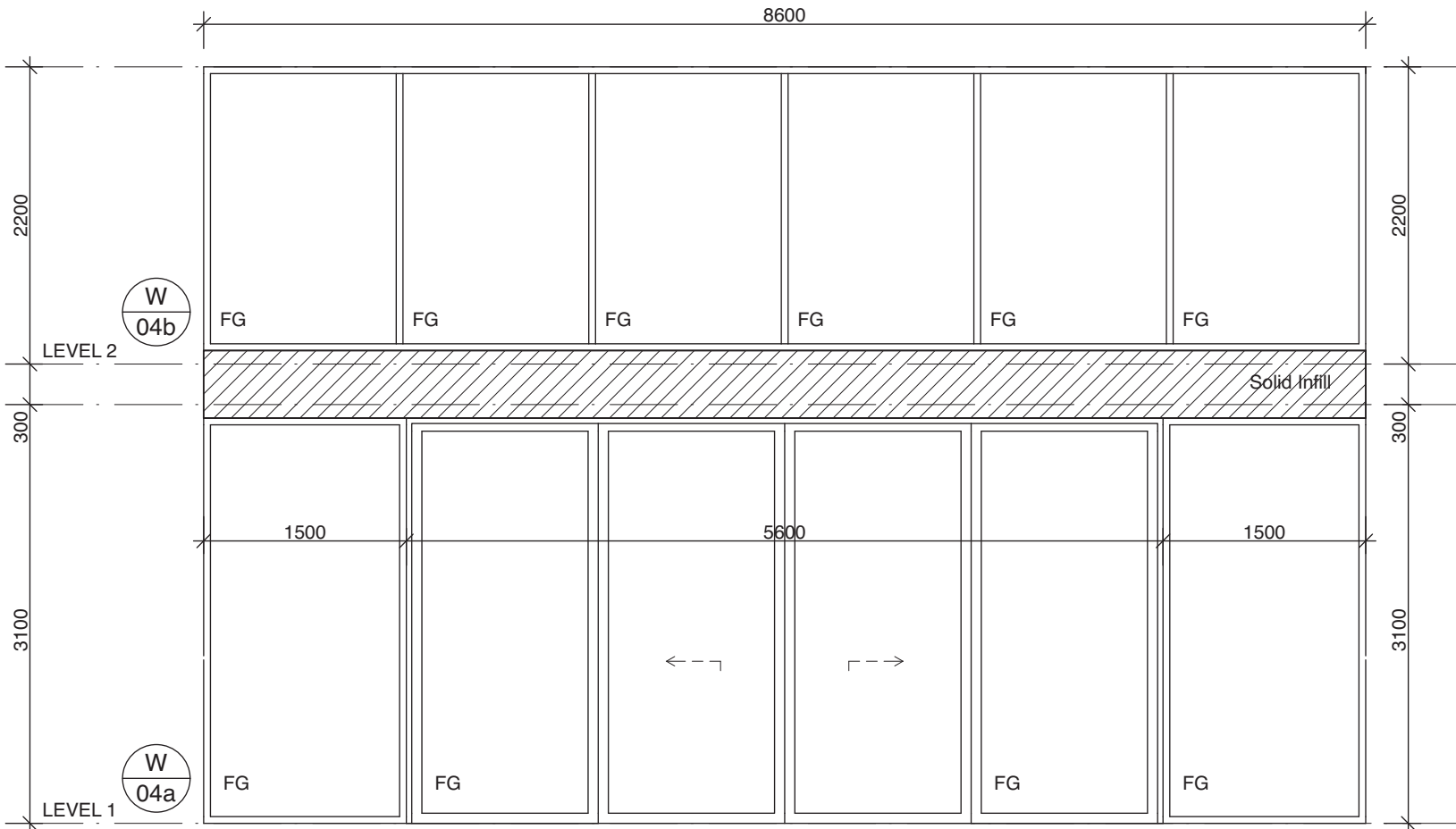
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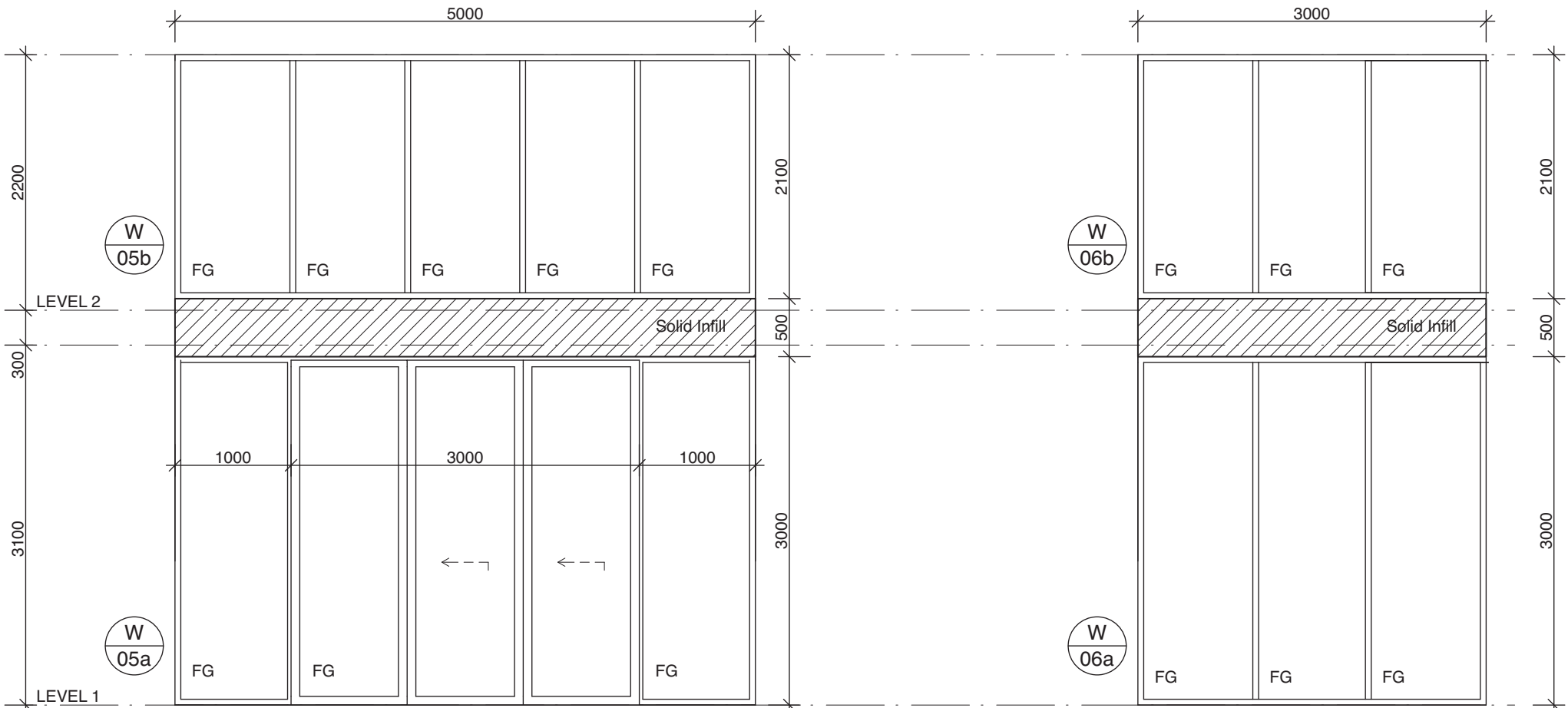
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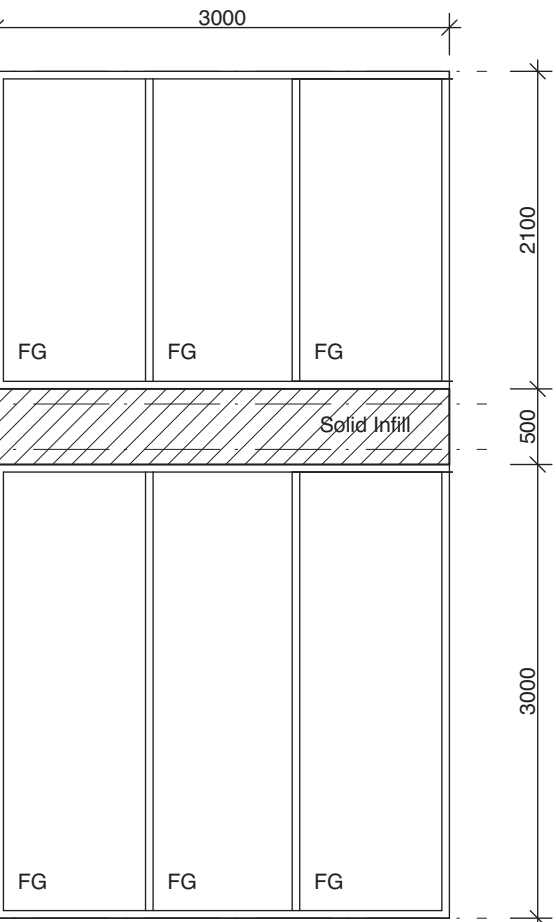
Issue	Date	Subject	Initial	Auth
Amendments				
Client SHADFORTH				
LOTS 1174, 1175, 1176 & 1177 CARNEGIE ST & EDISON CRES, AURA				
Drawing Description				
DOOR & WINDOW SCHEDULE- BLDG 1				
Drawn	ST	Checked	DJ	
Scale	As Indicated	Date	10 06 21	
Project No.	2021-01	Sheet No.	28	
WORKING DRAWING		Issue	N	



ELEVATION
FIXED GLASS WINDOW & SLIDING GLASS DOORS
920 CLEAR WIDTH



ELEVATION
FIXED GLASS WINDOW & SLIDING GLASS DOORS
920 CLEAR WIDTH



ELEVATION
FIXED GLASS WINDOW

WINDOW SCHEDULE LEGEND

FG FIXED GLASS
NOTE : DASHED LINE INDICATES OPENABLE
SECTION

WINDOW NOTES

- ALUMINIUM FRAMED GLAZING TO COMPLY WITH AS 2047 & SUBJECT TO ENERGY EFFICIENCY CALCULATIONS & REPORT
- ALL NEW INTERNAL AND FRONT ENTRY DOOR CLEARANCES, DOOR HARDWARE, OPENING FORCES, AND LUMINANCE CONTRAST REQUIREMENTS ARE TO BE IN COMPLIANCE WITH AS1428.12009.
- BRAILLE AND TACTILE SIGNAGE TO COMPLY WITH SPECIFICATION D3.6 OF NCC.
- GLAZED DOORS IN A REQUIRED EXIT, FORMING A PART OF A REQUIRED EXIT, OR IN A PATH OF A REQUIRED EXIT, MUST BE READILY OPENABLE WITHOUT A KEY. OPERATION OF LATCH TO COMPLY WITH PART D2.21 OF BCA VOLUME 1.

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Issue Date Subject Initial Auth

Amendments

Client SHADFORTH
LOTS 1174, 1175, 1176 & 1177
CARNEGIE ST & EDISON CRES,
AURA

Drawing Description

DOOR & WINDOW SCHEDULE- BLDG 2

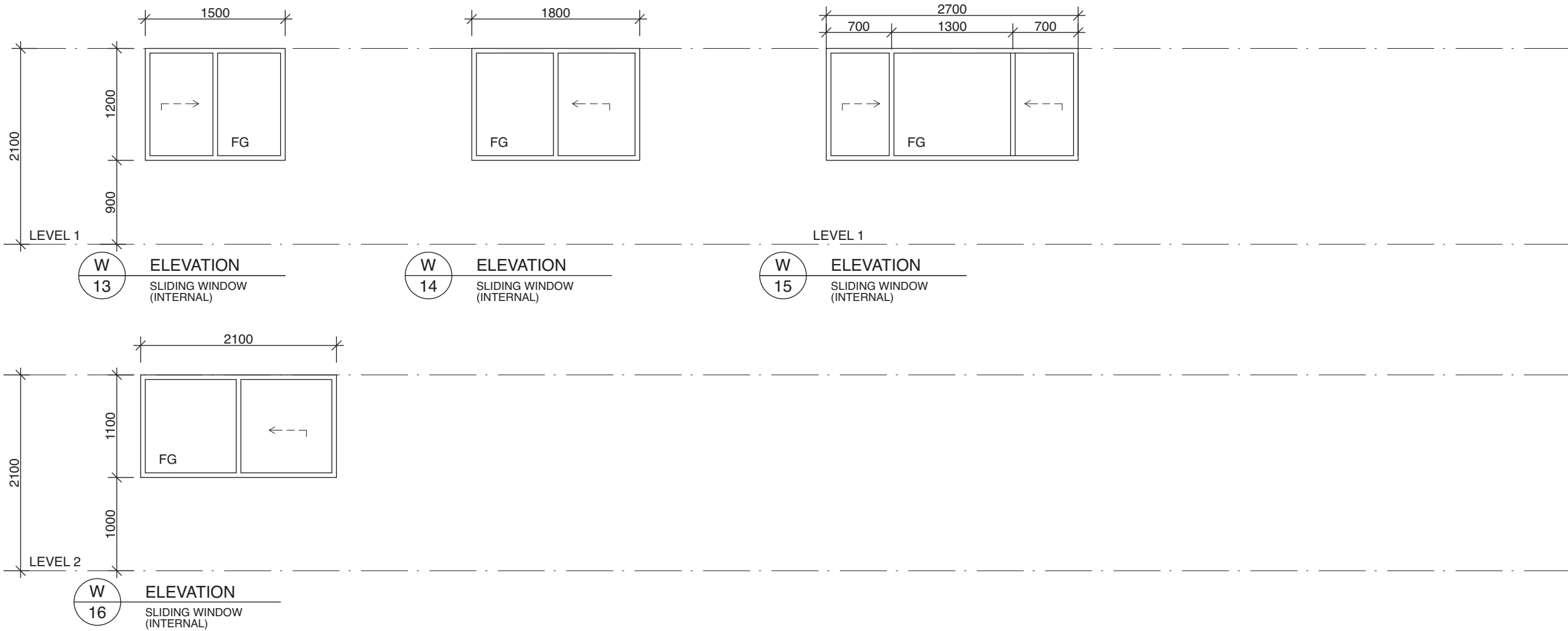
Drawn	ST	Checked	DJ
Scale	As Indicated	Date	10 06 21
Project No.	2021-01	Sheet No.	29
WORKING DRAWING	Issue	N	

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2022/1348
Date: 8 December 2022



NOTE:
DRAWINGS TO BE COORDINATED
WITH ALL OTHER CONSULTANTS



WINDOW SCHEDULE LEGEND

FG FIXED GLASS
NOTE : DASHED LINE INDICATES OPENABLE
SECTION

WINDOW NOTES

- ALUMINIUM FRAMED GLAZING TO COMPLY WITH AS 2047 & SUBJECT TO ENERGY EFFICIENCY CALCULATIONS & REPORT
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Issue Date Subject Initial Auth

Amendments

Client SHADFORTH
LOTS 1174, 1175, 1176 & 1177
CARNEGIE ST & EDISON CRES,
AURA

Drawing Description

DOOR & WINDOW SCHEDULE- BLDG 2&3

Drawn	ST	Checked	DJ
Scale	As Indicated	Date	10 06 21
Project No.	2021-01	Sheet No.	31
WORKING DRAWING	Issue		N

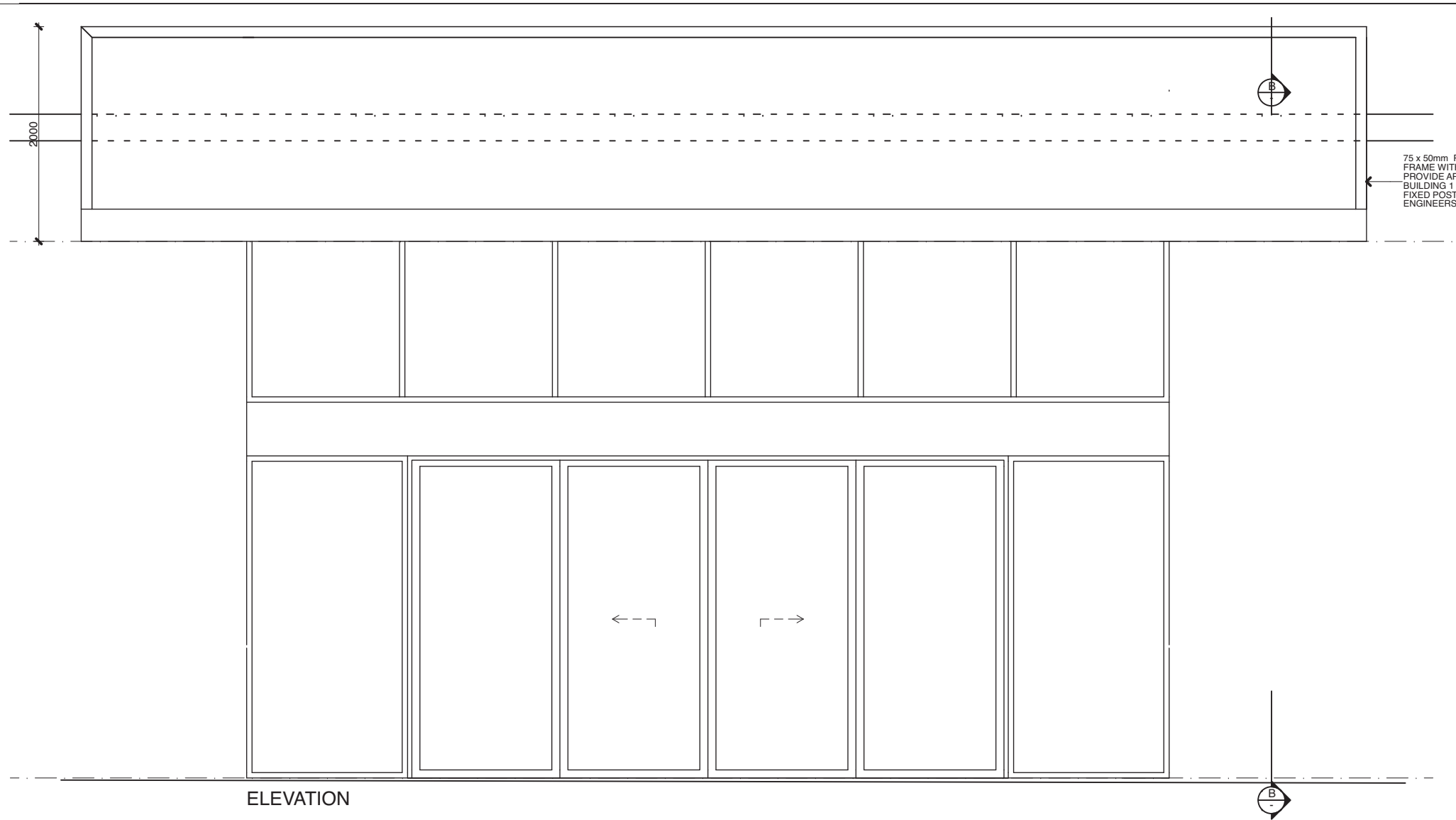
PLANS AND DOCUMENTS
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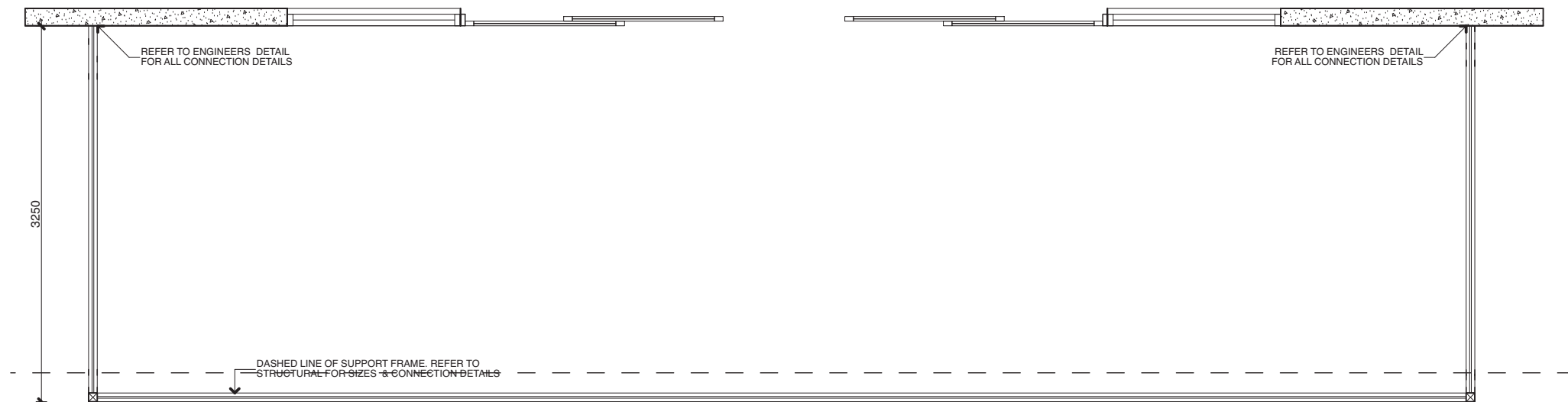


NOTE:

DRAWINGS TO BE COORDINATED
WITH ALL OTHER CONSULTANTS



ELEVATION



PLAN

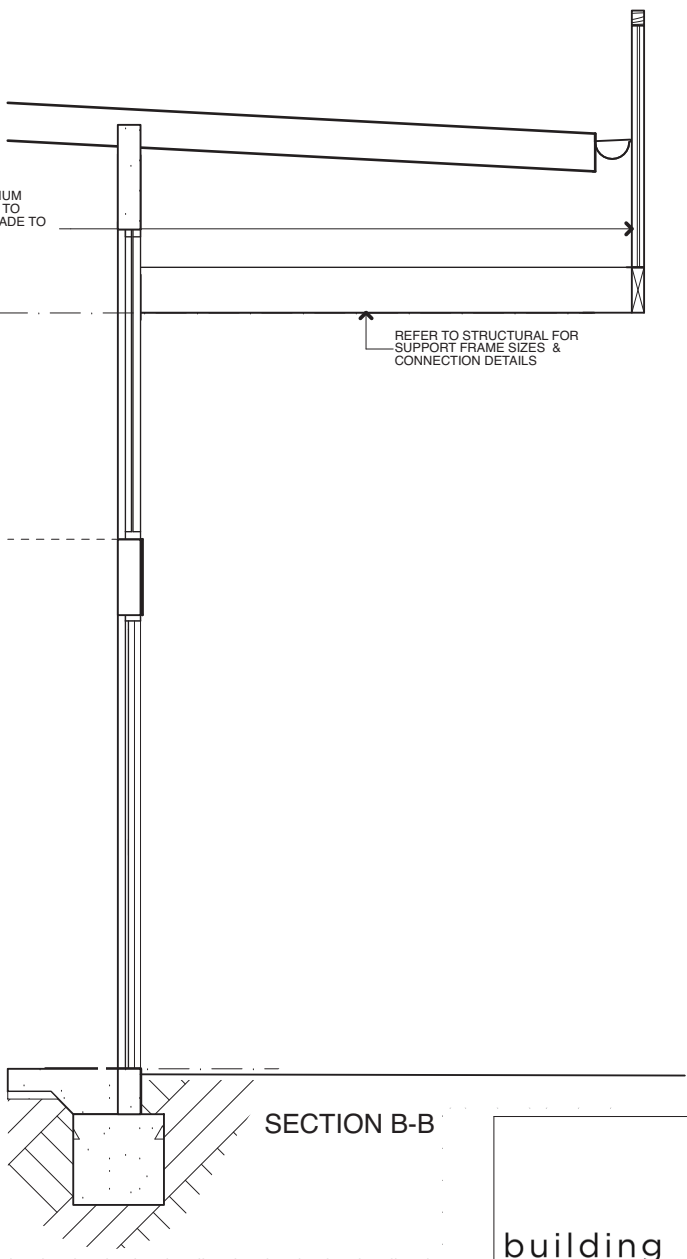
01 ENTRANCE DETAIL
- BUILDING 2 Scale 1:50 @ A3



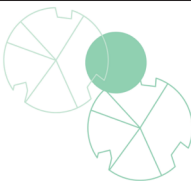
02 ENTRANCE DETAIL
- Scale NTS

75 x 50mm PICOATED ALUMINIUM
FRAME WITH SIGNAGE PANEL TO
PROVIDE ARTICULATION & SHADE TO
BUILDING 1 ENTRY.
FIXED POST / BEAM AS PER
ENGINEERS DETAILS

REFER TO STRUCTURAL FOR
SUPPORT FRAME SIZES &
CONNECTION DETAILS



SECTION B-B



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Issue	Date	Subject	Initial	Auth
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Amendments

Client SHADFORTH
LOTS 1174, 1175, 1176 & 1177
CARNEGIE ST & EDISON CRES,
AURA

Drawing Description

SCREEN DETAILS - BUILDING 2

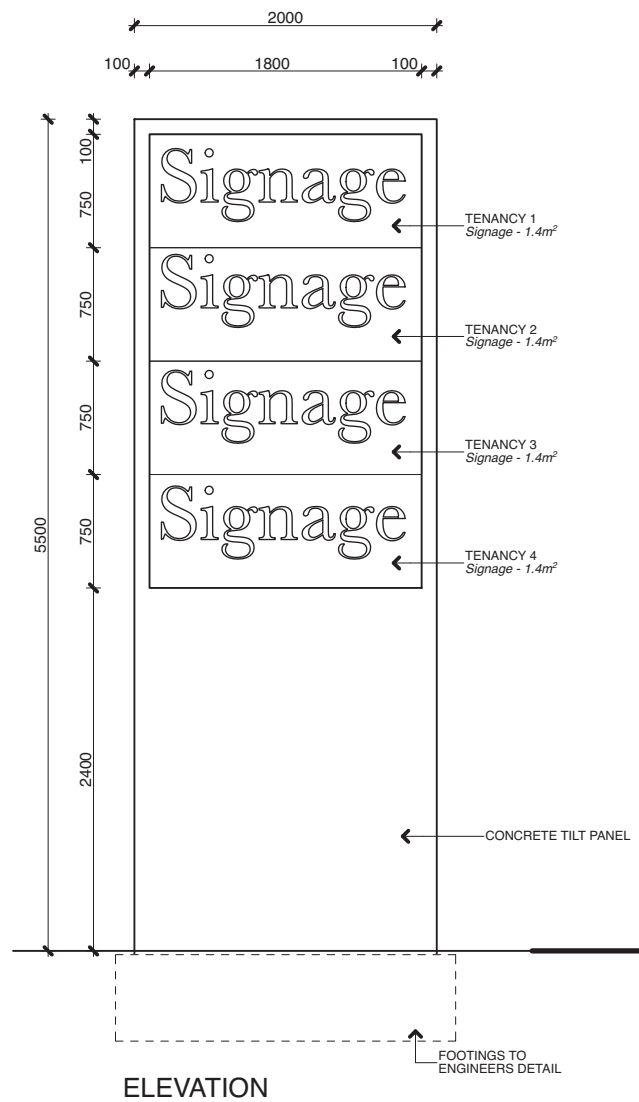
Drawn	ST	Checked	DJ
Scale	As Indicated	Date	10 06 21
Project No.	2021-01	Sheet No.	32
WORKING DRAWING	Issue	N	

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

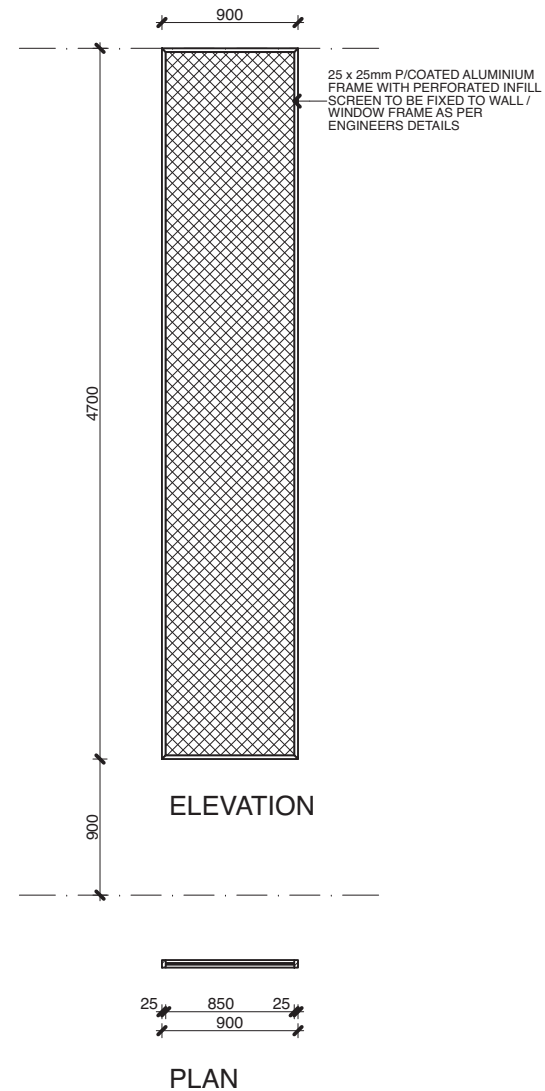
Approval no: DEV2022/1348
Date: 8 December 2022



NOTE:
DRAWINGS TO BE COORDINATED
WITH ALL OTHER CONSULTANTS



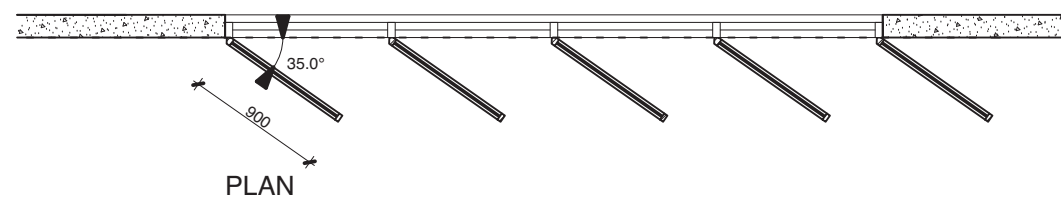
01 SIGNAGE TOTEM
- BUILDING 2 Scale 1:50 @ A3



02 TYPICAL SUN SCREEN
- BUILDING 3 Scale 1:50 @ A3



03 TYPICAL SUN SCREEN
- Scale NTS



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL
Approval no: DEV2022/1348
Date: 8 December 2022



NOTE:
DRAWINGS TO BE COORDINATED
WITH ALL OTHER CONSULTANTS

**building
suncoast
green**
building | design | town planning

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buildgreen@bigpond.com
www.buildingsuncoastgreen.com.au
QBCC Licence No. 65942

Issue	Date	Subject	Initial	Auth
N	24.11.22	Refuse & parking amendments	ST	DJ
M	24.11.22	Dimensions to natural ground level	ST	DJ
L	21.11.22	Access paths & refuse Areas amended	ST	DJ
K	08.11.22	Existing Ground Lines shown	ST	DJ
J	20.10.22	Landscape areas & bicycle parks	ST	DJ
I	10.10.22	Amendments to elevation for approval	ST	DJ
H	30.09.22	Amendments to elevation for approval	ST	DJ
G	29.09.22	Amendments to elevation for approval	ST	DJ
F	20.09.22	Reissued for approval	ST	DJ
E	20.09.22	Client changed & Additional 3D views	ST	DJ
D	16.09.22	Client changed for review only	ST	DJ
C	15.09.22	Client changed for review only	ST	DJ
B	05.08.22	Landscape areas amendment	ST	DJ
A	29.07.22	Working Drawing Issue for Coordination	ST	DJ

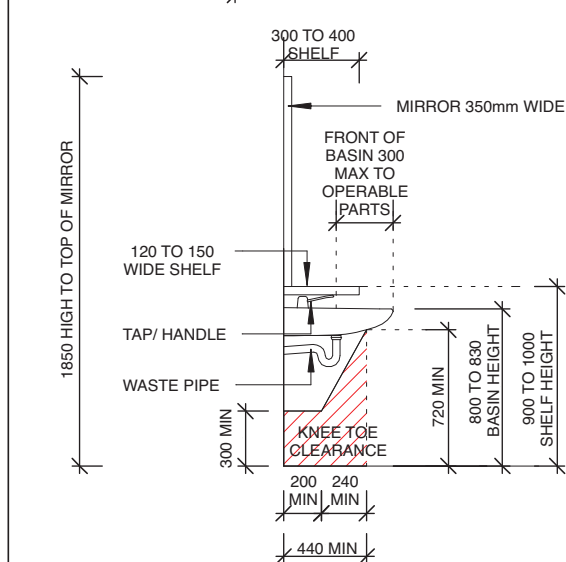
Amendments

Client SHADFORTH
LOTS 1174, 1175, 1176 & 1177
CARNEGIE ST & EDISON CRES,
AURA

Drawing Description
SCREEN & SIGNAGE TOTEM DETAILS

Drawn	ST	Checked	DJ
Scale	As Indicated	Date	10 06 21
Project No.	2021-01	Sheet No.	33
WORKING DRAWING	Issue	N	

1500mm MIN WATERPROOFED AREA REQUIRED



			Initial	AU
N	24.11.22	Refuse & parking amendments	ST	D.
M	24.11.22	Dimensions to natural ground level	ST	D.
K	21.11.22	Access paths & refuse areas amended	ST	D.
X	08.11.22	Existing Ground Lines shown	ST	D.
J	20.10.22	Landscape areas & bicycle parks	ST	D.
I	10.10.22	Amendments to elevation for approval	ST	D.
H	30.09.22	Amendments to elevation for approval	ST	D.
G	29.09.22	Amendments to elevation for approval	ST	D.
F	20.09.22	Reissued for approval	ST	D.
E	20.09.22	Client changed + Additional 3D views	ST	D.
D	16.09.22	Client changed for review only	ST	D.
C	15.09.22	Client changed for review only	ST	D.
B	05.08.22	Landscape areas amendment	ST	D.
A	29.07.22	Working Drawing Issue for Coordination	ST	D.

Client	SHADFORTH		
	LOTS 1174, 1175, 1176 & 1177 CARNEGIE ST & EDISON CRES, AURA		
Drawn	ST	Checked	DJ
Scale	As Indicated	Date	24.09.21
Project No.	2021-01	Sheet No.	34
	WORKING DRAWING	Issue	N
Drawing Description			
ACCESSIBLE DETAILS			