

BLACKWATER TERRACES

LEGEND

- AL ALUMINIUM LOUVRES
- AS ALUMINIUM SCREEN
- BAL BALUSTRADE
- FC1 FLUSH-JOINTED FIBRE CEMENT SHEET, PAINT FINISH
- FC2 FIBRE CEMENT SHEET WITH HORIZONTAL AND VERTICAL TIMBER BATTENS, PAINT FINISH
- FC3 FIBRE CEMENT SHEET WITH HORIZONTAL TIMBER BATTENS, PAINT FINISH
- G GLASS
- PS TWIN-WALLED POLYCARBONATE SHEET (S1M TO DANPALON)
- RS INSULATED SELF-SUPPORTING ROOF SHEETING (S1M RITEK)
- RW ROOF WINDOW OR SKYLIGHT
- SS SECURITY SCREEN
- SS1 SUNSHADE 1 - HORIZONTAL BLADES ON FRAME
- SS2 SUNSHADE 2 - HORIZONTAL BLADES ON FRAME WITH CANOPY OVER
- SS3 SUNSHADE 3 - CANOPY WITH VERTICAL PANEL
- SS4 SUNSHADE 4 - CANOPY WITH VERTICAL PANEL AND INTERMITTENT HORIZONTAL PANELS
- SS5 SUNSHADE 5 - HORIZONTAL BLADES
- WB FIBRECEMENT WEATHERBOARD, PAINT FINISH

FINISHES

- P1 DULUX GRAND PIANO HALF STRENGTH P5C1 H
- P2 DULUX ECLECTIC P41B2
- P3 DULUX NEW BAMBOO P18D4
- P4 DULUX SELF DESTRUCT P14D3
- P5 DULUX WESTERN MYALL P01F7
- P6 DULUX ORANGADE P08F8

GENERAL NOTES

- 01 THESE DRAWINGS ARE ISSUED AS EQUIVALENT TO DEVELOPMENT APPLICATION ONLY AND ARE NOT INTENDED FOR CONSTRUCTION PURPOSES
- 02 THESE DRAWINGS HAVE BEEN PREPARED WITHOUT SITE INSPECTIONS AND WITHOUT INPUT FROM OTHER CONSULTANTS AND THEREFORE REQUIRE DEVELOPMENT PRIOR TO CONSTRUCTION
- 03 DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
- 04 DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE SHOWN.
- 05 FLOOR LEVELS ARE APPROXIMATE ONLY AND REQUIRE SITE INVESTIGATION TO ENSURE SUITABLE AND COMPLIANT UNDERFLOOR CLEARANCES ARE PROVIDED

DRAWING LIST

- DA0000 COVER SHEET & LEGEND
- DA1000 SITE PLAN & ROOF PLAN
- DA1500 SITE ELEVATIONS & SECTION
- DA2100 BUILDING A - FLOOR PLANS
- DA2200 BUILDING B - FLOOR PLANS
- DA2300 BUILDING C - FLOOR PLANS
- DA2400 BUILDING D - FLOOR PLANS
- DA3100 BUILDING A - ELEVATIONS & SECTIONS
- DA3200 BUILDING B - ELEVATIONS & SECTIONS
- DA3300 BUILDING C - ELEVATIONS & SECTIONS
- DA3400 BUILDING D - ELEVATIONS & SECTIONS
- DA5000 FURNITURE LAYOUTS
- DA7000 SCREENS & SUNSHADING MISCELLANEOUS DETAILS
- DA8100 WINDOW SCHEDULE

AREA SCHEDULE

SITE AREA	UNIT NAME	BEDS	BATH	STUDY	LIVING	ACCESSIBLE UNITS	NO. OF UNITS	BREEZE WAY AREA	INTERNAL GROUND AREA	INTERNAL UPPER AREA	INTERNAL AREA	TOTAL AREA	PRIVATE LOT AREA	OUTDOOR SPACE EXCL. CARPORT
2,838	A1	2	2	0	1	0	1	17.5	45.9	28.4	74.3	91.8	35.4	22.6
	A2	2	2	0	1	0	1	17	47.4	28.4	75.8	92.8	180	82
	B1	1	1	1	0	0	1	2.7	39.7	31.2	70.9	73.6	107	38
	B2	1	1	1	0	0	1	2.7	38.7	31.2	70.9	73.6	112	44
	B3	1	1	1	0	0	1	2.7	38.7	31.2	70.9	73.6	116	48
	B4	2	2	0	0	0	1	2.7	38.7	40.9	79.6	82.3	117	49
	B5	2	2	0	0	0	1	2.7	38.7	40.9	79.6	82.3	117	50
	B6	2	2	0	0	0	1	2.7	38.7	40.9	79.6	82.3	117	50
	C1	3	3	0	0	0	1	4.2	62.7	45.6	108.3	112.5	224	100
	C2	2	2	0	0	0	1	11.6	68.3	0	68.3	79.9	252	131
	D1	1	1	0	0	0	1	5.8	46.5	0	46.5	52.3	177	94
	D2	1	1	1	0	0	1	9.5	62.2	0	62.2	71.7	269	122
Total						2	12		886.3		968.7		2,164	

PLANS AND DOCUMENTS referred to in the ULDA APPROVAL dated 2 / 9 / 11

Revisions

No

Date

Description

1

25.10.10

ISSUED FOR DA EQUIVALENT

2

04.02.11

ISSUED FOR DA2C PRICING

3

23.02.11

UPDATED AREA SCHEDULE

Next Page

NI

TO

C1

Drawn

By

Site Location Plan

Client

URBAN LAND DEVELOPMENT AUTHORITY

Level 4, 229 Elizabeth Street

Brisbane QLD 4000

Tel: 07 3024 4100

Fax: 07 3024 4199

Contact: Alex Plushin

Architect

AJ+C

Architects

34 Florence Street, Toowoomba

ph: +61 7 2846 2222 fx: +61 7 2846 2200 AWH 03 800 702 200

Project

BLACKWATER TERRACES

Chr Arthur, Deon & Rufus Streets

Blackwater QLD

Drawn Title

TITLE SHEET

LEGENDS & AREA SCHEDULE

Scale

NTS

Issue No

DA1000

Issue

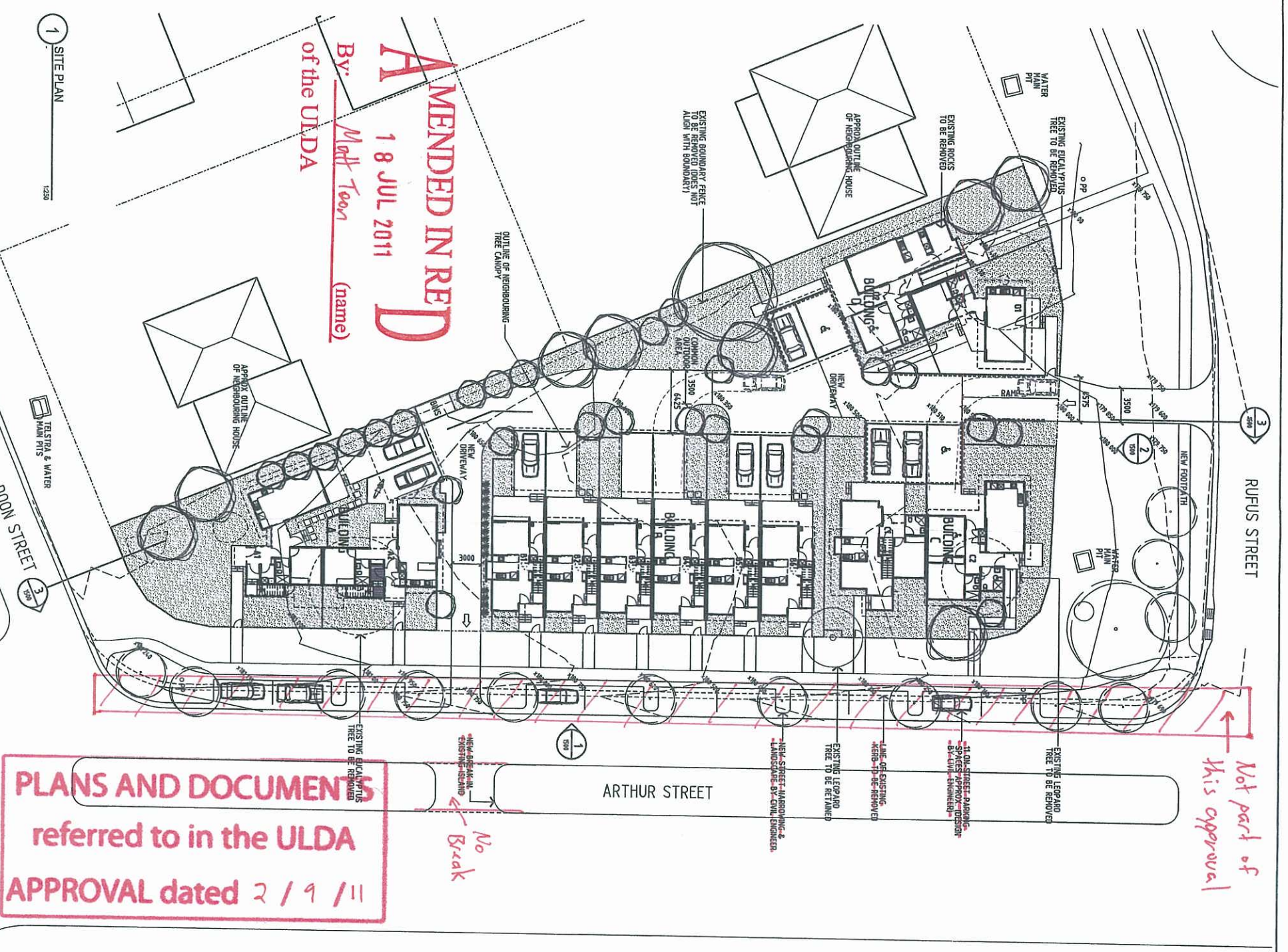
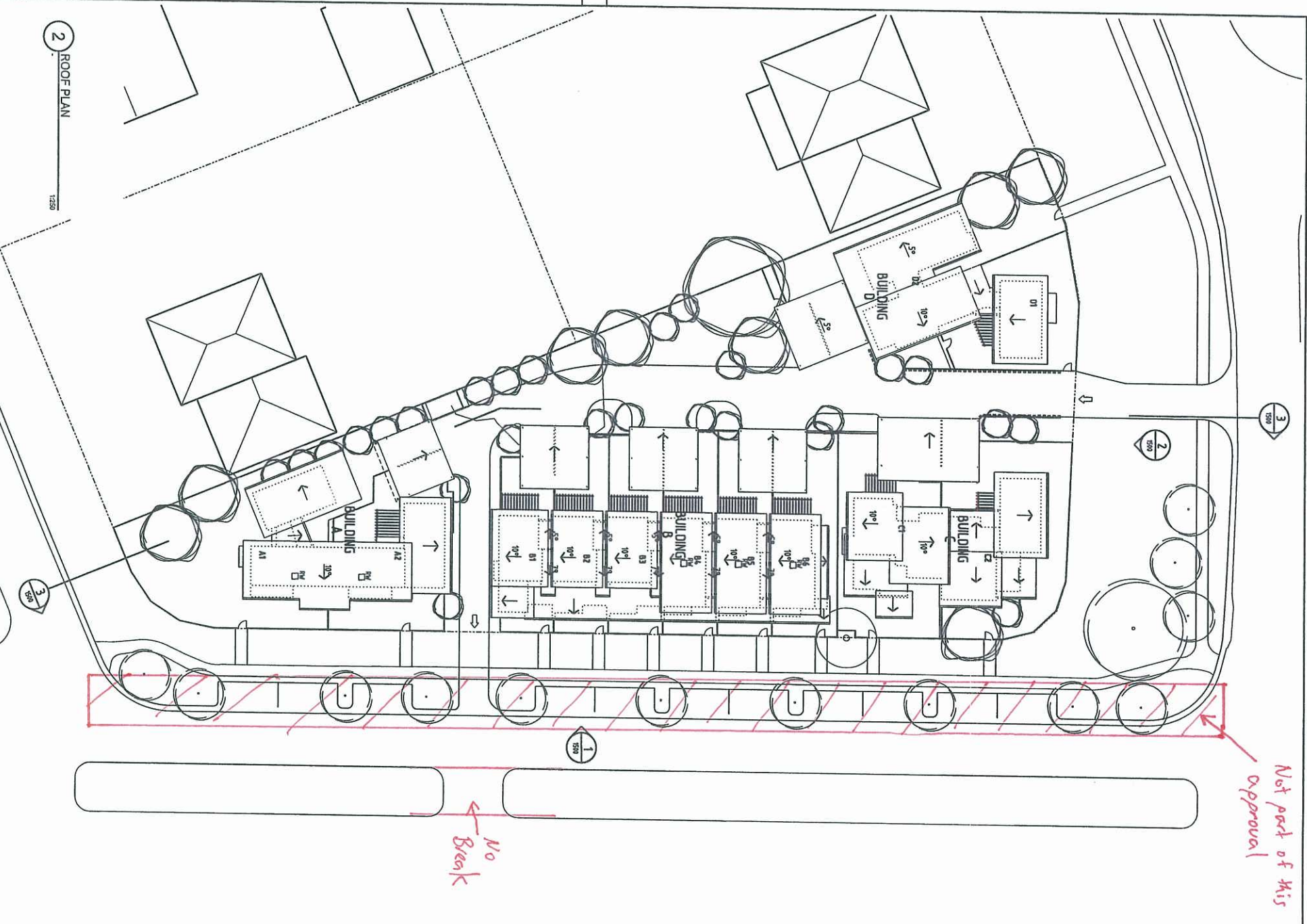
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PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 2 / 9 / 11

Revisions

No	Date	Description	Rev	Appr
1	21.11.10	ISSUED FOR DA EQUIVALENT	NM	
2	24.01.11	ISSUED FOR DA2 PARKING	TO	CJ
3	18.07.11	REVISED CARPORTS & DRIVEWAY	TO	CJ

Site Location Plan

Client

URBAN LAND DEVELOPMENT AUTHORITY
Level 4, 229 Elizabeth Street
Brisbane QLD 4000
Tel: 07 3024 4100
Fax: 07 3024 4199
Contact: Alex Puschin

Architect

AJ+C
34 Florence Street, Teneriffe QLD 4006 AUSTRALIA
Ph +61 7 3845 2222 fx +61 7 3845 2200 AHN 53 803 782 250

Project

BLACKWATER TERRACES
Cnr Arthur Deon & Ruffs Streets
Blackwater QLD

Drawing Title

SITE PLAN

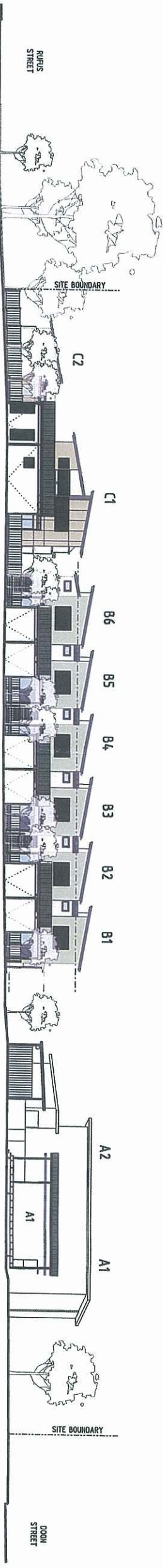
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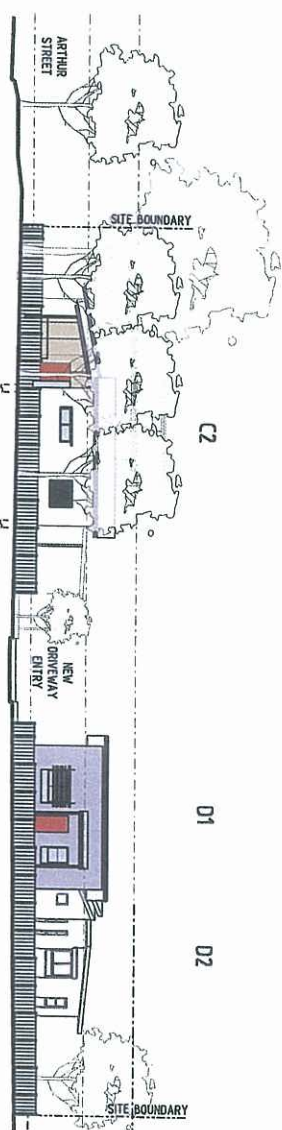
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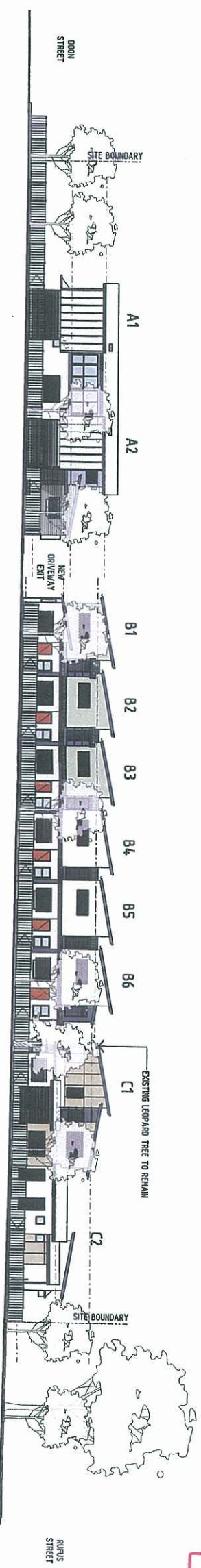
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3 SECTION THROUGH DRIVEWAY
NORTHWEST ELEVATION
1200



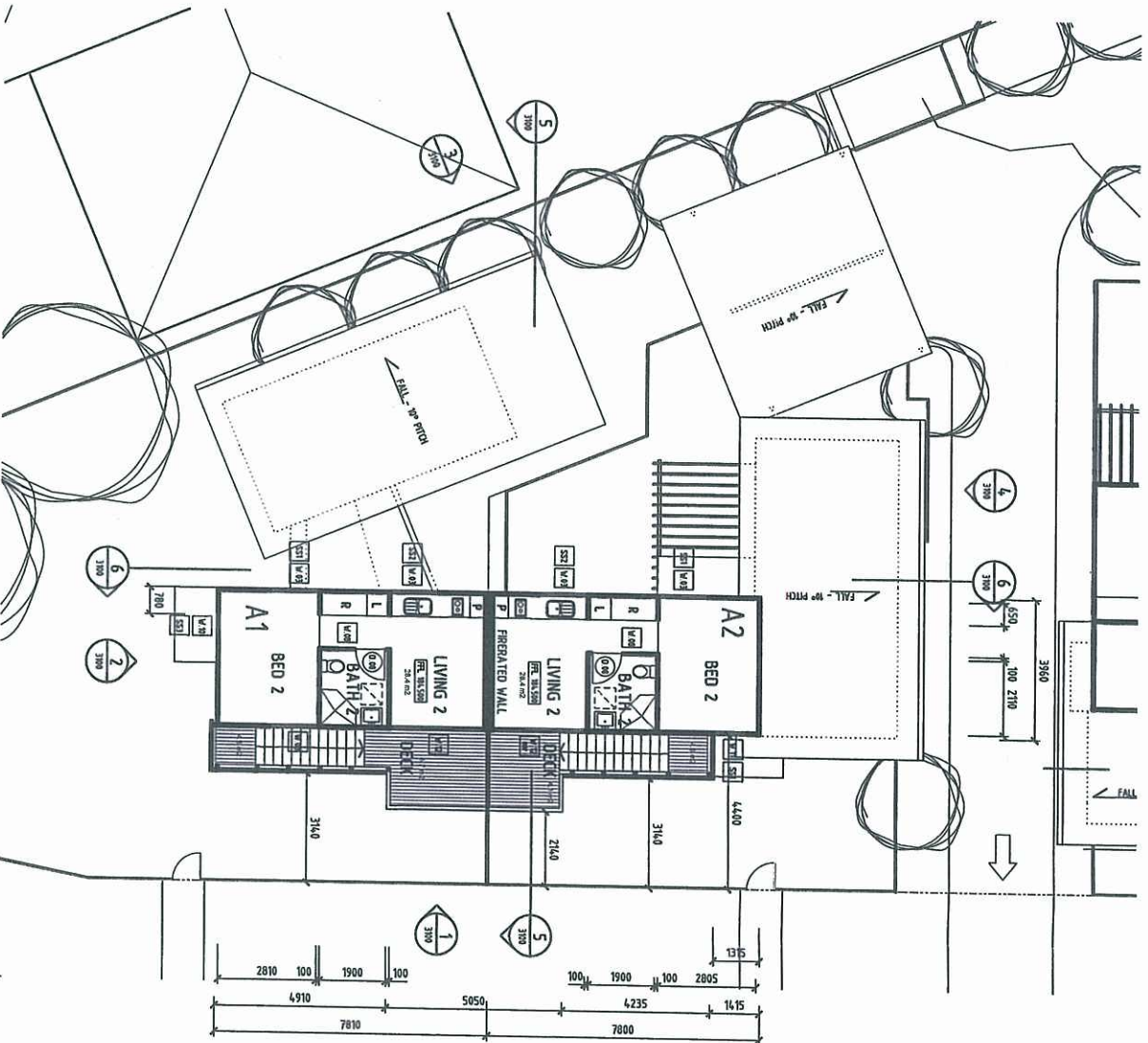
2 RUFUS STREET ELEVATION
NORTH EAST ELEVATION
1200



1 ARTHUR STREET ELEVATION
SOUTH EAST ELEVATION
1200

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 2 / 9 / 11

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2	24.02.11 ISSUED FOR DA2 PAVING		
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		URBAN LAND DEVELOPMENT AUTHORITY	
		Level 4, 229 Elizabeth Street	
		Brisbane QLD 4000	
		Tel: 07 3024 4100	
		Fax: 07 3024 4199	
		Contact: Alex Pluslitt	
		Architect	
		AJ+C	
		34 Florence Street, Teneriffe QLD 4005 AUSTRALIA	
		ph +61 7 3845 2222 fx +61 7 3845 2200 aen 51 003 782 250	
		Product	
		BLACKWATER TERRACES	
		Cnr Arthur, Doon & Rufus Streets	
		Blackwater QLD	
		Project No. 10704	
		Drawing Title	
		SITE ELEVATIONS	
		SITE SECTIONS	
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		Drawing No	
		DA1500	
		Issue	
		2	
		NOT FOR CONSTRUCTION	



2 UPPER FLOOR PLAN
BUILDING A
1:100

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 2 / 9 / 11

Revisions	Rev	By	Description
1	25.11.10	ISSUED FOR DA EQUIVALENT	
2	24.02.11	ISSUED FOR DA2100	



Client
URBAN LAND DEVELOPMENT AUTHORITY
Level 4, 229 Elizabeth Street
Brisbane QLD 4000
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AJ+C
34 Florence Street, Thorncliffe QLD 4000
ph: 487 73645 2222 fx: 487 73645 2200
www.ajc.com.au

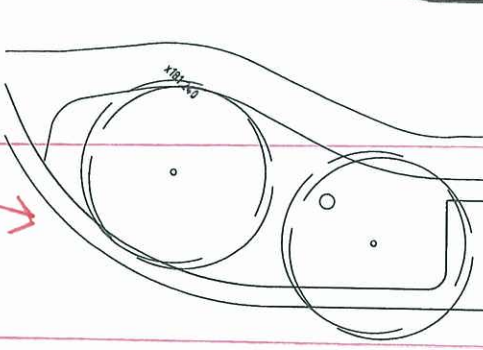
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BLACKWATER TERRACES
Cnr Arthur, Doon & Rufus Streets
Blackwater QLD

Drawing Title
BUILDING A
FLOOR PLANS

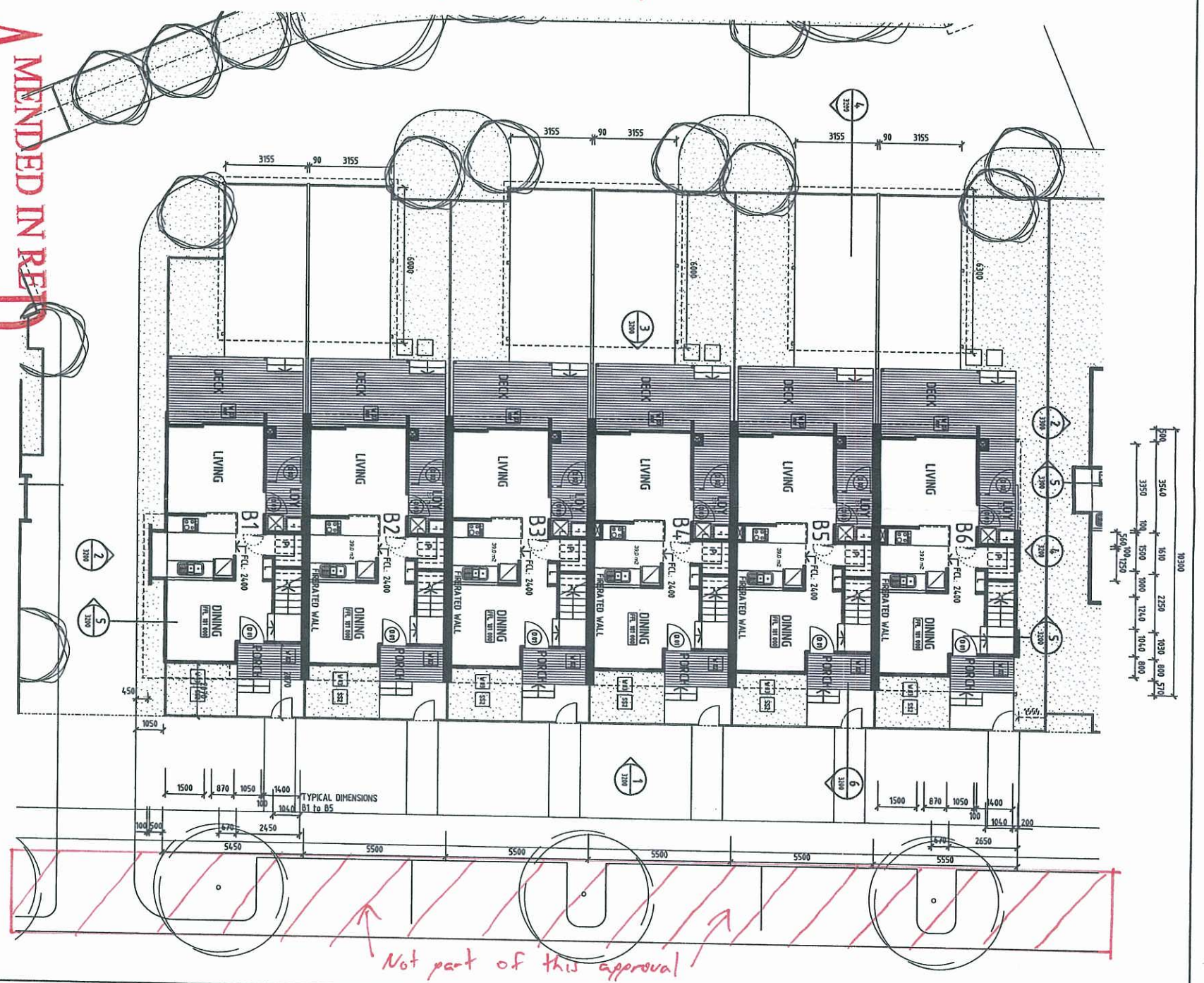
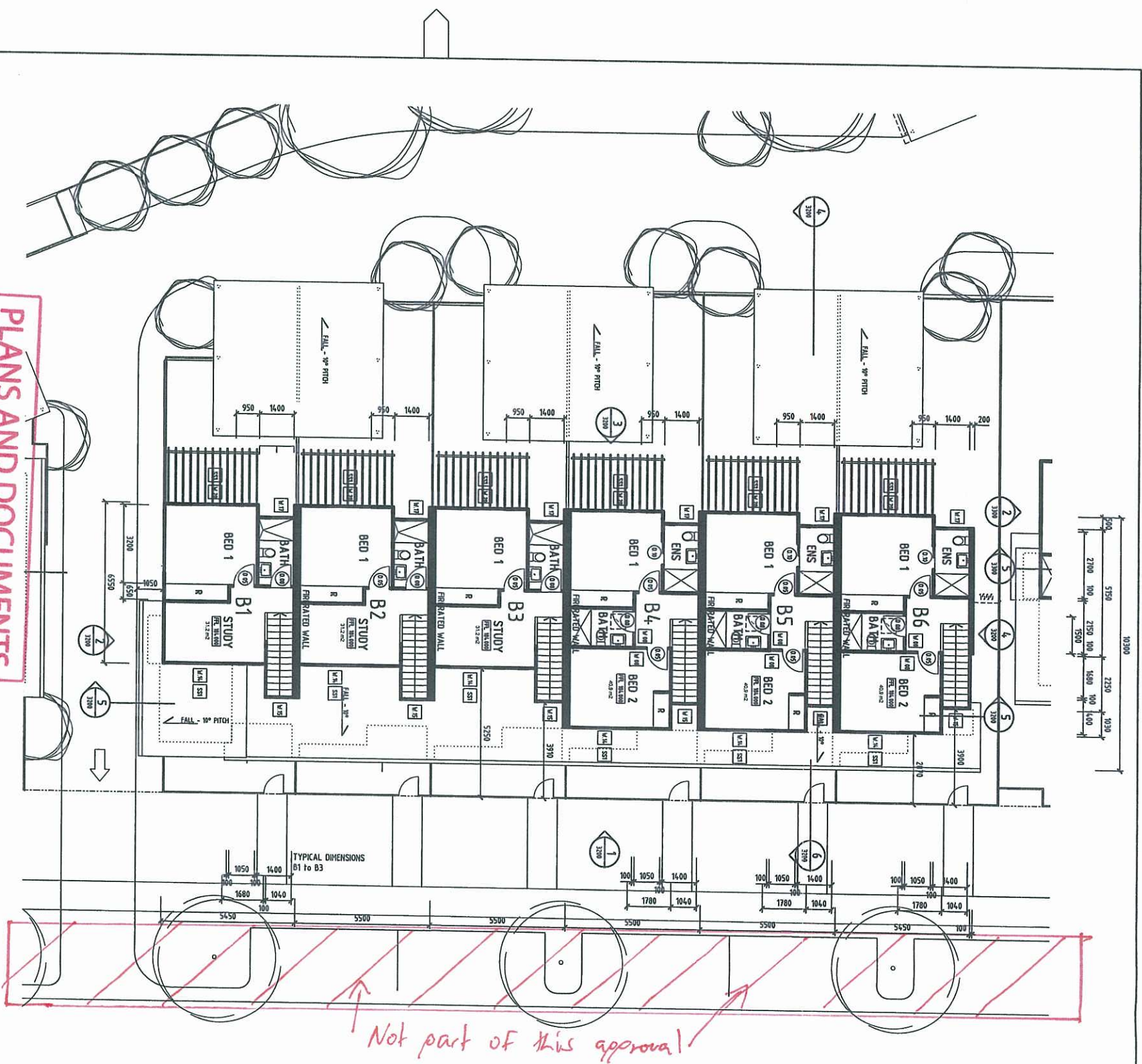
Scale
1:100
DA2100
Issue
2

AMENDED IN RED
18 JUL 2011
By: Matt Teo (name)
of the ULDA

1 GROUND FLOOR PLAN
BUILDING A
1:100



Not part of
this approval



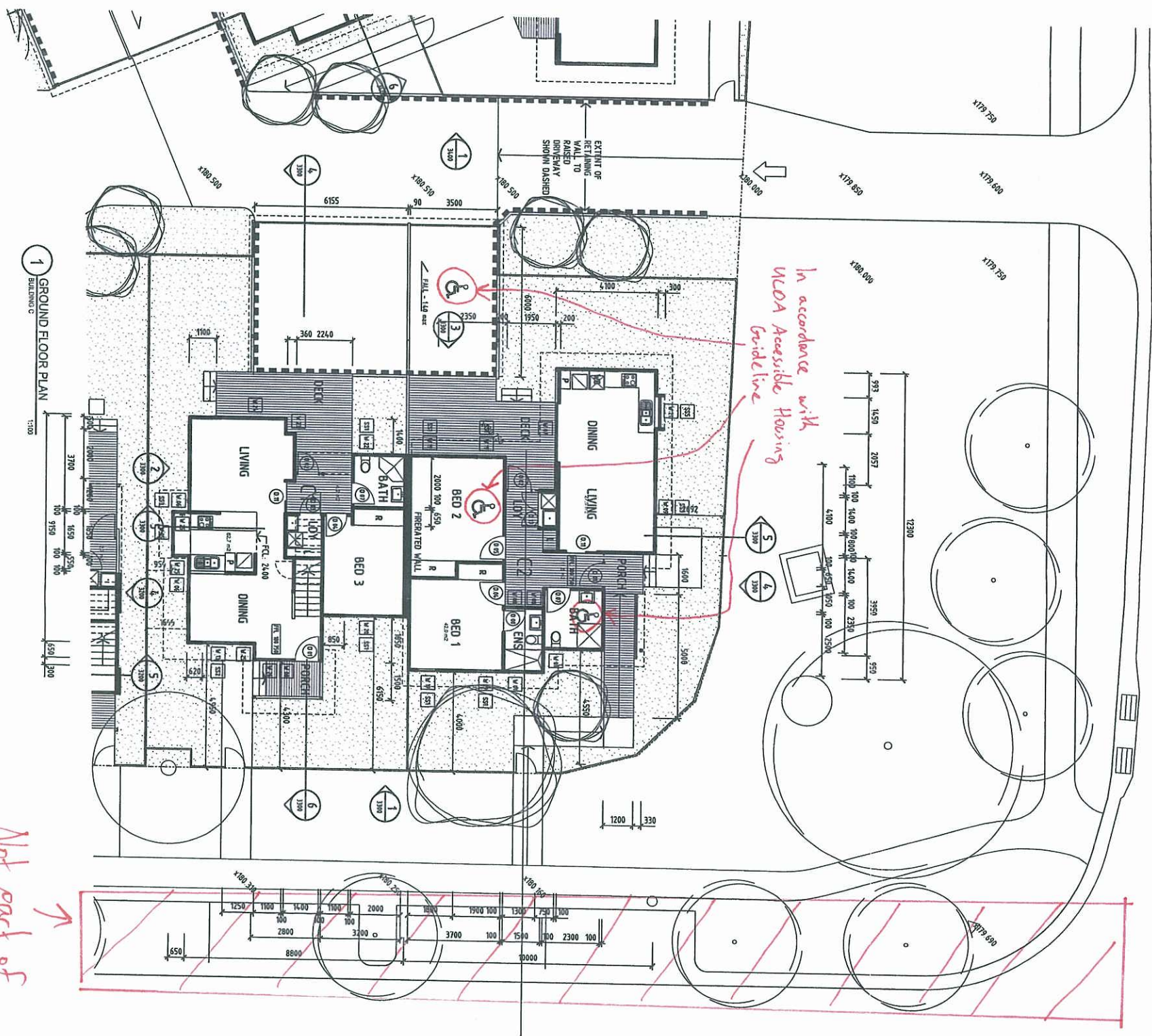
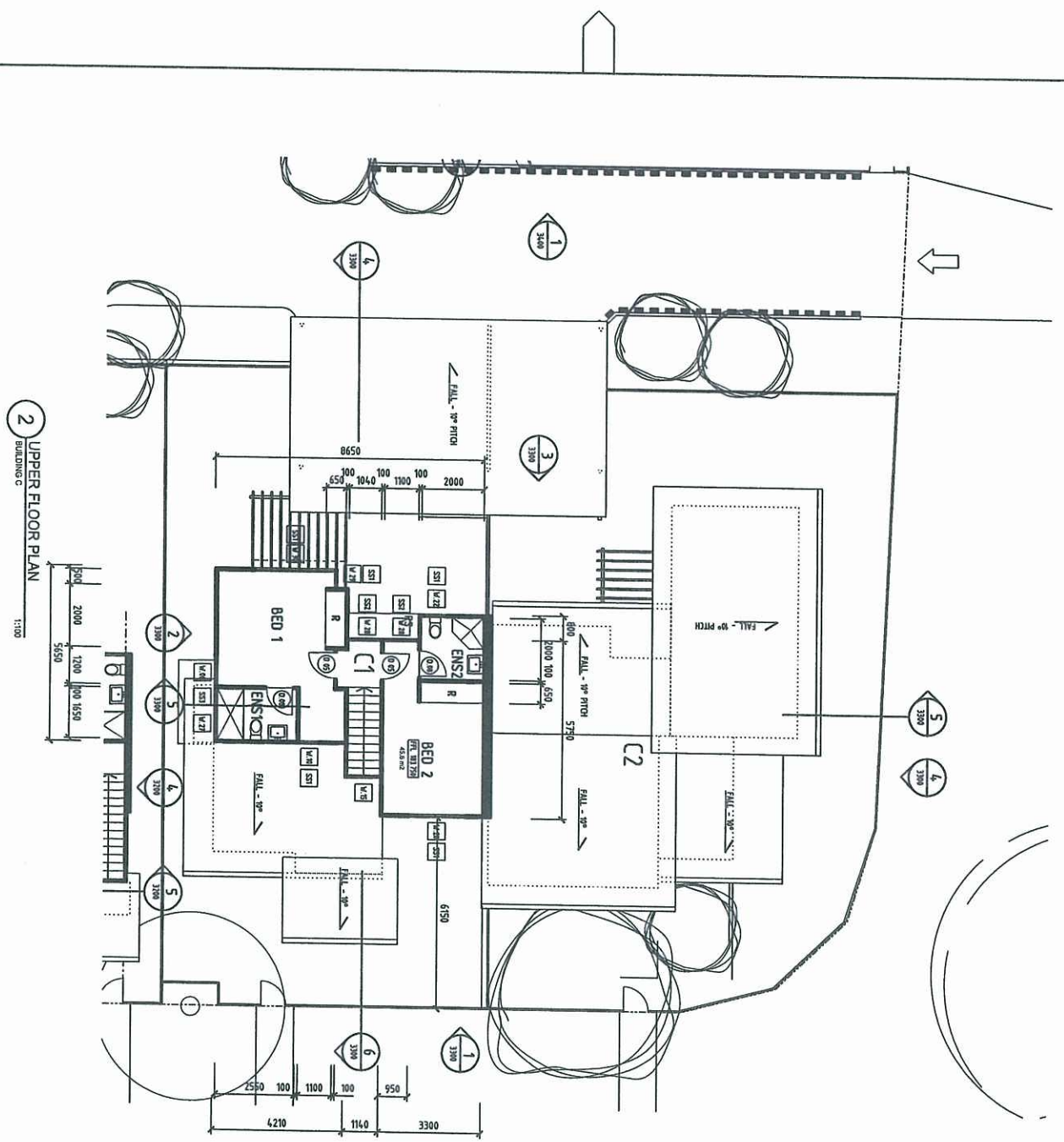
PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 2 / 9 / 11

A MENDED IN RECD
18 JUL 2011
By: Matt Tera (name)
of the ULDA

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2	11.01.11	FOR CONSTRUCTION											
3	14.01.11	FOR CONSTRUCTION & SIGNING											
Client URBAN LAND DEVELOPMENT AUTHORITY Level 4, 229 Elizabeth Street Brisbane QLD 4000 Tel: 07 3024 4100 Fax: 07 3024 4199 Contact: Alex Plusiuh	Architect AJ+C ALAN JACKSON 34 Florence Street, Terwiller QLD 4008 AUSTRALIA Ph: 07 1 5805 2222 or 07 1 5845 2200 ALN 503 782 220												
Project BLACKWATER TERRACES Chr Arthur, Doon & Rulus Streets Blackwater QLD	Project No. 10704												
Drawing Title BUILDING B FLOOR PLANS	Scale 1:100 Drawing No. DA2200 Issue 3 NOT FOR CONSTRUCTION Drawing Status NOT FOR CONSTRUCTION												

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 2 / 9 / 11

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1 8 JUL 2011
By: Matt Tooa (name)
of the ULDA

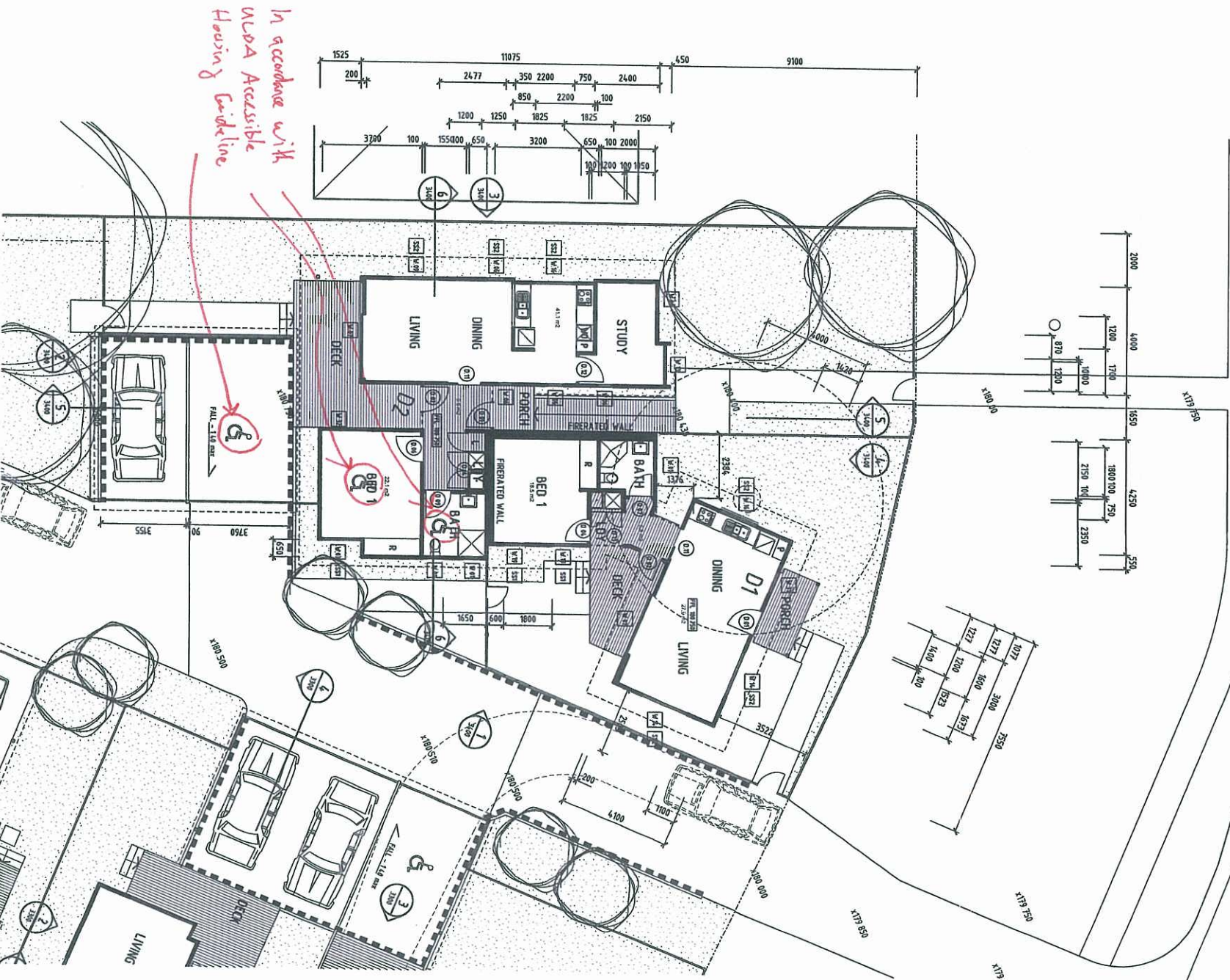


Not part of
this approval

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2	04.02.11 ISSUED FOR DA2300
3	15.02.11 REVISED DRAWING & CAPTIONS
Key	
1	DA2300
2	DA2300
3	DA2300
Site Location Plan	
Client	
URBAN LAND DEVELOPMENT AUTHORITY Level 4, 228 Elizabeth Street Brisbane QLD 4000 Tel: 07 3024 4100 Fax: 07 3024 4199 Contact: Alex Plushin	
Architect	
AJ+C ARCHITECTS 34 Florence Street, Teneriffe QLD 4006 AUSTRALIA ph +61 7 3445 2222 fx +61 7 3445 2200 AIN 53 003 72 250	
Project	
BLACKWATER TERRACES Cnr Arthur, Doon & Rufus Streets Blackwater QLD	
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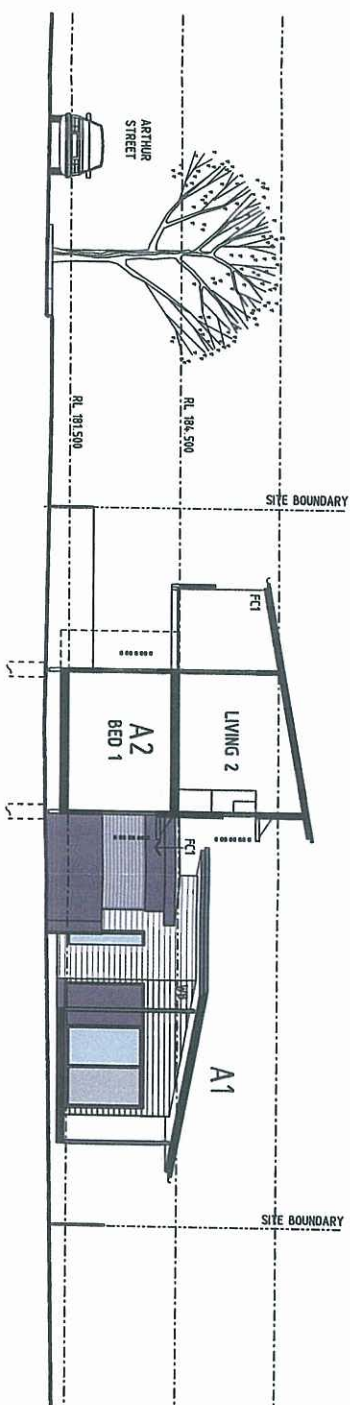
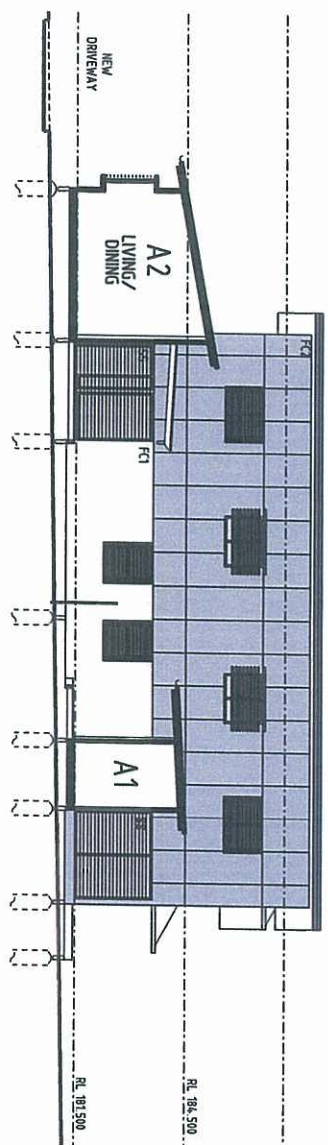
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18 JUL 2011
By: Matt Toon (name)
of the ULDA

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 2 / 9 / 11



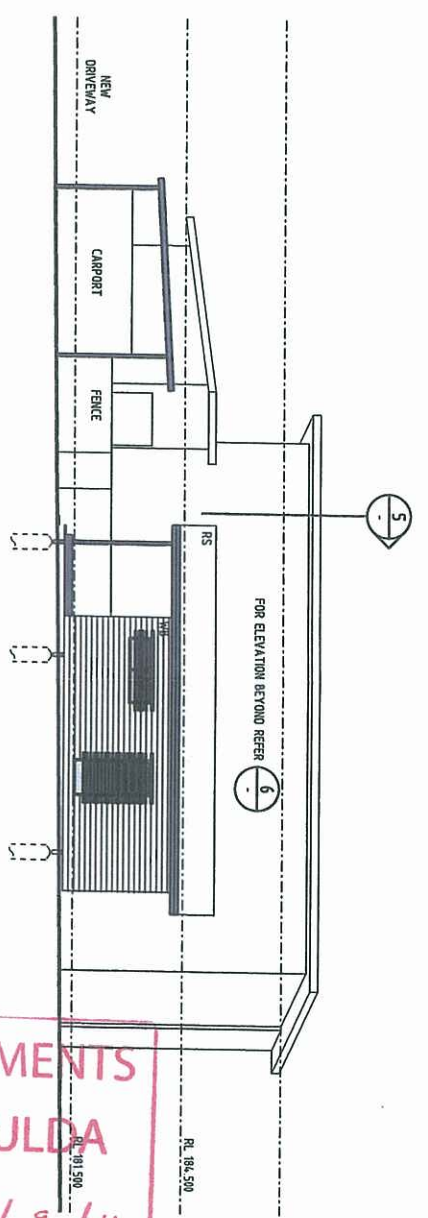
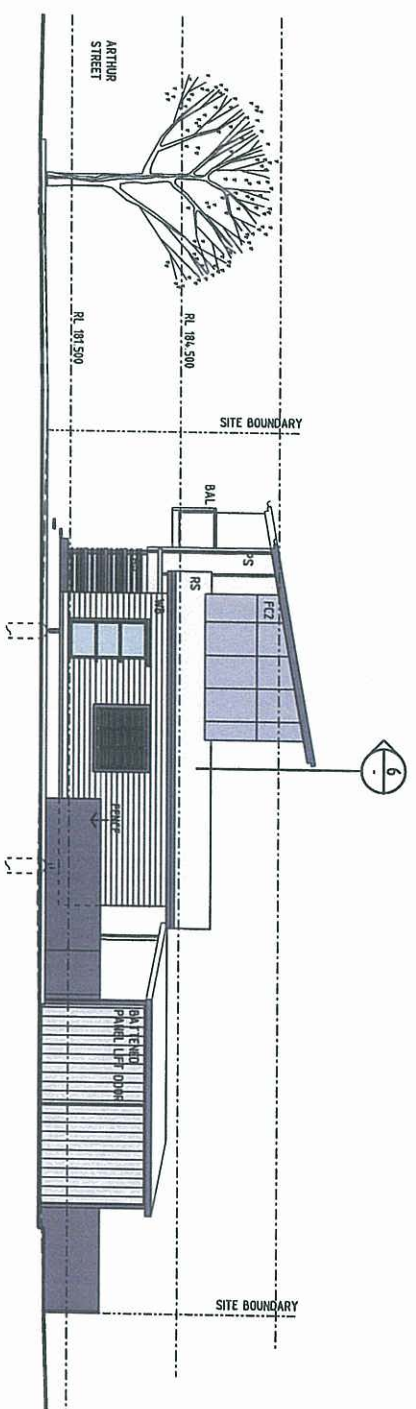
1 GROUND FLOOR PLAN
1:100

Title: GROUND FLOOR PLAN	
Client: URBAN LAND DEVELOPMENT AUTHORITY Level 4, 228 Elizabeth Street Brisbane QLD 4000 Tel: 07 3024 4100 Fax: 07 3024 4199 Contact: Alex Plushin	
Architect: AJ+C ALAN JACKSON 34 Florence Street, Teneriffe QLD 4006 AUSTRALIA Ph: +61 7 3845 2222 F: +61 7 3845 2200 AN: 53 003 782 290	
Project: BLACKWATER TERRACES Cnr Arthur, Doon & Rufus Streets Blackwater QLD	
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Issue: 3	
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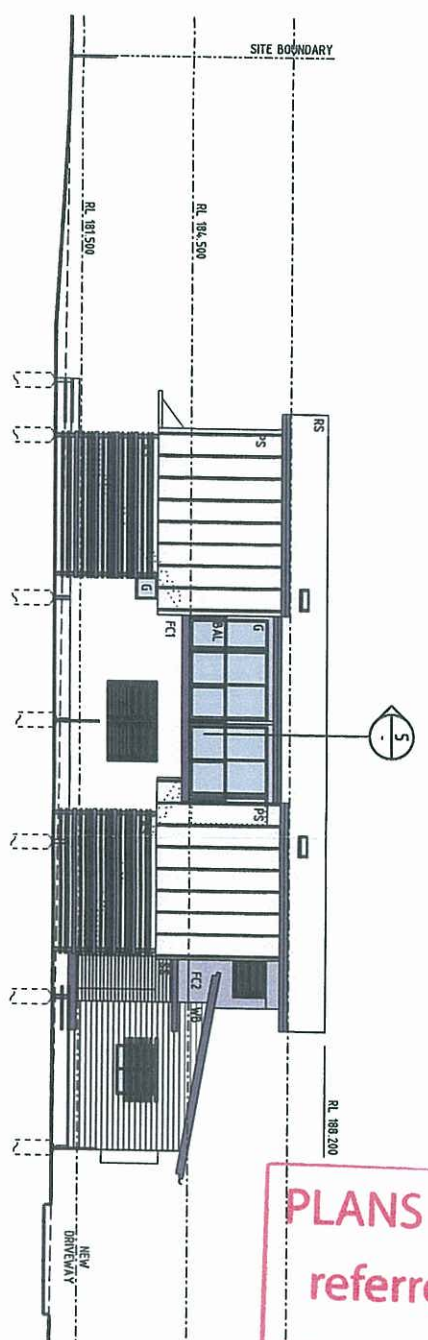
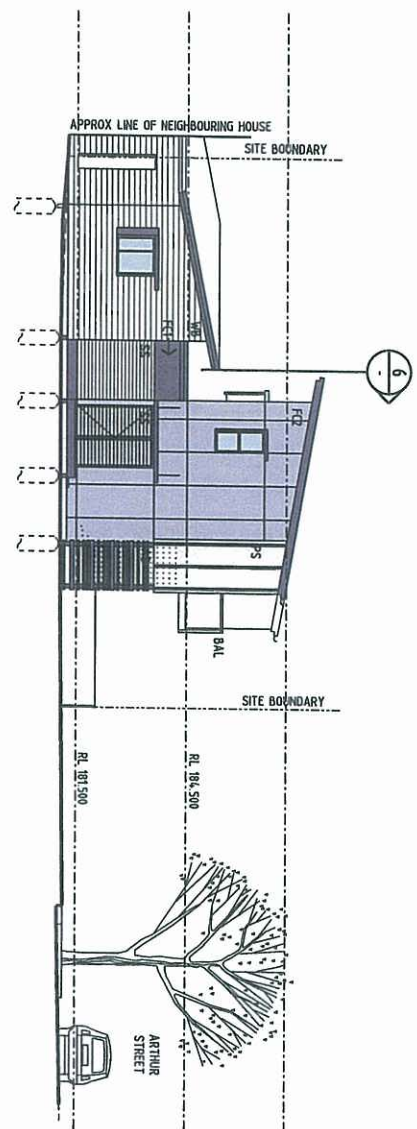
6 SECTION B
BUILDING A 1:100

5 SECTION A
BUILDING A



4 NORTH ELEVATION
BUILDING A
1:100

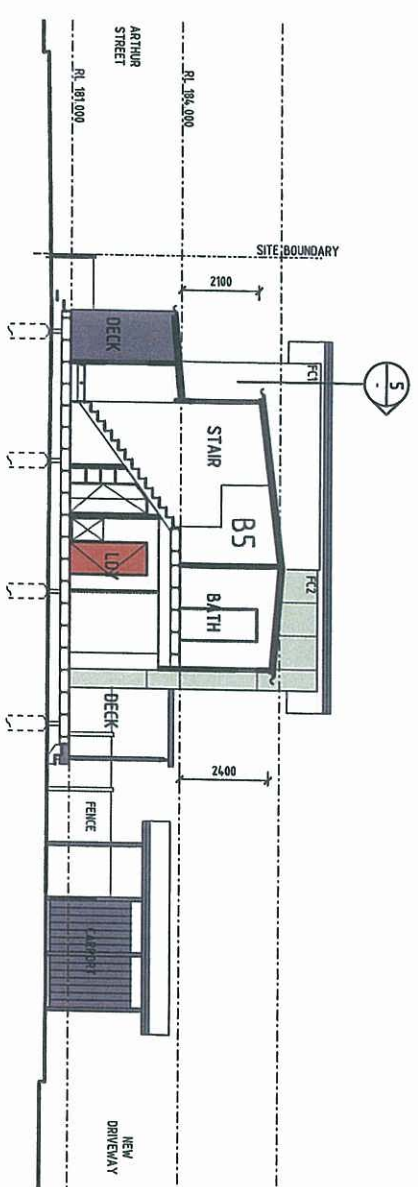
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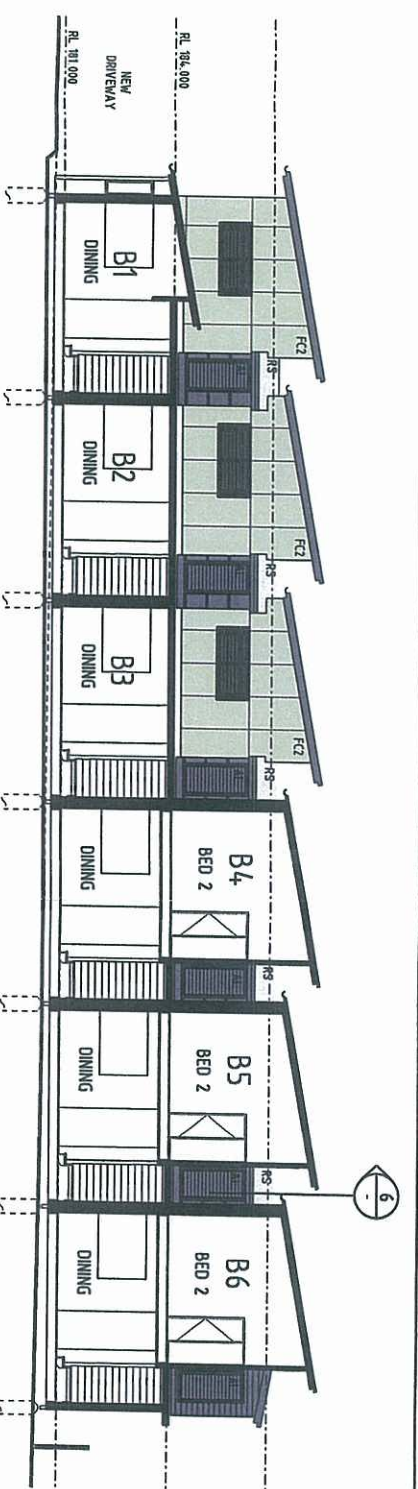
2 SOUTH ELEVATION
BUILDING A
1:100

1 EAST ELEVATION
BUILDING A 1:10

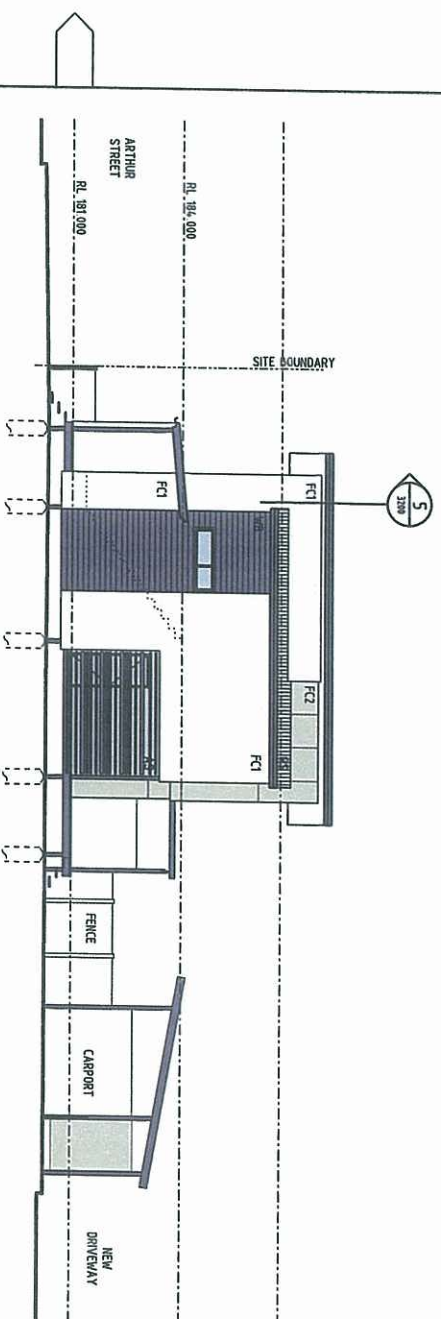
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2	4.02.13	ISSUED FOR B.A. PRELIM																			
3																					
4																					
5																					
Client URBAN LAND DEVELOPMENT AUTHORITY Level 4, 228 Elizabeth Street Brisbane QLD 4000		Architect AJ+C ARCHITECTS 234 FITZGERALD STREET TOWNSVILLE QLD 4810 PH: +61 7 3846 2232 E: +61 7 3846 2200 ABN 52 303 782 350																			
Project BLACKWATER TERRACES Cnr Arthur, Doon & Rulus Streets Blackwater QLD		Drawing Title BUILDING A ELEVATIONS & SECTIONS																			
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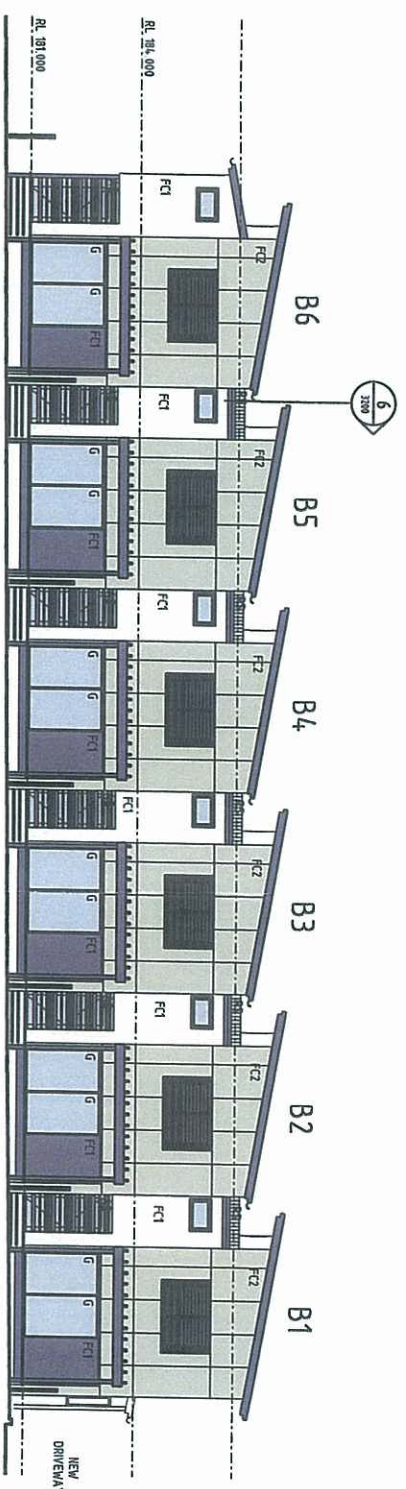
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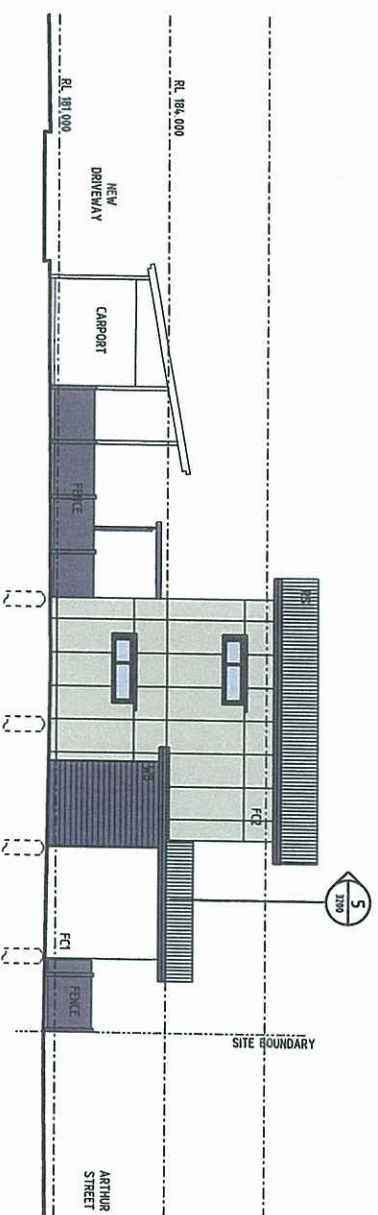
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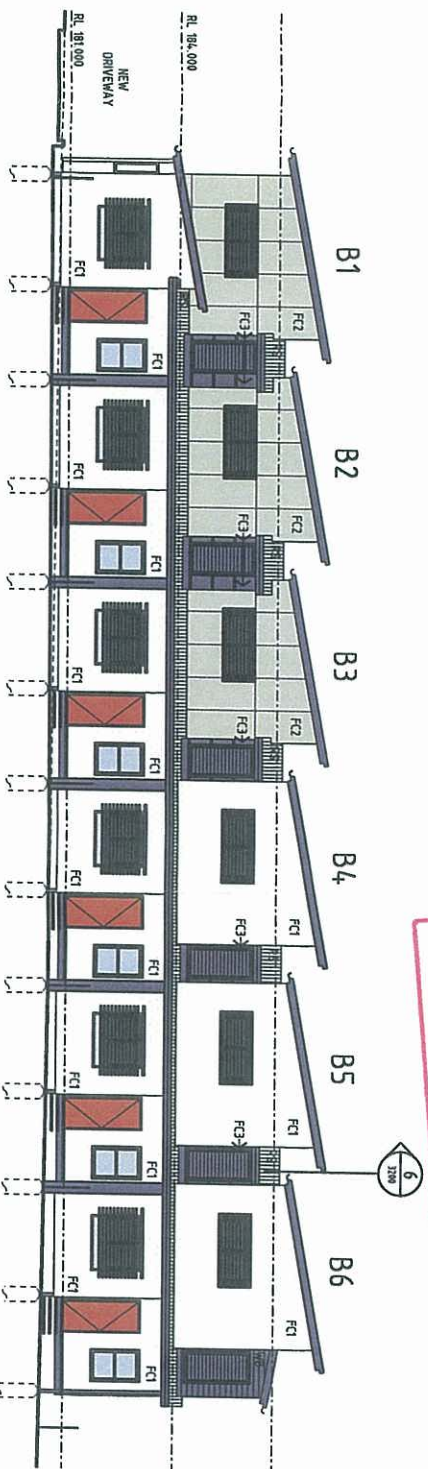
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BUILDING B



3 WEST ELEVATION
BUILDING 8



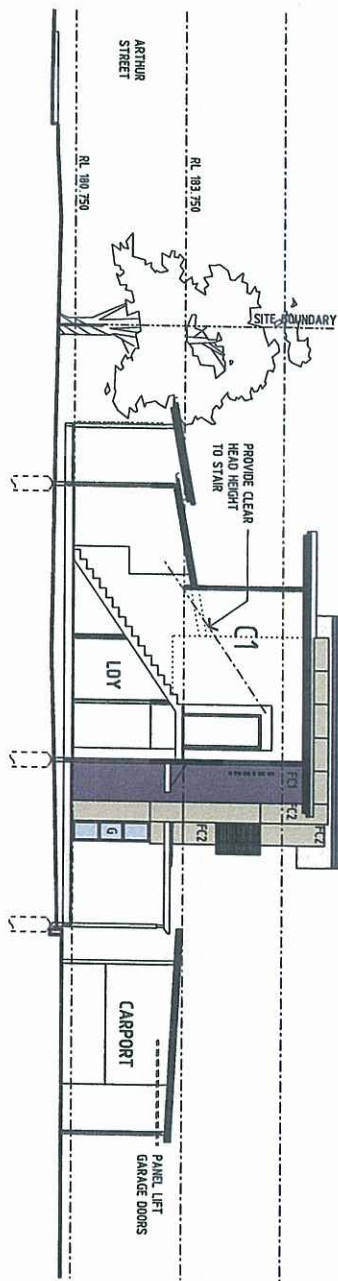
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BUILDING B



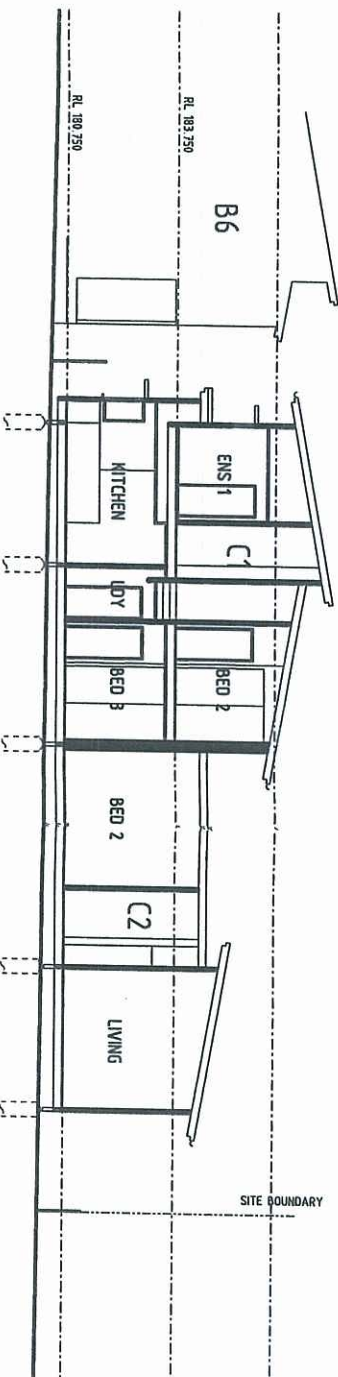
1 EAST ELEVATION
BUILDING B

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 2 / 9 / 11

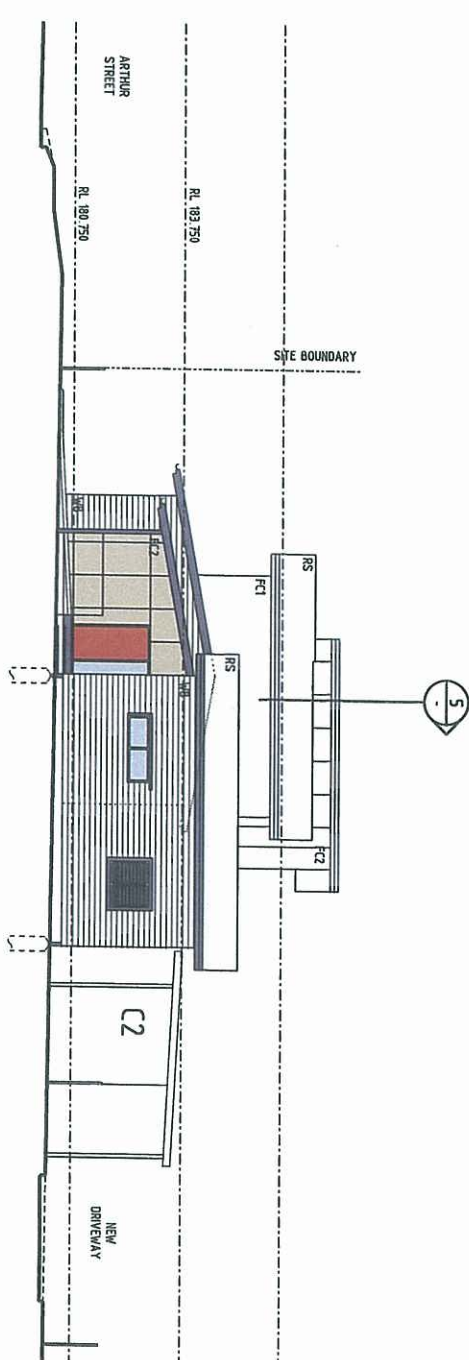
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No	Date	Description	By	App'd																			
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2	8.12.11	ISSUED FOR DMC PLACING	TO																				
			CF																				
Do not scale drawings. Use figured dimensions only. Check & verify levels and dimensions on the ground. All dimensions are to the face of work, unless otherwise stated. All dimensions are to the face of work, unless otherwise stated. All dimensions are to the face of work, unless otherwise stated. This drawing is the property of Alan Jacobson Architects and is protected by copyright law. It is to be used for the project only and is not to be reproduced or used in any other project without the express permission of Alan Jacobson Architects. Please contact Alan Jacobson Architects for more information. Project No. 10704. Contact: Alan Jacobson Architects, Phone: 03 683 782 250, Email: alan@aj+c.com.au		Key Plan																					
Client UREAN LAND DEVELOPMENT AUTHORITY Level 4, 228 Elizabeth Street Brisbane QLD 4000		Architect AJ+C ALAN JACOBSON 34 Florence Street, Teneriffe QLD 4018 AUSTRALIA Ph +61 7 2580 5522 K +61 7 2580 2250 ALAN 03 683 782 250																					
Project CHICKWATER TERRACES Cnr Arthur, Deon & Rufus Streets Blackwater QLD		Drawing Title BUILDING B ELEVATIONS & SECTIONS																					
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Project No. 10704		Printed Scale 0 0.5 1 2																					



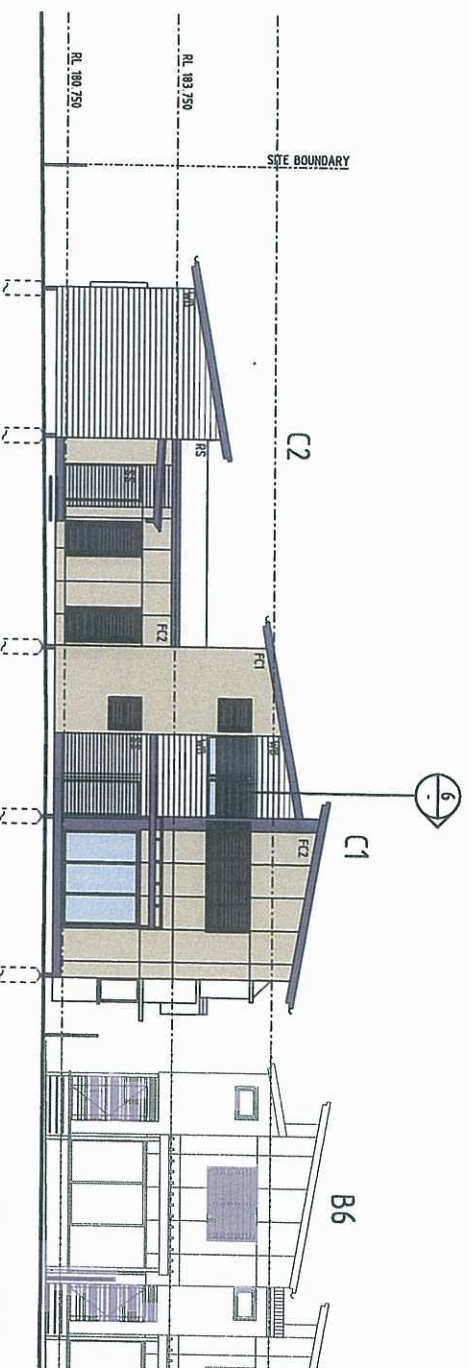
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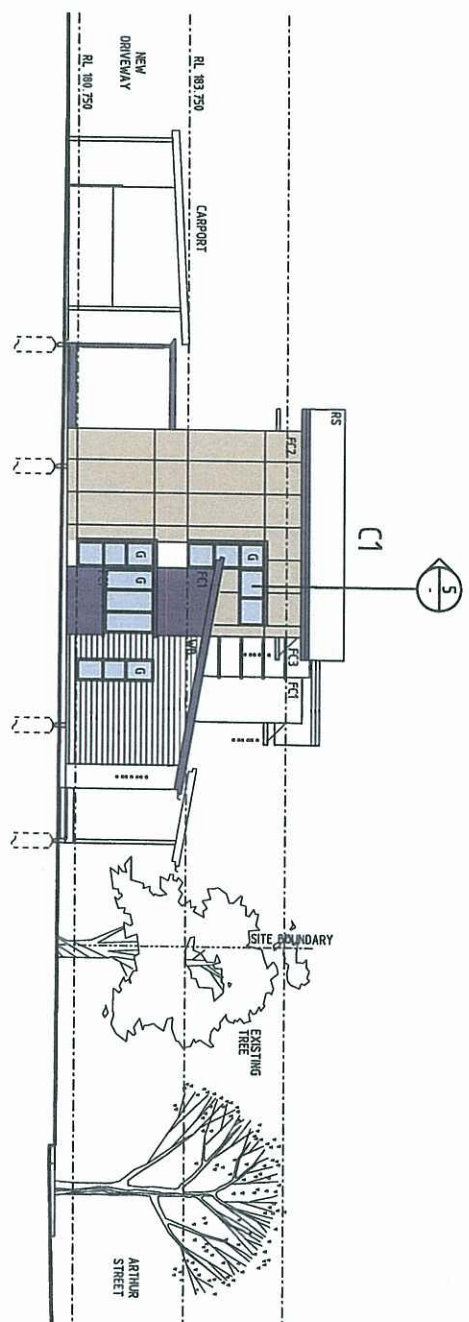
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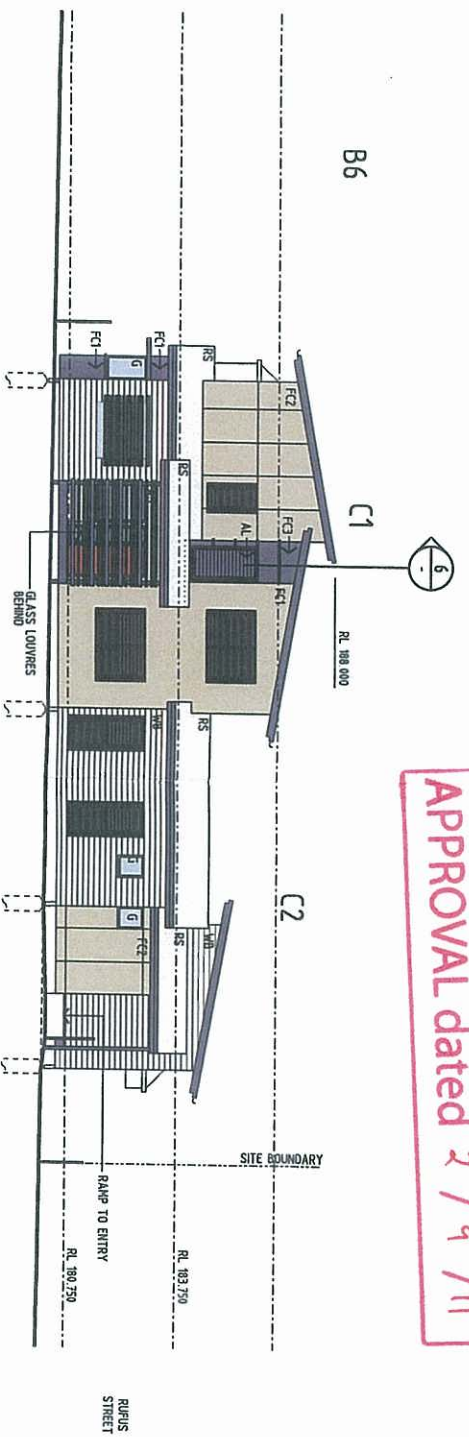
4 NORTH ELEVATION
BUILDING C
1:100



3 WEST ELEVATION
BUILDING C
1:100



2 SOUTH ELEVATION
BUILDING C
1:100



1 EAST ELEVATION
BUILDING C
1:100

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 2 / 9 / 11

Revisions

No	Date	Description	Rev	App'd
1	25.11.19	ISSUED FOR DA EQUIVALENT	NH	
2	04.02.21	ISSUED FOR DA2 PENDING	TO	C1

Site Location Plan

Client

URBAN LAND DEVELOPMENT AUTHORITY
Level 4, 229 Elizabeth Street
Brisbane QLD 4000
Tel: 07 3024 4100
Fax: 07 3024 4199
Contact: Alex Plusin

Architect

AJ+C
ARCHITECTS
34 Florence Street, Tonbridge QLD 4008 AUSTRALIA
ph +61 7 2945 2222 fx +61 7 2945 2290 ABN 53 003 782 250

Project

BLACKWATER TERRACES
C1, Arthur, Don & Rulus Streets
Blackwater QLD

Drawing Title

BUILDING C
ELEVATIONS

Scale

1:100

Drawing No

DA3300

Issue

2

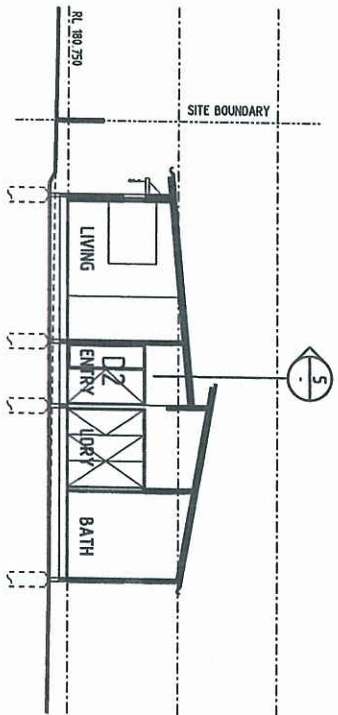
NOT FOR CONSTRUCTION

Plot Date & Time

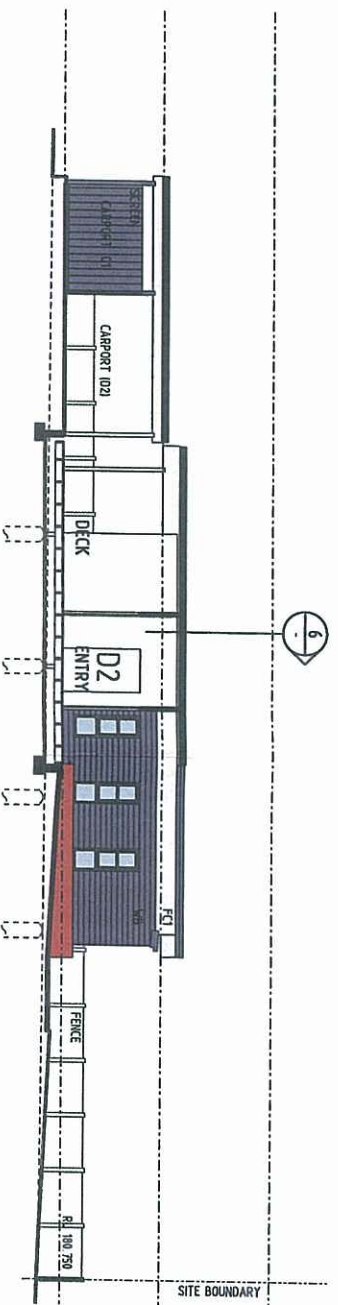
4/02/2021 12:33:16 PM PLOTTED & CHECKED BY: amoley

REF

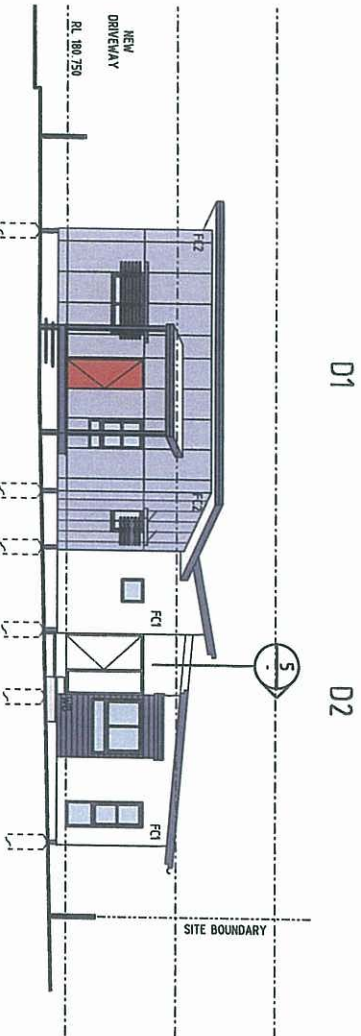
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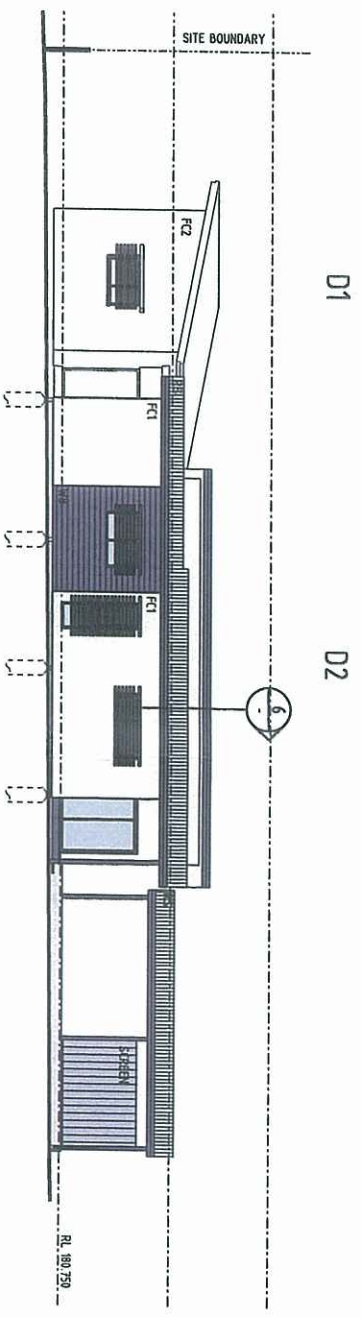
6 SECTION B
BUILDING D
1:100



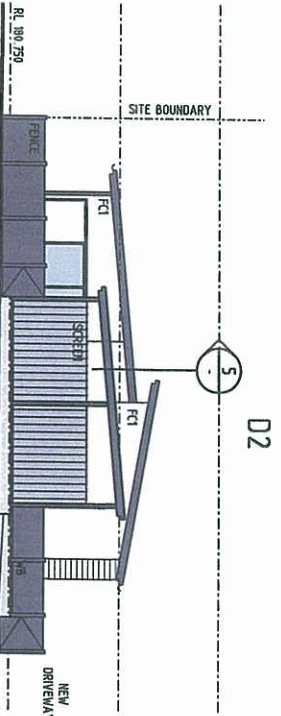
5 SECTION A
BUILDING D
1:100



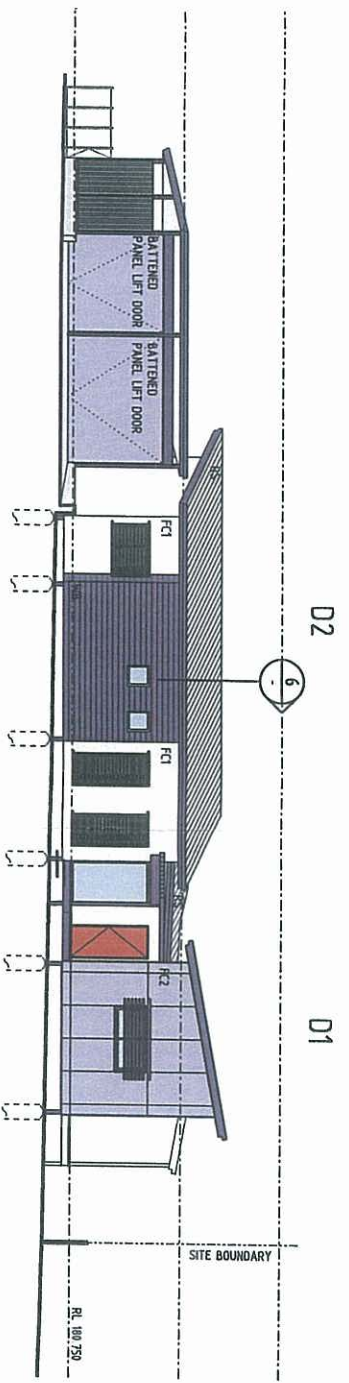
4 NORTH ELEVATION
BUILDING D
1:100



3 WEST ELEVATION
BUILDING D
1:100



2 SOUTH ELEVATION
BUILDING D
1:100



1 EAST ELEVATION
BUILDING D
1:100

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Location 35.15 15° 55' 00" S 151.05 151° 05' 00" E 35.15 15° 55' 00" S 151.05 151° 05' 00" E	Project Name URBAN LAND DEVELOPMENT AUTHORITY Level 4, 228 Elizabeth Street Brisbane QLD 4000 Tel: 07 3024 4100 Fax: 07 3024 4199 Contact: Alex Plushin	Architect AJ+C ALAN JACKSON 34 Florence Street, Torquille QLD 4006 AUSTRALIA Ph: +61 7 3845 2222 or +61 7 3845 2200 AND 53 003 782 250	Project BLACKWATER TERRACES Cnr Arthur, Doon & Rufus Streets Blackwater QLD	Drawing Title BUILDING D ELEVATIONS & SECTIONS	Scale 1:100 Drawing No DA3400 Issue 2
Notes Do not scale drawings. The signed drawings are the only valid and legal copies of the drawings. Any other copies are invalid and may be used at the discretion of the architect. This drawing is the property of Alan Jack & Co. Architects and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Alan Jack & Co. Architects. Approved Architect: Michael Thomas TGA, Peter Hordell GBA, Richard Smith TGA, Peter Smith TGA	Site Location Plan KEY PLAN	Client URBAN LAND DEVELOPMENT AUTHORITY Level 4, 228 Elizabeth Street Brisbane QLD 4000 Tel: 07 3024 4100 Fax: 07 3024 4199 Contact: Alex Plushin	Project BLACKWATER TERRACES Cnr Arthur, Doon & Rufus Streets Blackwater QLD	Drawing Title BUILDING D ELEVATIONS & SECTIONS	Scale 1:100 Drawing No DA3400 Issue 2



Landscape Works Legend



Garden Bed

Minor excavation / trimming where required
Cultivate sub grade / bulk earthworks 100mm
300mm deep improved site topsoil
100mm deep Organic mulch
Plant species as indicated
Refer plant schedule for sizes
Extruded concrete garden edge



Turf Areas

Trimming where required
Cultivate sub grade / bulk earthworks 100mm
90mm deep improved site topsoil
100% Turf cover local couch species



Pedestrian Footpath

Trimming where required width to be 1.5m
Colour to match standard grey concrete



Driveway and crossover by civil contractor, driveway to be coloured concrete



Signature Advanced Trees (min 100 Litre)

Trees planted in prepared holes as indicated in the plant schedule



Precast Concrete steppers in local gravel



Fence Type A
'Open / transparent' fencing combined with planting to address the street



Fence Type B
Common boundary fencing between courtyards to a maximum height of 1.8m. Height of pailing to alternate between 1.2m and 1.8m to provide voids to harness breezes.



Fence Type C
Rear boundary fencing to adjoining property. 1.8m high timber pailing fence to be lapped and capped to reduced weathering.

NOTE: REFER ARCHITECTS DRAWINGS FOR PRIVATE OPEN SPACE AND COMMUNAL AREA SCHEDULE





Landscape Works Legend

- 
Garden Bed
 Minor excavation / trimming where required
 Cultivate sub grade / bulk earthworks 100mm
 300mm deep improved site topsoil
 100mm deep Organic mulch
 Plant species as indicated
 Refer plant schedule for sizes
 Extruded concrete garden edge
- 
Turf Areas
 Trimming where required
 Cultivate sub grade / bulk earthworks 100mm
 90mm deep improved site topsoil
 100% Turf cover local couch species
- 
Pedestrian Footpath
 Trimming where required width to be 1.5m
 Colour to match standard grey concrete
- 
Driveway and crossover by civil contractor. driveway to be coloured concrete
- 
Signature Advanced Trees (min 100 Litre)
 Trees planted in prepared holes as indicated in the plant schedule
- 
Precast Concrete steppers in local gravel
- 
Fence Type A
 'Open / transparent' fencing combined with planting to address the street
- 
Fence Type B
 Common boundary fencing between courtyards to a maximum height of 1.8m. Height of pailing to alternate between 1.2m and 1.8m to provide voids to harness breezes.
- 
Fence Type C
 Rear boundary fencing to adjoining property. 1.8m high timber pailing fence to be lapped and capped to reduced weathering.

NOTE: REFER ARCHITECTS DRAWINGS FOR PRIVATE OPEN SPACE AND COMMUNAL AREA SCHEDULE



PLANS AND DOCUMENTS referred to in the ULDA
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Landscape Works Legend



Garden Bed
Minor excavation / trimming where required
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Refer plant schedule for sizes
Extruded concrete garden edge



Turf Areas
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Cultivate sub grade / bulk earthworks 100mm
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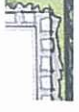
Pedestrian Footpath
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Driveway and crossover by civil contractor. driveway to be coloured concrete



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Trees planted in prepared holes as indicated in the plant schedule



Precast Concrete steppers in local gravel



Fence Type A
'Open / transparent' fencing combined with planting to address the street



Fence Type B
Common boundary fencing between courtyards to a maximum height of 1.8m. Height of pailing to alternate between 1.2m and 1.8m to provide voids to harness breezes.



Fence Type C
Rear boundary fencing to adjoining property. 1.8m high timber pailing fence to be lapped and capped to reduced weathering.

NOTE: REFER ARCHITECTS DRAWINGS FOR PRIVATE OPEN SPACE AND COMMUNAL AREA SCHEDULE



AMENDED IN RED
18 JUL 2011
By: Matt Tolan (name)
of the ULDA

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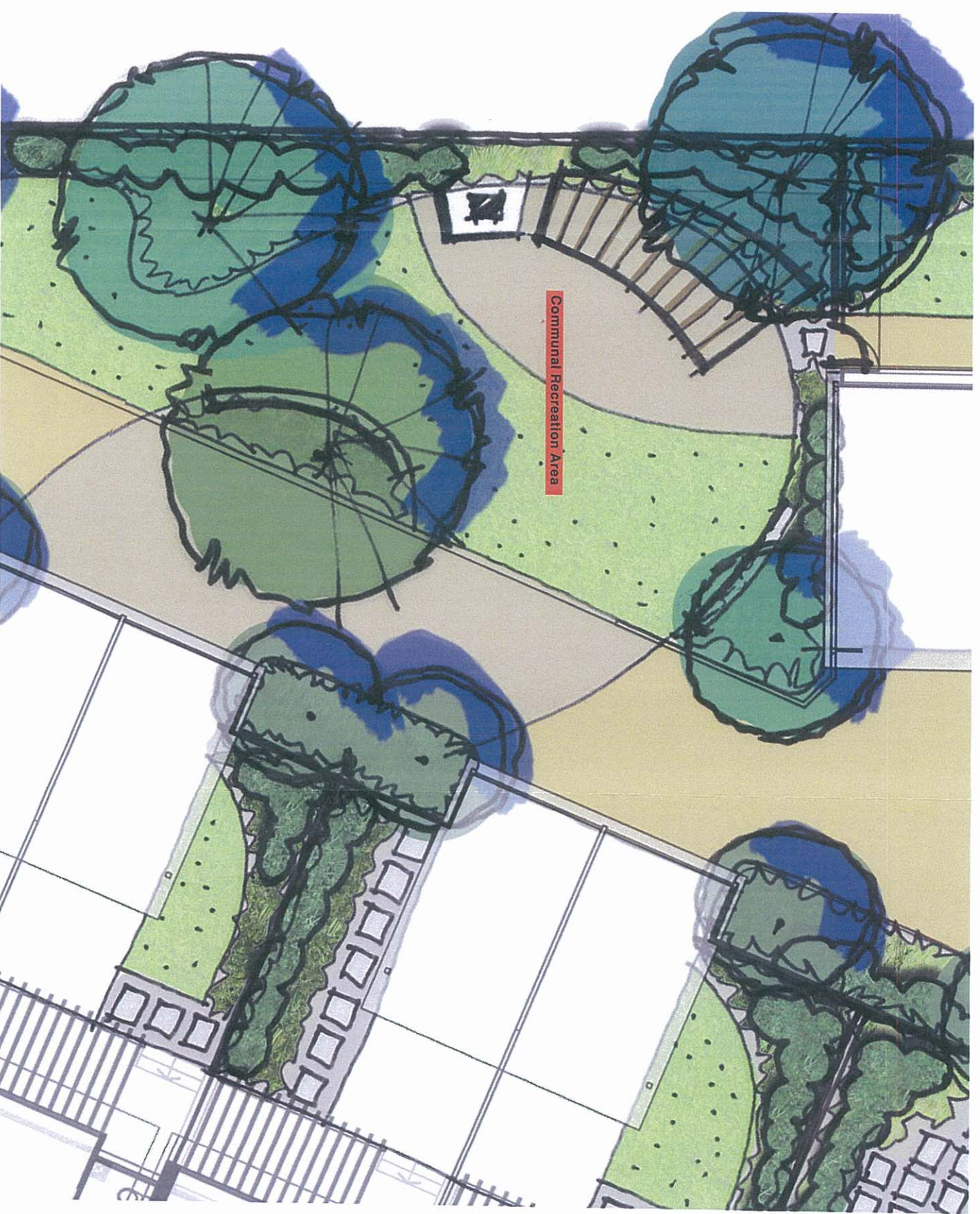
semi-private. social space

Design Concept

Semi-Private Areas

Within the development the circulation system has been treated as a shared zone, promoting its integration with the overall landscape of the precinct.

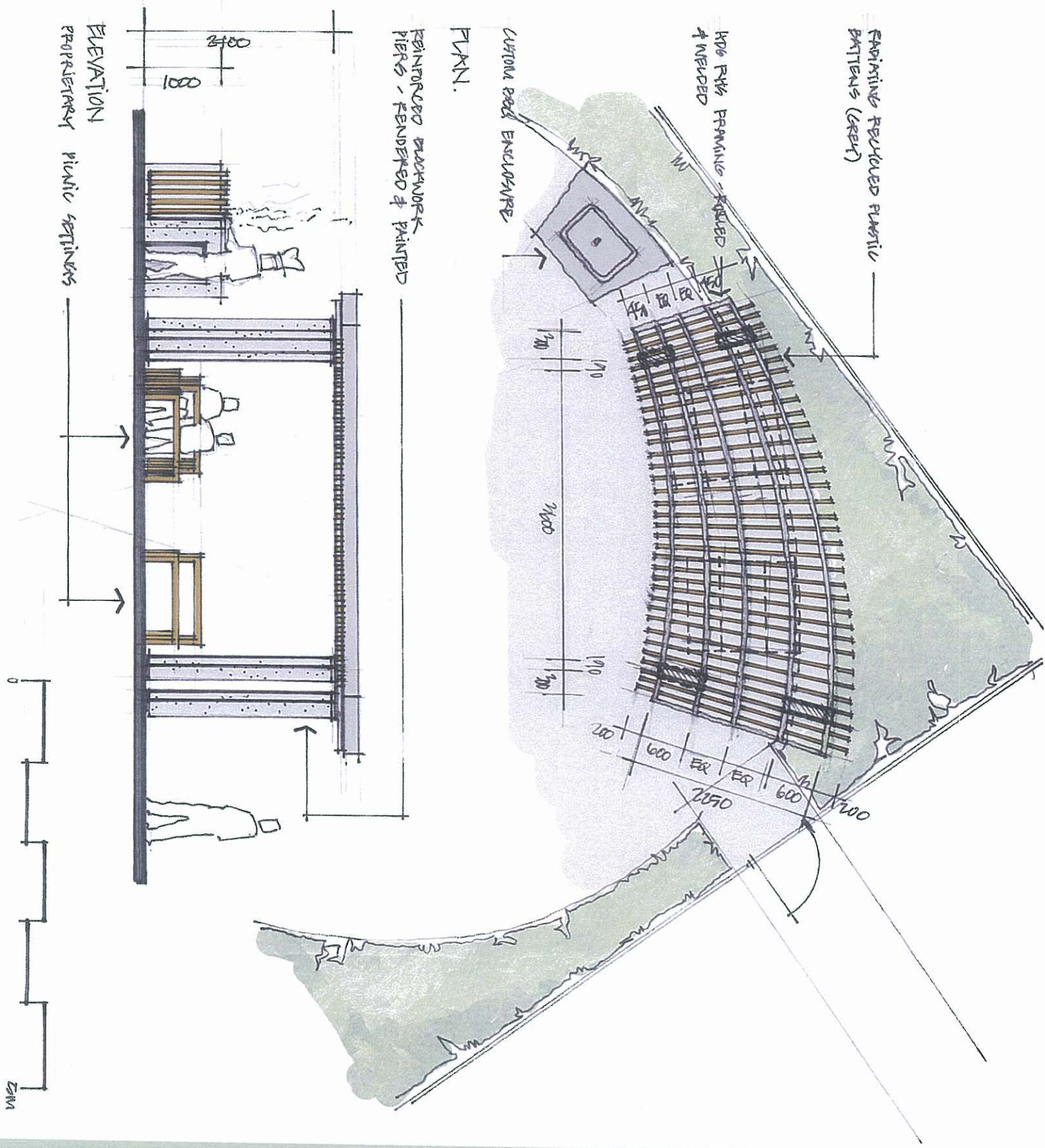
A central gathering space is proposed with a lawn area, planting for spatial definition, a shade structure and barbeque facility to enhance the opportunities for gathering and a sense of community (refer Pg 9 for detail) Shade planting is provided throughout the precinct.



Detail Landscape Plan

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Shade Structure



landscape development application

Character images



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semi-private. boundary fencing

Design Concept

The fencing treatment responds to the varied edge conditions of the site. The fence types range in height and transparency becoming taller and less transparent from A to C.

Transparent or 'open' fencing is proposed on street frontages to improve visual connectivity and passive surveillance between the streetscape and the terraced courtyards.

Common boundary fencing is to include partial transparency to aid the movement of cooling breezes between the private open spaces.

Type C fencing is proposed along the rear property between the proposed and existing dwellings. This fencing is to provide visual and physical security and is proposed to be 100% solid. The fencing plan and associated legend on page 11 of this report outlines the scope and details of each fence type proposed.

Character Examples



Fence Type A (with gate)



Fence Type A



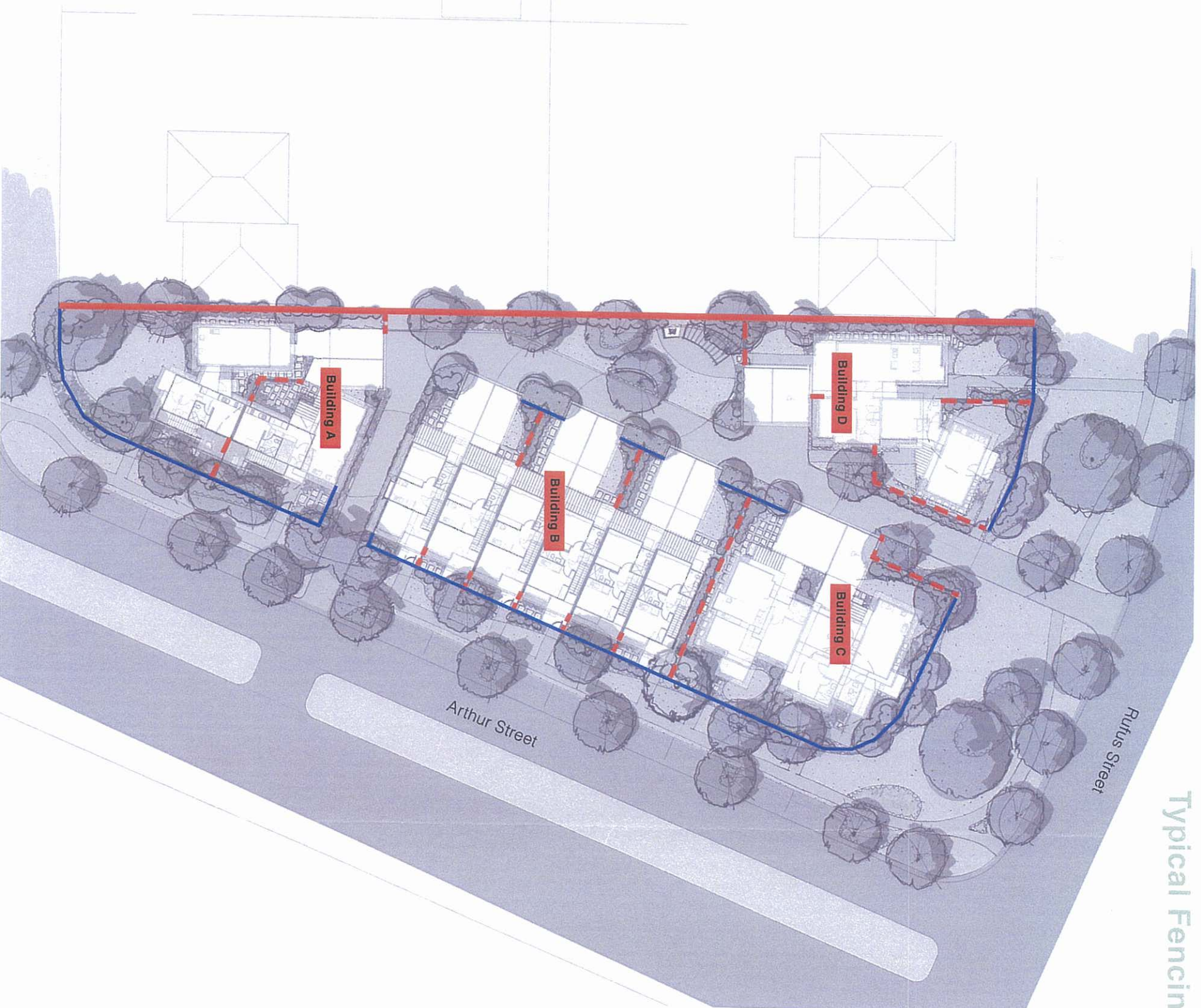
Fence Type B



Fence Type C

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Typical Fencing Plan



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Legend

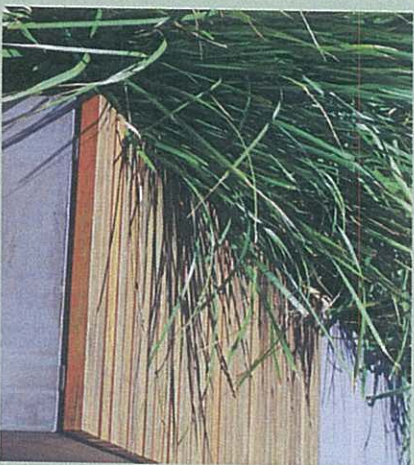
- Fence Type A
'Open / transparent' fencing combined with planting to address the street
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Common boundary fencing between courtyards to a maximum height of 1.8m. Height of paling to alternate between 1.2m and 1.8m to provide voids to harness breezes.
- Fence Type C
Rear boundary fencing to adjoining property. 1.8m high timber paling fence to be lapped and capped to reduced weathering.



Textures & Materials

The palette of materials and colours of the hard and soft-landscape references the site and its natural ochres. The warm tones of coloured concrete and locally sourced aggregate are also found in the timber proposed for the communal landscape area in the structure and the furniture. Endemic and drought tolerant planting has been selected for all of the landscape planting areas as shown on plan.

Materials



Trees

Plant Palette

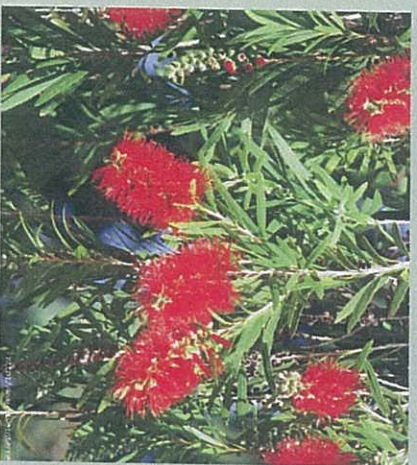


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Shrubs



Groundcovers



- EUCALYPTUS PAPUANA GHOST GUM
- EUCALYPTUS PTYCHOCARPA SWAMP BLOODWOOD
- CAESALPINIA FERREA LEOPARD TREE
- HARPULLIA PENDULA TULIPWOOD
- BRACHYCHITON AUSTRALIS BROADLEAF BOTTLE TREE
- CASUARINA CUNNINGHAMIANA RIVER SHEOAK
- GREVILLEA BANKSII REDBANKS GREVILLEA
- ACMENA SMITHII LILLY PILLY
- MELALEUCA BRACTEATA LEMON SCENTED CALLISTEMON SP.
- LEPTOSPERMUM PETERSONII LEMON SCENTED TEA TREE
- GAZANIA
- DIANELLA CAERULEA PAROO LILLY
- LOMANDRA SP.
- MELALEUCA THYMIFOLIA THYME HONEY MYRTLE
- DIANELLA TASMANICA SILVER STREAK SILVER STREAK