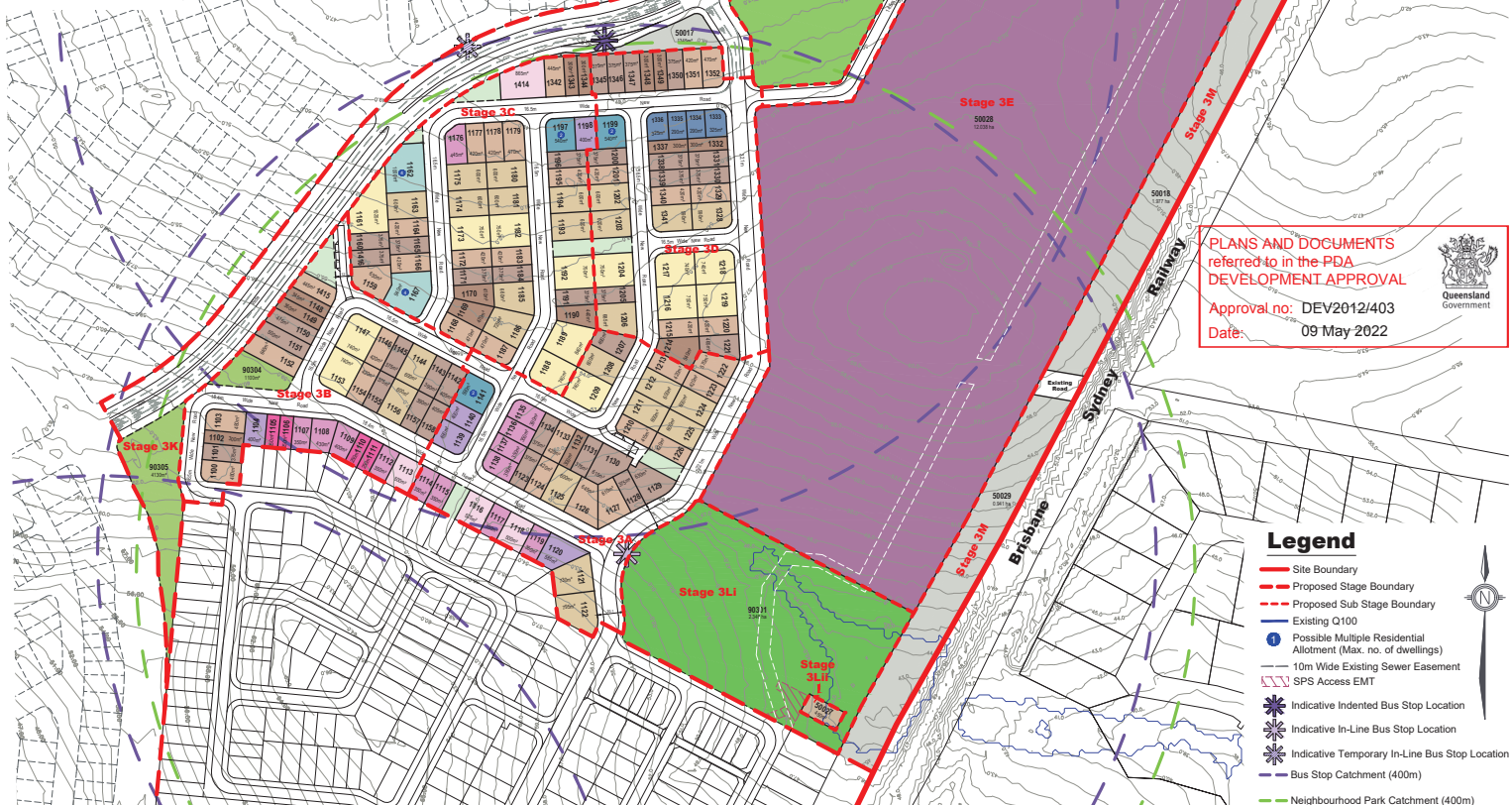


Land Use		Stage 3A	Stage 3B	Stage 3C	Stage 3D	Stage 3E	Stage 3F	Stage 3G	Stage 3H	Stage 3I	Stage 3J	Stage 3K	Stage 3L	Stage 3M	Overall
Area		Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	%
Area of Subject Site		3,397 ha	2,396 ha	3,346 ha	2,821 ha	12,038 ha	2,568 ha	1,366 ha	0,404 ha	2,740 ha	2,968 ha	9,965 ha	0,463 ha	2,584 ha	49,912 ha
Total Area of Allotments		1,974 ha	1,343 ha	2,464 ha	1,757 ha	12,038 ha	1,300 ha	0,949 ha	0,404 ha	2,740 ha	2,968 ha	9,965 ha	0,463 ha	2,584 ha	49,912 ha
Balance Super Allotments		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Total Area of Allotments		1,974 ha	1,343 ha	2,464 ha	1,757 ha	12,038 ha	1,300 ha	0,949 ha	0,404 ha	2,740 ha	2,968 ha	9,965 ha	0,463 ha	2,584 ha	49,912 ha
Utilities		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Sewer Pump Station		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Total Area of Utilities		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Road		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Collector Road		0,552 ha	---	---	---	---	---	---	---	---	---	---	---	---	---
Local Road		0,714 ha	0,889 ha	0,854 ha	1,554 ha	---	---	---	---	---	---	---	---	---	---
Linear Connections		0,067 ha	0,054 ha	0,076 ha	0,036 ha	---	---	---	---	---	---	---	---	---	---
Existing Road		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Total Area of New Road		1,333 ha	0,943 ha	0,932 ha	1,590 ha	---	---	---	---	---	---	---	---	---	---
Open Space		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Corridor Park		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Central Valley (Major Corridor Park)		---	---	---	---	---	---	---	---	---	---	---	---	---	---
District Recreation Park		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Neighbourhood Recreation Park		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Local Recreation Park		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Local Linear Recreation Park		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Green Corridor		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Total Open Space		---	---	---	---	---	---	---	---	---	---	---	---	---	---

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Road linemarkings and turn slots are indicative only and subject to detailed design.
Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Bradlees.

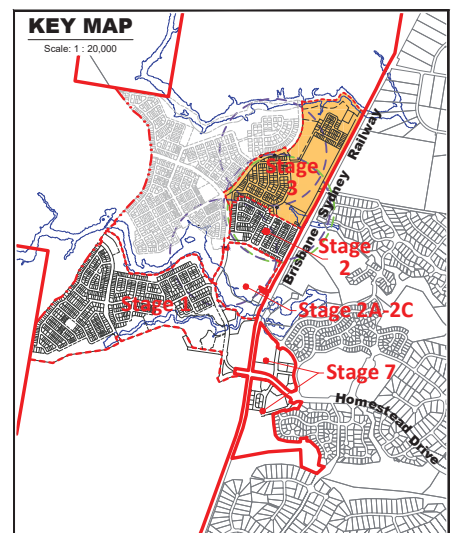


Residential Allotments		Stage 3A	Stage 3B	Stage 3C	Stage 3D	Stage 3E	Stage 3F	Stage 3G	Stage 3H	Stage 3I	Stage 3J	Stage 3K	Stage 3L	Stage 3M	Overall
Typical Size		Typical Area	Typical Area	Typical Area	Typical Area	Typical Area	Typical Area	Typical Area	Typical Area	Typical Area	Typical Area	Typical Area	Typical Area	Typical Area	Typical Area
Urban & Nano Allotments Product		4.7 x 11.5m	50m ²	---	---	---	---	---	---	---	---	---	---	---	---
Urban Lot		7.5 x 16m	120m ²	---	---	---	---	---	---	---	---	---	---	---	---
Urban Terrace		6.2 x 27.5m	170m ²	---	---	---	---	---	---	---	---	---	---	---	---
Subtotal		---	---	---	---	---	---	---	---	---	---	---	---	---	---
16m Deep Product		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Squat Allotment		14 x 16m	220m ²	---	---	---	---	---	---	---	---	---	---	---	---
Subtotal		---	---	---	---	---	---	---	---	---	---	---	---	---	---
28m Deep Product		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Villa Allotment		8.5 x 25m	213m ²	---	---	---	---	---	---	---	---	---	---	---	---
Subtotal		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Villa Allotment		10 x 25m	250m ²	---	---	---	---	---	---	---	---	---	---	---	---
Subtotal		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Premium Villa Allotment		14 x 25m	350m ²	---	---	---	---	---	---	---	---	---	---	---	---
Subtotal		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Premium Traditional Allotment		16 x 25m	400m ²	---	---	---	---	---	---	---	---	---	---	---	---
Subtotal		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Possible Multiple Residential Allotment		20 x 25m	500m ²	---	---	---	---	---	---	---	---	---	---	---	---
Subtotal		---	---	---	---	---	---	---	---	---	---	---	---	---	---
28m - 30m Deep Product		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Terrace 7.5m Allotment		7.5 x 28m	210m ²	---	---	---	---	---	---	---	---	---	---	---	---
Terrace 9.5m Allotment		9.5 x 28m	265m ²	---	---	---	---	---	---	---	---	---	---	---	---
Subtotal		---	---	---	---	---	---	---	---	---	---	---	---	---	---
30m Deep Product		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Villa Allotment		10 x 30m	300m ²	---	---	---	---	---	---	---	---	---	---	---	---
Subtotal		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Premium Villa Allotment		12.5 x 30m	375m ²	---	---	---	---	---	---	---	---	---	---	---	---
Subtotal		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Traditional Allotment		14 x 30m	420m ²	---	---	---	---	---	---	---	---	---	---	---	---
Subtotal		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Premium Traditional Allotment		20 x 30m	600m ²	---	---	---	---	---	---	---	---	---	---	---	---
Subtotal		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Possible Multiple Residential Allotment		25 x 30m	750m ²	---	---	---	---	---	---	---	---	---	---	---	---
Subtotal		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Total Residential Allotments		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Residential Net Density		14.5 dw/ha	13.4 dw/ha	15.5 dw/ha	16.6 dw/ha	---	---	---	---	---	---	---	---	---	---
Super Lots		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Balance Super Allotments		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Manufactured Home Estate Allotment		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Sub Total		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Utilities		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Sewer Pump Station		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Sub Total		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Total Allotments		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)		---	---	---	---	---	---	---	---	---	---	---	---	---	---
Maximum Potential Net Residential Density		14.9 dw/ha	13.4 dw/ha	15.5 dw/ha	16.6 dw/ha	---	---	---	---	---	---	---	---	---	---

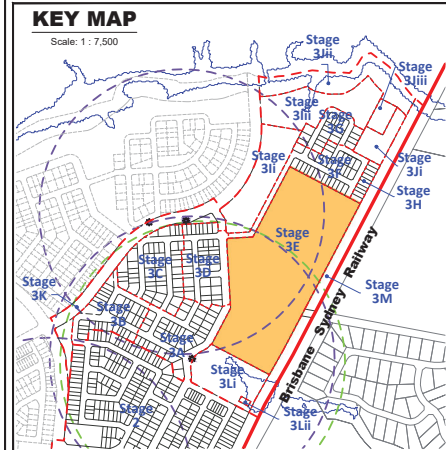
REVISION
Q: 07/10/2021 Stage 3 & 4 Change
R: 20/10/2021 Stage 3 & 4 Change
S: 27/10/2021 Stage 4 Change
T: 20/12/2021 Stage 5 Layout Change
U: 17/01/2022 PDA Amendments
V: 21/01/2022 Stage 5 Layout Change
W: 21/02/2022 Stage 5 Layout Change
X: 07/04/2022 Stage 5 Change

PROJECT
Flagstone Precinct 1
Job Ref. 110056 Date: 07 April 2022
Comp By: WW / JC / MD DWG Name: Precinct 1 Stage 3
Chk'd By: DG / MD Locality: Flagstone
Local Authority: Economic Development Queensland

CLIENT
PEET
Plan of Subdivision
Stage 3 Overall
Allotment Layout



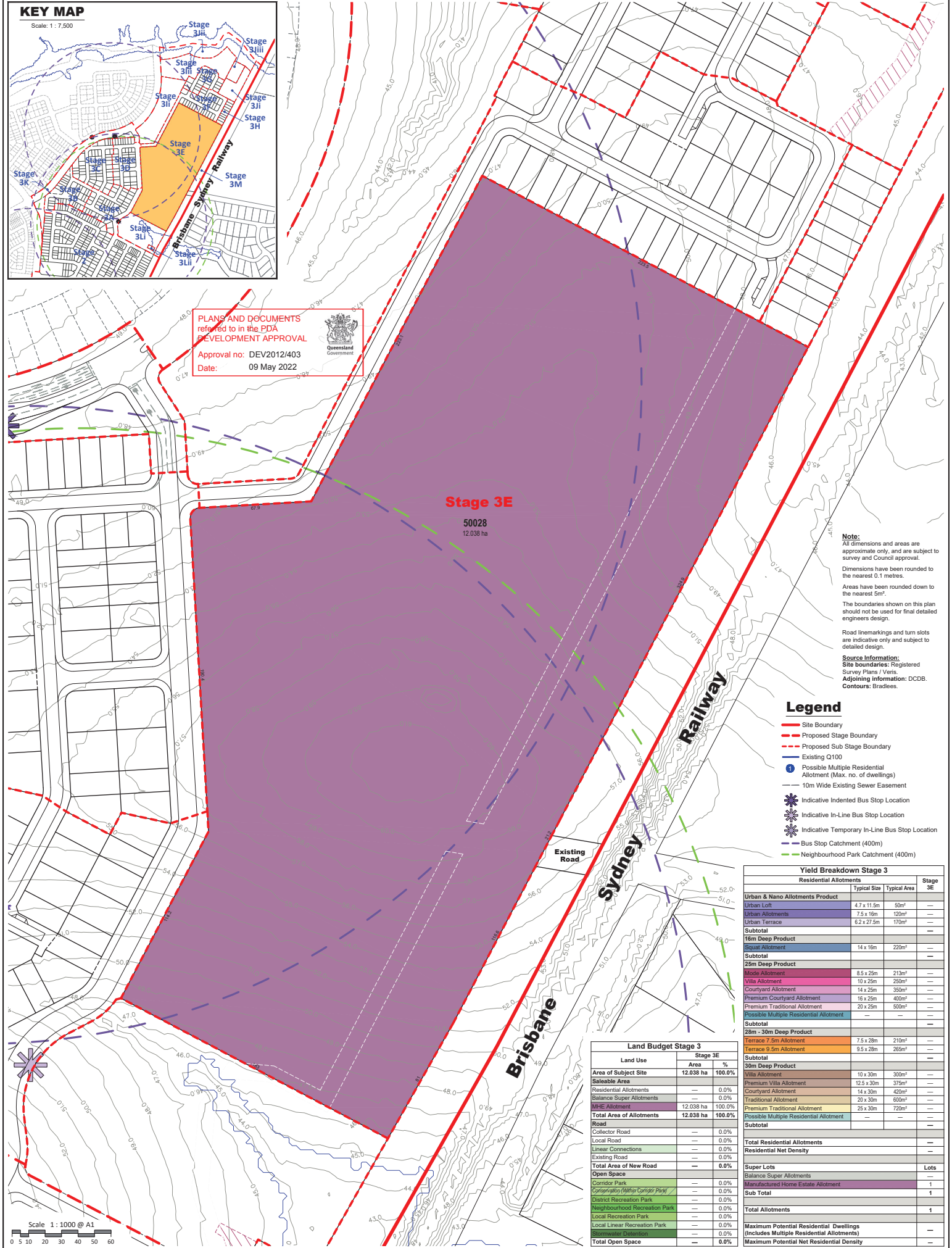
Scale 1 : 2000
Sheet A1
Plan Ref 110056 - 382
Rev X



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2012/403
Date: 09 May 2022

Queensland
Government



Note:
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Dimensions have been rounded to the nearest 5m.
Areas have been rounded down to the nearest 0.1 metres.
The boundaries shown on this plan should not be used for final detailed engineers design.
Road linemarkings and turn slots are indicative only and subject to detailed design.
Source Information:
Site boundaries: Registered Survey Plans / Varies
Adjoining information: DCDB
Contours: Bradlees.

Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- 10m Wide Existing Sewer Easement
- Indicative Indented Bus Stop Location
- Indicative In-Line Bus Stop Location
- Indicative Temporary In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

Yield Breakdown Stage 3			
Residential Allotments			Stage 3E
	Typical Size	Typical Area	
Urban & Nano Allotments Product	4.7 x 11.5m	50m ²	—
Urban Loft	7.5 x 16m	120m ²	—
Urban Terrace	6.2 x 27.5m	170m ²	—
Subtotal			—
16m Deep Product			—
Squat Allotment	14 x 16m	220m ²	—
Subtotal			—
25m Deep Product			—
Mode Allotment	8.5 x 25m	213m ²	—
Villa Allotment	10 x 25m	250m ²	—
Courtyard Allotment	14 x 25m	350m ²	—
Premium Courtyard Allotment	16 x 25m	400m ²	—
Premium Traditional Allotment	20 x 25m	500m ²	—
Possible Multiple Residential Allotment	—	—	—
Subtotal			—
28m - 30m Deep Product			—
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—
Subtotal			—
30m Deep Product			—
Villa Allotment	10 x 30m	300m ²	—
Premium Villa Allotment	12.5 x 30m	375m ²	—
Courtyard Allotment	14 x 30m	420m ²	—
Traditional Allotment	20 x 30m	600m ²	—
Premium Traditional Allotment	25 x 30m	720m ²	—
Possible Multiple Residential Allotment	—	—	—
Subtotal			—
Total Residential Allotments			—
Residential Net Density			—
Super Lots			—
Balance Super Allotments			—
Manufactured Home Estate Allotment			1
Sub Total			1
Total Allotments			1
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			—
Maximum Potential Net Residential Density			—

Land Budget Stage 3		
Land Use	Area	Stage 3E
Area of Subject Site	12.038 ha	100.0%
Saleable Area	—	—
Residential Allotments	—	0.0%
Balance Super Allotments	—	0.0%
MHE Allotment	12.038 ha	100.0%
Total Area of Allotments	12.038 ha	100.0%
Road	—	0.0%
Collector Road	—	0.0%
Local Road	—	0.0%
Linear Connections	—	0.0%
Existing Road	—	0.0%
Total Area of New Road	—	0.0%
Open Space	—	0.0%
Corridor Park	—	0.0%
Conservation (Within Corridor Park)	—	0.0%
District Recreation Park	—	0.0%
Neighbourhood Recreation Park	—	0.0%
Local Recreation Park	—	0.0%
Local Linear Recreation Park	—	0.0%
Stormwater Detention	—	0.0%
Total Open Space	—	0.0%

Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- 10m Wide Existing Sewer Easement
- SPS Access EMT
- Indicative Indented Bus Stop Location
- Indicative In-Line Bus Stop Location
- Indicative Temporary In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

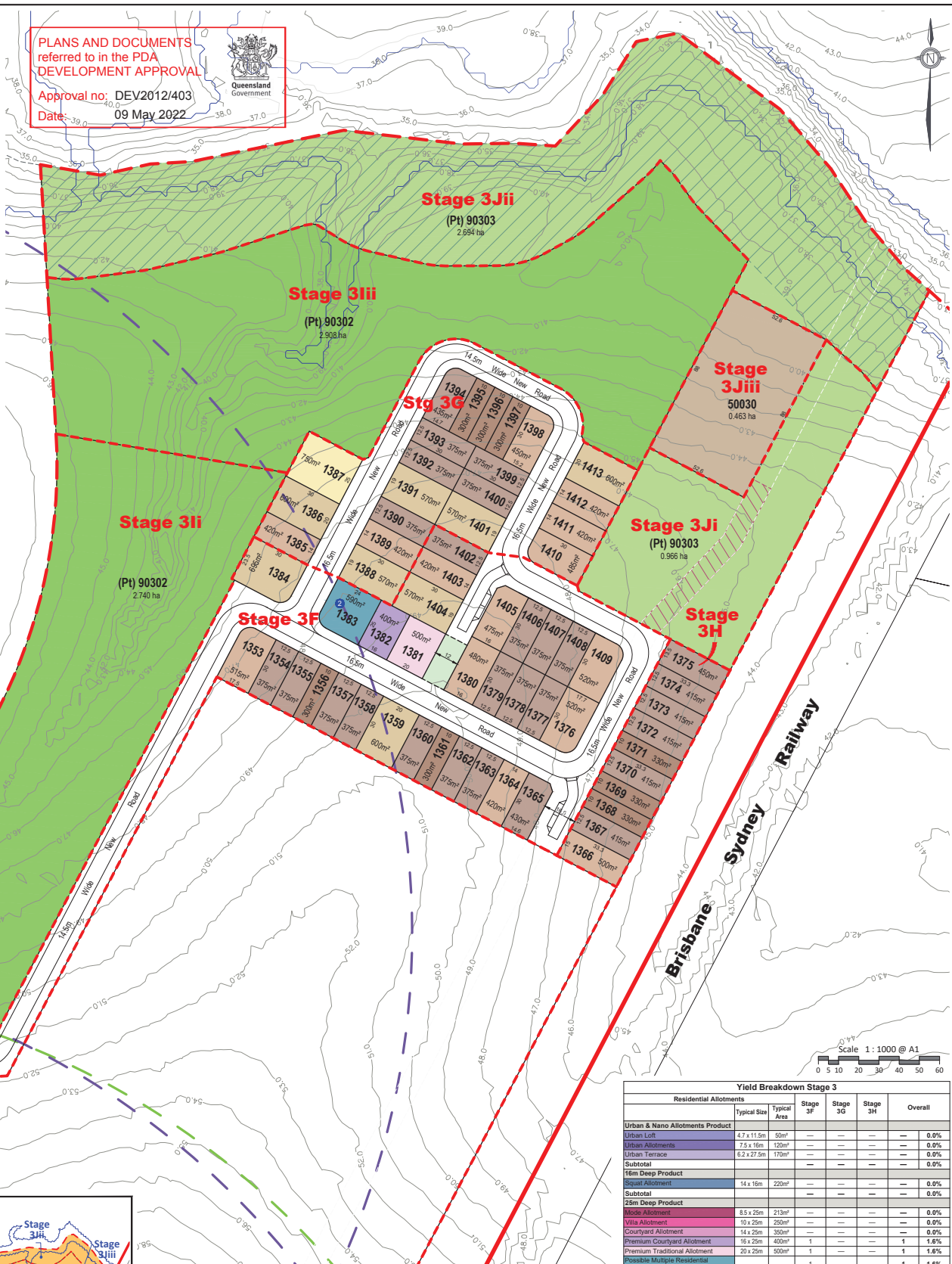
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Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
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Adjoining information: DCDB.
Contours: Bradshires.

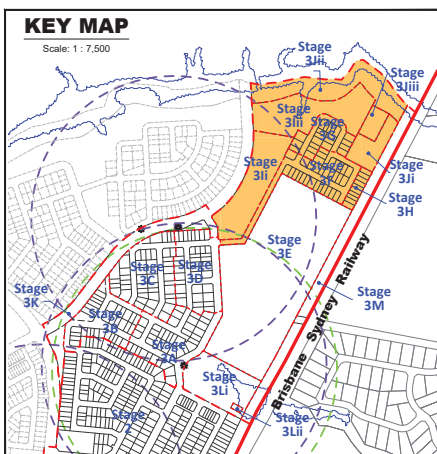
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403
Date: 09 May 2022



KEY MAP

Scale: 1 : 7,500



Land Use	Land Budget Stage 3							Overall
	Stage 3F	Stage 3G	Stage 3H	Stage 3I	Stage 3J	Stage 3Ji	Stage 3Jii	
Area of Subject Site	2,506	1,366	0,404	2,74	2,908	0,966	2,694	14,047 ha
Saleable Area	1,300 ha	0,949 ha	0,404 ha	—	—	—	—	2,653 ha
Residential Allotments	—	—	—	—	—	—	—	0.0%
Balance Super Allotments	—	—	—	—	—	—	—	0.0%
MRE Allotment	—	—	—	—	—	—	—	0.0%
Total Area of Allotments	1,300 ha	0,949 ha	0,404 ha	—	—	—	—	2,653 ha
Utilities	—	—	—	—	—	—	—	0.0%
Sewer Pump Station	—	—	—	—	—	—	0,463 ha	3.3%
Total Area of Utilities	—	—	—	—	—	—	0,463 ha	3.3%
Road	—	—	—	—	—	—	—	0.0%
Collector Road	1,176 ha	0,417 ha	—	—	—	—	—	1,593 ha
Local Road	0,030 ha	—	—	—	—	—	—	0,030 ha
Linear Connections	—	—	—	—	—	—	—	0.0%
Existing Road	—	—	—	—	—	—	—	0.0%
Total Area of New Road	1,206 ha	0,417 ha	—	—	—	—	—	1,623 ha
Open Space	—	—	—	—	—	—	—	11.6%
Common Park	—	—	—	—	—	—	0,966 ha	3,660 ha
Corporative (Willow Creek) Park	—	—	—	—	—	—	2,694 ha	2,650 ha
Disturbed Recreation Park	—	—	—	2,740 ha	2,908 ha	—	—	5,648 ha
Neighbourhood Recreation Park	—	—	—	—	—	—	—	40.2%
Local Recreation Park	—	—	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	—	—	—	0.0%
Scenic/Recreation	—	—	—	—	—	—	—	0.0%
Total Open Space	—	—	—	2,740 ha	2,908 ha	0,966 ha	2,694 ha	9,308 ha
								66.3%

Yield Breakdown Stage 3						
Residential Allotments		Typical Size	Typical Area	Stage 3F	Stage 3G	Stage 3H
Urban & Nano Allotments Product		4.7 x 11.5m	50m ²	—	—	—
Urban Lot		7.5 x 16m	120m ²	—	—	—
Urban Allotments		6.2 x 27.5m	170m ²	—	—	—
Urban Terrace		—	—	—	—	—
Subtotal		—	—	—	—	—
16m Deep Product		14 x 16m	220m ²	—	—	—
Subtotal		—	—	—	—	—
25m Deep Product		—	—	—	—	—
Wide Allotment		8.5 x 25m	213m ²	—	—	—
Villa Allotment		10 x 25m	250m ²	—	—	—
Courtyard Allotment		14 x 25m	350m ²	—	—	—
Premium Courtyard Allotment		16 x 25m	400m ²	1	—	1
Premium Traditional Allotment		20 x 25m	500m ²	—	—	1
Possible Multiple Residential Allotment		—	—	—	—	1
Subtotal		—	—	3	—	3
28m - 30m Deep Product		—	—	—	—	—
Terrace 7.5m Allotment		7.5 x 28m	210m ²	—	—	—
Terrace 5.5m Allotment		5.5 x 28m	154m ²	—	—	—
Subtotal		—	—	—	—	—
30m Deep Product		—	—	—	—	—
Villa Allotment		10 x 30m	300m ²	2	3	3
Premium Villa Allotment		12.5 x 30m	375m ²	15	6	27
Courtyard Allotment		14 x 30m	420m ²	7	6	14
Traditional Allotment		20 x 30m	600m ²	3	5	8
Premium Traditional Allotment		25 x 30m	750m ²	—	1	1
Possible Multiple Residential Allotment		—	—	—	—	—
Subtotal		—	—	27	21	10
Total Residential Allotments		—	—	30	21	10
Residential Net Density		—	—	12.8 dw/ha	15.4 dw/ha	24.8 dw/ha
Super Lots		—	—	—	—	—
Balance Super Allotments		—	—	—	—	—
Manufactured Home Estate Allotment		—	—	—	—	—
Sub Total		—	—	—	—	—
Total Allotments		—	—	30	21	10
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)		—	—	31	21	10
Maximum Potential Net Residential Density		—	—	12.4 dw/ha	15.4 dw/ha	24.8 dw/ha

REVISION

Q: 07/10/2021 Stage 3 & 4 Change
R: 20/10/2021 Stage 3 & 4 Change
S: 27/10/2021 Stage 4 Change
T: 20/12/2021 Stage 5 Layout Change
U: 17/01/2022 PDA Amendments
V: 21/01/2022 Stage 5 Layout Change
W: 21/02/2022 Stage 5 Layout Change
X: 07/04/2022 Stage 5 Change

PROJECT

Flagstone Precinct 1

Job Ref: 110056 Date: 07 April 2022

Comp By: WW / JC / MD DWG Name: Precinct 1 Stage 3

Chk'd By: DG / MD Locality: Flagstone

Local Authority: Economic Development Queensland

CLIENT

PEET

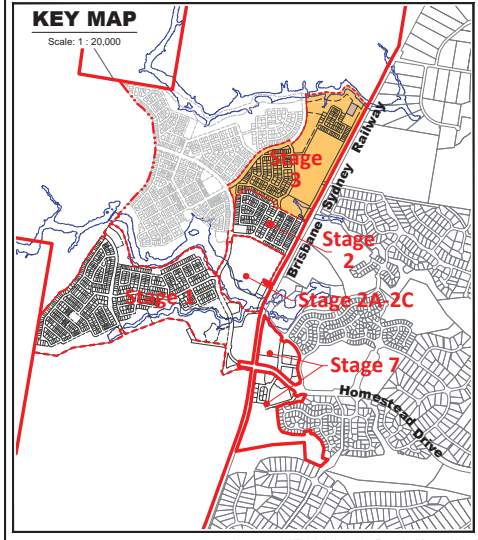
Plan of Subdivision
Stage 3F - 3J
Allotment Layout

URBAN DESIGN

Level 4 HQ Suite
500 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006
T +61 7 3539 9500
W rpsgroup.com

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Scale: 1 : 1000 Sheet: A1 Plan Ref: 110056 - 385 Rev: X



- Legend**
- General**
- Site Boundary
 - Proposed Precinct Boundary
 - Proposed Stage Boundary
 - Proposed Sub Stage Boundary
 - Possible Multiple Residential Allotment (Max. no. of dwellings)
 - 10m Wide Existing Sewer Easement
- Open Space**
- District Recreation Park
 - Corridor Park
 - Conservation Within Corridor Park
 - Neighbourhood Recreation Park
 - Local Recreation Park
 - Local Linear Recreation Park
 - Stormwater Detention
 - Linear Connections
- Allotment Details**
- Preferred Private Open Space Location
 - Maximum Building Location Envelope
 - Mandatory Built to Boundary Wall
 - Nominal Built to Boundary Wall
 - No Vehicle Access
 - Primary Frontage
 - Preferred Double Garage Location
 - Preferred Single Garage Location
 - Letterbox Location for Primary Dwelling (on a laneway)
 - Lot Impacted by Potential Acoustic Requirements
 - Bin Pad

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403

Date: 09 May 2022

Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courttyard Allotments		Premium Courttyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage Garage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m
Rear	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a
Rear * Additional setback required on some allotments - refer POD Notes 14-16.	0.0m *	0.0m *	1.5m *	1.5m *	0.0m *	0.0m *	0.9m *	0.9m *	1.0m *	1.5m *	0.0m *	0.0m *	0.9m *	0.9m *	0.9m *	0.9m *	1.0m *	1.0m *	1.0m *	1.5m *	1.5m *	2.0m *	1.5m *	2.0m *	1.5m *	1.5m *
Side - General Lots																										
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a
Maximum BTB Wall Length (% of boundary length)	85%		75%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a		n/a	n/a
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m
Laneway Lots																										
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a
Site Cover	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		60%	75%



- Notes:**
- General**
- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
 - The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
 - Maximum building location envelopes are subject to future proposed easements and/or other underground services.
 - All lots subject to an acoustic assessment to determine level of acoustic treatments. Buildings shall be constructed in accordance with Bushfire AS3959.
 - Secondary dwellings are not permitted on lots less than 400m².
 - Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50025) or the Community Facility Allotment (lot 50025). A separate NCU application will need to be submitted for development on these lots.
 - Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
- Setbacks**
- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
 - The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted site setbacks shall be in accordance with the Plan of Development Table.
 - Boundary setbacks are measured to the wall of the structure.
 - Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, the roofed area can extend to 1.0m from the front property line.
 - Eaves cannot overhang (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
 - If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
 - If a retaining terrace wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
 - Lots 2501 - 2505 require a 2.5m rear setback.
 - For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
 - A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/landscape buffer and therefore in these cases a secondary frontage setback does not apply.
 - In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 5m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courttyard, Premium Courttyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.
- Private Open Space**
- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
 - Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension of 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m).
 - Private open space must be directly accessible from a living space.

- On-site car parking and driveways**
- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling.
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling.
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
 - Garages for any single story dwelling on a lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door.
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.
 - Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
 - Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
 - The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car garage and 3.0 metres for a lot with a single car width garage.
 - Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.

- Maximum of one driveway per dwelling unless it is a MR lot.
 - Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
 - Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
 - Driveways must be completed prior to occupation of the dwelling.
- Fencing**
- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
 - Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
 - Fencing on all park or street frontages is constructed with visible posts, which are at least 1200mm x 120mm and 100mm higher than the infill panels or panels.
 - Fencing on lanes can be screen fenced at 1.8m high where along private open space, carparking and service areas.
 - Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
 - Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a footpath to a street with traffic volume in excess of, or projected to exceed, 10,000 vehicles per day.
- Retaining Walls**
- For retaining walls not constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
 - No timber retaining walls over 1.0m or adjoining parks or public streets.
 - Walls over 1.0m require RPEQ certification.

- Building Articulation**
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the facade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
 - Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room oriented towards the open space.
 - Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
 - All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
 - Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
 - Homes must include a clearly identifiable and addressed front door and undercover point of entry.
 - Screened drying and rubbish bins area must be behind the main face of the dwelling.
 - At least two openings to all habitable rooms to facilitate cross flow ventilation are required.
- Slope and Building Footings**
- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
 - If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
 - Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
- Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**
- Buildings must address all street frontages with driveways, pedestrian entries or both.
 - All dwellings must have a clearly identifiable front door, which is undercover.
 - Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
 - Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.
- Additional Criteria for Secondary Dwellings**
- Floor area must be between a minimum of 30m² and 75m².
 - Materials, detailing, colours and roof form are consistent with those of the primary dwelling.
 - Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
 - Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
 - Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
 - A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
 - The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
 - Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
 - Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
- Definitions**
- Laneway Allotment - Allotments serviced by a laneway.

REVISION		PROJECT		Flagstone Precinct 1		CLIENT		PEET		URBAN DESIGN	
Q: 07/10/2021 Stage 3 & 4 Change		Job Ref. 110056		Date. 07 April 2022						Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3239 9500 W urbandesign.com.au	
R: 20/10/2021 Stage 3 & 4 Change		Comp By. WW / JC / MD		DWG Name. Precinct 1 Stage 3							
S: 27/10/2021 Stage 4 Change		Chk'd By. DG / MD		Locality. Flagstone							
T: 20/12/2021 Stage 5 Layout Change		Local Authority. Economic Development Queensland									
U: 17/01/2022 POD Amendments											
V: 21/02/2022 Stage 5 Layout Change											
W: 21/02/2022 Stage 5 Layout Change											
X: 07/04/2022 Stage 5 Change											

Scale	1 : 2000	Sheet	A1	Plan Ref	110056 - 386	Rev	X
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KEY MAP

Scale: 1 : 7,500

Legend

General

Site Boundary

Proposed Precinct Boundary

Proposed Stage Boundary

Proposed Sub Stage Boundary

Possible Multiple Residential Allotment (Max. no. of dwellings)

10m Wide Existing Sewer Easement

Open Space

District Recreation Park

Corridor Park

Neighbourhood Recreation Park

Local Recreation Park

Local Linear Recreation Park

Stormwater Detention

Linear Connections

Allotment Details

Preferred Private Open Space Location

Maximum Building Location Envelope

Mandatory Built to Boundary Wall

Nominal Built to Boundary Wall

No Vehicle Access

Primary Frontage

Preferred Double Garage Location

Preferred Single Garage Location

Letterbox Location for Primary Dwelling (on a laneway)

Lot Impacted by Potential Acoustic Requirements

Bin Pad

Note:

All dimensions and areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineering design.

Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:

Site boundaries: Registered Survey Plans / Veris.

Adjoining Information: DCCB.

Contours: Bradshires.

Notes:

General

All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.

The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.

Maximum building location envelopes are subject to future proposed easements and/or other underground services.

All lots subject to an acoustic assessment to determine level of acoustic treatments.

Buildings shall be constructed in accordance with Bushfire AS3959.

Secondary dwellings are not permitted on lots less than 400m².

Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50020) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.

Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.

Setbacks

Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.

The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.

Boundary setbacks are measured to the wall of the structure.

Front verandah and covered areas to the front of the lot are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.

Eaves cannot overhang (other than where buildings are built to boundary) closer than 450mm to the lot boundary.

If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.

If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.

Lots 2501 - 2505 require a 2.5m rear setback.

For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.

A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that about a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.

In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:

- In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
- In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.

Private Open Space

Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.

Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.

- 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
- 2 Bedroom - 8m² (minimum dimension of 2.4m);
- 3+ Bedroom - 12m² (minimum dimension of 2.4m).

Private open space must be directly accessible from a living space.

Plan of Development Table

	Urban Loft Allotments	Urban Allotments	Urban Terrace Allotments	Rear Loaded Terrace Allotments	Squat Allotments	Mode Allotments	Villa Allotments	Premium Villa Allotments	Courtyard Allotments	Premium Courtyard Allotments	Traditional Allotments	Premium Traditional Allotments	Multiple Residential Allotment (MR)
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m
Rear	0.0m	0.0m	1.5m	1.5m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m
* Additional setback required on some allotments - refer POD Notes 14-16.	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m
Side - General Lots	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m
Maximum BTB Wall Length (% of boundary length)	85%	75%	90%	90%	90%	75%	75%	70%	65%	65%	60%	n/a	n/a
Non Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m
Laneway Lots	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Site Cover	90%	75%	75%	75%	75%	75%	65%	60%	60%	60%	60%	60%	75%

PLANS AND DOCUMENTS referred to in the RDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403

Date: 09 May 2022

On-site car parking and driveways

On-site car parking is to be provided in accordance with the following minimum requirements:

- For lots up to 12.4 metres wide - 1 covered space per dwelling;
- For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
- For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).

Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:

- A front verandah, porch or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door.
- The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - A front verandah, porch or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door.
- The rear facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front verandah, porch or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door.
 - The rear facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front verandah, porch or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door.

Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.

Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.

The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.

Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development.

Ingress/egress must be achieved for a 899 Vehicle.

Maximum of one driveway per dwelling unless it is a MR lot.

Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.

Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.

Driveways must be completed prior to occupation of the dwelling.

Fencing

Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.

Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.

Fencing on all park or street frontages is constructed with visible posts, which are at least 1200mm x 120mm and 100mm higher than the infill panels or panels.

Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.

Retaining Walls

For retaining walls not constructed by the developer:

- a. Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
- b. Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
- c. No timber retaining walls over 1.0m or adjoining parks or public streets.
- d. Walls over 1.0m require RPEd Certification.

Building Articulation

All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:

- Windows recessed into the facade or bay windows;
- Balconies, porches or verandahs;
- Articulation of roof lines
- Window hoods, and/or
- Use of multiple cladding materials

Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.

Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.

All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.

Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.

Homes must include a clearly identifiable and addressed front door and undercover point of entry.

Screened drying and rubbish bins area must be behind the main face of the dwelling.

Slope and Building Footings

Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.

If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.

Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)

Buildings must address all street frontages with driveways, pedestrian entries or both.

All dwellings must have a clearly identifiable front door, which is undercover.

Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.

Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

Floor area must be between a minimum of 30m² and 75m².

Materials, detailing, colours and roof form are consistent with those of the primary house.

Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.

Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.

Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.

A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.

The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 6 metres.

Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.

Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

Definitions

Walling Allotment - Allotments serviced by a laneway.

REVISION

Q: 07/10/2021 Stage 3 A 4 Change

R: 20/10/2021 Stage 3 A 4 Change

S: 27/10/2021 Stage 4 Change

T: 20/12/2021 Stage 5 Layout Change

U: 17/01/2022 POD Amendments

V: 21/02/2022 Stage 5 Layout Change

W: 21/02/2022 Stage 5 Layout Change

X: 08/04/2022 Stage 5 Change

PROJECT

Flagstone Precinct 1

Job Ref. 110056

Comp By: WW / JC / MD

Chk'd By: DG / MD

Local Authority: Economic Development Queensland

Date: 07 April 2022

DWG Name: Precinct 1 Stage 3

Locality: Flagstone

CLIENT

Peet

Plan of Development

Stage 3A - 3D

Residential Allotments

Scale: 1 : 1000

Sheet A1

Plan Ref 110056 - 387

Rev X

URBAN DESIGN

Level 4 HQ South

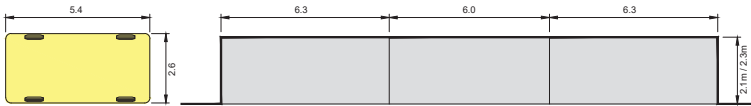
300 Wickham Street

PO Box 1059

Fortitude Valley QLD 4006

T +61 7 2339 9500

W www.urbandesign.com.au



Parking Bay Diagram

Scale 1 : 100

Typical Indented Parking Bay Arrangement

(In accordance with AS2890)

Scale 1 : 100

Legend

General

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary

Open Space

- District Recreation Park
- Corridor Park
- Conservation Within Corridor Park
- Neighbourhood Recreation Park
- Local Recreation Park
- Local Linear Recreation Park
- Stormwater Detention
- Linear Connections

On-Street Parking

- Indicative Car Park Location
- Indicative Driveway

Parking Breakdown

Total On-Street Visitor Parking Spaces Provided	168
Total Residential Dwellings	216
Total On-Street Visitor Parking Spaces Required	162

(based on 0.75 per dwelling)

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2012/403

Date: 09 May 2022



Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres.

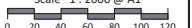
Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Bradshires.

Scale 1 : 2000 @ A1



REVISION Q: 07/11/2021 Stage 3 & 4 Change R: 20/10/2021 Stage 3 & 4 Change S: 27/10/2021 Stage 4 Change T: 20/12/2021 Stage 5 Layout Change U: 17/01/2022 POC Amendments V: 21/01/2022 Stage 5 Layout Change W: 15/02/2022 Stage 5 Layout Change X: 07/04/2022 Stage 5 Change	PROJECT Flagstone Precinct 1		CLIENT PEET Plan of Development Stage 3 Overall Parking Management Plan	 URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3539 9500 W rpsgroup.com
	Job Ref.	110056	Date:	07 April 2022
	Comp By:	WW / JC / MD	DWG Name:	Precinct 1 Stage 3
	Chk'd By:	DG / MD	Locality:	Flagstone
	Local Authority:	Economic Development Queensland		
				Scale 1 : 2000
				Sheet A1
				Plan Ref 110056 - 390
				Rev X