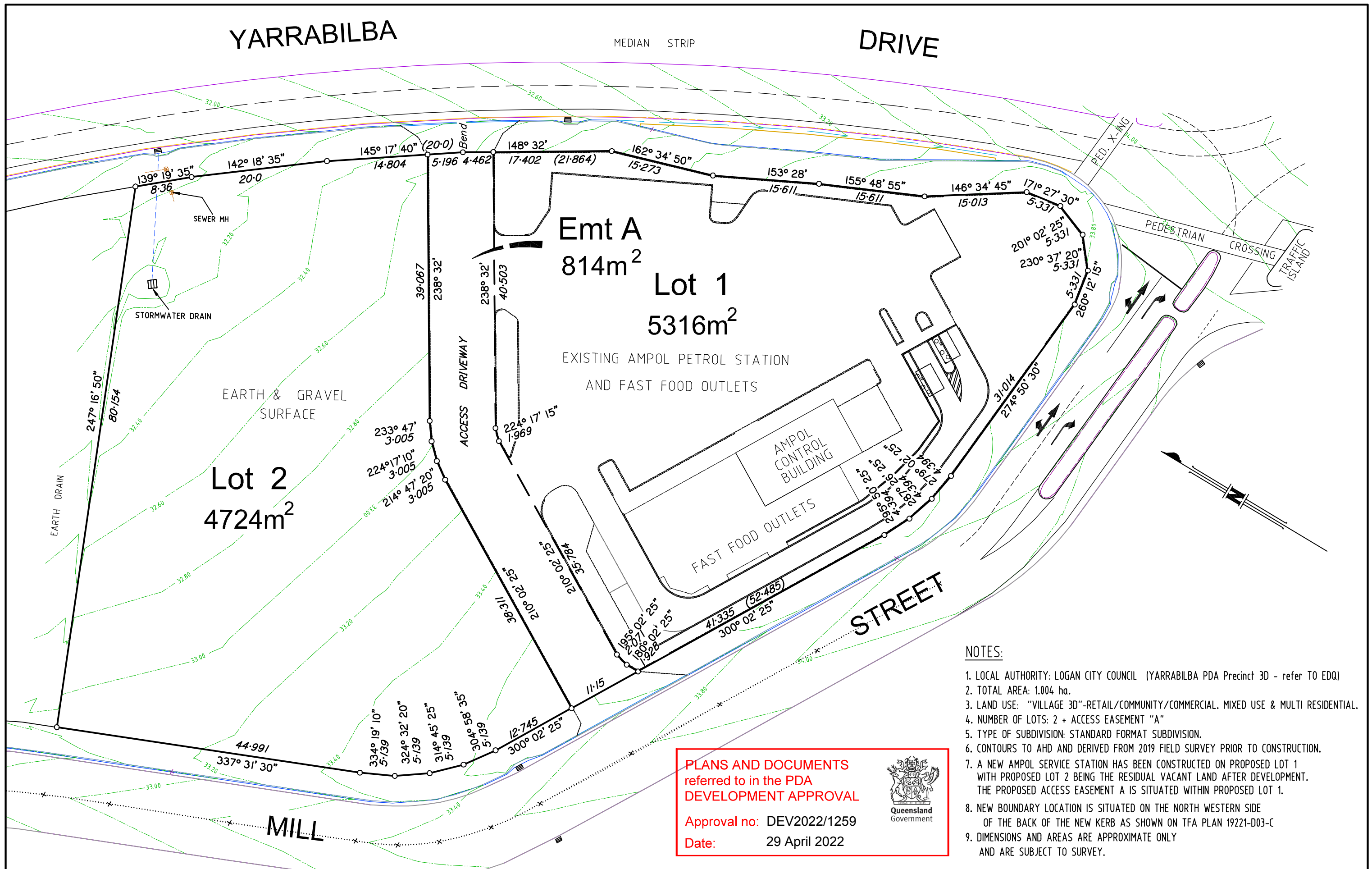




NOTES:

1. LOCAL AUTHORITY: LOGAN CITY COUNCIL (YARRABILBA PDA Precinct 3D - refer TO EDQ)
2. TOTAL AREA: 1.004 ha.
3. LAND USE: "VILLAGE 3D"-RETAIL/COMMUNITY/COMMERCIAL. MIXED USE & MULTI RESIDENTIAL.
4. NUMBER OF LOTS: 2 + ACCESS EASEMENT "A"
5. TYPE OF SUBDIVISION: STANDARD FORMAT SUBDIVISION.
6. CONTOURS TO AHD AND DERIVED FROM 2019 FIELD SURVEY PRIOR TO CONSTRUCTION.
7. A NEW AMPOL SERVICE STATION HAS BEEN CONSTRUCTED ON PROPOSED LOT 1 WITH PROPOSED LOT 2 BEING THE RESIDUAL VACANT LAND AFTER DEVELOPMENT. THE PROPOSED ACCESS EASEMENT A IS SITUATED WITHIN PROPOSED LOT 1.
8. NEW BOUNDARY LOCATION IS SITUATED ON THE NORTH WESTERN SIDE OF THE BACK OF THE NEW KERB AS SHOWN ON TFA PLAN 19221-D03-C
9. DIMENSIONS AND AREAS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY.

A	14-12-2021	ORIGINAL ISSUE	PJ		
ISSUE	DATE	AMENDMENTS	DRN	CKD	APPD.

 **QUEENSLAND
PLANNING & SURVEY Pty Ltd**
TOWN PLANNING, DEVELOPMENT AND SURVEY CONSULTANTS

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PLAN OF PROPOSED SUBDIVISION
of Lot 12 on SP304357
YARRABILBA DRIVE, YARRABILBA

SCALE 1:500 @A3

SHEET 1 OF 1

DRN PJ

PROJECT
AMPOL YARRABILBA

JOB No. 6255/B

DATE 14-12-2021

Plan No.
6255S0101

REV
A