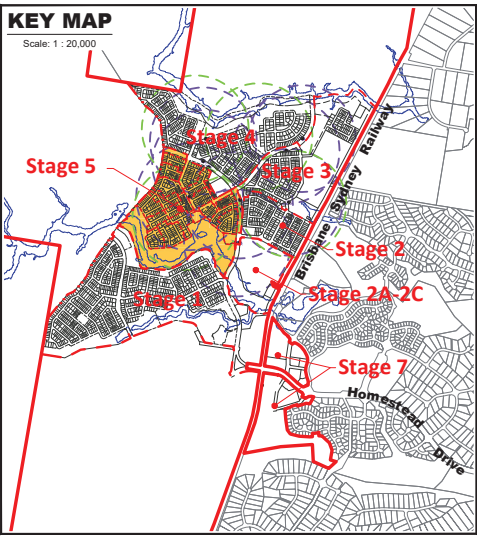


KEY MAP

Scale: 1 : 20,000



Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- ① Residential Allotment (Max. no. of dwellings)
- ✱ Indicative Indented Bus Stop Location
- ✱ Indicative In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.
Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DDOB.
Contours: Meinhardt.

Land Budget Stage 5		
Land Use	Area	Overall
Area of Subject Site	52.172 ha	100.0%
Saleable Area		
Residential Allotments	19.995 ha	38.3%
Medium Density Allotment	0.666 ha	1.3%
Balance Super Allotments	—	0.0%
Total Area of Allotments	20.661 ha	39.6%
Road		
Collector Road	3.529 ha	6.8%
Local Road	8.656 ha	16.6%
Linear Connections	0.429 ha	0.8%
Entry Statements	—	0.0%
Total Area of New Road	12.614 ha	24.2%
Open Space		
Corridor Park	17.812 ha	34.1%
Corridor (Within Corridor Park)	10.710 ha	—
District Recreation Park	—	0.0%
Neighbourhood Recreation Park	0.627 ha	1.2%
Local Recreation Park	0.088 ha	0.2%
Local Linear Recreation Park	0.370 ha	0.7%
Summer Detention	—	0.0%
Total Open Space	18.897 ha	36.2%

Yield Breakdown Stage 5				
Residential Allotments		Typical Size	Typical Area	Overall
Urban & Nano Allotments Product				
Urban Loft	4.7 x 12.5m	50m²	—	0.0%
Urban Allotments	7.5 x 16m	120m²	—	0.0%
Urban Terrace	6.2 x 27.5m	170m²	20	4.0%
Subtotal				20
16m Deep Product				
Squat Allotment	14 x 16m	220m²	8	1.6%
Subtotal				8
25m Deep Product				
Mode Allotment	8.5 x 25m	213m²	4	0.8%
Villa Allotment	10 x 25m	250m²	16	3.2%
Courtyard Allotment	14 x 25m	350m²	23	4.6%
Premium Courtyard Allotment	16 x 25m	400m²	11	2.2%
Premium Traditional Allotment	20 x 25m	500m²	2	0.4%
Possible Multiple Residential Allotment	—	—	2	0.4%
Subtotal				58
28m - 30m Deep Product				
Terrace 4.5m Allotment	4.5 x 28m	126m²	—	0.0%
Terrace 6.5m Allotment	6.5 x 28m	185m²	—	0.0%
Terrace 7.5m Allotment	7.5 x 28m	210m²	41	8.3%
Terrace 9.5m Allotment	9.5 x 28m	265m²	16	3.2%
Subtotal				57
30m Deep Product				
Villa Allotment	10 x 30m	300m²	61	12.3%
Premium Villa Allotment	12.5 x 30m	375m²	113	22.8%
Courtyard Allotment	14 x 30m	420m²	125	25.2%
Traditional Allotment	20 x 30m	600m²	48	9.7%
Premium Traditional Allotment	25 x 30m	750m²	6	1.2%
Possible Multiple Residential Allotment	—	—	—	0.0%
Subtotal				353
Total Residential Allotments				496
Residential Net Density				16.4 dw/ha
Super Lots				
Medium Density Allotment				1
Balance Super Allotments				—
Sub Total				1
Total Allotments				497
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)				498
Maximum Potential Net Residential Density				16.5 dw/ha

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2012/403
Date: 09 May 2022

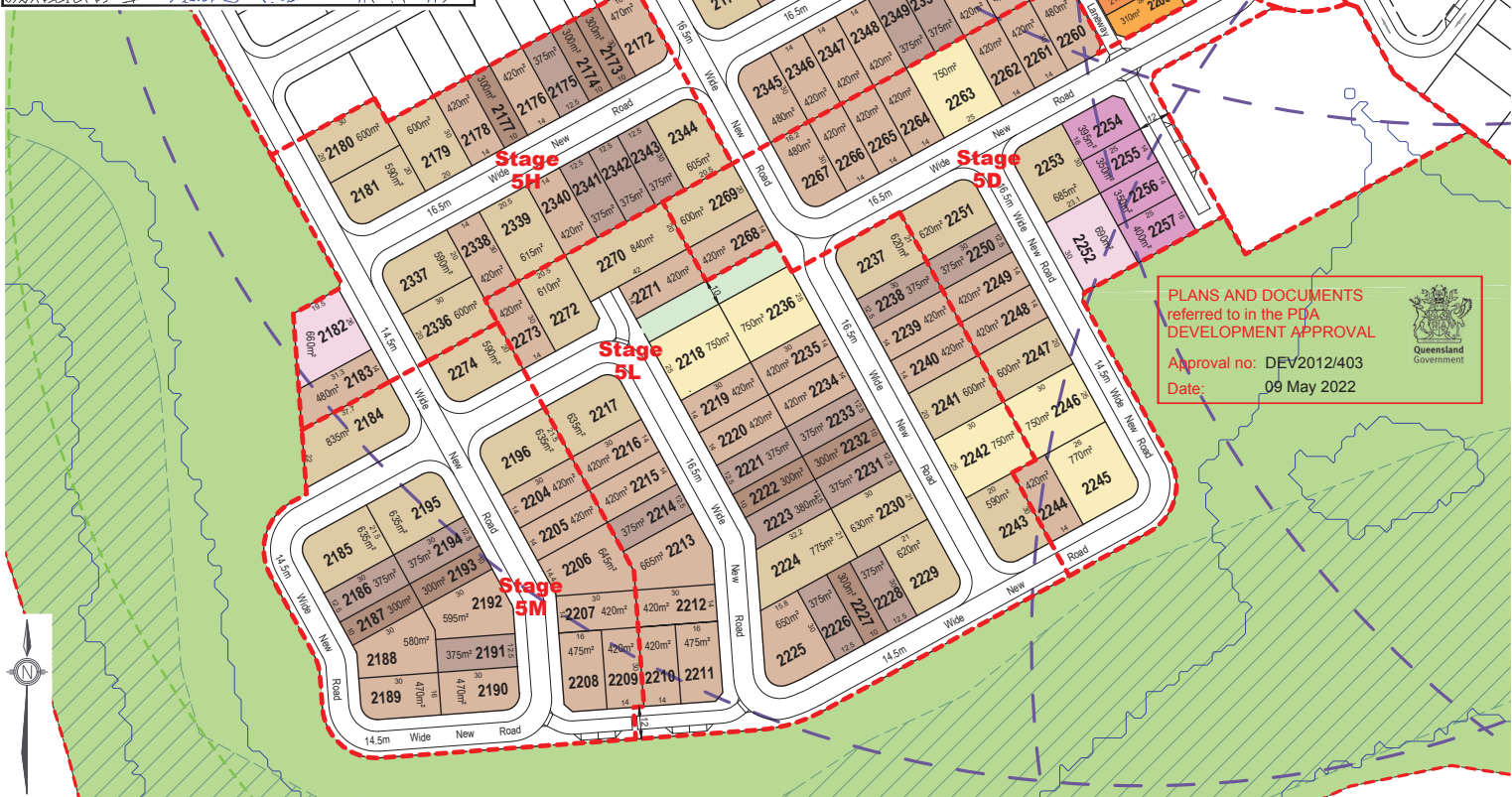
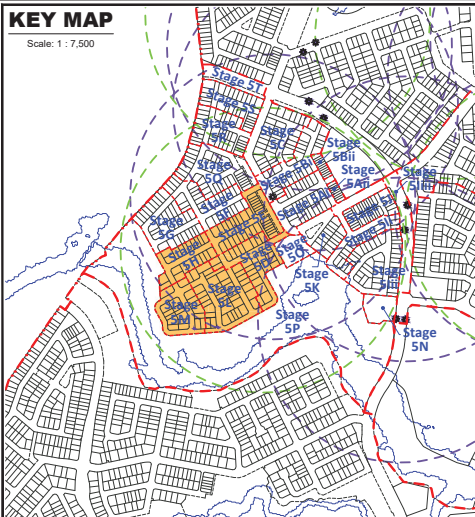


TO BE READ IN CONJUNCTION WITH 110056 - 404

REVISION Q: 07/10/2021 Stage 3 & 4 Change R: 20/10/2021 Stage 3 & 4 Change S: 27/10/2021 Stage 4 Change T: 30/12/2021 Stage 5 Layout Change U: 17/01/2022 PDA Amendments V: 21/01/2022 Stage 5 Layout Change W: 21/02/2022 Stage 5 Layout Change X: 07/04/2022 Stage 5 Change	PROJECT Flagstone Precinct 1		CLIENT PEET		URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3539 9500 W rpsgroup.com			
	Job Ref. 110056		Date. 07 April 2022		Plan of Subdivision Stage 5 Overall Allotment Layout			
	Comp By. MD / NF		DWG Name. Precinct 1 Stage 5					
	Chk'd By. MD		Locality. Flagstone					
	Local Authority. Economic Development Queensland							
	Scale 1 : 2000							
	Sheet A1							
	Plan Ref 110056 – 403							
	Rev X							

KEY MAP

Scale: 1 : 7,500



PLANS AND DOCUMENTS
referred to in the POA
DEVELOPMENT APPROVAL
Approval no: DEV2012/403
Date: 09 May 2022



Yield Breakdown									
Residential Allotments			Stage 5D	Stage 5E	Stage 5H	Stage 5L	Stage 5M		Overall
Urban & Nano Allotments Product	Typical Size	Typical Area							
Urban Loft	4.7 x 12.5m	50m²	—	—	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m²	—	—	—	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m²	—	—	—	—	—	—	0.0%
Subtotal			—	—	—	—	—	—	0.0%
16m Deep Product									
Squat Allotment	14 x 16m	220m²	—	—	—	—	—	—	0.0%
Subtotal			—	—	—	—	—	—	0.0%
25m Deep Product									
Mode Allotment	8.5 x 25m	213m²	—	—	—	—	—	—	0.0%
Villa Allotment	10 x 25m	250m²	—	—	—	—	—	—	0.0%
Courtyard Allotment	14 x 25m	350m²	4	—	—	—	—	4	3.0%
Premium Courtyard Allotment	16 x 25m	400m²	—	—	—	—	—	—	0.0%
Premium Traditional Allotment	20 x 25m	500m²	1	—	1	—	—	2	1.5%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	0.0%
Subtotal			5	—	1	—	—	6	4.4%
28m - 30m Deep Product									
Terrace 4.5m Allotment	4.5 x 28m	126m²	—	—	—	—	—	—	0.0%
Terrace 6.6m Allotment	6.6 x 28m	185m²	—	—	—	—	—	—	0.0%
Terrace 7.5m Allotment	7.5 x 28m	210m²	—	10	—	—	—	10	7.4%
Terrace 9.5m Allotment	9.5 x 28m	265m²	—	4	—	—	—	4	3.0%
Subtotal			—	14	—	—	—	14	10.4%
30m Deep Product									
Villa Allotment	10 x 30m	300m²	—	2	3	3	2	10	7.4%
Premium Villa Allotment	12.5 x 30m	375m²	1	5	4	8	3	21	15.6%
Courtyard Allotment	14 x 30m	420m²	11	9	6	15	10	51	37.8%
Traditional Allotment	20 x 30m	600m²	4	2	7	9	5	27	20.0%
Premium Traditional Allotment	25 x 30m	720m²	3	—	—	3	—	6	4.4%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	0.0%
Subtotal			19	18	20	38	20	115	85.2%
Total Residential Allotments			24	32	21	38	20	135	100.0%
Residential Net Density			12.3 dw/ha	16.6 dw/ha	15.4 dw/ha	13.9 dw/ha	12.1 dw/ha		
Super Lots			Lots	Lots	Lots	Lots	Lots		Lots
Medium Density Allotment			—	—	—	—	—		—
Balance Super Allotments			—	—	—	—	—		—
Sub Total			—	—	—	—	—		—
Total Allotments			24	32	21	38	20	135	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			24	32	21	38	20	135	
Maximum Potential Net Residential Density			12.3 dw/ha	16.6 dw/ha	15.4 dw/ha	13.9 dw/ha	12.1 dw/ha		

Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Residential Allotment (Max. no. of dwellings)
- Indicative Indented Bus Stop Location
- Indicative In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

Scale: 1 : 1000 @ A1

Note:
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Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Road line markings and turn slots are indicative only and subject to detailed design.
Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Meritaird.

		Land Budget						
Land Use		Stage 5D	Stage 5E	Stage 5H	Stage 5L	Stage 5M	Overall	
Area		Area	Area	Area	Area	Area	Area	%
Area of Subject Site		1.949 ha	1.925 ha	1.366 ha	2.740 ha	1.648 ha	9.628 ha	100.0%
Saleable Area								
Residential Allotments		1.209 ha	1.096 ha	0.990 ha	1.892 ha	1.000 ha	6.187 ha	64.3%
Medium Density Allotment		—	—	—	—	—	—	0.0%
Balance Super Allotments		—	—	—	—	—	—	0.0%
Total Area of Allotments		1.209 ha	1.096 ha	0.990 ha	1.892 ha	1.000 ha	6.187 ha	64.3%
Road								
Collector Road		—	—	—	—	—	—	0.0%
Local Road		0.740 ha	0.609 ha	0.376 ha	0.788 ha	0.648 ha	3.161 ha	32.8%
Linear Connections		—	—	—	0.060 ha	—	0.060 ha	0.6%
Entry Statements								
Total Area of New Road		0.740 ha	0.609 ha	0.376 ha	0.848 ha	0.648 ha	3.221 ha	33.5%
Open Space								
Corridor Park		—	—	—	—	—	—	0.0%
Conservation (Within Corridor Park)		—	—	—	—	—	—	0.0%
District Recreation Park		—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park		—	—	—	—	—	—	0.0%
Local Recreation Park		—	—	—	—	—	—	0.0%
Local Linear Recreation Park		—	0.220 ha	—	—	—	0.220 ha	2.3%
Stormwater Detention		—	—	—	—	—	—	0.0%
Total Open Space		—	0.220 ha	—	—	—	0.220 ha	2.3%

REVISION
Q: 07/10/2021 Stage 3 & 4 Change
R: 20/10/2021 Stage 3 & 4 Change
S: 27/10/2021 Stage 4 Change
T: 20/12/2021 Stage 5 Layout Change
U: 17/01/2022 POA Amendments
V: 21/01/2022 Stage 5 Layout Change
W: 21/02/2022 Stage 5 Layout Change
X: 07/04/2022 Stage 5 Change

PROJECT
Flagstone Precinct 1
Job Ref: 110056 Date: 07 April 2022
Comp By: MD / NF DWG Name: Precinct 1 Stage 5
Chk'd By: MD Locality: Flagstone
Local Authority: Economic Development Queensland

CLIENT

PEET

Plan of Subdivision
Stage 5D, E, H, L & M
Allotment Layout

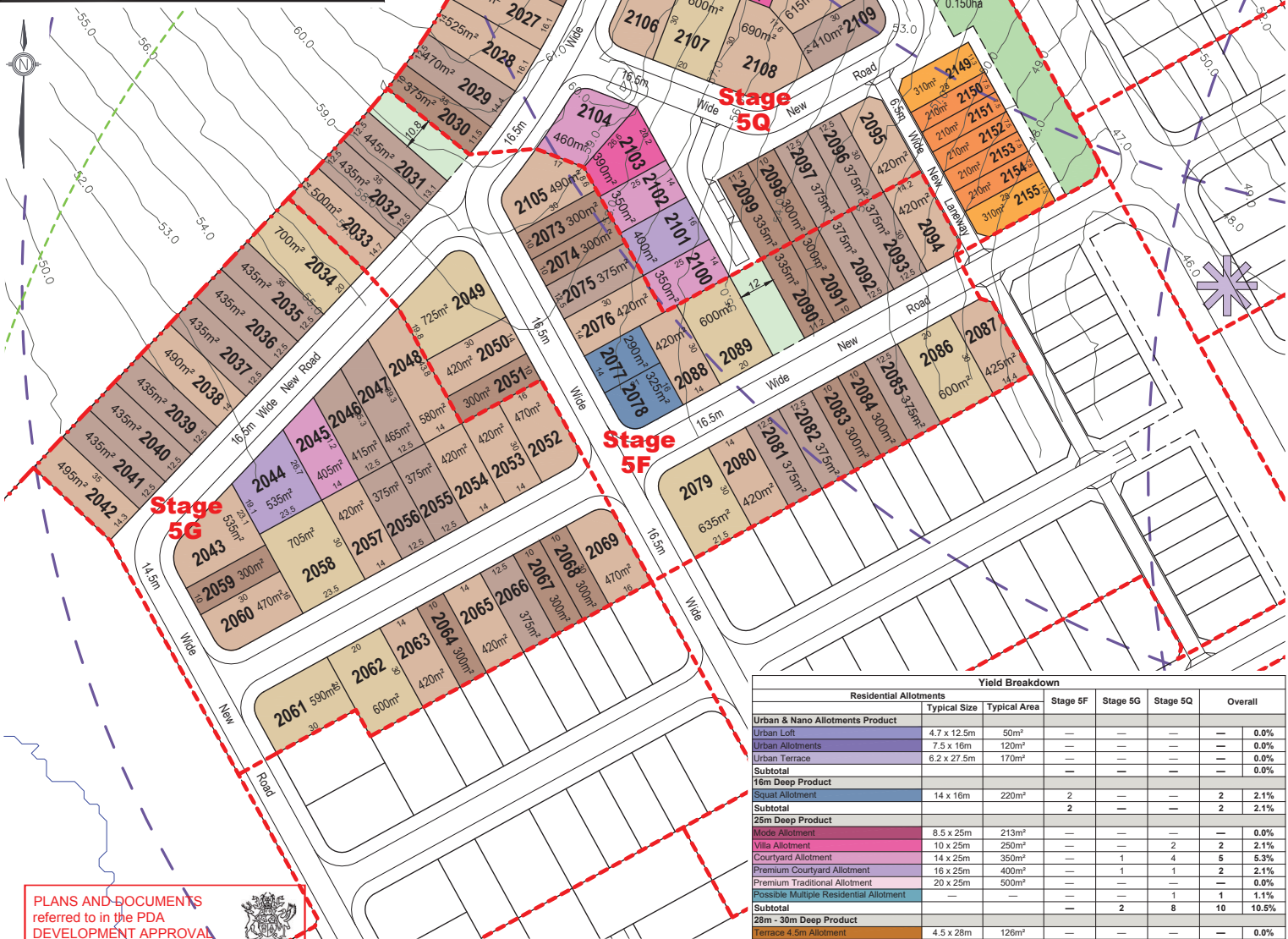
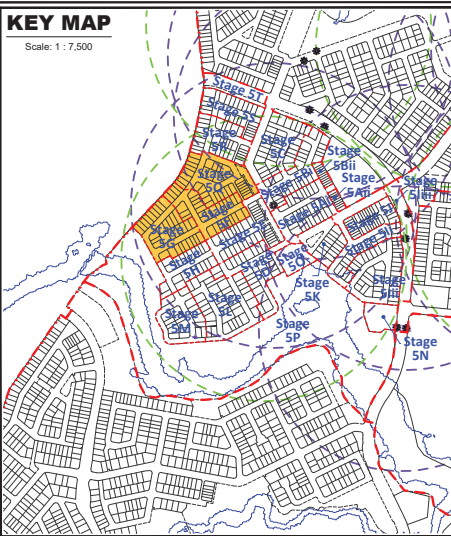
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Scale: 1 : 1000 Sheet: A1 Plan Ref: 110056 - 405 Rev: X

KEY MAP

Scale: 1 : 7,500



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403
Date: 09 May 2022



Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Indicative Indented Bus Stop Location
- Indicative In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

Note:

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Source Information:
Site boundaries: Registered Survey Plans & Varies.
Adjoining Information: DCDB, Contours: Meinhardt.

Land Budget				
Land Use	Stage 5F	Stage 5G	Stage 5Q	Overall
Area	Area	Area	Area	Area
Area of Subject Site	1.798 ha	2.042 ha	2.204 ha	6.044 ha
Saleable Area	1.198 ha	1.500 ha	1.305 ha	4.003 ha
Residential Allotments	1.198 ha	1.500 ha	1.305 ha	4.003 ha
Medium Density Allotment	—	—	—	0.0%
Balance Super Allotments	—	—	—	0.0%
Total Area of Allotments	1.198 ha	1.500 ha	1.305 ha	4.003 ha
Total Area of New Road	0.600 ha	0.542 ha	0.749 ha	1.891 ha
Open Space	—	—	—	0.0%
Corridor Park	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	0.0%
District Recreation Park	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	0.0%
Local Recreation Park	—	—	—	0.0%
Local Linear Recreation Park	—	—	0.150 ha	0.150 ha
Stormwater Detention	—	—	—	0.0%
Total Open Space	—	—	0.150 ha	0.150 ha

Yield Breakdown						
Residential Allotments		Typical Size	Typical Area	Stage 5F	Stage 5G	Stage 5Q
Urban & Nano Allotments Product		4.7 x 12.5m	50m²	—	—	—
Urban Lot		7.5 x 16m	120m²	—	—	—
Urban Allotments		6.2 x 27.5m	170m²	—	—	—
Subtotal		—	—	—	—	—
16m Deep Product		14 x 16m	220m²	2	—	2
Subtotal		—	—	2	—	2
25m Deep Product		8.5 x 25m	213m²	—	—	—
Mode Allotment		10 x 25m	250m²	—	—	—
Villa Allotment		14 x 25m	350m²	—	1	4
Courtyard Allotment		16 x 25m	400m²	—	1	2
Premium Courtyard Allotment		20 x 25m	500m²	—	—	—
Premium Traditional Allotment		20 x 30m	600m²	—	—	—
Possible Multiple Residential Allotment		—	—	—	2	8
Subtotal		—	—	—	2	10
28m - 30m Deep Product		4.5 x 28m	126m²	—	—	—
Terrace 4.5m Allotment		6.6 x 28m	185m²	—	—	—
Terrace 6.6m Allotment		7.5 x 28m	210m²	—	—	—
Terrace 7.5m Allotment		9.5 x 28m	265m²	—	—	—
Subtotal		—	—	—	7	7
30m Deep Product		10 x 30m	300m²	7	4	5
Villa Allotment		12.5 x 30m	375m²	8	11	5
Premium Villa Allotment		14 x 30m	420m²	8	12	7
Courtyard Allotment		20 x 30m	600m²	4	—	—
Premium Traditional Allotment		25 x 30m	720m²	—	—	—
Possible Multiple Residential Allotment		—	—	—	—	—
Subtotal		—	—	27	31	18
Total Residential Allotments		—	—	29	33	33
Residential Net Density		—	—	16.1 dw/ha	16.2 dw/ha	15.0 dw/ha
Super Lots		—	—	—	—	—
Medium Density Allotment		—	—	—	—	—
Balance Super Allotments		—	—	—	—	—
Sub Total		—	—	—	—	—
Total Allotments		—	—	29	33	33
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)		—	—	29	33	34
Maximum Potential Net Residential Density		—	—	16.1 dw/ha	16.2 dw/ha	15.4 dw/ha

REVISION	PROJECT
Q: 07/10/2021 Stage 3 & 4 Change	Flagstone Precinct 1
R: 20/10/2021 Stage 3 & 4 Change	
S: 27/10/2021 Stage 4 Change	
T: 20/12/2021 Stage 5 Layout Change	
U: 17/01/2022 PDA Amendments	
V: 21/01/2022 Stage 5 Layout Change	
W: 21/02/2022 Stage 5 Layout Change	
X: 07/04/2022 Stage 5 Change	

Job Ref.	Date
110056	07 April 2022
Comp By.	DWG Name.
MD / NF	Precinct 1 Stage 5
Chk'd By.	Locality.
MD	Flagstone
Local Authority.	
Economic Development Queensland	

CLIENT

PEET

Plan of Subdivision
Stage 5F, G & Q
Allotment Layout

Scale
1 : 750

Sheet
A1

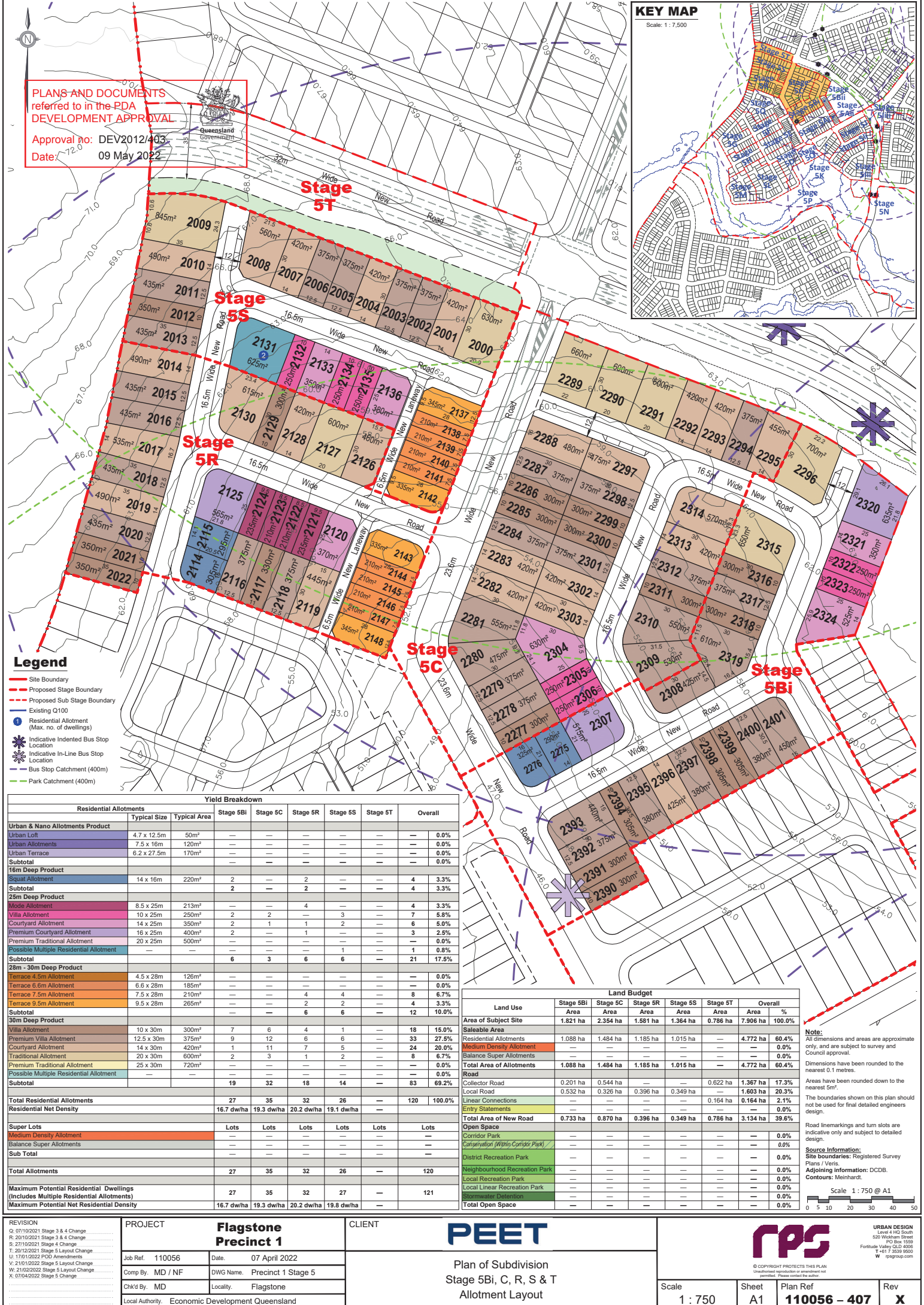
Plan Ref
110056 - 406

Rev
X



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PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403

Date: 09 May 2022

- Legend**
- Site Boundary
 - Proposed Stage Boundary
 - Proposed Sub Stage Boundary
 - Existing O100
 - Residential Allotment (Max. no. of dwellings)
 - Indicative Indented Bus Stop Location
 - Indicative In-Line Bus Stop Location
 - Bus Stop Catchment (400m)
 - Park Catchment (400m)

Yield Breakdown							
Residential Allotments		Typical Size	Typical Area	Stage 5Bi	Stage 5C	Stage 5R	Stage 5S
Urban & Nano Allotments Product							
Urban Loft		4.7 x 12.5m	50m²	—	—	—	—
Urban Allotments		7.5 x 16m	120m²	—	—	—	—
Urban Terrace		6.2 x 27.5m	170m²	—	—	—	—
Subtotal				—	—	—	—
16m Deep Product							
Squat Allotment		14 x 16m	220m²	2	—	2	—
Subtotal				2	—	2	—
25m Deep Product							
Mode Allotment		8.5 x 25m	213m²	—	—	4	—
Villa Allotment		10 x 25m	250m²	2	2	—	3
Courtyard Allotment		14 x 25m	350m²	2	1	1	2
Premium Traditional Allotment		16 x 25m	400m²	2	—	1	—
Possible Multiple Residential Allotment		20 x 25m	500m²	—	—	—	1
Subtotal				6	3	6	6
28m - 30m Deep Product							
Terrace 4.5m Allotment		4.5 x 28m	126m²	—	—	—	—
Terrace 6.6m Allotment		6.6 x 28m	185m²	—	—	—	—
Terrace 7.5m Allotment		7.5 x 28m	210m²	—	—	4	4
Terrace 9.5m Allotment		9.5 x 28m	265m²	—	—	2	2
Subtotal				—	—	6	6
30m Deep Product							
Villa Allotment		10 x 30m	300m²	7	6	4	1
Premium Villa Allotment		12.5 x 30m	375m²	9	12	6	6
Courtyard Allotment		14 x 30m	420m²	1	11	7	5
Traditional Allotment		20 x 30m	600m²	2	3	1	2
Premium Traditional Allotment		25 x 30m	720m²	—	—	—	—
Possible Multiple Residential Allotment		—	—	—	—	—	—
Subtotal				19	32	18	14
Total Residential Allotments				27	35	32	26
Residential Net Density				16.7 dw/ha	19.3 dw/ha	20.2 dw/ha	19.1 dw/ha
Super Lots				Lots	Lots	Lots	Lots
Medium Density Allotment				—	—	—	—
Balance Super Allotments				—	—	—	—
Sub Total				—	—	—	—
Total Allotments				27	35	32	26
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)				27	35	32	27
Maximum Potential Net Residential Density				16.7 dw/ha	19.3 dw/ha	20.2 dw/ha	19.8 dw/ha

Land Budget							
Land Use	Stage 5Bi	Stage 5C	Stage 5R	Stage 5S	Stage 5T	Overall	%
Area of Subject Site	1.821 ha	2.354 ha	1.581 ha	1.364 ha	0.786 ha	7.906 ha	100.0%
Saleable Area	1.088 ha	1.484 ha	1.185 ha	1.015 ha	—	4.772 ha	60.4%
Residential Allotments	1.088 ha	1.484 ha	1.185 ha	1.015 ha	—	4.772 ha	60.4%
Medium Density Allotment	—	—	—	—	—	—	0.0%
Balance Super Allotments	—	—	—	—	—	—	0.0%
Total Area of Allotments	1.088 ha	1.484 ha	1.185 ha	1.015 ha	—	4.772 ha	60.4%
Road	0.201 ha	0.544 ha	—	—	0.622 ha	1.367 ha	17.3%
Collector Road	0.532 ha	0.326 ha	0.396 ha	0.349 ha	—	1.603 ha	20.3%
Local Road	—	—	—	—	0.164 ha	0.164 ha	2.1%
Linear Connections	—	—	—	—	—	—	0.0%
Entry Statements	—	—	—	—	—	—	0.0%
Total Area of New Road	0.733 ha	0.870 ha	0.396 ha	0.349 ha	0.786 ha	3.134 ha	39.6%
Open Space	—	—	—	—	—	—	0.0%
Corridor Park	—	—	—	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	—	—	0.0%
Local Recreation Park	—	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	—	—	0.0%
Total Open Space	—	—	—	—	—	—	0.0%

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineering design.
Road linemarkings and turn slots are indicative only and subject to detailed design.
Source Information:
Site boundaries: Registered Survey Plans / Vets.
Adjoining Information: OCDB.
Contours: Meinhardt.

REVISION

Q: 07/10/2021 Stage 3 & 4 Change

R: 20/10/2021 Stage 3 & 4 Change

S: 27/10/2021 Stage 4 Change

T: 20/12/2021 Stage 5 Layout Change

U: 17/01/2022 PDD Amendments

V: 21/01/2022 Stage 5 Layout Change

W: 21/02/2022 Stage 5 Layout Change

X: 07/04/2022 Stage 5 Change

PROJECT

Flagstone Precinct 1

Job Ref. 110056

Comp By. MD / NF

Chk'd By. MD

Local Authority. Economic Development Queensland

CLIENT

PEET

Plan of Subdivision

Stage 5Bi, C, R, S & T

Allotment Layout

Scale 1 : 750

Sheet A1

Plan Ref 110056 - 407

Rev X

Scale 1 : 750 @ A1

0 5 10 20 30 40 50

URBAN DESIGN

Level 4 HQ South

520 Wickham Street

PO Box 1059

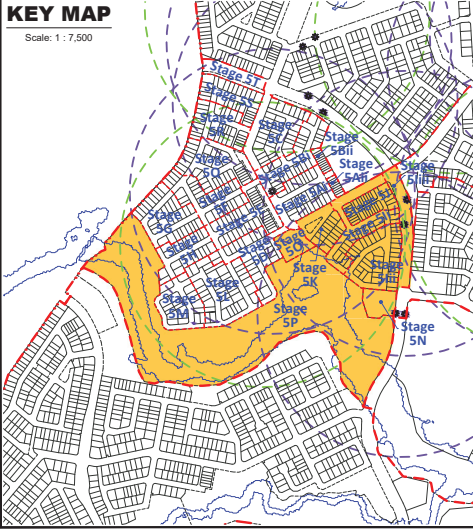
Fortitude Valley QLD 4006

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KEY MAP

Scale: 1 : 7,500



Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Residential Allotment (Max. no. of dwellings)
- Indicative Indented Bus Stop Location
- Indicative In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

Scale 1 : 750 @ A1

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded down to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Meinhardt.



See Diagram A

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403
Date: 09 May 2022

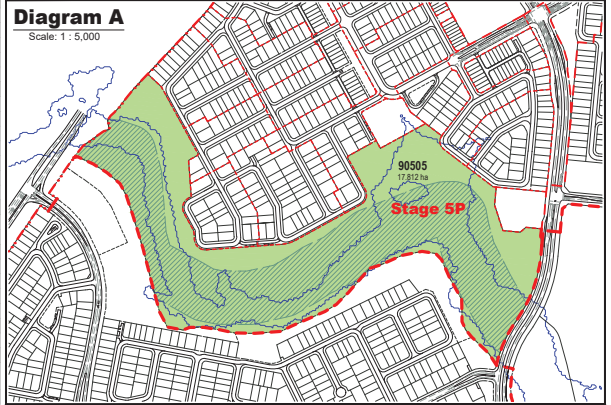


Land Budget									
Land Use	Stage 5I	Stage 5J	Stage 5K	Stage 5L	Stage 5M	Stage 5N	Stage 5O	Stage 5P	Overall
Area of Subject Site	1.724 ha	2.271 ha	1.205 ha	0.949 ha	1.118 ha	0.666 ha	0.627 ha	17.812 ha	26.372 ha
Saleable Area	0.652 ha	1.481 ha	—	0.778 ha	0.618 ha	—	—	3.529 ha	13.4%
Residential Allotments	—	—	—	—	—	—	—	—	—
Medium Density Allotment	—	—	—	—	—	—	—	—	2.5%
Balance Super Allotments	—	—	—	—	—	—	—	—	0.8%
Total Area of Allotments	0.652 ha	1.481 ha	—	0.778 ha	0.618 ha	0.666 ha	—	—	15.3%
Road	0.451 ha	—	1.176 ha	—	0.257 ha	—	—	—	7.1%
Collector Road	0.621 ha	0.733 ha	—	0.171 ha	0.155 ha	—	—	—	6.4%
Local Road	—	0.057 ha	0.029 ha	—	—	—	—	—	0.3%
Linear Connections	—	—	—	—	—	—	—	—	0.0%
Entry Statements	—	—	—	—	—	—	—	—	0.0%
Total Area of New Road	1.072 ha	0.790 ha	1.205 ha	0.171 ha	0.412 ha	—	—	—	13.8%
Open Space	—	—	—	—	—	—	—	—	—
Corridor Park	—	—	—	—	—	—	17.812 ha	17.812 ha	67.5%
Conservation (Within Corridor Park)	—	—	—	—	—	—	10.710 ha	10.710 ha	—
District Recreation Park	—	—	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	—	0.627 ha	—	0.627 ha	2.4%
Local Recreation Park	—	—	—	—	0.088 ha	—	—	0.088 ha	0.3%
Local Linear Recreation Park	—	—	—	—	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	—	—	—	—	0.0%
Total Open Space	—	—	—	—	0.088 ha	—	0.627 ha	17.812 ha	18.527 ha
									70.3%

Yield Breakdown									
Residential Allotments	Typical Size	Typical Area	Stage 5I	Stage 5J	Stage 5K	Stage 5L	Stage 5M	Stage 5N	Overall
Urban & Nano Allotments Product									0.0%
Urban Loft	4.7 x 12.5m	50m²	—	—	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m²	—	—	—	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m²	—	—	—	—	—	—	0.0%
Subtotal			—	—	—	—	—	—	0.0%
16m Deep Product									
Squat Allotment	14 x 16m	220m²	—	2	—	—	—	2	2.1%
Subtotal			—	2	—	—	—	2	2.1%
25m Deep Product									
Mode Allotment	8.5 x 25m	213m²	—	—	—	—	—	—	0.0%
Villa Allotment	10 x 25m	250m²	5	2	—	—	—	7	7.2%
Courtyard Allotment	14 x 25m	350m²	6	2	—	—	—	8	8.2%
Premium Courtyard Allotment	16 x 25m	400m²	1	5	—	—	—	6	6.2%
Premium Traditional Allotment	20 x 25m	500m²	—	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	0.0%
Subtotal			12	9	—	—	—	21	21.6%
28m - 30m Deep Product									
Terrace 4.5m Allotment	4.5 x 28m	126m²	—	—	—	—	—	—	0.0%
Terrace 6.6m Allotment	6.6 x 28m	185m²	—	—	—	—	—	—	0.0%
Terrace 7.5m Allotment	7.5 x 28m	210m²	—	—	—	18	—	18	18.6%
Terrace 9.5m Allotment	9.5 x 28m	265m²	—	—	—	6	—	6	6.2%
Subtotal			—	—	—	24	—	24	24.7%
30m Deep Product									
Villa Allotment	10 x 30m	300m²	—	3	—	1	4	8	8.2%
Premium Villa Allotment	12.5 x 30m	375m²	5	7	—	1	7	20	20.6%
Courtyard Allotment	14 x 30m	420m²	1	14	—	2	2	19	19.8%
Traditional Allotment	20 x 30m	600m²	—	—	—	1	2	3	3.1%
Premium Traditional Allotment	25 x 30m	720m²	—	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	—	0.0%
Subtotal			6	24	—	5	15	50	51.5%
Total Residential Allotments			18	35	—	29	15	—	97
Residential Net Density			14.1 dw/ha	15.4 dw/ha	—	30.6 dw/ha	17.4 dw/ha	—	100.0%
Super Lots									
Medium Density Allotment			—	—	—	—	—	1	1
Balance Super Allotments			—	—	—	—	—	1	1
Sub Total			—	—	—	—	—	1	1
Total Allotments			18	35	—	29	15	1	98
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			18	35	—	29	15	—	97
Maximum Potential Net Residential Density			14.1 dw/ha	15.4 dw/ha	—	30.6 dw/ha	17.4 dw/ha	—	100.0%

Diagram A

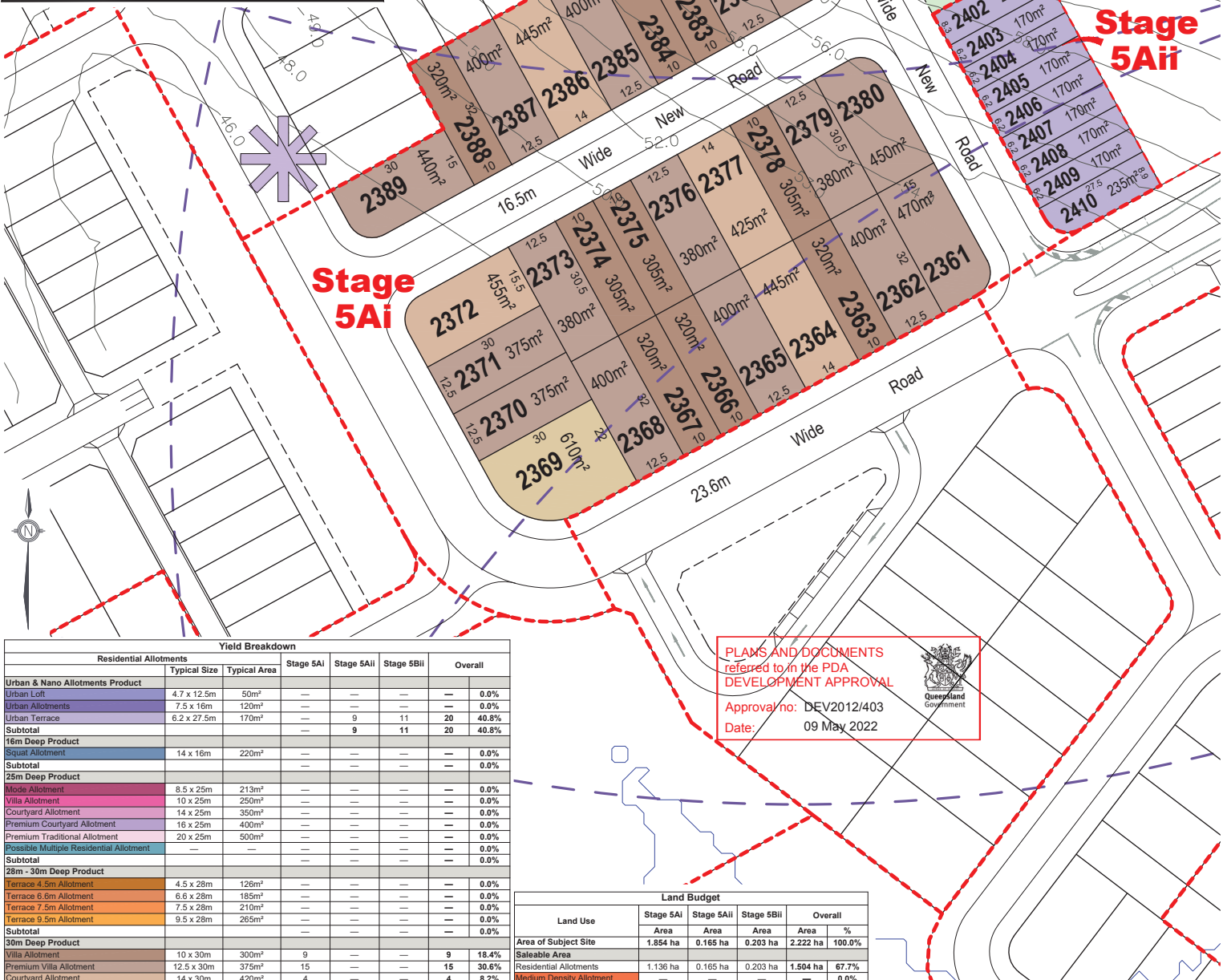
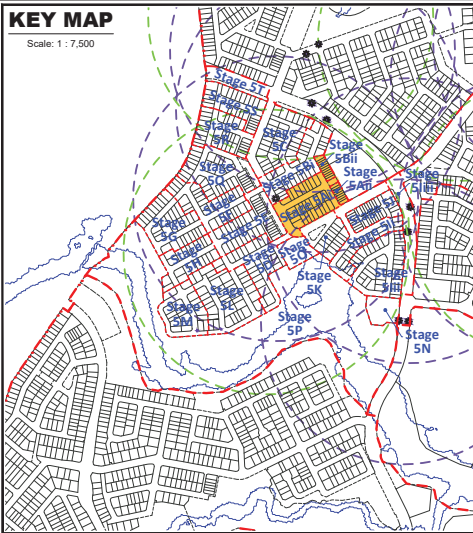
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REVISION Q: 07/10/2021 Stage 3 & 4 Change R: 20/10/2021 Stage 3 & 4 Change S: 27/10/2021 Stage 4 Change T: 20/12/2021 Stage 5 Layout Change U: 17/01/2022 PDA Amendments V: 21/01/2022 Stage 5 Layout Change W: 21/02/2022 Stage 5 Layout Change X: 07/04/2022 Stage 5 Change	PROJECT Flagstone Precinct 1 Job Ref: 110056 Date: 07 April 2022 Comp By: MD / NF DWG Name: Precinct 1 Stage 5 Chk'd By: MD Locality: Flagstone Local Authority: Economic Development Queensland	CLIENT PEET Plan of Subdivision Stage 5I, Iii, Iiii, J, K, N, O & P Allotment Layout	URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1059 Fortitude Valley QLD 4006 T +61 7 3539 9500 W urbandesign.com.au
Scale: 1 : 750	Sheet: A1	Plan Ref: 110056 - 408	Rev: X

KEY MAP

Scale: 1 : 7,500



Yield Breakdown

Residential Allotments		Typical Size	Typical Area	Stage 5Ai	Stage 5Aii	Stage 5Bii	Overall
Urban & Nano Allotments Product							
Urban Loft	4.7 x 12.5m	50m ²	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m ²	—	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m ²	—	9	11	20	40.8%
Subtotal				9	11	20	40.8%
16m Deep Product							
Squal Allotment	14 x 16m	220m ²	—	—	—	—	0.0%
Subtotal				—	—	—	0.0%
25m Deep Product							
Mode Allotment	8.5 x 25m	213m ²	—	—	—	—	0.0%
Villa Allotment	10 x 25m	250m ²	—	—	—	—	0.0%
Courtyard Allotment	14 x 25m	350m ²	—	—	—	—	0.0%
Premium Courtyard Allotment	16 x 25m	400m ²	—	—	—	—	0.0%
Premium Traditional Allotment	20 x 25m	500m ²	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	0.0%
Subtotal				—	—	—	0.0%
28m - 30m Deep Product							
Terrace 4.5m Allotment	4.5 x 28m	126m ²	—	—	—	—	0.0%
Terrace 6.6m Allotment	6.6 x 28m	185m ²	—	—	—	—	0.0%
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—	—	—	—	0.0%
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—	—	—	—	0.0%
Subtotal				—	—	—	0.0%
30m Deep Product							
Villa Allotment	10 x 30m	300m ²	9	—	—	9	18.4%
Premium Villa Allotment	12.5 x 30m	375m ²	15	—	—	15	30.6%
Courtyard Allotment	14 x 30m	420m ²	4	—	—	4	8.2%
Traditional Allotment	20 x 30m	600m ²	1	—	—	1	2.0%
Premium Traditional Allotment	25 x 30m	720m ²	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	0.0%
Subtotal			29	—	—	29	59.2%
Total Residential Allotments			29	9	11	49	100.0%
Residential Net Density			18.4 dw/ha	54.5 dw/ha	54.2 dw/ha		
Super Lots			Lots	Lots	Lots	Lots	
Medium Density Allotment			—	—	—	—	
Balance Super Allotments			—	—	—	—	
Sub Total			—	—	—	—	
Total Allotments			29	9	11	49	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			29	9	11	49	
Maximum Potential Net Residential Density			18.4 dw/ha	54.5 dw/ha	54.2 dw/ha		

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403
Date: 09 May 2022



Land Budget

Land Use	Stage 5Ai	Stage 5Aii	Stage 5Bii	Overall	Area	%
Area of Subject Site						
Saleable Area	1.854 ha	0.165 ha	0.203 ha	2.222 ha	100.0%	
Residential Allotments	1.136 ha	0.165 ha	0.203 ha	1.504 ha	67.7%	
Medium Density Allotment	—	—	—	—	0.0%	
Balance Super Allotments	—	—	—	—	0.0%	
Total Area of Allotments	1.136 ha	0.165 ha	0.203 ha	1.504 ha	67.7%	
Road						
Collector Road	0.278 ha	—	—	0.278 ha	12.5%	
Local Road	0.395 ha	—	—	0.395 ha	17.8%	
Linear Connections	0.045 ha	—	—	0.045 ha	2.0%	
Entry Statements	—	—	—	—	0.0%	
Total Area of New Road	0.718 ha	—	—	0.718 ha	32.3%	
Open Space						
Corridor Park	—	—	—	—	0.0%	
Neighbourhood Recreation Park	—	—	—	—	0.0%	
Local Recreation Park	—	—	—	—	0.0%	
Local Linear Recreation Park	—	—	—	—	0.0%	
Stormwater Detention	—	—	—	—	0.0%	
Total Open Space	—	—	—	—	0.0%	

Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Residential Allotment (Max. no. of dwellings)
- Indicative Indented Bus Stop Location
- Indicative In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m². The boundaries shown on this plan should not be used for final detailed engineers design.
Road line markings and turn slots are indicative only and subject to detailed design.
Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Meinhardt.

REVISION	PROJECT	Flagstone Precinct 1	CLIENT
Q: 07/10/2021 Stage 3 & 4 Change	Job Ref.	110056	Date: 07 April 2022
R: 20/10/2021 Stage 3 & 4 Change	Comp By.	MD / NF	DWG Name. Precinct 1 Stage 5
S: 27/10/2021 Stage 4 Change	Chk'd By.	MD	Locality. Flagstone
T: 30/12/2021 Stage 5 Layout Change	Local Authority.	Economic Development Queensland	
U: 17/01/2022 PDD Amendments			
V: 21/02/2022 Stage 5 Layout Change			
W: 21/02/2022 Stage 5 Layout Change			
X: 07/04/2022 Stage 5 Change			

REVISION	PROJECT	Flagstone Precinct 1	CLIENT
Q: 07/10/2021 Stage 3 & 4 Change	Job Ref.	110056	Date: 07 April 2022
R: 20/10/2021 Stage 3 & 4 Change	Comp By.	MD / NF	DWG Name. Precinct 1 Stage 5
S: 27/10/2021 Stage 4 Change	Chk'd By.	MD	Locality. Flagstone
T: 30/12/2021 Stage 5 Layout Change	Local Authority.	Economic Development Queensland	
U: 17/01/2022 PDD Amendments			
V: 21/02/2022 Stage 5 Layout Change			
W: 21/02/2022 Stage 5 Layout Change			
X: 07/04/2022 Stage 5 Change			

PEET

Plan of Subdivision
Stage 5Ai, Aii & Bii
Allotment Layout

rps

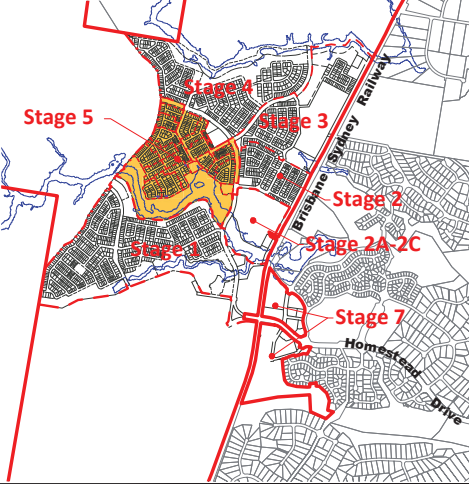
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Scale	Sheet	Plan Ref	Rev
1 : 500	A1	110056 - 409	X

KEY MAP

Scale: 1: 20,000



Legend

- General**
- Site Boundary
 - Proposed Precinct Boundary
 - Proposed Stage Boundary
 - Proposed Sub Stage Boundary
 - Possible Multiple Residential Allotment (Max. no. of dwellings)

Open Space

- District Recreation Park
- Corridor Park
- Conservation Within Corridor Park
- Neighbourhood Recreation Park
- Local Recreation Park
- Local Linear Recreation Park
- Stormwater Detention
- Linear Connections

Allotment Details

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- 2m High Solid Timber Fence
- Preferred Double Garage Location
- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)
- Lot Impacted by Potential Acoustic Requirements
- Bin Pad

Scale: 1: 2000 @ A1

0 20 40 60 80 100 120

Notes:

- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
- The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
- Maximum building location envelopes are subject to future proposed easements and/or other underground services.
- All lots subject to an acoustic assessment to determine level of acoustic treatments.
- Buildings shall be constructed in accordance with Bushfire AS3959.
- Secondary dwellings are not permitted on lots less than 400m².
- Provisions in this POB do not relate to the Medium Density Allotment (Lot 50021), the Commercial Allotment (Lot 50019), the Child Care Allotment (Lot 5005), the Manufactured Home Estate Allotment (Lot 50028) or the Community Facility Allotment (Lot 50025). A separate MCI application will need to be submitted for development on these lots.
- Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
- The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Boundary setbacks are measured to the wall of the structure.
- Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
- Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
- If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
- If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
- Lots 2501 - 2505 require a 2.5m rear setback.
- For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
- A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
- In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lots, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 5m back from the point of intersection of these two boundaries.

Private Open Space

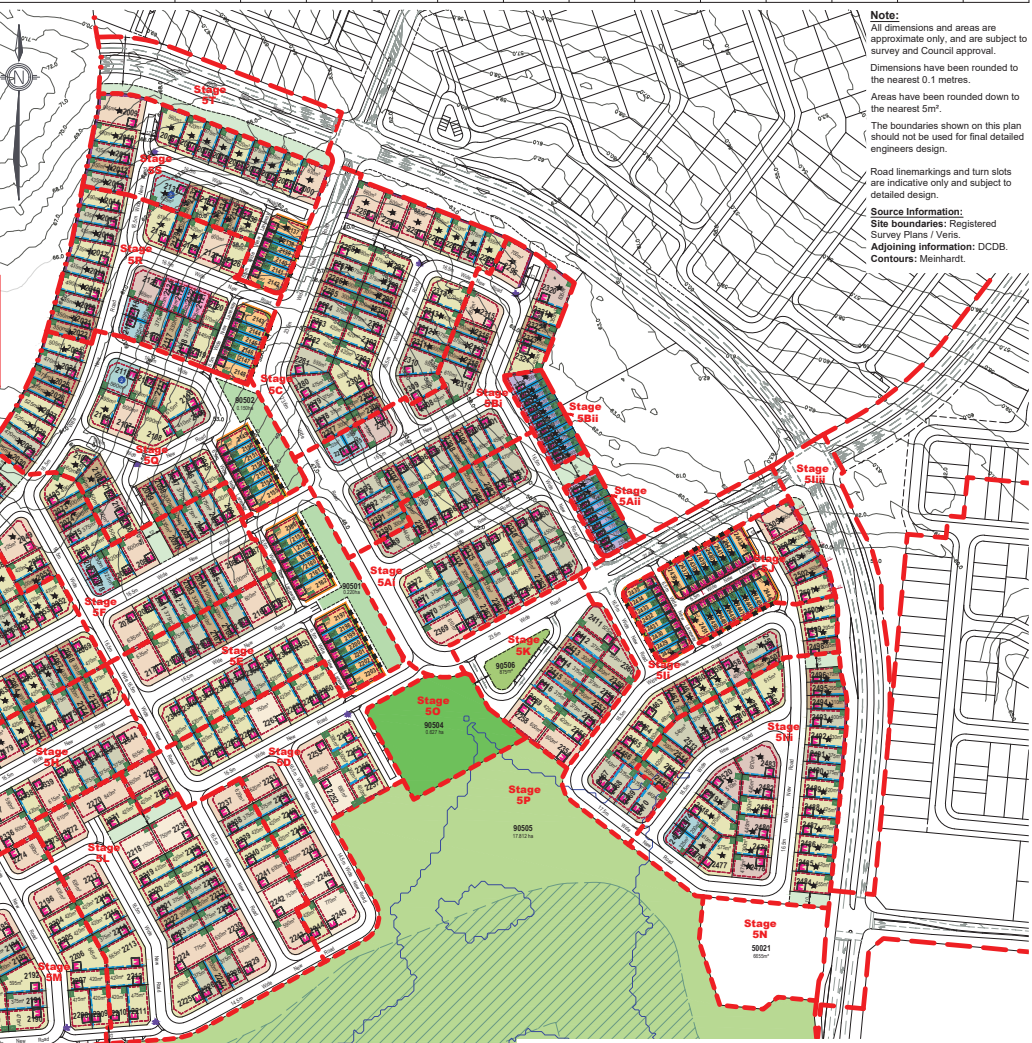
- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
- Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension of 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m).
- Private open space must be directly accessible from a living space.

On-site car parking and driveways

- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be underground).

Plan of Development Table

	Urban Loft Allotments	Urban Allotments	Urban Terrace Allotments	Rear Loaded Terrace Allotments	Squat Allotments	Mode Allotments	Villa Allotments	Premium Villa Allotments	Courtyard Allotments	Premium Courtyard Allotments	Traditional Allotments	Premium Traditional Allotments	Multiple Residential Allotments (MR)
Front/Primary Frontage	Ground Floor 1.5m First Floor 1.5m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 2.4m First Floor 2.4m	Ground Floor 3.0m First Floor 3.0m	Ground Floor 3.0m First Floor 3.0m	Ground Floor 3.0m First Floor 3.0m	Ground Floor 3.0m First Floor 3.0m	Ground Floor 4.5m First Floor 4.5m	Ground Floor 4.5m First Floor 4.5m	Ground Floor 4.5m First Floor 4.5m
Rear	0.0m* 0.0m*	1.5m* 1.5m*	0.0m* 0.0m*	0.0m* 0.0m*	1.0m* 1.5m*	0.9m* 0.9m*	0.9m* 0.9m*	0.9m* 0.9m*	1.0m* 1.0m*	1.0m* 1.0m*	1.5m* 1.5m*	2.0m* 2.0m*	1.5m* 1.5m*
Side - General Lots	0.0m 0.0m	0.0m 0.0m	0.0m 0.0m	0.0m 0.0m	0.0m 0.0m	0.0m 0.0m	0.0m 0.0m	0.0m 0.0m	0.0m 0.0m	0.0m 0.0m	n/a n/a	n/a n/a	n/a n/a
Built to Boundary	0.0m 0.0m	0.0m 0.0m	0.0m 0.0m	0.0m 0.0m	0.0m 0.0m	0.0m 0.0m	0.0m 0.0m	0.0m 0.0m	0.0m 0.0m	0.0m 0.0m	n/a n/a	n/a n/a	n/a n/a
Maximum BTB Wall Length (% of boundary length)	85%	75%	90%	90%	75%	75%	70%	65%	65%	60%	n/a	n/a	n/a
Non Built to Boundary	0.9m 0.9m	0.9m 0.9m	0.9m 0.9m	0.9m 0.9m	1.0m 1.0m	0.9m 0.9m	0.9m 0.9m	0.9m 0.9m	1.0m 1.0m	1.0m 1.0m	1.5m 1.5m	2.0m 2.0m	1.5m 1.5m
Corner Lots - Secondary Frontage	1.5m 1.5m	1.5m 1.5m	1.5m 1.5m	1.5m 1.5m	1.5m 1.5m	1.5m 1.5m	1.5m 1.5m	1.5m 1.5m	1.5m 1.5m	1.5m 1.5m	1.5m 1.5m	2.0m 2.0m	1.5m 1.5m
Laneway Lots													
Rear of Lot (from laneway boundary including garage)	n/a n/a	n/a n/a	n/a n/a	n/a n/a	0.9m 0.9m	0.9m 0.9m	0.9m 0.9m	0.9m 0.9m	0.9m 0.9m	0.9m 0.9m	n/a n/a	n/a n/a	n/a n/a
Site Cover	90%	75%	75%	75%	75%	75%	65%	60%	60%	60%	60%	60%	75%



Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m². The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design.
Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining Information: DCDB.
Contours: Meshcard.

- Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 4.8m.
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, lift or roller door.
 - The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.
- Double car garages are permitted on a Lot between 10.0m and 12.49m or laneway dwelling.
- Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
- Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
- Maximum of one driveway per dwelling unless it is a MR lot.
- Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The driveway must be laid at the grade of the adjoining verge area. No grade changes to the verge for the driveway will be allowed.
- Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the footpath without compromising the structural integrity of the footpath.
- Driveways must be completed prior to occupation of the dwelling.

Fencing

- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
- Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
- Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 1000mm higher than the infill palings or panels.
- Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
- Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
- Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.

Retaining Walls

- For retaining walls not constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
- No timber retaining walls over 1.0m or adjoining parks or public streets.
- Walls over 1.0m require RPEQ certification.

Building Articulation

- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the facade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
- Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
- Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
- Homes must include a clearly identifiable and addressed front door and undercover point of entry.
- Screened drying and rubbish bins areas must be behind the main face of the dwelling.
- At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

Slope and Building Footings

- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
- Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)

- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Drying and rubbish bins areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

- Floor area must be between a minimum of 30m² and 75m².
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

Definitions

Laneway Allotment - Allotments serviced by a laneway.

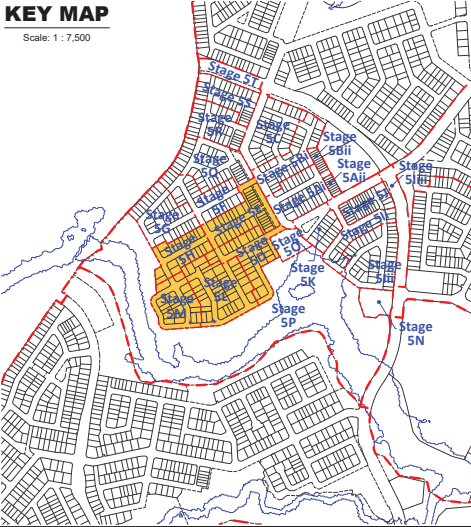
REVISION	PROJECT	Flagstone Precinct 1	CLIENT	PEET	Plan of Development	Scale	Sheet	Plan Ref	Rev
Q: 07/10/2021 Stage 3 & 4 Change R: 20/10/2021 Stage 3 & 4 Change S: 27/10/2021 Stage 4 Change T: 20/12/2021 Stage 5 Layout Change U: 17/01/2022 POB Amendments V: 21/01/2022 Stage 5 Layout Change W: 21/02/2022 Stage 5 Layout Change X: 07/04/2022 Stage 5 Change	Job Ref. 110056	Date: 07 April 2022			Stage 5 Overall Residential Allotments	1 : 2000	A1	110056 - 410	X
	Comp By: MD / NF	DWG Name: Precinct 1 Stage 5							
	Chk'd By: MD	Locality: Flagstone							
	Local Authority: Economic Development Queensland								

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KEY MAP

Scale: 1 : 7,500



Legend

General

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Possible Multiple Residential Allotment (Max. no. of dwellings)

Open Space

- Local Linear Recreation Park
- Linear Connections

Allotment Details

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- 2m High Solid Timber Fence
- Preferred Double Garage Location
- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)
- Lot Impacted by Potential Acoustic Requirements

Note:

All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m². The boundaries shown on this plan should not be used for final detailed engineers design.

Road line markings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining Information: DCDB.
Contours: Meinhardt.

Scale 1 : 1000 @ A1

Notes:

General

- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
- The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three storeys are acceptable.
- Maximum building location envelopes are subject to future proposed easements and/or other underground service.
- All lots subject to an acoustic assessment to determine level of acoustic treatments.
- Buildings shall be constructed in accordance with Bushfire AS3959.
- Secondary dwellings are not permitted on lots less than 400m².
- Provisions in this PDA do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50023) or the Community Facility Allotment (lot 50025). A separate MCI application will need to be submitted for development on these lots.
- Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent site detached lot setbacks will apply.
- The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted site setbacks shall be in accordance with the Plan of Development Table.
- Boundary setbacks are measured to the wall of the structure.
- Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
- Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
- If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
- If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
- Lot 2501 - 2505 requires a 2.5m rear setback.
- For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
- A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/landscape buffer and otherwise in these cases a secondary frontage setback does not apply.
- In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lots, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

Private Open Space

- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres (no lot) except for Urban Loft Allotments.
- Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension of 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
- Private open space must be directly accessible from a living space.

Plan of Development Table

	Urban Loft Allotments	Urban Allotments	Urban Terrace Allotments	Rear Loaded Terrace Allotments	Squat Allotments	Mode Allotments	Villa Allotments	Premium Villa Allotments	Courtyard Allotments	Premium Courtyard Allotments	Traditional Allotments	Premium Traditional Allotments	Multiple Residential Allotment (MR)
Front/Primary Frontage	Ground Floor	First Floor	First Floor	First Floor	First Floor	First Floor	First Floor	First Floor	First Floor	First Floor	First Floor	First Floor	First Floor
Garage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m
Rear	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*	0.0m*
* Additional setback required on some allotments - refer PDA Notes 14-16.													
Side - General Lots	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m
Maximum BTB Wall Length (% of boundary length)	85%	75%	90%	90%	75%	75%	70%	65%	65%	60%	n/a	n/a	n/a
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.5m	2.0m	1.0m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m
Laneway Lots													
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a
Site Cover	90%	75%	75%	75%	75%	75%	65%	60%	60%	60%	60%	60%	75%



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403

Date: 09 May 2022



On-site car parking and driveways

- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
- Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and/or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 160mm forward of the entrance door.
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
- Driveways cannot exceed 3.0m across the verge on lots between 10.0m and 12.49m wide.
- Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
- Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
- Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a 899 Vehicle.
- Maximum of one driveway per dwelling unless it is a MR lot.
- Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
- Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath within the driveway without compromising the structural integrity of the footpath.
- Driveways must be completed prior to occupation of the dwelling.

Fencing

- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
- Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
- Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill panels or panels.
- Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
- Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
- Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.

Retaining Walls

- For retaining walls not constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
- No timber retaining walls over 1.0m or adjoining parks or public streets.
- Walls over 1.0m require RFEC certification.
- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the facade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
- Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
- Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
- Homes must include a clearly identifiable and addressed front door and undercover point of entry.
- Screened drying and rubbish bins area must be behind the main face of the dwelling.
- At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

Slope and Building Footings

- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- If the non-minimum pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
- Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)

- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Drying and rubbish bins areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

- Floor area must be between a minimum of 30m² and 75m².
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 6m² with a minimum dimension in any direction of 3 metres.
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary or tertiary dwelling.
- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

Definitions

Laneway Allotment - Allotments serviced by a laneway.

REVISION

- Q: 07/10/2021 Stage 3 & 4 Change
- R: 20/10/2021 Stage 3 & 4 Change
- S: 27/10/2021 Stage 4 Change
- T: 20/12/2021 Stage 5 Layout Change
- U: 17/01/2022 PDA Amendments
- V: 21/01/2022 Stage 5 Layout Change
- W: 21/02/2022 Stage 5 Layout Change
- X: 07/04/2022 Stage 5 Change

PROJECT

Flagstone Precinct 1

CLIENT

Job Ref.	110056	Date.	07 April 2022
Comp By.	MD / NF	DWG Name.	Precinct 1 Stage 5
Chk'd By.	MD	Locality.	Flagstone
Local Authority.	Economic Development Queensland		

PEET

Plan of Development
Stage 5D, E, H, L & M
Residential Allotments

rps

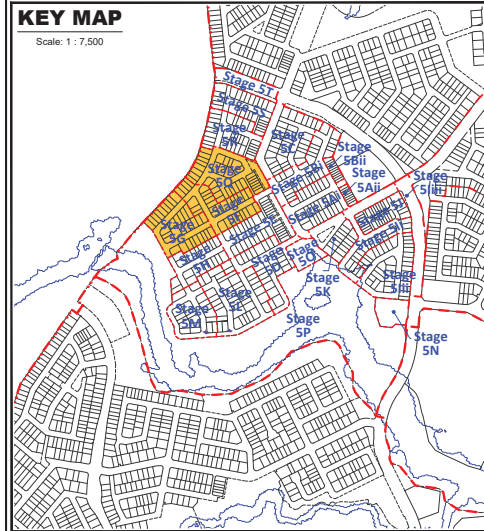
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Scale	Sheet	Plan Ref	Rev
1 : 1000	A1	110056 - 411	X

KEY MAP

Scale: 1 : 7 500



Legend

General

- General**
- Site Boundary
 - - - Proposed Precinct Boundary
 - - - Proposed Stage Boundary
 - - - Proposed Sub Stage Boundary
- 1** Possible Multiple Residential Allotment (Max. no. of dwellings)

Open Space

- Local Linear Recreation
- Linear Connections

Allotment Details

-  Preferred Private Open Space Location
-  Maximum Building Location Envelope
-  Mandatory Built to Boundary Wall
-  Nominal Built to Boundary Wall
-  No Vehicle Access
-  Primary Frontage
-  2m High Solid Timber Fence
-  Preferred Double Garage Location
-  Preferred Single Garage Location
-  Letterbox Location for Primary Dwelling (on a laneway)
-  Lot impacted by Potential Acoustic Requirements
-  Bin Pad

Note:

Dimensions have been rounded to the nearest 0.1 metres

Areas have been rounded down to the nearest 5m²

The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design

Source Information:

Site boundaries: Registered Survey Plans / Veris.

Adjoining Information
Contours: Meinhardt

1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 26

Notes:

General

1. All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC) as applicable to the development.
2. The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
3. Maximum building lotland envelopes are subject to future proposed easements and/or other underground services.
4. All lots subject to an acoustic assessment to determine level of acoustic treatments.
5. Buildings shall be constructed in accordance with Bushfire AS3599.
6. Secondary dwellings are not permitted on lots less than 400m².
7. Provisions in this PCO do not relate to the following: (i) Section 153(1) (500201), the Commercial Allotment (lot 500191), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 500208) or the Community Facility Allotment (lot 500205). A separate MCJ application will need to be submitted for development of these allotments.
8. Approved uses are House, Multiple Residence, HCU Based Business, Display House and Sales Office.

Setbacks

- Subsets are defined as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MP) site, then the equivalent size detached lot setbacks will apply.
- The setbacks to the boundary of the property are measured from the Plan of Development Table. Boundary setbacks are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Boundary setbacks are measured to the wall of the structure.
- Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
- Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
- If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
- If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
- Lots 2501 - 2505 require a 2.5m rear setback.
- For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
- A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This includes a lot that adjoins a street that is a pedestrian link/ landscape boulevard and therefore in these cases a secondary frontage setback does not apply.
- In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure that exceeds 2m high as follows:
 - For lots 1001 - 1004, Urban Lot 1001 - 1004, Terrace, Town, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.

Private Open Space

20. Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
21. Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
- 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension on 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
22. Private open space must be directly accessible from a living space.

On-site car parking and driveways

23. On-site car parking is to be provided in accordance with the following minimum requirements:
- For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
24. Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
- a. The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m.
 - b. The garage door:
 - i. Width must not exceed 4.8m

Plan of Development Table

[illegible]

Building Articulation

42. All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the facade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
43. Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room oriented towards the open space.
44. Entrances and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
45. All building materials must be zinc-coated steel, stained or painted, including retaining, fences, walls and roofs. Materials, such as zinc-coated steel, bare metal, concrete block or masonry panels are not permitted.
46. Air-conditions, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
47. Homes must include a clearly identifiable and addressed front door and undercover point of entry.
48. Stairs, gates and rubbish bins area must be screened from view of the dwelling.
49. At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

Slope and Building Footings

50. Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
 51. The average pad level is not provided, therefore the level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
 52. Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on the surrounding area, particularly in relation to vibration.
- Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**
53. Buildings must address all street frontages with driveways, pedestrian entries or both.
 54. All dwellings must have a clearly identifiable front door, which is undercover.
 55. Drying and rubbish bins must be located behind the main face of the dwelling or substantially screen from the streets and park frontages.
 56. Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

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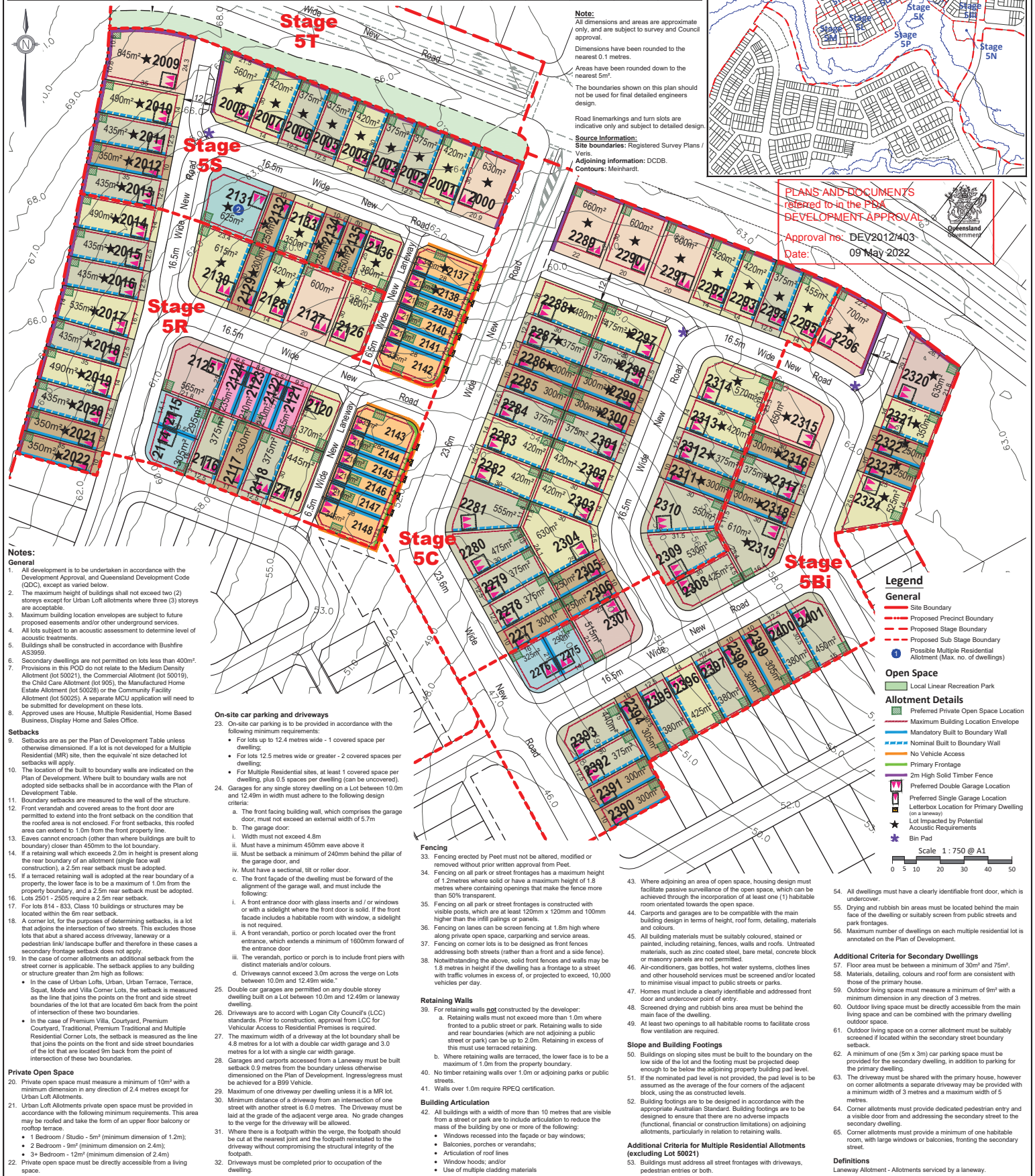
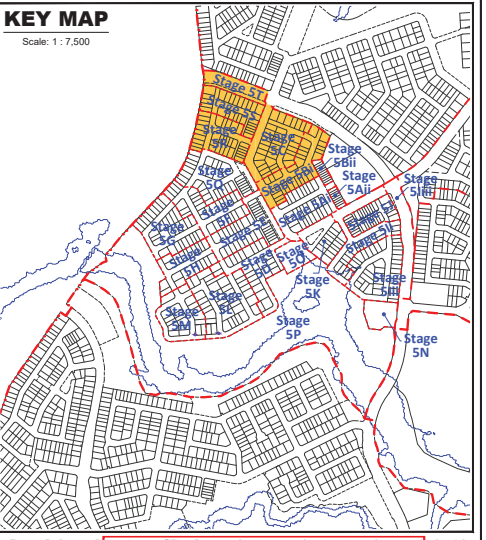
57. Floor area must be between a minimum of 20m² and 75m².
58. Materials, detailing, colours and roof form are consistent with those of the primary house.
59. Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
60. Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
61. Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
62. A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
63. The driveway must be aligned with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
64. Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
65. Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

Definition

Laneway Allotment - Allotments serviced by a laneway

REVISION Q. 07/10/2021 Stage 3 & 4 Change R. 20/10/2021 Stage 3 & 4 Change S. 27/10/2021 Stage 4 Change T. 20/12/2021 Stage 5 Layout Change U. 17/01/2022 POC Amendments V. 21/01/2022 Stage 5 Layout Change W. 21/02/2022 Stage 5 Layout Change X. 07/04/2022 Stage 5 Change	PROJECT Flagstone Precinct 1 Job Ref. 110056 Date. 07 April 2022 Comp By. MD / NF DWG Name. Precinct 1 Stage 5 Chk'd By. MD Locality. Flagstone Local Authority. Economic Development Queensland	CLIENT	 Plan of Development Stage 5F, G & Q Residential Allotments	 © COPYRIGHT PROTECTS THIS PLAN Unauthorised reproduction or amendment not permitted. Please contact the author. URBAN DESIGN Level 4 HQ South 520 William Street PO Box 1058 Fortitude Valley QLD 4006 T +61 7 3539 9500 W rpsgroup.com
				Scale 1 : 1000 Sheet A1 Plan Ref 110056 – 412 Rev X

Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a
Rear	0.0m	0.0m	1.5m	1.5m	0.0m	0.0m	0.9m	0.9m	1.0m	1.5m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m
* Additional setback required on some allotments - refer POD Notes 14-16.																										
Side - General Lots																										
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a	n/a	n/a	n/a	n/a	n/a
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m
Lane/Lane/Lane																										
Rear of Lot (from lane/way boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a
Site Cover	90%		75%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%	75%



REVISION

Q: 07/10/2021 Stage 3 & 4 Change

R: 20/10/2021 Stage 3 & 4 Change

S: 27/10/2021 Stage 4 Change

T: 20/12/2021 Stage 5 Layout Change

U: 17/01/2022 POD Amendments

V: 21/02/2022 Stage 5 Layout Change

W: 21/02/2022 Stage 5 Layout Change

X: 07/04/2022 Stage 5 Change

PROJECT

Job Ref. 110056

Comp By. MD / NF

Chk'd By. MD

Local Authority. Economic Development Queensland

Flagstone Precinct 1

Date. 07 April 2022

DWG Name. Precinct 1 Stage 5

Locality. Flagstone

CLIENT

PEET

Plan of Development

Stage 5Bi, R, S & T

Residential Allotments

Scale

1 : 750

Sheet

A1

Plan Ref

110056 - 413

Rev

X

URBAN DESIGN

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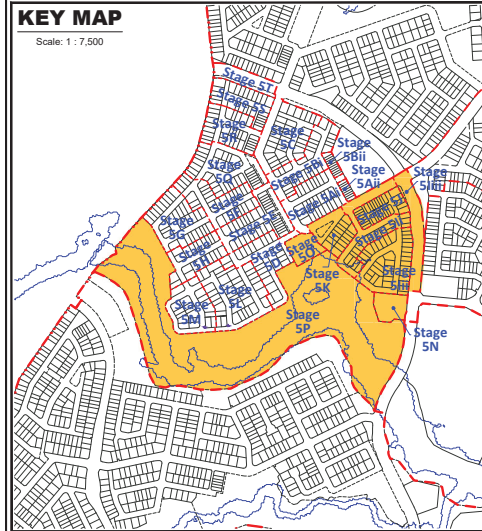
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KEY MAP

Scale: 1 : 7,500



Plan of Development Table

	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m
Rear	1.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a
Garage	0.0m	0.0m	1.5m	1.5m	0.0m	0.0m	0.9m	0.9m	1.0m	1.5m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m
Additional setbacks required on some allotments - refer POD Notes 14-16.																										
Side - General Lots																										
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a		n/a		n/a	n/a
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	2.0m	1.5m	2.0m	1.5m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m
Laneway Lots																										
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a
Site Cover	90%		75%		75%		75%		75%		75%		65%		60%		60%		60%		60%		60%		75%	

Note:

All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m². The boundaries shown on this plan should not be used for final detailed engineers design. Road line markings and turn slots are indicative only and subject to detailed design. Source information: Site boundaries: Registered Survey Plans / Veris. Adjoining information: CDCB. Contours: Meinhardt.

Notes:

General:

- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
- The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
- Maximum building location envelopes are subject to future proposed easements and/or other underground services.
- All lots subject to an acoustic assessment to determine level of acoustic treatments.
- Buildings shall be constructed in accordance with Bushfire AS3959.
- Secondary dwellings are not permitted on lots less than 400m².
- Provisions in this PDA do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 5005), the Manufactured Home Estate Allotment (lot 50020) or the Community Facility Allotment (lot 50025). A separate MOC application will need to be submitted for development on these lots.
- Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.

Setbacks:

- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent side detached lot setbacks will apply.
- The location of the built to boundary walls is indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Boundary setbacks are measured to the wall of the structure.
- Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line where buildings are built to boundary closer than 450mm to the lot boundary.
- If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face built construction), a 2.5m rear setback must be adopted.
- If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
- Lots 2501 - 2505 require a 2.5m rear setback.
- For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
- A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that about a shared access driveway, laneway or a pedestrian link/landscape buffer and therefore in these cases a secondary frontage setback does not apply.
- In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Loft, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

Private Open Space

- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
- Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension of 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
- Private open space must be directly accessible from a living space.

On-site car parking and driveways

- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
- Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door.
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.
- Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
- Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
- Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
- Maximum of one driveway per dwelling unless it is a MR lot.
- Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
- Where there is a footpath within the verge, the footpath should cut at the nearest point and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
- Driveways must be completed prior to occupation of the dwelling.

Fencing

- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
- Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
- Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill palings or panels.
- Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
- Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
- Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.

Retaining Walls

- For retaining walls not constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronting to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
 - No timber retaining walls over 1.0m or adjoining parks or public streets.
 - Walls over 1.0m require RPEQ certification.

PLANS AND DOCUMENTS referred to in the PDA

DEVELOPMENT APPROVAL

Approval no: DEV2012/403

Date: 09 May 2022



Queensland Government

Building Articulation

- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the facade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
- Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
- Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
- Homes must include a clearly identifiable and addressed front door and undercover point of entry.
- Screened drying and rubbish bins area must be behind the main face of the dwelling.
- At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

Slope and Building Footings

- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent corner, using the as constructed levels.
- Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)

- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

- Floor area must be between a minimum of 30m² and 75m².
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

Definitions

Laneway Allotment - Allotments serviced by a laneway.

Legend

General

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Possible Multiple Residential Allotment (Max. no. of dwellings)

Open Space

- Conservation Park
- Corridor Park
- Neighbourhood Recreation Park
- Local Recreation Park
- Linear Connections

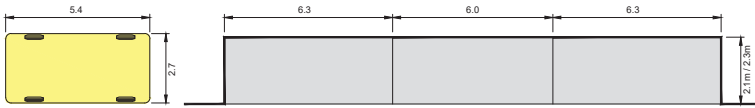
Allotment Details

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- 2m High Solid Timber Fence
- Preferred Double Garage Location
- Preferred Single Garage Location
- Letterboxed Location for Primary Dwelling (on a laneway)
- Lot Located by Potential Acoustic Requirements
- Bin Pad

REVISION	PROJECT	Flagstone Precinct 1	CLIENT	PEET	Plan of Development
Q: 07/10/2021 Stage 3 & 4 Change	Job Ref.	110056	Date:	07 April 2022	Stage 5Ii, Iii, J, K, N, O & P
R: 20/10/2021 Stage 3 & 4 Change	Comp By.	MD / NF	DWG Name.	Precinct 1 Stage 5	Residential Allotments
S: 27/10/2021 Stage 3 & 4 Change	Chk'd By.	MD	Locality.	Flagstone	
T: 30/10/2021 Stage 5 Layout Change	Local Authority.	Economic Development Queensland			
U: 17/01/2022 PDA Amendments					
V: 21/01/2022 Stage 5 Layout Change					
W: 21/02/2022 Stage 5 Layout Change					
X: 07/04/2022 Stage 5 Change					

Scale	Sheet	Plan Ref	Rev
1 : 750	A1	110056 - 414	X

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Parking Bay Diagram
Scale 1 : 100

Typical Indented Parking Bay Arrangement
(In accordance with AS2890)
Scale 1 : 100

Legend

General

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary

Open Space

- District Recreation Park
- Corridor Park
- Conservation Within Corridor Park
- Neighbourhood Recreation Park
- Local Recreation Park
- Local Linear Recreation Park
- Stormwater Detention
- Linear Connections

On-Street Parking

- Indicative Car Park Location
- Indicative Driveway

Note:

All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Road line markings and turn slots are indicative only and subject to detailed design.

Source Information:

Site boundaries: Registered
Survey Plans / Vets.
Adjoining Information: DCDB.
Contours: Meinhardt.

Parking Breakdown

Total On-Street Visitor Parking Spaces Provided 386
Total Residential Dwellings 496
Total On-Street Visitor Parking Spaces Required 372
(based on 0.75 per dwelling)

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2012/403

Date: 09 May 2022



Scale 1 : 1500 @ A1
0 10 20 40 60 80 100

REVISION Q: 07/10/2021 Stage 3 & 4 Change R: 20/10/2021 Stage 3 & 4 Change S: 27/10/2021 Stage 4 Change T: 20/12/2021 Stage 5 Layout Change U: 17/01/2022 PDA Amendments V: 21/02/2022 Stage 5 Layout Change W: 21/02/2022 Stage 5 Layout Change X: 07/04/2022 Stage 5 Change	PROJECT Flagstone Precinct 1		CLIENT PEET		 Plan of Development Stage 5 Overall Parking Management Plan		 © COPYRIGHT PROTECTS THIS PLAN (Unauthorised reproduction or use is not permitted). Please contact the author. URBAN DESIGN Level 4 HQ South 130 Westpac Street PO Box 1058 Fortitude Valley QLD 4006 T +61 7 3393 9900 W rpsgroup.com	
	Job Ref.	110056	Date.	07 April 2022				
	Comp By.	MD / NF	DWG Name.	Precinct 1 Stage 5				
	Chkd By.	MD	Locality.	Flagstone				
	Local Authority.		Economic Development Queensland					
				Scale	Sheet	Plan Ref	Rev	
				1 : 1500	A1	110056 – 416	X	



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