

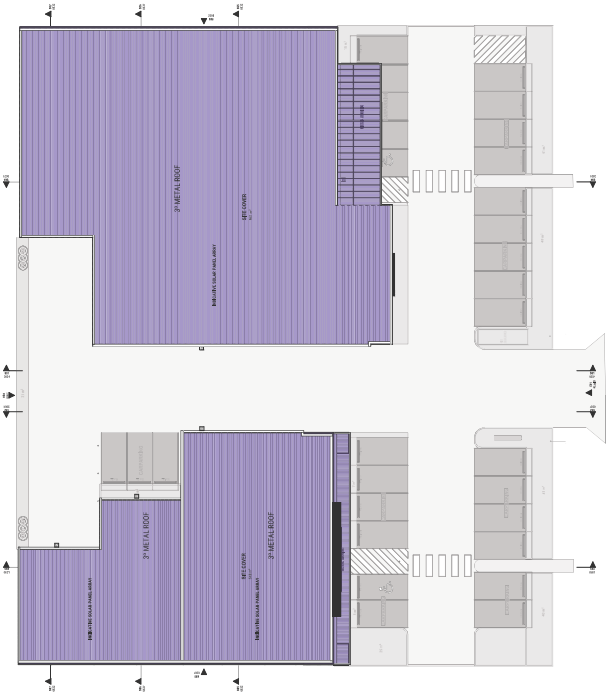
REV	DATE	DESCRIPTION
03	23/01/2022	BRIEFING
04	28/01/2022	TEMP REFUSE POINT
05	17/02/2022	LANDSCAPE
06	17/02/2022	BRIEFING
07	21/02/2022	AUTOMATED ISSUE
08	28/02/2022	RE CONSULTANT ISSUE
09	06/03/2022	RE CONSULTANT ISSUE
10	09/03/2022	BRIEFING
11	14/03/2022	BRIEFING
12	29/03/2022	BRIEFING
13	06/04/2022	DO RESPONSE
14	28/04/2022	DO RESPONSE
15	29/04/2022	DO RESPONSE
16	29/05/2022	DO RESPONSE 3
17	07/06/2022	AMENDMENT WINDOW
LEGENDS		

NOTE



Disclaimer: All site names, titles, and other information contained herein are for informational purposes only and do not constitute a contract. The information contained herein is for informational purposes only and does not constitute a contract. The information contained herein is for informational purposes only and does not constitute a contract. The information contained herein is for informational purposes only and does not constitute a contract.

PROJECT NAME	
AURA LOTS 1189-1190	
FOR	NEWBORN PROPERTY GROUP
ADDRESS	LOTS 1189-1190 DEEDAN GARDEN KURUPPA QLD 4051
STATUS	DEVELOPMENT APPLICATION
SCALE	1:1 @ A1
DEVELOPMENT STATISTICS	
PROJECT NUMBER	NEWP010
DRAWING NUMBER	REB01N
A0003	17



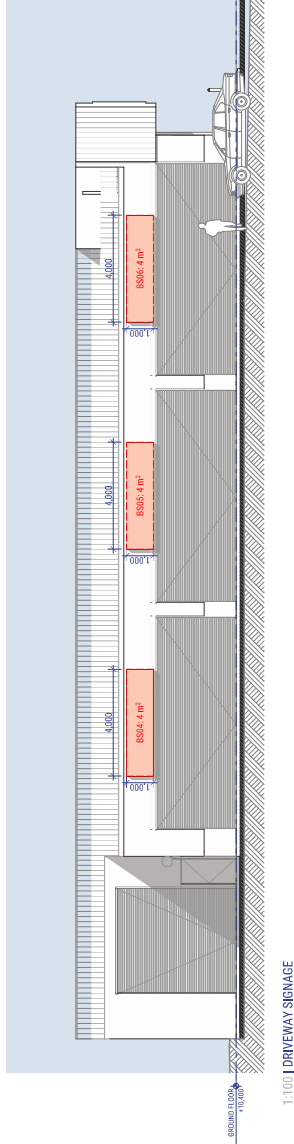
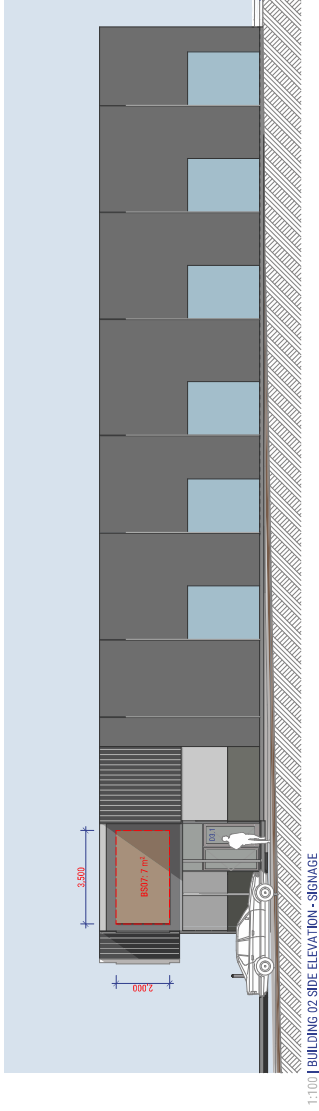
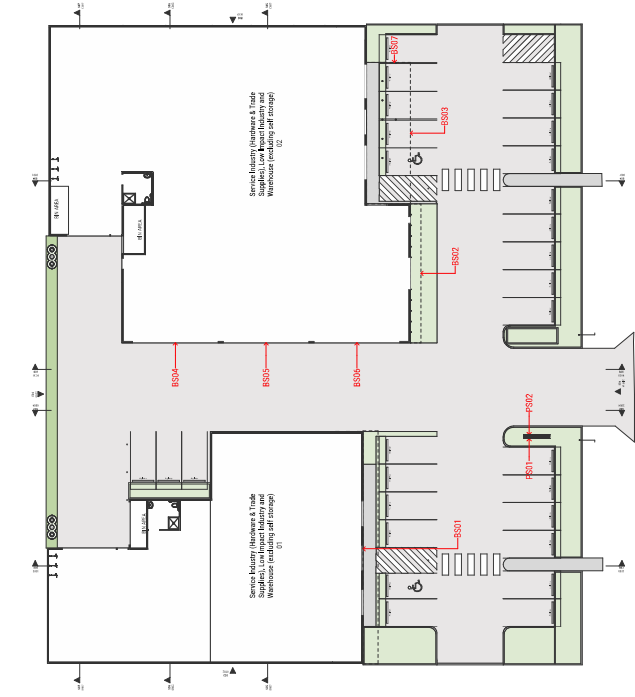
DEVELOPMENT SCHEDULE	
SITE AREA	
LOT 1189	1,526
LOT 1189	1,526
LOT 1189	3,072 m ²
GFA (1)	
Service Industry (Hardware & Trade Supplies), Low Impact Industry and Warehouse (excluding self storage) (1) GFA	502
Service Industry (Hardware & Trade Supplies), Low Impact Industry and Warehouse (excluding self storage) (2) GFA	849
LOT 1189	1,351 m ²
1. GFA	
The total floor area of all floors of a building, including mezzanines, measured from the outside of external walls or the centre of a common wall, including area used for:	
(a) building services;	
(b) a public car park in a shopping complex;	
(c) the parking, loading and manoeuvring of motor vehicles;	
(d) private balconies whether roofed or not.	
2. SITE COVER	
The proportion of the site covered by buildings, including roof overhangs.	
SITE COVER	
LANDSCAPING AND DEEP PLANTING	1,684 m ² (49.3%)
LANDSCAPE - LOT 1189	150
LANDSCAPE - LOT 1190	160
LANDSCAPE - LOT 1190	310 m ² (10.3%)
CARPARKING	
CARPARKS	27
PWD CARPARKS	2
TOTAL	29



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2022/1275
Date: 24/06/2022

REV	DATE	DESCRIPTION
01	21/11/2021	0A ISSUE
02	23/01/2022	R0 ISSUE
03	17/02/2022	R0 ISSUE
04	28/07/2022	R05 CORRECTION ISSUE
05	04/01/2023	R0 ISSUE
06	09/03/2023	R0 ISSUE
07	14/03/2023	R0 ISSUE
08	29/03/2023	R0 ISSUE
09	29/03/2023	R0 ISSUE
10	29/04/2022	EQ RESPONSE
11	19/05/2022	EQ RESPONSE 2
12	20/05/2022	EQ RESPONSE 3
13	02/06/2022	ADDITIONAL WINDOW



NOTES



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2022/1275
Date: 24/06/2022

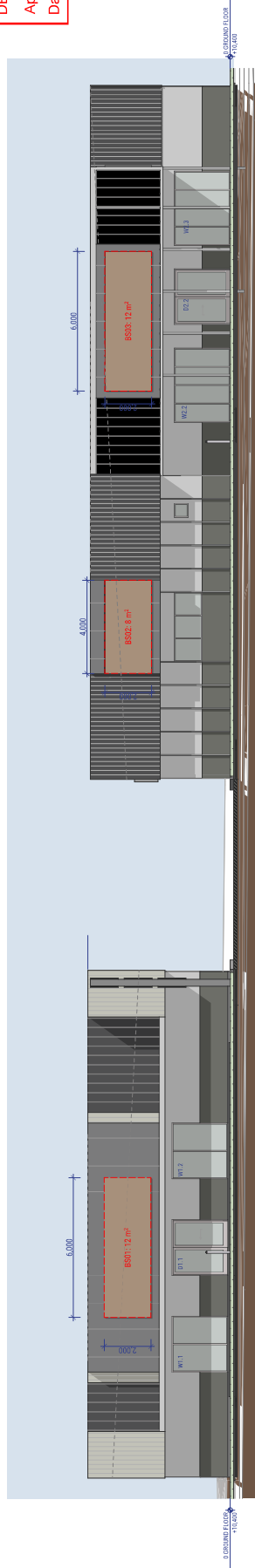
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AURA LOTS 1189-1190

FIR	NEWLINK PROPERTY GROUP
ADDRESS	LOTS 1189-1190 EDISON CRESCENT BARNIA Q.D. 4551
STATUS	DEVELOPMENT APPLICATION
SCALE	1:100, 1:1 @ A1

SIGNAGE SCHEDULE

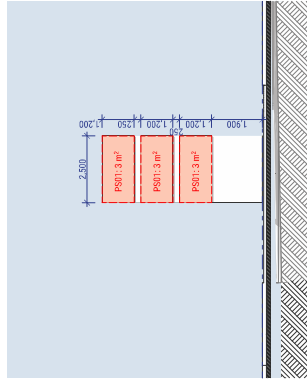
PROJECT NUMBER	NEWP010
DRAWING NUMBER	REVISED 13 A0004



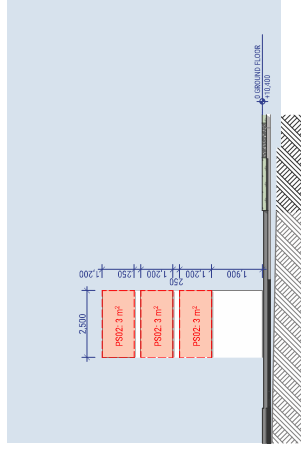
1:100 | ROAD ELEVATION - SIGNAGE

SIGNAGE SCHEDULE

	SECTOR #	LENGTH (m)	HEIGHT (m)	AREA (m ²)
BUILDING SENSITIVE	BS01	6.00	2.00	12
	BS02	4.00	2.00	8
	BS03	6.00	2.00	12
	BS04	4.00	1.00	4
	BS05	4.00	1.00	4
	BS06	4.00	1.00	4
	BS07	3.50	2.00	7
				51 m ²
PYLON SENSITIVE	PS01	7.50	1.20	9
	PS02	7.50	1.20	9
				18 m ²
				TOTAL 69 m ²



1:100 | PYLON SIGNAGE ELEVATION - PS01



1:100 | PYLON SIGNAGE ELEVATION - PS02

SONG3037



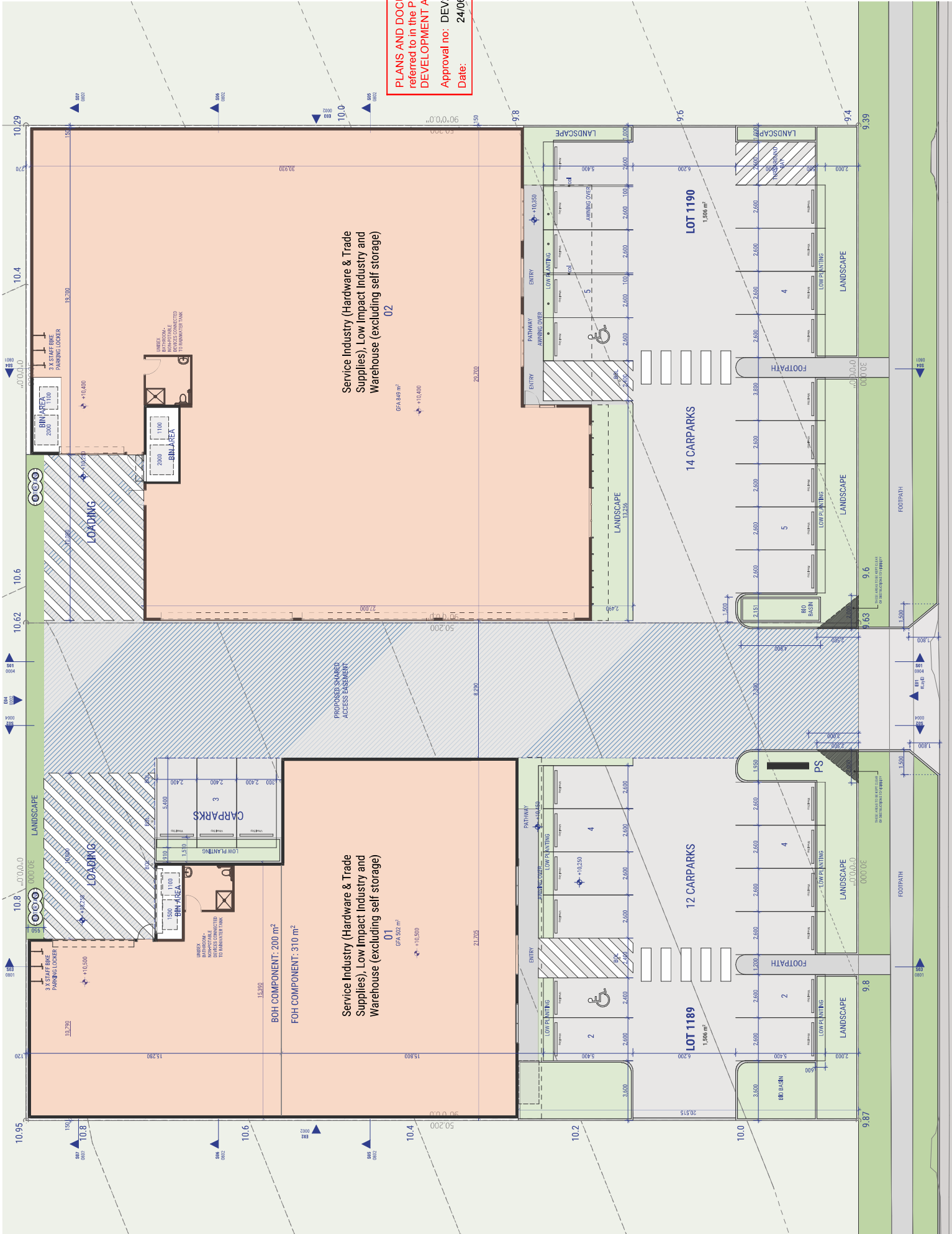
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AURA LOTS 1189-1190

F2R	NEWLINK PROPERTY GROUP
ADDRESS	LOTS 1189-1190 EHRSON CRESCENT BARRINGA Q.L.D. 4551
STATUS	DEVELOPMENT APPLICATION
SCALE	1:100 @ A1

PROPOSED SITE PLAN

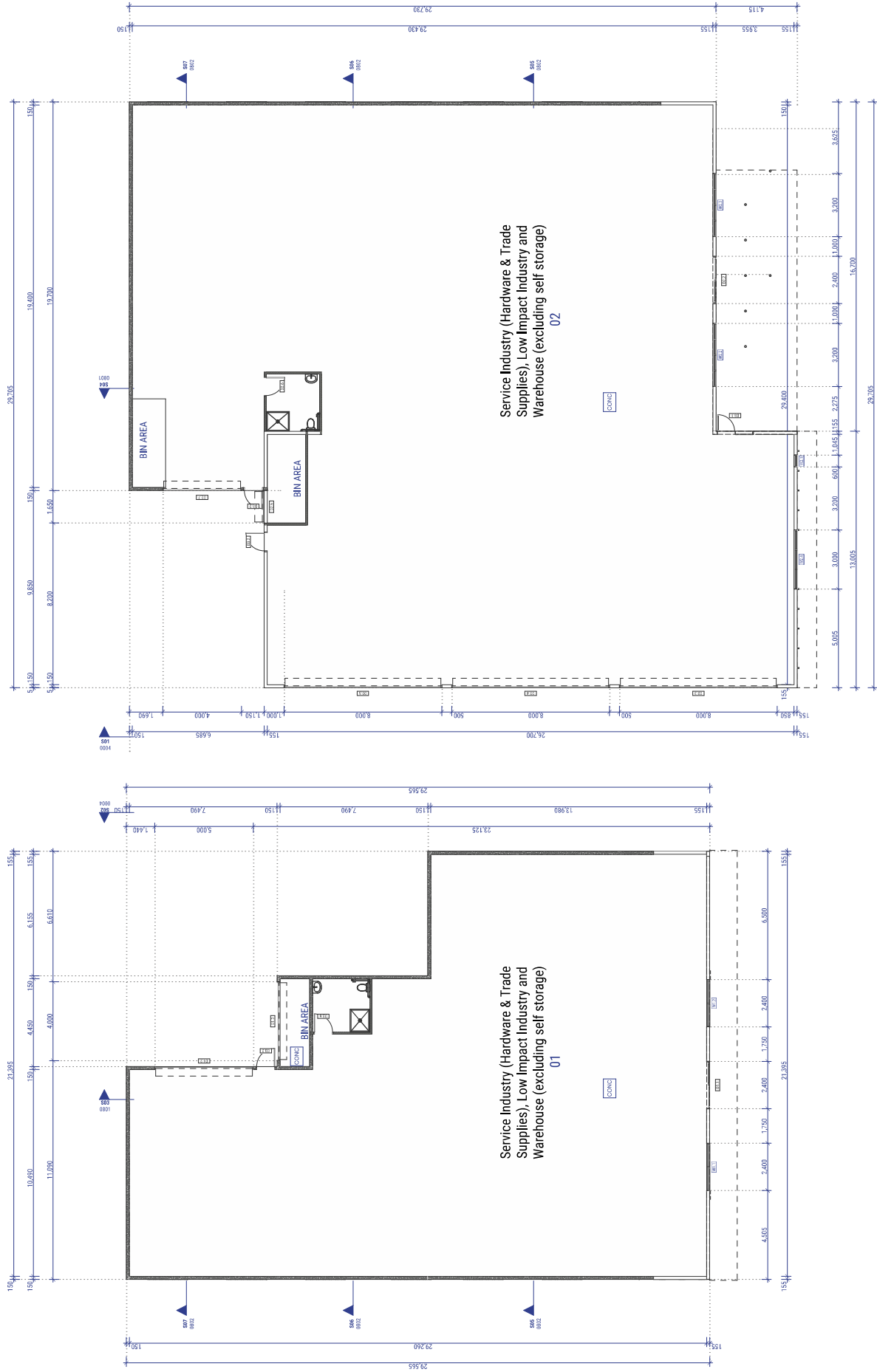
PROJECT NUMBER	NEWP010
DRAWING NUMBER	REVISION
A0102	17



REV	DATE	DESCRIPTION
01	11/17/2021	CONSULTANT ISSUE
02	21/12/2021	QA RESUE
03	23/01/2022	RES ISSUE
04	17/07/2022	RES ISSUE
05	28/02/2022	REF CONSULTANT ISSUE
06	04/03/2022	RES ISSUE
07	09/03/2022	RES ISSUE
08	14/03/2022	RES ISSUE
09	29/03/2022	RES ISSUE
10	30/04/2022	RES ISSUE
11	29/04/2022	EQD RESPONSE
12	05/05/2022	EQD RESPONSE 3
13	01/06/2022	ADDITIONAL WINDOW
14	02/06/2022	ADDITIONAL WINDOW

LEGENDS

NOTES



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AURA LOTS 1189-1190

FBI	NEWLINK PROPERTY GROUP
ADDRESS	LOTS 1189-1190 EDISON CRESCENT BIRMINGHAM, AL 35201
STATUS	DEVELOPMENT APPLICATION
SCALE	1:100 @ A1

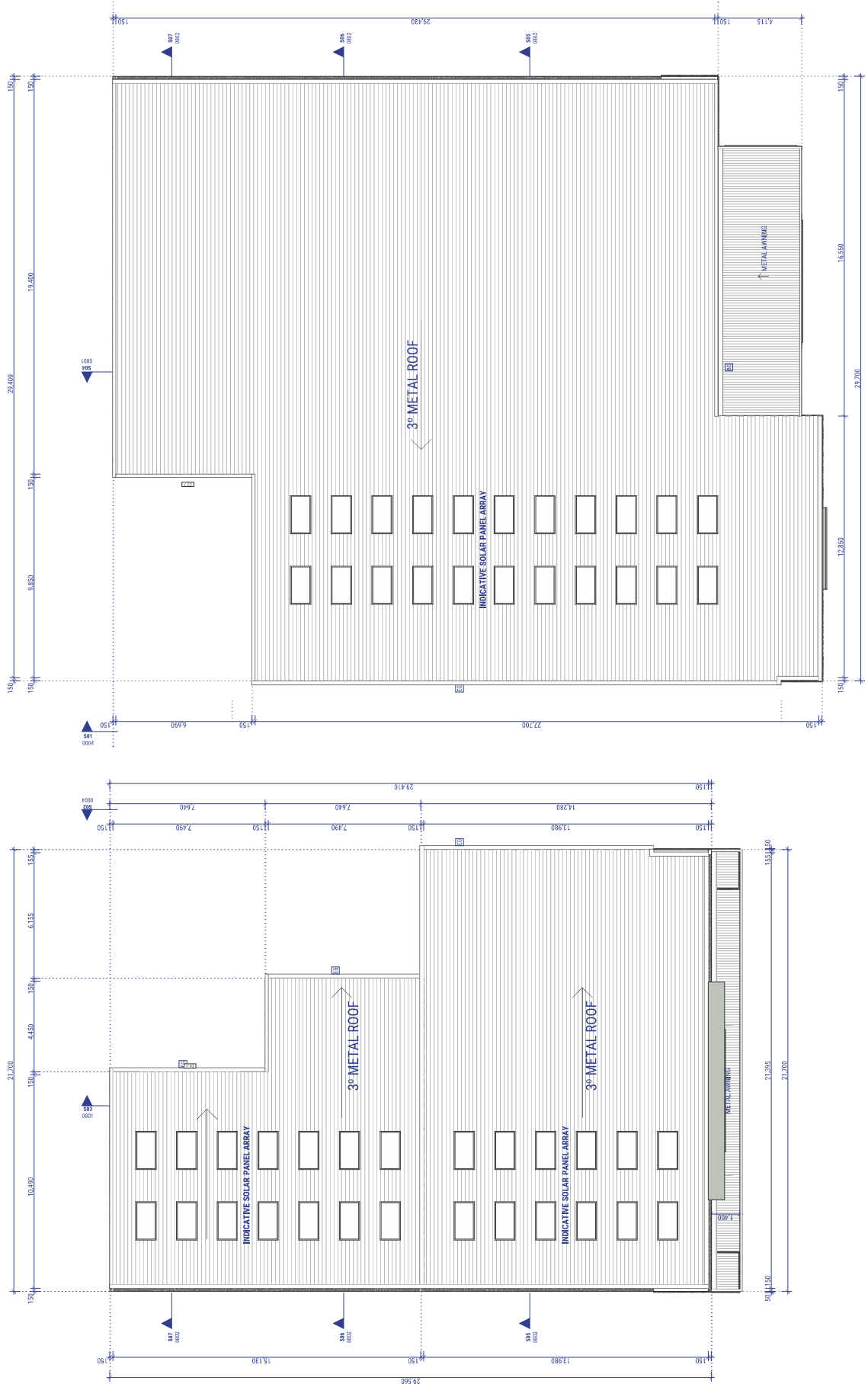
DRAWING NAME
FLOOR PLAN



PROJECT NUMBER	NEWP010
DRAWING NUMBER	REVISION
A0301	14

REV	DATE	DESCRIPTION
01	11/13/2021	CONSULTANT FEE
02	21/12/2021	INSURANCE
03	29/01/2022	POST FEE
04	17/07/2022	POST FEE
05	29/03/2022	PG CONSULTANT FEE
06	04/03/2022	POST FEE
07	09/03/2022	POST FEE
08	29/03/2022	POST FEE
09	04/03/2022	POST FEE
10	29/03/2022	POST FEE
11	29/04/2022	F20 RESPONSE
12	01/05/2022	CO2 RESPONSE 3
13	26/05/2022	ACQUISITION WINDOW

LEGEND



NOTES



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AURA LOTS 1189-1190

FOR	NEWLINK PROPERTY GROUP
ADDRESS	LOTS 1189-1190 EDISON CRESCENT BARKING QLD. 4551
STATUS	DEVELOPMENT APPLICATION
SCALE	1:100 @ A1



PROJECT NUMBER	NEWP010
DRAWING NUMBER	13

REV	DATE	DESCRIPTION
01	11/17/2021	CONSULTANT ISSUE
02	21/12/2021	OA ISSUE
03	23/01/2022	RR ISSUE
04	17/02/2022	RR ISSUE
05	28/02/2022	RR CONSULTANT ISSUE
06	4/03/2022	RR ISSUE
07	9/03/2022	RR ISSUE
08	14/03/2022	RR ISSUE
09	29/03/2022	RR ISSUE
10	30/03/2022	RR RESPONSE
11	29/04/2022	EOA RESPONSE

AD - AUTO SLIDING DOOR
AL - ALUMINIUMS
BR - BRICK RACKS
CB - COLOURBOND CLADDING
CP - COLOUR COATED PANEL
EG - EAVES GUTTER
FW - FIXED WINDOW
MR - METAL ROOF
PC - PRECAST CONCRETE
PCF - PRECAST CONCRETE
PR - PRECAST PANEL REBATE
(12mm rebate lines @ 400ctrs)
R - ROLLER SHUTTER
SC - BN STORE SCREEN

NOTES

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PROJECT NAME	AURA LOTS 11889-1190		
FIR	NEWBANK PROPERTY GROUP		
ADDRESS	LOTS 1189-1190 ELDON CRESCENT CUL-1851		
STATUS	DEVELOPMENT APPLICATION		
SCALE	1:100 @ A1		
DRAWING NAME			
SECTIONS			
PROJECT NUMBER	NEWP010		
DRAWING NUMBER	REV 01B		
A0892			11