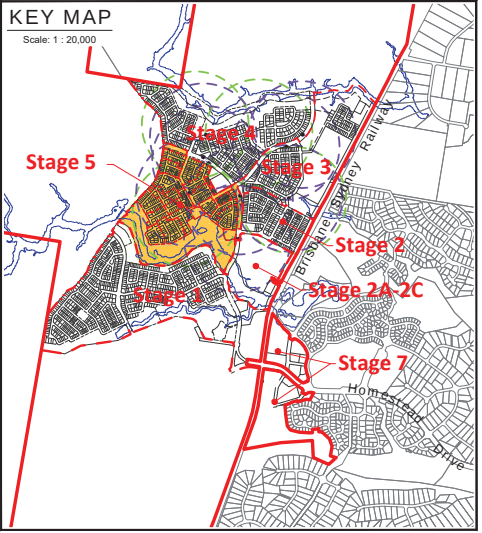




Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Residential Allotment (Max. no. of dwellings)
- Entry Statements - Lease
- Indicative Indented Bus Stop Location
- Indicative In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining Information: DCOB.
Contours: Meinhardt.

Land Budget Stage 5		
Land Use	Area	Area
Area of Subject Site	52.172 ha	100.0%
Saleable Area		
Residential Allotments	19.995 ha	38.3%
Medium Density Allotment	0.666 ha	1.3%
Balance Super Allotments	—	0.0%
Total Area of Allotments	20.661 ha	39.6%
Road		
Collector Road	3.529 ha	6.8%
Local Road	8.656 ha	16.6%
Linear Connections	0.429 ha	0.8%
Entry Statements	—	0.0%
Total Area of New Road	12.614 ha	24.2%
Open Space		
Corridor Park	17.812 ha	34.1%
Corridor Park (Yellow Corridor Park)	10.710 ha	—
Control Recreation Park	—	0.0%
Neighbourhood Recreation Park	0.627 ha	1.2%
Local Recreation Park	0.088 ha	0.2%
Local Linear Recreation Park	0.370 ha	0.7%
Summertime Detention	—	0.0%
Total Open Space	18.897 ha	36.2%

Yield Breakdown Stage 5				
Residential Allotments		Typical Size	Typical Area	Overall
Urban & Nano Allotments Product				
Urban Loft	4.7 x 12.5m	50m ²	—	0.0%
Urban Allotments	7.5 x 16m	120m ²	—	0.0%
Urban Terrace	7.5 x 27.5m	205m ²	16	3.3%
Subtotal				16 3.3%
16m Deep Product				
Squat Allotment	14 x 16m	220m ²	8	1.6%
Subtotal				8 1.6%
25m Deep Product				
Mode Allotment	8.5 x 25m	213m ²	4	0.8%
Villa Allotment	10 x 25m	250m ²	16	3.3%
Courtyard Allotment	14 x 25m	350m ²	23	4.7%
Premium Courtyard Allotment	16 x 25m	400m ²	11	2.2%
Premium Traditional Allotment	20 x 25m	500m ²	2	0.4%
Possible Multiple Residential Allotment	—	—	—	0.0%
Subtotal				58 11.8%
28m - 30m Deep Product				
Terrace 4.5m Allotment	4.5 x 28m	126m ²	—	0.0%
Terrace 6.5m Allotment	6.5 x 28m	185m ²	—	0.0%
Terrace 7.5m Allotment	7.5 x 28m	210m ²	41	8.3%
Terrace 9.5m Allotment	9.5 x 28m	265m ²	16	3.3%
Subtotal				57 11.6%
30m Deep Product				
Villa Allotment	10 x 30m	300m ²	61	12.4%
Premium Villa Allotment	12.5 x 30m	375m ²	113	23.0%
Courtyard Allotment	14 x 30m	420m ²	125	25.4%
Traditional Allotment	20 x 30m	600m ²	48	9.8%
Premium Traditional Allotment	25 x 30m	720m ²	6	1.2%
Possible Multiple Residential Allotment	—	—	—	0.0%
Subtotal				353 71.7%
Total Residential Allotments				492 100%
Residential Net Density				16.3 dw/ha
Super Lots				
Medium Density Allotment				1
Balance Super Allotments				—
Sub Total				1
Total Allotments				493
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)				494
Maximum Potential Net Residential Density				16.4 dw/ha

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/50

Date: 4/07/2022



TO BE READ IN CONJUNCTION WITH 110056 - 404

REVISION
Q: 07/10/2021 Stage 3 & 4 Change
R: 20/10/2021 Stage 3 & 4 Change
S: 27/10/2021 Stage 4 Change
T: 30/12/2021 Stage 5 Layout Change
U: 17/01/2022 POD Amendments
V: 21/01/2022 Stage 5 Layout Change
W: 21/02/2022 Stage 5 Layout Change
X: 07/04/2022 Stage 5 Change
Y: 12/05/2022 Stage 5 Layout Change
Z: 18/06/2022 Entry Statement Lease Areas
AA: 16/08/2022 Temporary STP Notation

PROJECT	Flagstone Precinct 1
Job Ref.	110056
Date	16 June 2022
Comp By.	MD / NF
DWG Name.	Precinct 1 Stage 5
Chk'd By.	MD
Locality.	Flagstone
Local Authority.	Economic Development Queensland

CLIENT

PEET

Plan of Subdivision
Stage 5 Overall
Allotment Layout

Scale	Sheet	Plan Ref	Rev
1 : 2000	A1	110056 - 403	AA



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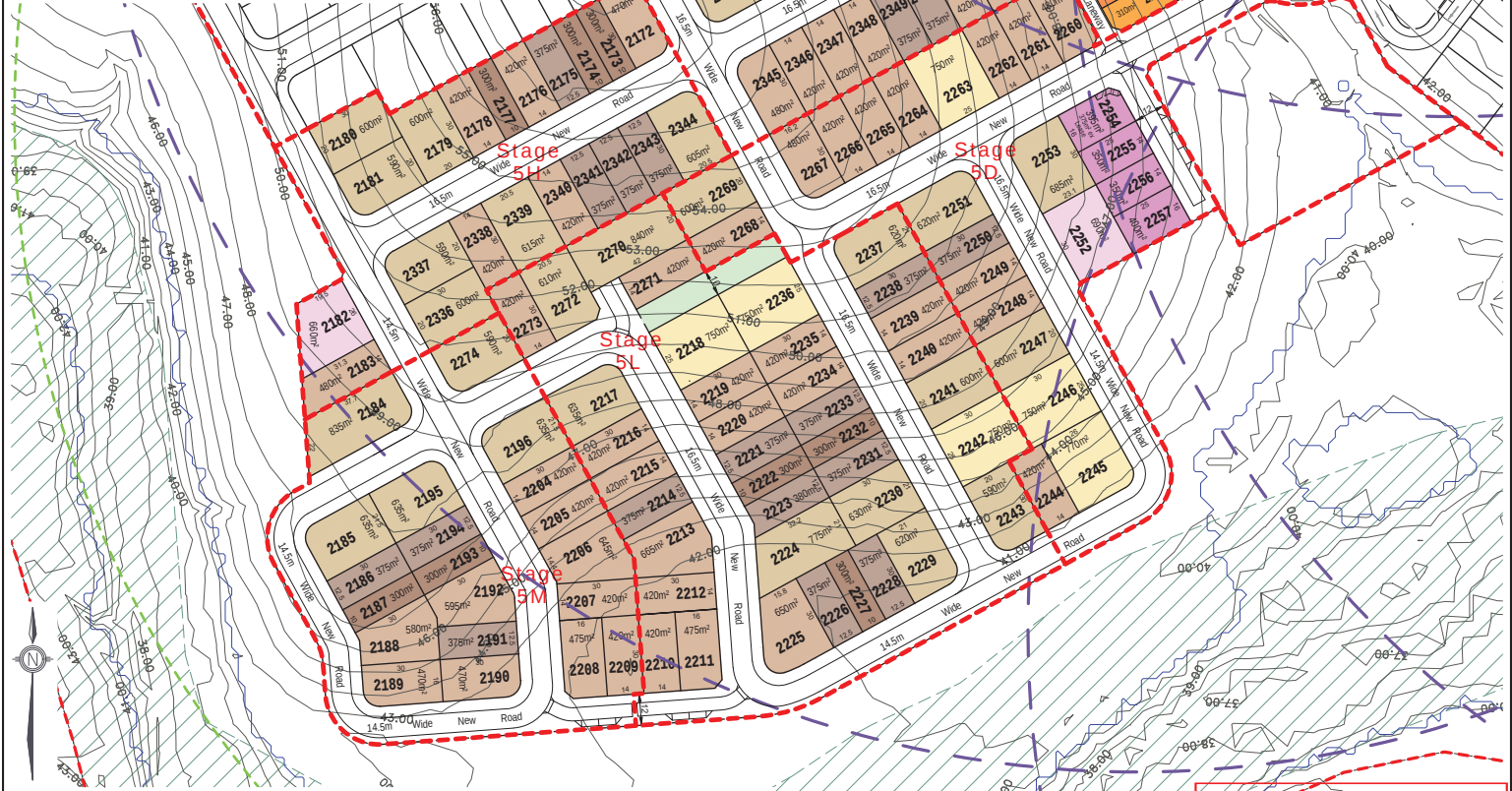
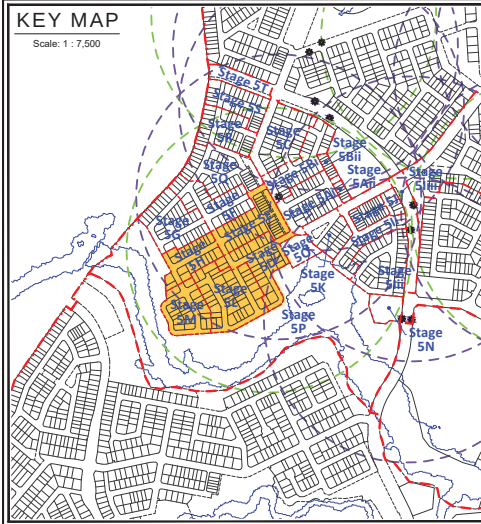
URBAN DESIGN
Level 4 HQ South
520 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006
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W rpsgroup.com

Yield Breakdown Stage 5																														
Residential Allotments			Stage 5AI	Stage 5AII	Stage 5BI	Stage 5BII	Stage 5C	Stage 5D	Stage 5E	Stage 5F	Stage 5G	Stage 5H	Stage 5II	Stage 5III	Stage 5IIII	Stage 5JI	Stage 5JII	Stage 5K	Stage 5L	Stage 5M	Stage 5N	Stage 5O	Stage 5P	Stage 5Q	Stage 5R	Stage 5S	Stage 5T	Overall		
	Typical Size	Typical Area																												
Urban & Nano Allotments Product																														
Urban Loft	4.7 x 12.5m	50m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
Urban Allotments	7.5 x 16m	120m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
Urban Terrace	7.5 x 27.5m	205m²	—	7	—	9	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	16	3.3%	
Subtotal			—	7	—	9	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	16	3.3%	
16m Deep Product																														
Squat Allotment	14 x 16m	220m²	—	—	2	—	—	—	—	2	—	—	—	2	—	—	—	—	—	—	—	—	—	—	—	2	—	8	1.6%	
Subtotal			—	—	2	—	—	—	—	2	—	—	—	2	—	—	—	—	—	—	—	—	—	—	2	—	8	1.6%		
25m Deep Product																														
Mode Allotment	8.5 x 25m	213m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	4	—	4	0.8%	
Villa Allotment	10 x 25m	250m²	—	—	2	—	2	—	—	—	—	—	5	2	—	—	—	—	—	—	—	—	—	—	2	—	3	16	3.3%	
Courtyard Allotment	14 x 25m	350m²	—	—	2	—	1	4	—	—	1	—	6	2	—	—	—	—	—	—	—	—	—	—	4	1	2	23	4.7%	
Premium Courtyard Allotment	16 x 25m	400m²	—	—	2	—	—	—	—	—	1	—	1	5	—	—	—	—	—	—	—	—	—	—	1	1	—	11	2.2%	
Premium Traditional Allotment	20 x 25m	500m²	—	—	—	—	—	1	—	—	—	1	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	2	0.4%	
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1	—	1	2	0.4%	
Subtotal			—	—	6	—	3	5	—	—	2	1	12	9	—	—	—	—	—	—	—	—	—	8	6	6	—	58	11.8%	
28m - 30m Deep Product																														
Terrace 4.5m Allotment	4.5 x 28m	126m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
Terrace 6.6m Allotment	6.6 x 28m	185m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
Terrace 7.5m Allotment	7.5 x 28m	210m²	—	—	—	—	—	—	10	—	—	—	—	—	—	18	—	—	—	—	—	—	—	—	5	4	4	41	8.3%	
Terrace 9.5m Allotment	9.5 x 28m	265m²	—	—	—	—	—	—	4	—	—	—	—	—	—	6	—	—	—	—	—	—	—	—	2	2	2	16	3.3%	
Subtotal			—	—	—	—	—	—	14	—	—	—	—	—	—	24	—	—	—	—	—	—	—	—	7	6	6	57	11.6%	
30m Deep Product																														
Villa Allotment	10 x 30m	300m²	9	—	7	—	6	—	2	7	4	3	—	3	—	1	—	4	3	2	—	—	—	—	5	4	1	—	61	12.4%
Premium Villa Allotment	12.5 x 30m	375m²	15	—	9	—	12	1	5	8	11	4	5	7	—	1	—	7	8	3	—	—	—	—	5	6	6	—	113	23.0%
Courtyard Allotment	14 x 30m	420m²	4	—	1	—	11	11	9	8	12	6	1	14	—	2	—	2	15	10	—	—	—	—	7	7	5	—	125	25.4%
Traditional Allotment	20 x 30m	600m²	1	—	2	—	3	4	2	4	4	7	—	—	—	1	—	2	9	5	—	—	—	—	1	1	2	—	48	9.8%
Premium Traditional Allotment	25 x 30m	720m²	—	—	—	—	—	3	—	—	—	—	—	—	—	—	—	—	3	—	—	—	—	—	—	—	—	6	1.2%	
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
Subtotal			29	—	19	—	32	19	18	27	31	20	6	24	—	5	—	15	38	20	—	—	—	—	18	18	14	—	353	71.7%
Total Residential Allotments			29	7	27	9	35	24	32	29	33	21	18	35	—	5	24	15	38	20	—	—	—	—	33	32	26	—	492	100%
Residential Net Density			18.4 dw/ha	42.4 dw/ha	16.7 dw/ha	44.3 dw/ha	19.3 dw/ha	12.3 dw/ha	16.6 dw/ha	16.1 dw/ha	16.2 dw/ha	15.4 dw/ha	14.1 dw/ha	15.4 dw/ha	—	15.8 dw/ha	27.9 dw/ha	17.4 dw/ha	13.9 dw/ha	12.1 dw/ha	—	—	—	—	15.0 dw/ha	20.2 dw/ha	19.1 dw/ha	—	16.3 dw/ha	
Super Lots			Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	
Medium Density Allotment			—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1	
Balance Super Allotments			—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	
Sub Total			—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1	
Total Allotments			29	7	27	9	35	24	32	29	33	21	18	35	—	5	24	15	38	20	1	—	—	—	33	32	26	—	493	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			29	7	27	9	35	24	32	29	33	21	18	35	—	5	24	15	38	20	—	—	—	—	34	32	27	—	494	
Maximum Potential Net Residential Density			18.4 dw/ha	42.4 dw/ha	16.7 dw/ha	44.3 dw/ha	19.3 dw/ha	12.3 dw/ha	16.6 dw/ha	16.1 dw/ha	16.2 dw/ha	15.4 dw/ha	14.1 dw/ha	15.4 dw/ha	—	15.8 dw/ha	27.9 dw/ha	17.4 dw/ha	13.9 dw/ha	12.1 dw/ha	—	—	—	—	15.4 dw/ha	20.2 dw/ha	19.8 dw/ha	—	16.4 dw/ha	

Land Budget Stage 5																												
Land Use	Stage 5AI	Stage 5AII	Stage 5BI	Stage 5BII	Stage 5C	Stage 5D	Stage 5E	Stage 5F	Stage 5G	Stage 5H	Stage 5II	Stage 5III	Stage 5III	Stage 5JI	Stage 5JII	Stage 5K	Stage 5L	Stage 5M	Stage 5N	Stage 5O	Stage 5P	Stage 5Q	Stage 5R	Stage 5S	Stage 5T	Overall		
	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	%	
Area of Subject Site	1.854 ha	0.165 ha	1.821 ha	0.203 ha	2.354 ha	1.949 ha	1.925 ha	1.798 ha	2.042 ha	1.366 ha	1.724 ha	2.271 ha	1.205 ha	0.316 ha	0.633 ha	1.118 ha	2.740 ha	1.648 ha	0.666 ha	0.627 ha	17.812 ha	2.204 ha	1.581 ha	1.364 ha	0.786 ha	52.172 ha	100.0%	
Saleable Area																												
Residential Allotments	1.136 ha	0.165 ha	1.088 ha	0.203 ha	1.484 ha	1.209 ha	1.096 ha	1.198 ha	1.500 ha	0.990 ha	0.652 ha	1.481 ha	—	0.230 ha	0.548 ha	0.618 ha	1.892 ha	1.000 ha	—	—	—	—	1.305 ha	1.185 ha	1.015 ha	—	19.995 ha	38.3%
Medium Density Allotment	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.666 ha	—	—	—	—	—	—	0.666 ha	1.3%
Balance Super Allotments	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Total Area of Allotments	1.136 ha	0.165 ha	1.088 ha	0.203 ha	1.484 ha	1.209 ha	1.096 ha	1.198 ha	1.500 ha	0.990 ha	0.652 ha	1.481 ha	—	0.230 ha	0.548 ha	0.618 ha	1.892 ha	1.000 ha	0.666 ha	—	—	—	1.305 ha	1.185 ha	1.015 ha	—	20.661 ha	39.6%
Road																												
Collector Road	0.278 ha	—	0.201 ha	—	0.544 ha	—	—	—	—	—	—	0.451 ha	—	1.176 ha	—	—	0.257 ha	—	—	—	—	—	—	—	—	0.622 ha	3.529 ha	6.8%
Local Road	0.395 ha	—	0.532 ha	—	0.326 ha	0.740 ha	0.609 ha	0.526 ha	0.542 ha	0.376 ha	0.621 ha	0.733 ha	—	0.086 ha	0.085 ha	0.155 ha	0.788 ha	0.648 ha	—	—	—	—	0.749 ha	0.396 ha	0.349 ha	—	8.656 ha	16.6%
Linear Connections	0.045 ha	—	—	—	—	—	—	0.074 ha	—	—	—	0.057 ha	0.029 ha	—	—	—	0.060 ha	—	—	—	—	—	—	—	—	0.164 ha	0.429 ha	0.8%
Entry Statements																											0.0%	
Total Area of New Road	0.718 ha	—	0.733 ha	—	0.870 ha	0.740 ha	0.609 ha	0.600 ha	0.542 ha	0.376 ha	1.072 ha	0.790 ha	1.205 ha	0.086 ha	0.085 ha	0.412 ha	0.848 ha	0.648 ha	—	—	—	—	0.749 ha	0.396 ha	0.349 ha	0.786 ha	12.614 ha	24.2%
Open Space																												
Corridor Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	17.812 ha	34.1%	
Conservation (White Corridor Park)	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	10.710 ha	—	—	—	—	10.710 ha	20.5%
District Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Local Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.088 ha	—	—	—	—	0.627 ha	—	—	—	—	—	0.627 ha	1.2%
Local Linear Recreation Park	—	—	—	—	—	—	0.220 ha	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.150 ha	—	—	—	0.088 ha	0.2%
Stormwater Detention	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.370 ha	0.7%
	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Total Open Space	—	—	—	—	—	—	0.220 ha	—	—	—	—	—	—	—	—	0.088 ha	—	—	—	—	0.627 ha	17.812 ha	0.150 ha	—	—	—	18.897 ha	36.2%

KEY MAP

Scale: 1 : 7,500



Yield Breakdown											
Residential Allotments			Typical Size	Typical Area	Stage 5D	Stage 5E	Stage 5H	Stage 5L	Stage 5M	Overall	
Urban & Nano Allotments Product											
Urban Loft			4.7 x 12.5m	50m²	—	—	—	—	—	0.0%	
Urban Allotments			7.5 x 16m	120m²	—	—	—	—	—	0.0%	
Urban Terrace			6.2 x 27.5m	170m²	—	—	—	—	—	0.0%	
Subtotal					—	—	—	—	—	0.0%	
16m Deep Product											
Squat Allotment			14 x 16m	220m²	—	—	—	—	—	0.0%	
Subtotal					—	—	—	—	—	0.0%	
25m Deep Product											
Mode Allotment			8.5 x 25m	213m²	—	—	—	—	—	0.0%	
Villa Allotment			10 x 25m	250m²	—	—	—	—	—	0.0%	
Courtyard Allotment			14 x 25m	350m²	4	—	—	—	4	3.0%	
Premium Courtyard Allotment			16 x 25m	400m²	—	—	—	—	—	0.0%	
Premium Traditional Allotment			20 x 25m	500m²	1	—	1	—	2	1.5%	
Possible Multiple Residential Allotment			—	—	—	—	—	—	—	0.0%	
Subtotal					5	—	1	—	6	4.4%	
28m - 30m Deep Product											
Terrace 4.5m Allotment			4.5 x 28m	126m²	—	—	—	—	—	0.0%	
Terrace 6.6m Allotment			6.6 x 28m	185m²	—	—	—	—	—	0.0%	
Terrace 7.5m Allotment			7.5 x 28m	210m²	—	10	—	—	10	7.4%	
Terrace 9.5m Allotment			9.5 x 28m	265m²	—	4	—	—	4	3.0%	
Subtotal					—	14	—	—	14	10.4%	
30m Deep Product											
Villa Allotment			10 x 30m	300m²	—	2	3	3	2	10	7.4%
Premium Villa Allotment			12.5 x 30m	375m²	1	5	4	8	3	21	15.6%
Courtyard Allotment			14 x 30m	420m²	11	9	6	15	10	51	37.8%
Traditional Allotment			20 x 30m	600m²	4	2	7	9	5	27	20.0%
Premium Traditional Allotment			25 x 30m	720m²	3	—	—	3	—	6	4.4%
Possible Multiple Residential Allotment			—	—	—	—	—	—	—	—	0.0%
Subtotal					19	18	20	38	20	115	85.2%
Total Residential Allotments					24	32	21	38	20	135	100.0%
Residential Net Density					12.3 dw/ha	16.6 dw/ha	15.4 dw/ha	13.9 dw/ha	12.1 dw/ha		
Super Lots					Lots	Lots	Lots	Lots	Lots	Lots	
Medium Density Allotment					—	—	—	—	—	—	
Balance Super Allotments					—	—	—	—	—	—	
Sub Total					—	—	—	—	—	—	
Total Allotments					24	32	21	38	20	135	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)					24	32	21	38	20	135	
Maximum Potential Net Residential Density					12.3 dw/ha	16.6 dw/ha	15.4 dw/ha	13.9 dw/ha	12.1 dw/ha		

Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing C100
- Residential Allotment (Max. no. of dwellings)
- Entry Statements - Lease
- Indicative Indented Bus Stop Location
- Indicative In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

Scale 1 : 1000 @ A1

PLANS AND DOCUMENTS related to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/40350
Date: 4/07/2022



Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Road line markings and turn slots are indicative only and subject to detailed design.
Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining Information: DCDB.
Contours: Meinhardt.

Land Budget		Stage 5D	Stage 5E	Stage 5H	Stage 5L	Stage 5M	Overall	
Land Use	Area	Area	Area	Area	Area	Area	Area	%
Area of Subject Site	1.949 ha	1.925 ha	1.366 ha	2.740 ha	1.648 ha	9.628 ha	100.0%	
Saleable Area								
Residential Allotments	1.209 ha	1.096 ha	0.990 ha	1.892 ha	1.000 ha	6.187 ha	64.3%	
Medium Density Allotment	—	—	—	—	—	—	0.0%	
Balance Super Allotments	—	—	—	—	—	—	0.0%	
Total Area of Allotments	1.209 ha	1.096 ha	0.990 ha	1.892 ha	1.000 ha	6.187 ha	64.3%	
Road								
Collector Road	0.740 ha	0.609 ha	0.376 ha	0.788 ha	0.648 ha	3.161 ha	32.8%	
Local Road	—	—	—	0.060 ha	—	0.060 ha	0.6%	
Linear Connections	—	—	—	—	—	—	0.0%	
Entry Statements	—	—	—	—	—	—	0.0%	
Total Area of New Road	0.740 ha	0.609 ha	0.376 ha	0.848 ha	0.648 ha	3.221 ha	33.5%	
Open Space								
Corridor Park	—	—	—	—	—	—	0.0%	
Conservation (Within Corridor Park)	—	—	—	—	—	—	0.0%	
District Recreation Park	—	—	—	—	—	—	0.0%	
Neighbourhood Recreation Park	—	—	—	—	—	—	0.0%	
Local Recreation Park	—	—	—	—	—	—	0.0%	
Local Linear Recreation Park	—	0.220 ha	—	—	—	0.220 ha	2.3%	
Stormwater Detention	—	—	—	—	—	—	0.0%	
Total Open Space	—	0.220 ha	—	—	—	0.220 ha	2.3%	

REVISION
Q: 07/10/2021 Stage 3 & 4 Change
R: 20/10/2021 Stage 3 & 4 Change
S: 27/10/2021 Stage 4 Change
T: 20/12/2021 Stage 5 Layout Change
U: 17/01/2022 POD Amendments
V: 21/01/2022 Stage 5 Layout Change
W: 21/02/2022 Stage 5 Layout Change
X: 07/04/2022 Stage 5 Change
Y: 12/05/2022 Stage 5 Layout Change
Z: 08/06/2022 Entry Statement Lease Areas
AA: 16/06/2022 Temporary SITF Notation

PROJECT
Flagstone Precinct 1
Job Ref. 110056 Date: 16 June 2022
Comp By: MD / NF DWG Name: Precinct 1 Stage 5
Chk'd By: MD Locality: Flagstone
Local Authority: Economic Development Queensland

CLIENT
PEET
Plan of Subdivision
Stage 5D, E, H, L & M
Allotment Layout

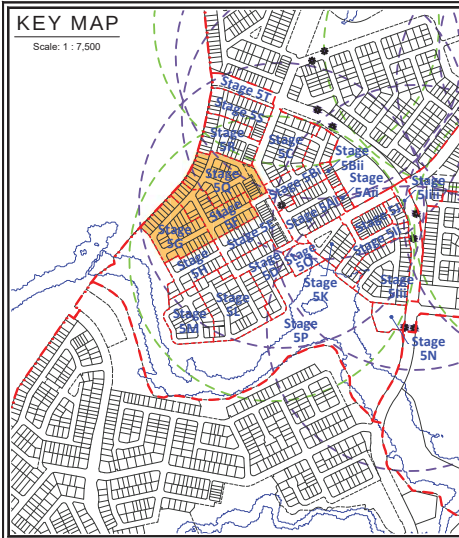
Scale 1 : 1000 Sheet A1 Plan Ref 110056 - 405 Rev AA



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KEY MAP

Scale: 1 : 7,500

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2012403/50

Date: 4/07/2022

Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Residential Allotment (Max. no. of dwellings)
- Indicative Indented Bus Stop Location
- Indicative In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

Note:

All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan are indicative only and subject to detailed engineering design.

Road line markings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered Survey Plans / Vents.
Adjoining Information: DCCB.
Contours: Meinhardt.

Land Use	Land Budget			
	Stage 5F	Stage 5G	Stage 5Q	Overall
Area	Area	Area	Area	Area
Area	1.798 ha	2.042 ha	2.204 ha	6.044 ha
%				100.0%
Area of Subject Site				
Saleable Area	1.198 ha	1.500 ha	1.305 ha	4.003 ha
Residential Allotments	1.198 ha	1.500 ha	1.305 ha	4.003 ha
Medium Density Allotment	—	—	—	0.0%
Balance Super Allotments	—	—	—	0.0%
Total Area of Allotments	1.198 ha	1.500 ha	1.305 ha	4.003 ha
%				66.2%
Total Area of New Road				
Road	0.600 ha	0.542 ha	0.749 ha	1.891 ha
%				31.3%
Open Space				
Corridor Park	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	0.0%
Local Recreation Park	—	—	—	0.0%
Local Linear Recreation Park	—	—	0.150 ha	0.150 ha
%				2.5%
Stormwater Detention	—	—	—	0.0%
Total Open Space	—	—	0.150 ha	0.150 ha
%				2.5%

Yield Breakdown						
Residential Allotments		Typical Size	Typical Area	Stage 5F	Stage 5G	Stage 5Q
Urban & Nano Allotments Product		4.7 x 12.5m	50m ²	—	—	—
Urban Loft		7.5 x 16m	120m ²	—	—	—
Urban Terrace		6.2 x 27.5m	170m ²	—	—	—
Subtotal				—	—	—
16m Deep Product		14 x 16m	220m ²	2	—	—
Subtotal				2	—	—
25m Deep Product		8.5 x 25m	213m ²	—	—	—
Mode Allotment		10 x 25m	250m ²	—	—	—
Villa Allotment		14 x 25m	350m ²	—	1	4
Courtyard Allotment		16 x 25m	400m ²	—	1	2
Premium Traditional Allotment		20 x 25m	500m ²	—	—	1
Possible Multiple Residential Allotment		—	—	—	2	8
Subtotal				—	2	10
28m - 30m Deep Product		4.5 x 28m	126m ²	—	—	—
Terrace 4.5m Allotment		6.6 x 28m	185m ²	—	—	—
Terrace 7.5m Allotment		7.5 x 28m	210m ²	—	—	—
Terrace 9.5m Allotment		9.5 x 28m	265m ²	—	—	—
Subtotal				—	—	7
30m Deep Product		10 x 30m	300m ²	7	4	5
Villa Allotment		12.5 x 30m	375m ²	8	11	5
Premium Villa Allotment		14 x 30m	420m ²	8	12	7
Courtyard Allotment		20 x 30m	600m ²	4	4	1
Premium Traditional Allotment		25 x 30m	720m ²	—	—	—
Possible Multiple Residential Allotment		—	—	—	—	—
Subtotal				27	31	18
Total Residential Allotments				29	33	33
Residential Net Density		16.1 dw/ha	16.2 dw/ha	15.0 dw/ha	95	100.0%
Super Lots		Lots	Lots	Lots	Lots	Lots
Medium Density Allotment		—	—	—	—	—
Balance Super Allotments		—	—	—	—	—
Sub Total				29	33	33
Total Allotments				29	33	33
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)				29	33	34
Maximum Potential Net Residential Density		16.1 dw/ha	16.2 dw/ha	15.4 dw/ha	96	100.0%

REVISION	PROJECT
Q: 07/10/2021 Stage 3 & 4 Change	Flagstone Precinct 1
R: 20/10/2021 Stage 3 & 4 Change	
S: 27/10/2021 Stage 4 Change	
T: 20/12/2021 Stage 5 Layout Change	
U: 17/01/2022 PDA Amendments	
V: 21/01/2022 Stage 5 Layout Change	
W: 21/02/2022 Stage 5 Layout Change	
X: 07/04/2022 Stage 5 Change	
Y: 12/05/2022 Stage 5 Layout Change	
Z: 08/06/2022 Entry Statement Lease Areas	
AA: 16/06/2022 Temporary SIT Notation	

PROJECT	CLIENT
Job Ref. 110056	PEET
Date: 16 June 2022	
Comp By: MD / NF	
DWG Name: Precinct 1 Stage 5	
Chk'd By: MD	
Locality: Flagstone	
Local Authority: Economic Development Queensland	

PEET

Plan of Subdivision
Stage 5F, G & Q
Allotment Layout

rps

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Scale	Sheet	Plan Ref	Rev
1 : 750	A1	110056 - 406	AA



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

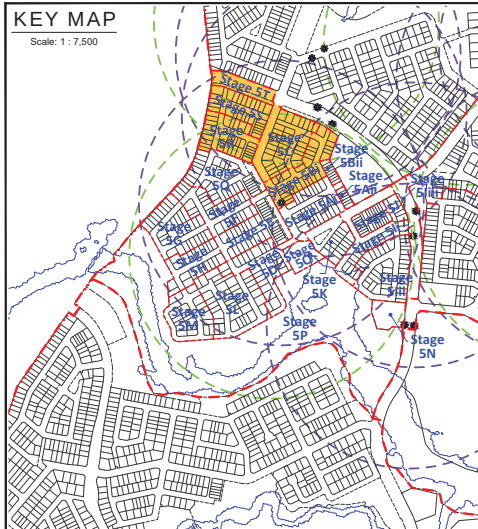
Approval no: DEV2012/403/50

Date: 4/07/2022



KEY MAP

Scale: 1 : 7,500



Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing O100
- Residential Allotment (Max. no. of dwellings)
- Indicative Indented Bus Stop Location
- Indicative In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Park Catchment (400m)

Yield Breakdown							
Residential Allotments		Typical Size	Typical Area	Stage 5Bi	Stage 5C	Stage 5R	Stage 5S
Urban & Nano Allotments Product							
Urban Loft		4.7 x 12.5m	50m ²	—	—	—	—
Urban Allotments		7.5 x 16m	120m ²	—	—	—	—
Urban Terrace		6.2 x 27.5m	170m ²	—	—	—	—
Subtotal				—	—	—	—
16m Deep Product							
Squat Allotment		14 x 16m	220m ²	2	—	2	—
Subtotal				2	—	2	—
25m Deep Product							
Mode Allotment		8.5 x 25m	213m ²	—	—	4	—
Villa Allotment		10 x 25m	250m ²	2	2	—	3
Courtyard Allotment		14 x 25m	350m ²	2	1	1	2
Premium Courtyard Allotment		16 x 25m	400m ²	2	—	1	—
Premium Traditional Allotment		20 x 25m	500m ²	—	—	—	—
Possible Multiple Residential Allotment		—	—	—	—	—	1
Subtotal				6	3	6	3
28m - 30m Deep Product							
Terrace 4.5m Allotment		4.5 x 28m	126m ²	—	—	—	—
Terrace 6.6m Allotment		6.6 x 28m	185m ²	—	—	—	—
Terrace 7.5m Allotment		7.5 x 28m	210m ²	—	—	4	4
Terrace 9.5m Allotment		9.5 x 28m	265m ²	—	—	2	2
Subtotal				—	—	6	6
30m Deep Product							
Villa Allotment		10 x 30m	300m ²	7	6	4	1
Premium Villa Allotment		12.5 x 30m	375m ²	9	12	6	6
Courtyard Allotment		14 x 30m	420m ²	1	11	7	5
Traditional Allotment		20 x 30m	600m ²	2	3	1	2
Premium Traditional Allotment		25 x 30m	720m ²	—	—	—	—
Possible Multiple Residential Allotment		—	—	—	—	—	—
Subtotal				19	32	18	14
Total Residential Allotments				27	35	32	26
Residential Net Density				16.7 dw/ha	19.3 dw/ha	20.2 dw/ha	19.1 dw/ha
Super Lots				Lots	Lots	Lots	Lots
Medium Density Allotment				—	—	—	—
Balance Super Allotments				—	—	—	—
Sub Total				—	—	—	—
Total Allotments				27	35	32	26
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)				27	35	32	27
Maximum Potential Net Residential Density				16.7 dw/ha	19.3 dw/ha	20.2 dw/ha	19.8 dw/ha

Land Budget							
Land Use	Stage 5Bi	Stage 5C	Stage 5R	Stage 5S	Stage 5T	Overall	%
Area of Subject Site	1.821 ha	2.354 ha	1.581 ha	1.364 ha	0.786 ha	7.906 ha	100.0%
Saleable Area	—	—	—	—	—	—	—
Residential Allotments	1.088 ha	1.484 ha	1.185 ha	1.015 ha	—	4.772 ha	60.4%
Medium Density Allotment	—	—	—	—	—	—	0.0%
Balance Super Allotments	—	—	—	—	—	—	0.0%
Total Area of Allotments	1.088 ha	1.484 ha	1.185 ha	1.015 ha	—	4.772 ha	60.4%
Road	—	—	—	—	—	—	—
Collector Road	0.201 ha	0.544 ha	—	—	0.622 ha	1.367 ha	17.3%
Local Road	0.532 ha	0.326 ha	0.396 ha	0.349 ha	—	1.603 ha	20.3%
Linear Connections	—	—	—	—	0.164 ha	0.164 ha	2.1%
Entry Statements	—	—	—	—	—	—	0.0%
Total Area of New Road	0.733 ha	0.870 ha	0.396 ha	0.349 ha	0.786 ha	3.134 ha	39.6%
Open Space	—	—	—	—	—	—	—
Corridor Park	—	—	—	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	—	—	0.0%
Local Recreation Park	—	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	—	—	0.0%
Total Open Space	—	—	—	—	—	—	0.0%

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineering design.
Road linemarkings and turn slots are indicative only and subject to detailed design.
Source Information:
Site boundaries: Registered Survey Plans / Vets.
Adjoining Information: OCDB.
Contours: Meinhardt.

Scale 1 : 750 @ A1

REVISION	
Q: 07/10/2021 Stage 3 & 4 Change	
R: 20/10/2021 Stage 3 & 4 Change	
S: 27/10/2021 Stage 4 Change	
T: 20/12/2021 Stage 5 Layout Change	
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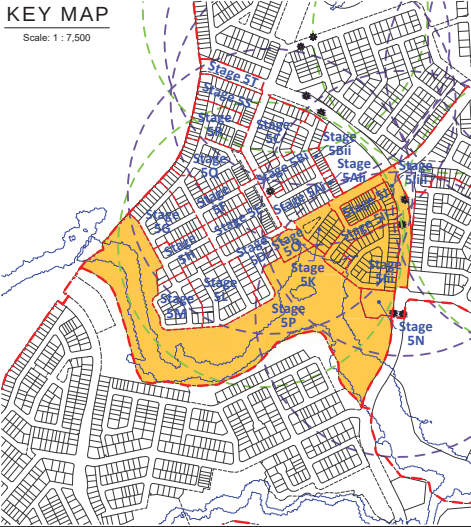
PROJECT	
Flagstone Precinct 1	
Job Ref. 110056	Date: 16 June 2022
Comp By: MD / NF	DWG Name: Precinct 1 Stage 5
Chk'd By: MD	Locality: Flagstone
Local Authority: Economic Development Queensland	

CLIENT	
PEET	
Plan of Subdivision Stage 5Bi, C, R, S & T Allotment Layout	

Scale			
1 : 750			
Sheet		Plan Ref	
A1		110056 - 407	
Rev		AA	

KEY MAP

Scale: 1 : 7,500



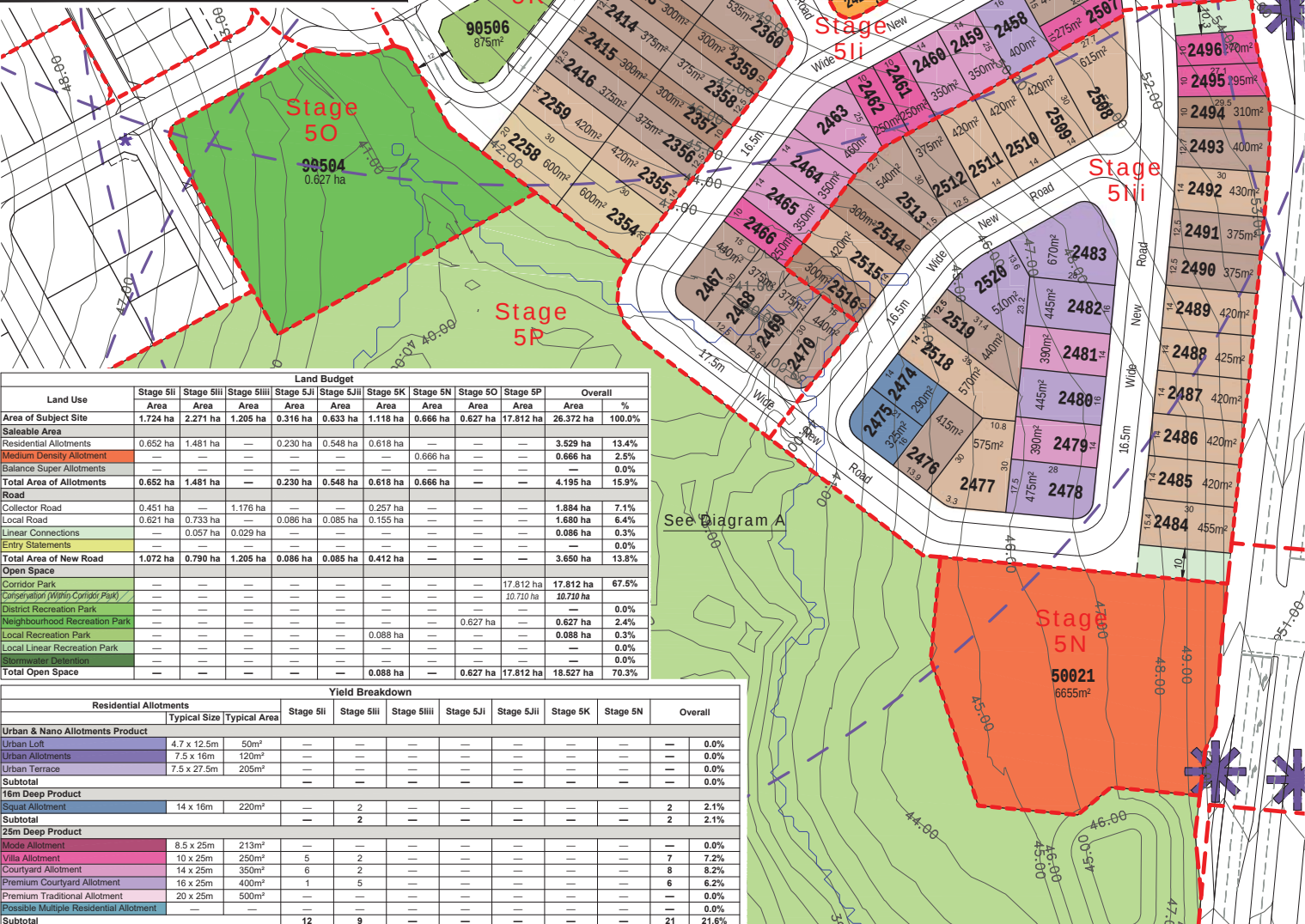
Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Residential Allotment (Max. no. of dwellings)
- Indicative Indented Bus Stop Location
- Indicative In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

Scale 1 : 750 @ A1

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m². The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Meinhardt.



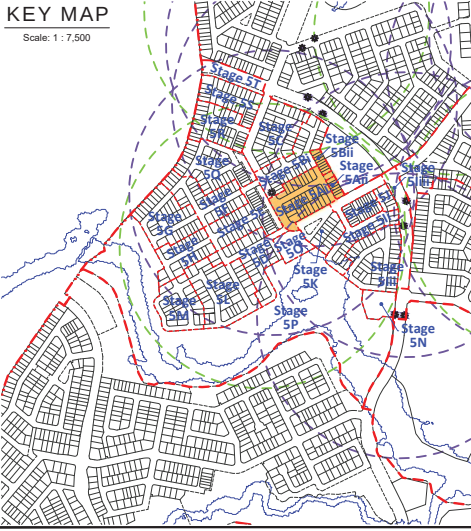
Land Use	Land Budget										Overall
	Stage 5L	Stage 5K	Stage 5Lii	Stage 5Liii	Stage 5K	Stage 5N	Stage 5O	Stage 5P	Area	%	
Area of Subject Site	1.724 ha	2.271 ha	1.205 ha	0.316 ha	0.633 ha	1.118 ha	0.666 ha	0.627 ha	17.812 ha	100.0%	
Saleable Area	0.652 ha	1.481 ha	—	0.230 ha	0.548 ha	0.618 ha	—	—	3.529 ha	13.4%	
Residential Allotments	—	—	—	—	—	—	—	—	0.666 ha	2.5%	
Medium Density Allotment	—	—	—	—	—	—	—	—	0.666 ha	2.5%	
Balance Super Allotments	—	—	—	—	—	—	—	—	0.000 ha	0.0%	
Total Area of Allotments	0.652 ha	1.481 ha	—	0.230 ha	0.548 ha	0.618 ha	0.666 ha	—	4.195 ha	15.9%	
Road	0.451 ha	—	1.176 ha	—	—	0.257 ha	—	—	1.884 ha	7.1%	
Collector Road	0.621 ha	0.733 ha	—	0.086 ha	0.085 ha	0.155 ha	—	—	1.680 ha	6.4%	
Linear Connections	—	0.057 ha	0.029 ha	—	—	—	—	—	0.086 ha	0.3%	
Entry Statements	—	—	—	—	—	—	—	—	—	0.0%	
Total Area of New Road	1.072 ha	0.790 ha	1.205 ha	0.086 ha	0.085 ha	0.412 ha	—	—	3.650 ha	13.8%	
Open Space	—	—	—	—	—	—	—	—	17.812 ha	67.5%	
Corridor Park	—	—	—	—	—	—	—	—	10.710 ha	60.1%	
Conservation (Widely Corridor Park)	—	—	—	—	—	—	—	—	—	0.0%	
District Recreation Park	—	—	—	—	—	—	—	—	—	0.0%	
Neighbourhood Recreation Park	—	—	—	—	—	—	—	—	—	0.0%	
Local Recreation Park	—	—	—	—	—	—	—	—	—	0.0%	
Local Linear Recreation Park	—	—	—	—	—	—	—	—	—	0.0%	
Standalone Recreation	—	—	—	—	—	—	—	—	—	0.0%	
Total Open Space	—	—	—	—	—	—	—	—	17.812 ha	70.3%	

Yield Breakdown										
Residential Allotments			Stage 5L	Stage 5K	Stage 5Lii	Stage 5Liii	Stage 5K	Stage 5N	Stage 5O	Overall
Urban & Nano Allotments Product	Typical Size	Typical Area	—	—	—	—	—	—	—	0.0%
Urban Loft	4.7 x 12.5m	50m²	—	—	—	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m²	—	—	—	—	—	—	—	0.0%
Urban Terrace	7.5 x 27.5m	205m²	—	—	—	—	—	—	—	0.0%
Subtotal	—	—	—	—	—	—	—	—	—	0.0%
16m Deep Product	—	—	—	—	—	—	—	—	—	0.0%
Squat Allotment	14 x 16m	220m²	—	2	—	—	—	—	—	2.1%
Subtotal	—	—	—	2	—	—	—	—	—	2.1%
25m Deep Product	—	—	—	—	—	—	—	—	—	0.0%
Mode Allotment	8.5 x 25m	213m²	—	—	—	—	—	—	—	0.0%
Villa Allotment	10 x 25m	250m²	—	—	—	—	—	—	—	0.0%
Courtyard Allotment	14 x 25m	350m²	—	—	—	—	—	—	—	0.0%
Premium Courtyard Allotment	16 x 25m	400m²	—	—	—	—	—	—	—	0.0%
Premium Traditional Allotment	20 x 25m	500m²	—	—	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	0.0%
Subtotal	—	—	—	—	—	—	—	—	—	0.0%
28m - 30m Deep Product	—	—	—	—	—	—	—	—	—	0.0%
Terrace 4.5m Allotment	4.5 x 28m	126m²	—	—	—	—	—	—	—	0.0%
Terrace 6.6m Allotment	6.6 x 28m	185m²	—	—	—	—	—	—	—	0.0%
Terrace 7.5m Allotment	7.5 x 28m	210m²	—	—	—	—	—	—	—	0.0%
Terrace 9.5m Allotment	9.5 x 28m	265m²	—	—	—	—	—	—	—	0.0%
Subtotal	—	—	—	—	—	—	—	—	—	0.0%
30m Deep Product	—	—	—	—	—	—	—	—	—	0.0%
Villa Allotment	10 x 30m	300m²	—	—	—	—	—	—	—	0.0%
Premium Villa Allotment	12.5 x 30m	375m²	—	—	—	—	—	—	—	0.0%
Courtyard Allotment	14 x 30m	420m²	—	—	—	—	—	—	—	0.0%
Traditional Allotment	20 x 30m	600m²	—	—	—	—	—	—	—	0.0%
Premium Traditional Allotment	25 x 30m	720m²	—	—	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	—	0.0%
Subtotal	—	—	—	—	—	—	—	—	—	0.0%
Total Residential Allotments	—	—	—	—	—	—	—	—	—	0.0%
Residential Net Density	—	—	—	—	—	—	—	—	—	0.0%
Super Lots	—	—	—	—	—	—	—	—	—	0.0%
Medium Density Allotment	—	—	—	—	—	—	—	—	—	0.0%
Balance Super Allotments	—	—	—	—	—	—	—	—	—	0.0%
Sub Total	—	—	—	—	—	—	—	—	—	0.0%
Total Allotments	—	—	—	—	—	—	—	—	—	0.0%
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)	—	—	—	—	—	—	—	—	—	0.0%
Maximum Potential Net Residential Density	—	—	—	—	—	—	—	—	—	0.0%



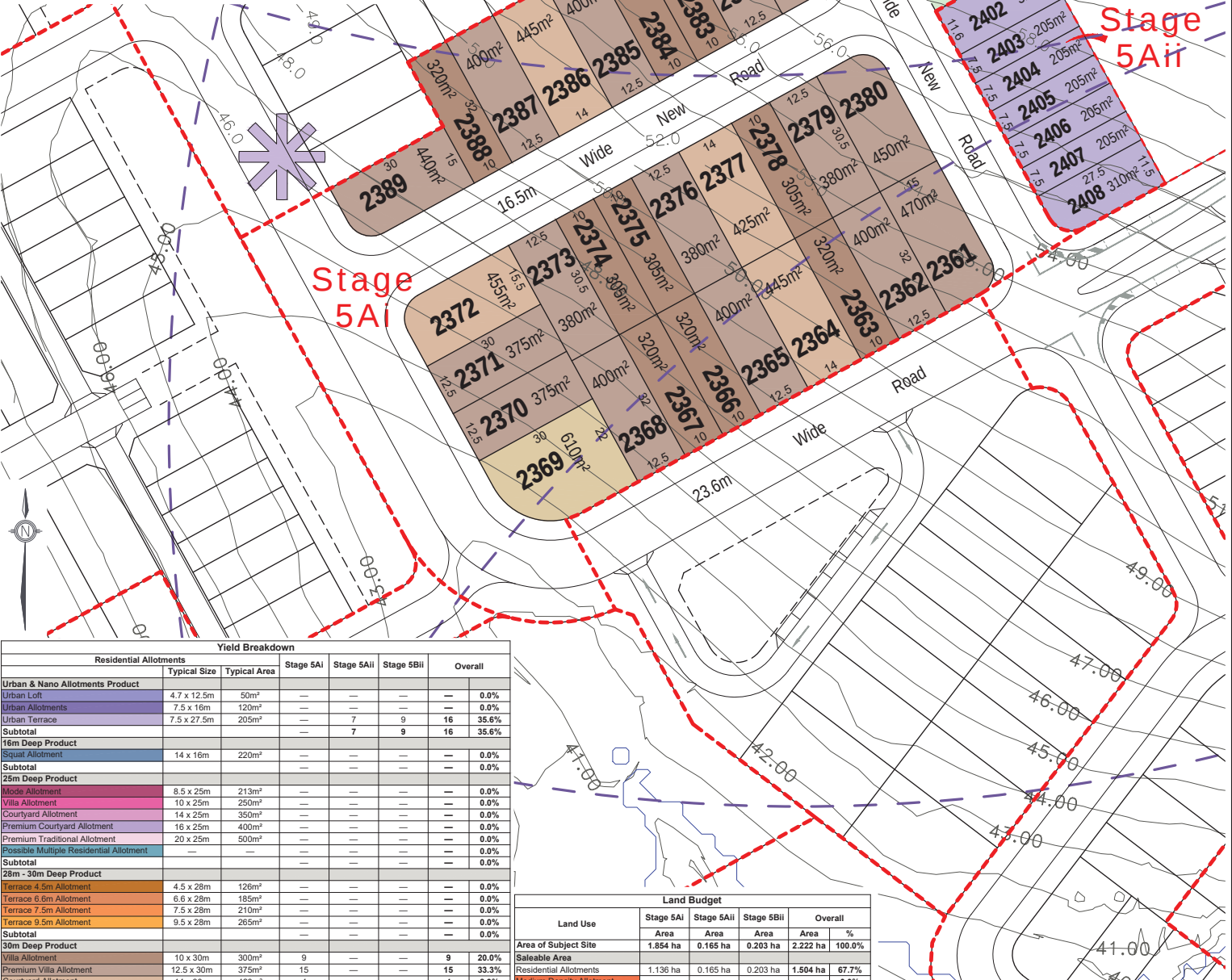
KEY MAP

Scale: 1 : 7,500



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2012/403/50
Date: 4/07/2022



Yield Breakdown						
Residential Allotments		Typical Size	Typical Area	Stage 5Ai	Stage 5Aii	Stage 5Bii
Urban & Nano Allotments Product		4.7 x 12.5m	50m²	—	—	—
Urban Allotments		7.5 x 16m	120m²	—	—	—
Urban Terrace		7.5 x 27.5m	205m²	—	7	9
Subtotal		—	—	—	7	9
16m Deep Product		—	—	—	—	16
Squal Allotment		14 x 16m	220m²	—	—	—
Subtotal		—	—	—	—	—
25m Deep Product		—	—	—	—	—
Mode Allotment		8.5 x 25m	213m²	—	—	—
Villa Allotment		10 x 25m	250m²	—	—	—
Courtyard Allotment		14 x 25m	350m²	—	—	—
Premium Courtyard Allotment		16 x 25m	400m²	—	—	—
Premium Traditional Allotment		20 x 25m	500m²	—	—	—
Possible Multiple Residential Allotment		—	—	—	—	—
Subtotal		—	—	—	—	—
28m - 30m Deep Product		—	—	—	—	—
Terrace 4.5m Allotment		4.5 x 28m	126m²	—	—	—
Terrace 6.6m Allotment		6.6 x 28m	185m²	—	—	—
Terrace 7.5m Allotment		7.5 x 28m	210m²	—	—	—
Terrace 9.5m Allotment		9.5 x 28m	265m²	—	—	—
Subtotal		—	—	—	—	—
30m Deep Product		—	—	—	—	—
Villa Allotment		10 x 30m	300m²	9	—	—
Premium Villa Allotment		12.5 x 30m	375m²	15	—	—
Courtyard Allotment		14 x 30m	420m²	4	—	—
Traditional Allotment		20 x 30m	600m²	1	—	—
Premium Traditional Allotment		25 x 30m	720m²	—	—	—
Possible Multiple Residential Allotment		—	—	—	—	—
Subtotal		—	—	29	—	—
Total Residential Allotments		—	—	29	7	9
Residential Net Density		—	—	18.4 dw/ha	42.4 dw/ha	44.3 dw/ha
Super Lots		—	—	—	—	—
Medium Density Allotment		—	—	—	—	—
Balance Super Allotments		—	—	—	—	—
Sub Total		—	—	—	—	—
Total Allotments		—	—	29	7	9
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)		—	—	29	7	9
Maximum Potential Net Residential Density		—	—	18.4 dw/ha	42.4 dw/ha	44.3 dw/ha

Land Budget					
Land Use	Stage 5Ai	Stage 5Aii	Stage 5Bii	Area	%
Area of Subject Site	1.854 ha	0.165 ha	0.203 ha	2.222 ha	100.0%
Saleable Area	1.136 ha	0.165 ha	0.203 ha	1.504 ha	67.7%
Residential Allotments	—	—	—	—	0.0%
Medium Density Allotment	—	—	—	—	0.0%
Balance Super Allotments	—	—	—	—	0.0%
Total Area of Allotments	1.136 ha	0.165 ha	0.203 ha	1.504 ha	67.7%
Road	0.278 ha	—	—	0.278 ha	12.5%
Collector Road	0.395 ha	—	—	0.395 ha	17.8%
Local Road	0.045 ha	—	—	0.045 ha	2.0%
Linear Connections	—	—	—	—	0.0%
Entry Statements	—	—	—	—	0.0%
Total Area of New Road	0.718 ha	—	—	0.718 ha	32.3%
Open Space	—	—	—	—	0.0%
Corridor Park	—	—	—	—	0.0%
Carriageway (Within Corridor Park)	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	0.0%
Local Recreation Park	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	0.0%
Total Open Space	—	—	—	—	0.0%

Legend

- Site Boundary
- - - Proposed Stage Boundary
- - - Proposed Sub Stage Boundary
- Existing Q100
- ① Residential Allotment (Max. no. of dwellings)
- ② Indicative Indented Bus Stop Location
- ③ Indicative In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m². The boundaries shown on this plan should not be used for final detailed engineers design. Road inemarkings and turn slots are indicative only and subject to detailed design.

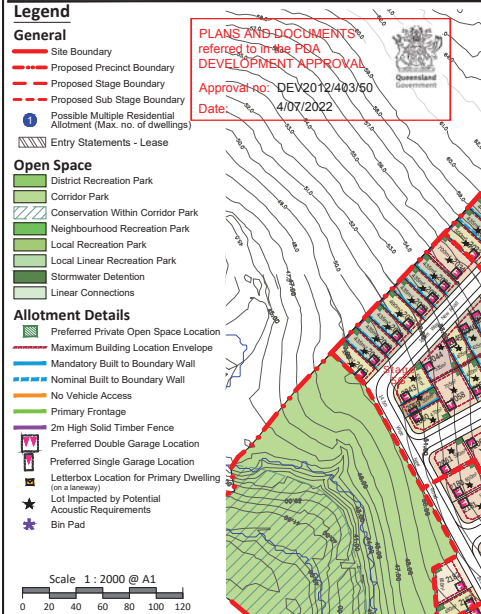
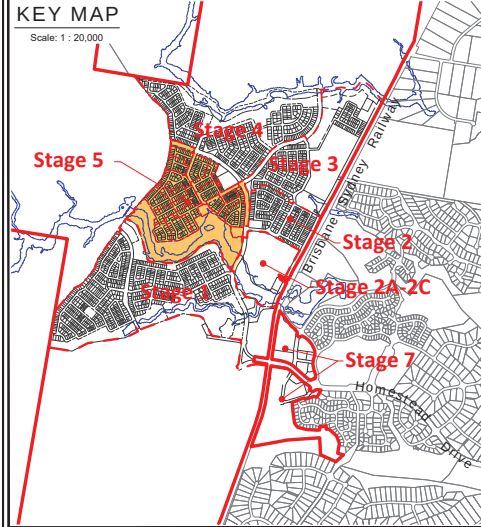
Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining Information: DCDB. Contours: Meinhardt.

REVISION	PROJECT
Q: 07/10/2021 Stage 3 & 4 Change	Flagstone Precinct 1
R: 20/10/2021 Stage 3 & 4 Change	
S: 27/10/2021 Stage 4 Change	
T: 20/12/2021 Stage 5 Layout Change	
U: 17/01/2022 PDD Amendments	
V: 21/01/2022 Stage 5 Layout Change	
W: 21/02/2022 Stage 5 Layout Change	
X: 07/04/2022 Stage 5 Change	
Y: 12/05/2022 Stage 5 Layout Change	
Z: 08/06/2022 Entry Statement Lease Areas	
AA: 16/06/2022 Temporary SITF Notation	

CLIENT	Job Ref.	Date
PEET	110056	16 June 2022
	Comp By: MD / NF	DWG Name: Precinct 1 Stage 5
	Chk'd By: MD	Locality: Flagstone
	Local Authority: Economic Development Queensland	

PEET
Plan of Subdivision
Stage 5Ai, Aii & Bii
Allotment Layout

Scale	Sheet	Plan Ref	Rev
1 : 500	A1	110056 - 409	AA



- Setbacks**
9. Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
10. The location of the lot to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted site setbacks shall be in accordance with the Plan of Development Table.
11. Boundary setbacks are measured to the wall of the structure.
12. Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
13. Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
14. If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
15. If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
16. Lots 2501 - 2505 require a 2.5m rear setback.
17. For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
18. A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
19. In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
- In the case of Urban Lots, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 5m back from the point of intersection of these two boundaries.

- Private Open Space**
20. Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
21. Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
- 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension of 2.4m);
 - 3 Bedroom - 12m² (minimum dimension of 2.4m).
22. Private open space must be directly accessible from a living space.

- On-site car parking and driveways**
23. On-site car parking is to be provided in accordance with the following minimum requirements:
- For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).

Plan of Development Table

	Urban Loft Allotments	Urban Allotments	Urban Terrace Allotments	Rear Terrace Allotments	Squat Allotments	Mode Allotments	Villa Allotments	Premium Villa Allotments	Courtyard Allotments	Premium Courtyard Allotments	Traditional Allotments	Premium Traditional Allotments	Multiple Residential Allotments (MR)
Front/Primary Frontage	Ground Floor 1.5m First Floor 1.5m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 3.0m First Floor 3.0m	Ground Floor 3.0m First Floor 3.0m	Ground Floor 3.0m First Floor 3.0m	Ground Floor 3.0m First Floor 3.0m	Ground Floor 4.5m First Floor 4.5m	Ground Floor 4.5m First Floor 4.5m	Ground Floor 3.0m First Floor 3.0m
Rear	0.0m*	0.0m*	1.5m*	1.5m*	0.0m*	0.0m*	0.9m*	0.9m*	0.9m*	0.9m*	1.0m*	1.0m*	1.5m*
* Additional setback required on some allotments - refer POD Notes 14-16.													
Side - General Lots													
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m
Maximum BTB Wall Length (% of boundary length)	85%	75%	90%	90%	75%	75%	70%	65%	65%	60%	n/a	n/a	n/a
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	0.9m	0.9m	0.9m	1.5m	2.0m	1.5m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m
Laneway Lots													
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a
Site Cover	90%	75%	75%	75%	75%	75%	65%	60%	60%	60%	60%	60%	75%



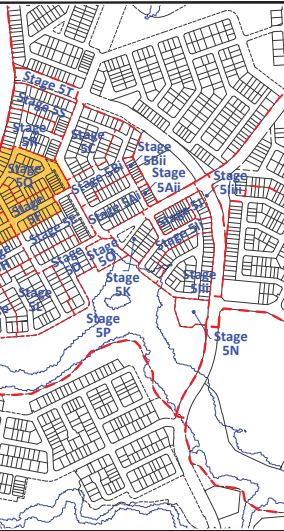
- Building Articulation**
42. All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
- Windows recessed into the facade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
43. Where adjoining an area of open space, housing design must facilitate passive orientation of the open space, which can be achieved through the incorporation of at least one (1) habitable room overlapped towards the open space.
44. Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
45. All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
46. Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
47. Homes must include a clearly identifiable and addressed front door and undercover point of entry.
48. Screened drying and rubbish bins areas must be behind the main face of the dwelling.
49. At least two openings to all habitable rooms to facilitate cross flow ventilation are required.
- Slope and Building Footings**
50. Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
51. If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
52. Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
- Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**
53. Buildings must address all street frontages with driveways, pedestrian entries or both.
54. All dwellings must have a clearly identifiable front door, which is undercover.
55. Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
56. Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.
- Additional Criteria for Secondary Dwellings**
57. Floor area must be between a minimum of 30m² and 75m².
58. Materials, detailing, colours and roof form are consistent with those of the primary house.
59. Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
60. Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
61. Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
62. A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
63. The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
64. Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
65. Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
- Retaining Walls**
39. For retaining walls not constructed by the developer:
- Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
40. No timber retaining walls over 1.0m or adjoining parks or public streets.
41. Walls over 1.0m require RPEQ certification.

REVISION	PROJECT	Flagstone Precinct 1	CLIENT	PEET
Q: 07/10/2021 Stage 3 & 4 Change	Job Ref.	110056	Date	16 June 2022
R: 20/10/2021 Stage 3 & 4 Change	Comp By	MD / NF	DWG Name	Precinct 1 Stage 5
S: 27/10/2021 Stage 4 Change	Chk'd By	MD	Locality	Flagstone
T: 20/12/2021 Stage 5 Layout Change	Local Authority	Economic Development Queensland		
U: 17/01/2022 POD Amendments				
V: 21/01/2022 Stage 5 Layout Change				
W: 21/02/2022 Stage 5 Layout Change				
X: 07/04/2022 Stage 5 Change				
Y: 12/05/2022 Stage 5 Change				
Z: 08/06/2022 Entry Statement Lease Areas				
AA: 16/06/2022 Temporary SIT Notation				

Scale	Sheet	Plan Ref	Rev
1 : 2000	A1	110056 - 410	AA

KEY MAP

Scale: 1 : 7,500



Legend

General

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Possible Multiple Residential Allotment (Max. no. of dwellings)

Open Space

- Local Linear Recreation Park
- Linear Connections

Allotment Details

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- 2m High Solid Timber Fence
- Preferred Double Garage Location
- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling (or a laneway)
- Lot Impacted by Potential Acoustic Requirements
- Bin Pad

Note:

All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered Survey Plans / Vets.
Adjoining Information: DCDB.
Contours: Meinhardt.

Notes:

General

- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
- The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
- Maximum building location envelopes are subject to future proposed easements and/or other underground services.
- All lots subject to an acoustic assessment to determine level of acoustic treatments.
- Buildings shall be constructed in accordance with Building AS3899.
- Secondary dwellings are not permitted on lots less than 400m².
- Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 5005), the Manufactured Home Estate Allotment (lot 50029) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
- Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent site detached lot setbacks will apply.
- The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Boundary setbacks are measured to the wall of the structure.
- Front verandah and covered areas to the front door are permitted to extend into the front setback on the corner lot that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
- Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
- If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
- If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
- Lots 2501 - 2505 require a 2.5m rear setback.
- For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
- Corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
- In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Loft, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.

Private Open Space

- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
- Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension of 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m).
- Private open space must be directly accessible from a living space.

On-site car parking and driveways

- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For any Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
- Garages for single story dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - a. The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m.
 - b. The garage door:
 - i. Width must not exceed 4.8m

Plan of Development Table

	Urban Loft Allotments	Urban Allotments	Urban Terrace Allotments	Rear Loaded Terrace Allotments	Squat Allotments	Mode Allotments	Villa Allotments	Premium Villa Allotments	Courtyard Allotments	Premium Courtyard Allotments	Traditional Allotments	Premium Traditional Allotments	Multiple Residential (MR)
Front/Primary Frontage	Ground Floor	First Floor	First Floor	First Floor	Ground Floor	First Floor	First Floor	First Floor	First Floor	First Floor	First Floor	First Floor	First Floor
Garage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m
Rear	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*
* Additional setback required on some allotments - refer POD Notes 14-16.													
Side - General Lots	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m
Maximum BTB Wall Length (% of boundary length)	85%	75%	90%	90%	75%	75%	70%	65%	65%	60%	n/a	n/a	n/a
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.5m	1.5m	1.5m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m
Laneway Lots	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a
Site Cover	90%	75%	75%	75%	75%	75%	65%	60%	60%	60%	60%	60%	75%

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/50

Date: 4/07/2022



Building Articulation

- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the facade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
- Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
- Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
- Homes must include a clearly identifiable and addressed front door and undercover point of entry.
- Screened drying and rubbish bins area must be behind the main face of the dwelling.
- At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

Slope and Building Footings

- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
- Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)

- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

- Floor area must be between a minimum of 30m² and 75m².
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

Definitions

Laneway Allotment - Allotments serviced by a laneway.

REVISION

Q: 07/10/2021 Stage 3 & 4 Change
R: 20/10/2021 Stage 3 & 4 Change
S: 27/10/2021 Stage 4 Change
T: 20/12/2021 Stage 5 Layout Change
U: 17/01/2022 POD Amendments
V: 21/01/2022 Stage 5 Layout Change
W: 21/02/2022 Stage 5 Layout Change
X: 07/04/2022 Stage 5 Change
Y: 12/05/2022 Stage 5 Change
Z: 08/06/2022 Entry Statement Lease Areas
AA: 16/06/2022 Temporary SIT Notation

PROJECT

Flagstone Precinct 1

CLIENT

PEET

Plan of Development
Stage 5F, G & Q
Residential Allotments

Job Ref.

110056

Date:

16 June 2022

Comp By.

MD / NF

DWG Name.

Precinct 1 Stage 5

Chk'd By.

MD

Locality.

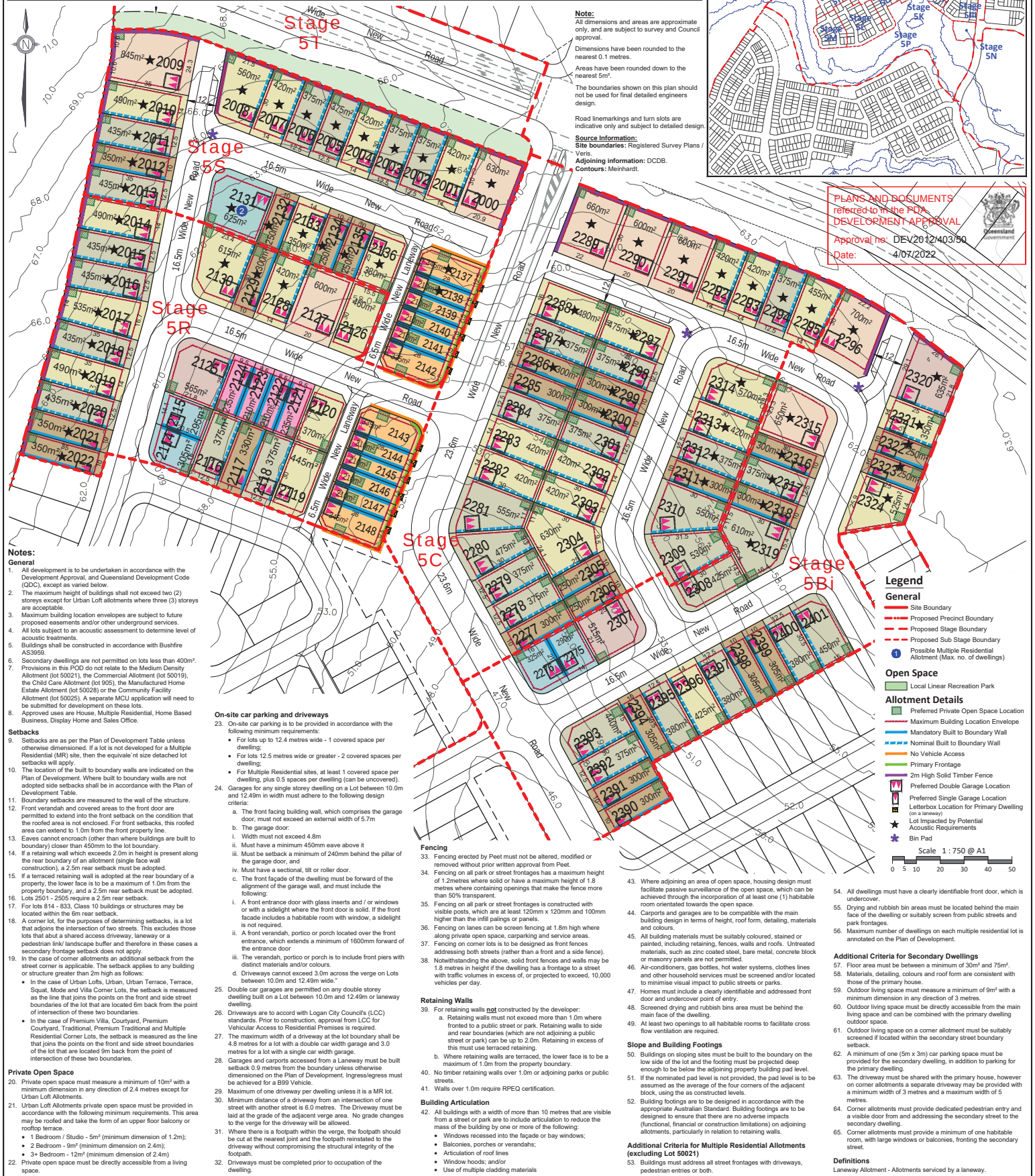
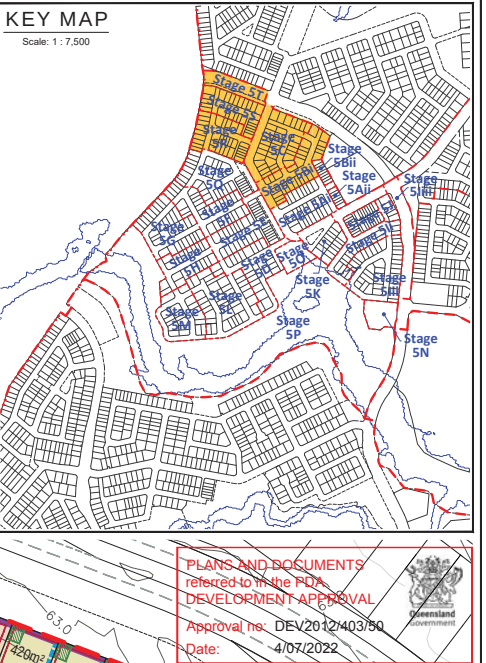
Flagstone

Local Authority.

Economic Development Queensland

Scale
1 : 1000Sheet
A1Plan Ref
110056 - 412Rev
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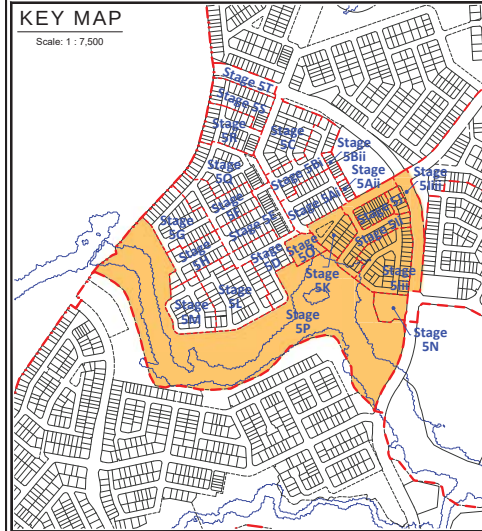
Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a
Rear	0.0m	0.0m	1.5m	1.5m	0.0m	0.0m	0.9m	0.9m	1.0m	1.5m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m
* Additional setback required on some allotments - refer POD Notes 14-16.																										
Side - General Lots																										
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	n/a	n/a	n/a	n/a	n/a
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a		n/a		n/a	n/a
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m
Lane/Lane/Lane																										
Rear of Lot (from lane/boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a
Site Cover	90%		75%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%	75%



REVISION Q: 07/10/2021 Stage 3 & 4 Change R: 20/10/2021 Stage 3 & 4 Change S: 27/10/2021 Stage 4 Change T: 20/12/2021 Stage 5 Layout Change U: 17/01/2022 POD Amendments V: 21/01/2022 Stage 5 Layout Change W: 21/02/2022 Stage 5 Layout Change X: 07/04/2022 Stage 5 Change Y: 12/05/2022 Stage 5 Layout Change Z: 08/06/2022 Easement/Lease Areas AA: 16/06/2022 Temporary SIT Notation		PROJECT Flagstone Precinct 1		CLIENT PEET	
Job Ref. 110056		Date. 16 June 2022		Plan of Development Stage 5Bi, R, S & T Residential Allotments	
Comp By. MD / NF		DWG Name. Precinct 1 Stage 5		Scale 1 : 750	
Chk'd By. MD		Locality. Flagstone		Sheet A1	
Local Authority. Economic Development Queensland				Plan Ref 110056 - 413	
				Rev AA	

KEY MAP

Scale: 1 : 7,500



Plan of Development Table

	Urban Loft Allotments	Urban Terrace Allotments	Rear Loaded Terrace Allotments	Squat Allotments	Mode Allotments	Villa Allotments	Premium Villa Allotments	Courtyard Allotments	Premium Courtyard Allotments	Traditional Allotments	Premium Traditional Allotments	Multiple Residential Allotment (MR)
Front/Primary Frontage	Ground Floor 1.5m	First Floor 1.5m	First Floor 2.4m	First Floor 2.4m	First Floor 2.4m	First Floor 2.4m	First Floor 2.4m	First Floor 2.4m	First Floor 2.4m	First Floor 2.4m	First Floor 2.4m	First Floor 2.4m
Rear	1.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	4.5m
Side - General Lots	0.0m	0.0m	1.5m	1.5m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m
Maximum BTB Wall Length (% of boundary length)	85%	75%	90%	90%	75%	75%	70%	65%	65%	n/a	n/a	n/a
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.5m	1.5m	1.5m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m
Laneway Lots	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m
Rear of Lot (from lane boundary including garage)	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a
Site Cover	90%	75%	75%	75%	75%	75%	65%	60%	60%	60%	60%	75%

Note:

All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m². The boundaries shown on this plan should not be used for final detailed engineers design.

Road line markings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: CDCB, Contours: Meinhardt.

Notes:

General:

- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
- The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
- Maximum building location envelopes are subject to future proposed easements and/or other underground services.
- All lots subject to an acoustic assessment to determine level of acoustic treatments.
- Buildings shall be constructed in accordance with Bushfire AS3999.
- Secondary dwellings are not permitted on lots less than 400m².
- Provisions in this PDA do not relate to Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 5005), the Manufactured Home Estate Allotment (lot 50020) or the Community Facility Allotment (lot 50025). A separate MOC application will need to be submitted for development on these lots.
- Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.

Setbacks:

- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent side detached lot setbacks will apply.
- The location of the built to boundary walls is indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Boundary setbacks are measured to the wall of the structure.
- Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line and a pedestrian link/landscape buffer and therefore in these cases a secondary front setback does not apply.
- In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lofts, Urban Terraces, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.
- Private Open Space

- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
- Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension of 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
- Private open space must be directly accessible from a living space.

On-site car parking and driveways

- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
- Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a side light where the front door is solid. If the front facade includes a habitable room with window, a side light is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door.
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.
- Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or lane way dwelling.
- Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
- Garages and carports accessed from a Lane way must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B9V Vehicle.

Retaining Walls

- For retaining walls not constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a property or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
- No timber retaining walls over 1.0m or adjoining parks or public streets.
- Walls over 1.0m require RPEQ certification.

Revision

Q: 07/10/2021 Stage 3 & 4 Change
R: 20/10/2021 Stage 3 & 4 Change
S: 27/10/2021 Stage 3 & 4 Change
T: 20/12/2021 Stage 5 Layout Change
U: 17/01/2022 PDA Amendments
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X: 07/04/2022 Stage 5 Change
Y: 12/05/2022 Stage 5 Layout Change
Z: 08/06/2022 Entry Statement/ Lease Areas
AA: 16/08/2022 Temporary SIT Notation

PROJECT

Job Ref. 110056

Comp By. MD / NF

Chk'd By. MD

Local Authority. Economic Development Queensland

Flagstone

Precinct 1

Date. 16 June 2022

DWG Name. Precinct 1 Stage 5

Locality. Flagstone

CLIENT

PEET

Plan of Development

Stage 5I, 5J, 5K, 5L, 5M, 5N, 5O & P

Residential Allotments

Scale

1 : 750

Sheet

A1

Plan Ref

110056 - 414

Rev

AA

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/50
Date: 4/07/2022



Building Articulation

- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the facade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines;
 - Window hoods; and/or
 - Use of multiple cladding materials
- Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
- Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
- Homes must include a clearly identifiable and addressed front door and undercover point of entry.
- Screened drying and rubbish bins area must be behind the main face of the dwelling.
- At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

Slope and Building Footings

- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
- Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)

- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is uncovered.
- Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

- Floor area must be between a minimum of 30m² and 75m².
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

Definitions

Lane way Allotment - Allotments serviced by a lane way.

Legend

General

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Possible Multiple Residential Allotment (Max. no. of dwellings)

Open Space

- Conservation Park
- Corridor Park
- Neighbourhood Recreation Park
- Local Recreation Park
- Linear Connections

Allotment Details

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- 2m High Solid Timber Fence
- Preferred Double Garage Location
- Preferred Single Garage Location
- Letterboxed Location for Primary Dwelling (on a lane way)
- Lot Located by Potential Acoustic Requirements
- Bin Pad



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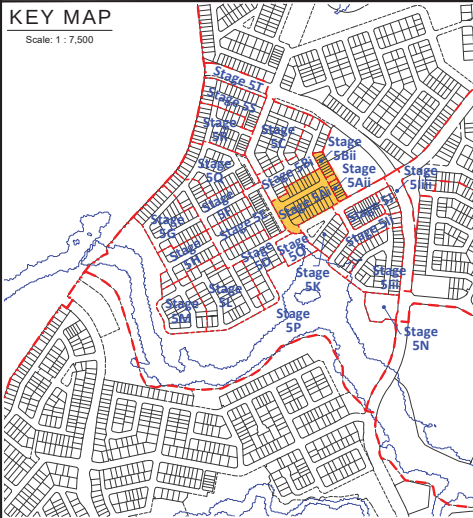
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KEY MAP

Scale: 1 : 7,500



Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.

Road line markings and turn slots are indicative only and subject to detailed design.
Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Meinhardt.

Legend
General
--- Site Boundary
--- Proposed Precinct Boundary
--- Proposed Stage Boundary
--- Proposed Sub Stage Boundary
① Possible Multiple Residential Allotment (Max. no. of dwellings)

Open Space
--- Linear Connections
Allotment Details
--- Preferred Private Open Space Location
--- Maximum Building Location Envelope
--- Mandatory Built to Boundary Wall
--- Nominal Built to Boundary Wall
--- No Vehicle Access
--- Primary Frontage
--- 2m High Solid Timber Fence
--- Preferred Double Garage Location
--- Preferred Single Garage Location
--- Letterbox Location for Primary Dwelling (on a laneway)
--- Lot Impacted by Potential
★ Acoustic Requirements

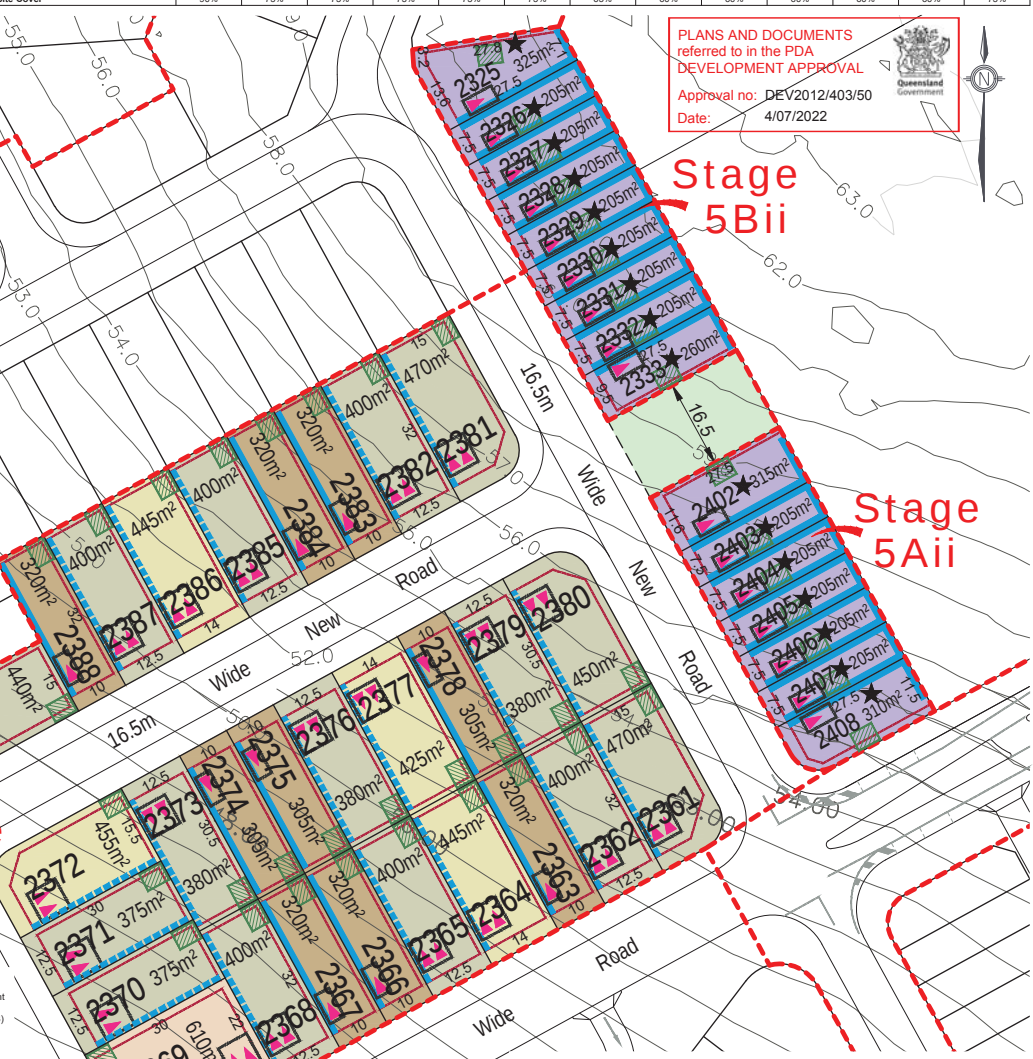
Notes:
General
1. All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (ODC), except as varied below.
2. The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
3. Maximum building location envelopes are subject to future proposed easements and other underground services.
4. All lots subject to an acoustic assessment to determine level of acoustic treatments.
5. Buildings shall be constructed in accordance with Bushfire AS3959.
6. Secondary dwellings are not permitted on lots less than 400m².
7. Provisions in this PDA do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
8. Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.

Setbacks
9. Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
10. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
11. Boundary setbacks are measured to the wall of the structure.
12. Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
13. Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
14. If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
15. If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
16. For lots 1814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
17. A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that have a shared access driveway, laneway or a pedestrian link/landscape buffer and therefore in these cases a secondary frontage setback does not apply.
18. In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
• In the case of Urban Lots, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
• In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.

Private Open Space
20. Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
21. Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
• 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
• 2 Bedroom - 9m² (minimum dimension of 2.4m);
• 3+ Bedroom - 12m² (minimum dimension of 2.4m)
22. Private open space must be directly accessible from a living space.
On-site car parking and driveways
23. On-site car parking is to be provided in accordance with the following minimum requirements:
• For lots up to 12.4 metres wide - 1 covered space per dwelling;
• For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
• For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
24. Garages for any single storey dwelling on a lot between 10.0m and 12.4m in width must adhere to the following design criteria:
a. The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
b. The garage door:
i. Width must not exceed 4.8m
ii. Must have a minimum 450mm eave above it
iii. Must be setback a minimum of 240mm behind the pillar of the garage door, and
iv. Must have a sectional, lift or roller door.

Plan of Development Table

	Urban Loft Allotments	Urban Terrace Allotments	Rear Loaded Terrace Allotments	Squat Allotments	Mode Allotments	Villa Allotments	Premium Villa Allotments	Courtyard Allotments	Premium Courtyard Allotments	Traditional Allotments	Premium Traditional Allotments	Multiple Residential Allotment (MR)
Front/Primary Frontage	Ground Floor 1.5m	First Floor 1.5m	Ground Floor 2.4m	First Floor 2.4m	Ground Floor 2.4m	First Floor 2.4m	Ground Floor 3.0m	First Floor 3.0m	Ground Floor 3.0m	First Floor 3.0m	Ground Floor 3.0m	First Floor 3.0m
Garage	1.5m	n/a	4.5m	1.5m	n/a	4.5m	1.5m	n/a	4.5m	1.5m	n/a	4.5m
Rear	0.0m	0.0m	1.5m	1.5m	0.0m	0.0m	1.5m	1.5m	0.0m	0.0m	1.5m	1.5m
* Additional setback required on some allotments - refer PDA Notes 14-16.	0.0m	0.0m	1.5m	1.5m	0.0m	0.0m	1.5m	1.5m	0.0m	0.0m	1.5m	1.5m
Side - General Lots	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m
Maximum BTB Wall Length (% of boundary length)	85%	75%	90%	90%	75%	75%	70%	65%	65%	60%	n/a	n/a
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m
Laneway Lots	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Site Cover	90%	75%	75%	75%	75%	65%	60%	60%	60%	60%	60%	75%



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/50

Date: 4/07/2022



Building Articulation

- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the facade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
- Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
- Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
- Homes must include a clearly identifiable and addressed front door and undercover point of entry.
- Screened drying and rubbish bins area must be behind the main face of the dwelling.
- At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

Slope and Building Footings

- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
- Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)

- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

- Floor area must be between a minimum of 30m² and 75m².
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street building setback.
- A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- Cornor allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- Cornor allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

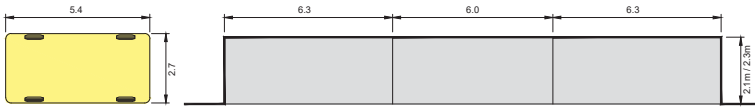
Definitions

Laneway Allotment - Allotments serviced by a laneway.

REVISION	PROJECT	Flagstone Precinct 1	CLIENT	PEET
Q: 07/10/2021 Stage 3 & 4 Change	Job Ref.	110056	Date:	16 June 2022
R: 20/10/2021 Stage 3 & 4 Change	Comp By.	MD / NF	DWG Name.	Precinct 1 Stage 5
S: 27/10/2021 Stage 4 Change	Chk'd By.	MD	Locality.	Flagstone
T: 20/12/2021 Stage 5 Layout Change	Local Authority.	Economic Development Queensland		
U: 17/01/2022 PDA Amendments				
V: 21/01/2022 Stage 5 Layout Change				
W: 21/02/2022 Stage 5 Layout Change				
X: 07/04/2022 Stage 5 Change				
Y: 12/05/2022 Stage 5 Layout Change				
Z: 08/06/2022 Entry Statement Lease Areas				
AA: 16/06/2022 Temporary SIT Notation				

Plan of Development
Stage 5A, Aii & Bii
Residential Allotments

Scale	Sheet	Plan Ref	Rev
1 : 500	A1	110056 - 415	AA



Parking Bay Diagram
Scale 1 : 100

Typical Indented Parking Bay Arrangement
(In accordance with AS2890)
Scale 1 : 100

Legend

General

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary

Open Space

- District Recreation Park
- Corridor Park
- Conservation Within Corridor Park
- Neighbourhood Recreation Park
- Local Recreation Park
- Local Linear Recreation Park
- Stormwater Detention
- Linear Connections

On-Street Parking

- Indicative Car Park Location
- Indicative Driveway

Note:

All dimensions and areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Road line markings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered
Survey Plans / Vets:
Adjoining Information: DCDB.
Contours: Meinhardt.

Parking Breakdown

Total On-Street Visitor Parking Spaces Provided 386
Total Residential Dwellings 492
Total On-Street Visitor Parking Spaces Required 369
(based on 0.75 per dwelling)



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL
Approval no: DEV2012/403/50
Date: 4/07/2022



Scale 1 : 1500 @ A1
0 10 20 40 60 80 100

REVISION Q: 07/11/2021 Stage 3 & 4 Change R: 20/10/2021 Stage 3 & 4 Change S: 27/10/2021 Stage 4 Change T: 20/12/2021 Stage 5 Layout Change U: 17/01/2022 PDA Amendments V: 21/01/2022 Stage 5 Layout Change W: 21/02/2022 Stage 5 Layout Change X: 07/04/2022 Stage 5 Change Y: 12/05/2022 Stage 5 Layout Change Z: 08/06/2022 Entry Statement Lease Areas AA: 16/06/2022 Temporary STP Notation	PROJECT Flagstone Precinct 1 Job Ref. 110056 Date: 16 June 2022 Comp By: MD / NF DWG Name: Precinct 1 Stage 5 Chk'd By: MD Locality: Flagstone Local Authority: Economic Development Queensland	CLIENT PEET Plan of Development Stage 5 Overall Parking Management Plan	Scale 1 : 1500 Sheet A1 Plan Ref 110056 - 416 Rev AA
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