



DA ISSUE
**THIS DRAWING IS NOT
FOR CONSTRUCTION**

PROPERTY DESCRIPTION

LOT 1 on RP184067
COUNCIL: LOGAN CITY COUNCIL

DEVELOPMENT STATISTICS

STAGES 1-3

TOTAL SITE AREA 20,097m²

BUILDING AREAS - GFA

STAGE 1
CHILDCARE (BY OTHERS) 820m²

STAGE 2
BUILDING 1 - BUSINESS / HEALTHCARE 980m²

BUILDING 2 - INDOOR SPORT & RECREATION 2,020m²

TOTAL STAGE 2 3,000m²

STAGE 3
INDUSTRIAL (WAREHOUSE) 4,600m²

CAR PARKING

STAGE 1 PROVIDED 33 bays

STAGE 2 PROVIDED 99 bays

STAGE 3 PROVIDED 27 bays

TOTAL PARKING PROVIDED 159 bays

NOTES:

1. MINIMUM 30m SETBACK IS REQUIRED TO THE WESTERN BOUNDARY OF THE SITE ADJOINING THE RAILWAY CORRIDOR.
2. MAXIMUM BUILDING HEIGHT OF 8.5m FOR ALL USES (EXCEPT INDUSTRY).
3. INDUSTRY (WAREHOUSE) MAY COMPRISE A BUILDING HEIGHT UP TO 15m.
4. ALL BUILDINGS MUST BE SETBACK A MINIMUM OF 6m FROM PUB LANE AND 6m FROM OLD PUB LANE
5. LANDSCAPING IS TO BE PROVIDED ALONG ALL STREET FRONTAGES, AROUND BUILDINGS AND WITHIN CAR PARKING AREAS



**PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL**

Approval no: DEV2021/1229

Date: 13/04/2022



VERVE SCHEDULES DISCLAIMER:

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3. ANY DISCREPANCIES IN SCHEDULES SHOULD BE IDENTIFIED TO THE AUTHOR NOTED.
4. ALL AREAS ARE GROSS AREAS, UNLESS NOTED OTHERWISE

CONSULTING ENGINEER



- ☐ commercial / industrial / retail
- ☐ fast food restaurant design
- ☐ travel centre / service stations
- ☐ project concept to completion

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Revision and approvals

Rev	Date	Drn	Description	Appr
A	01/07/2021	TD	DA ISSUE	
B	23/07/2021	SS	AMENDED DA ISSUE	
C	16/08/2021	TD	AMENDED DA ISSUE	
D	12/01/2022	WPH	RESPONSE TO COUNCIL L10	TD
E	12/01/2022	TD	GLAZING ADDED TO BLDG 2 CORRIDOR	

Project Description

PROPOSED MIXED USE DEVELOPMENT
STAGE 2
43-77 OLD PUB LANE, GREENBANK 4124

Scale @A1
1:500
Drawn
TD

Date
SEPT 2020
Approved By
SS

Drawing Title

MASTER SITE PLAN

Job Number - Drawing Number
19222 DA21

Revision
E



DA ISSUE
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PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2021/1229

Date: 13/04/2022

PROPERTY DESCRIPTION

LOT 1 on RP184067

COUNCIL: LOGAN CITY COUNCIL

DEVELOPMENT STATISTICS

STAGE 2

TOTAL SITE AREA 6,922m²

BUILDING AREAS - GFA

BUILDING 1 - BUSINESS / HEALTHCARE 980m²

BUILDING 2 - INDOOR SPORT & RECREATION 2,020m²

TOTAL STAGE 2 3,000m²

CAR PARKING

STAGE 2 PROVIDED 99 bays



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Revision and approvals

Rev	Date	By	Description	App
A	08.06.2021	TD	BUILDING 1 SETBACK INCREASED TO 6m	
B	01.07.2021	TD	DA ISSUE	
C	23.07.2021	SS	AMENDED DA ISSUE	
D	16.08.2021	TD	AMENDED DA ISSUE	
E	12.01.2022	BM	RESPONSE TO COUNCIL 1/R	TD
F	12.01.2022	TD	GLAZING ADDED TO BLDG 2 CORRIDOR	

Project Description
**PROPOSED MIXED USE DEVELOPMENT
STAGE 2
43-77 OLD PUB LANE, GREENBANK 4124**

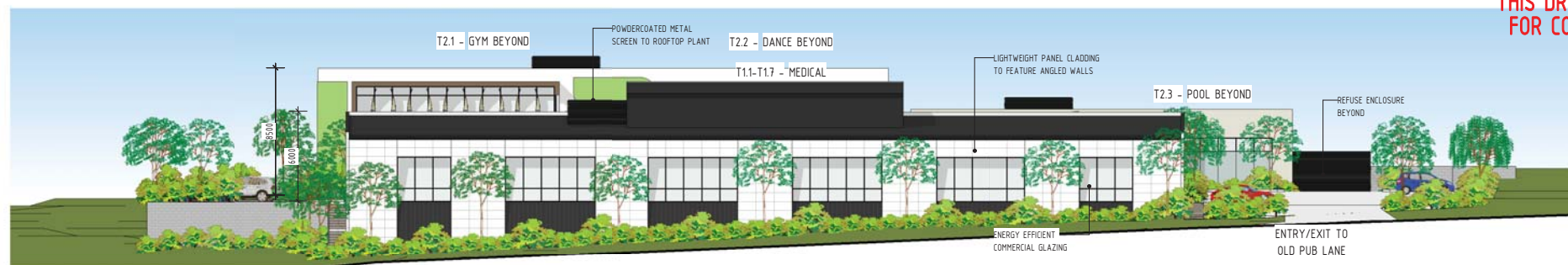
Scale @A1
1:250
Drawn
TD

Date
SEPT 2020
Approved By
SS

Drawing Title
PROP. SITE PLAN - STAGE 2

Job Number - Drawing Number
19222 DA22

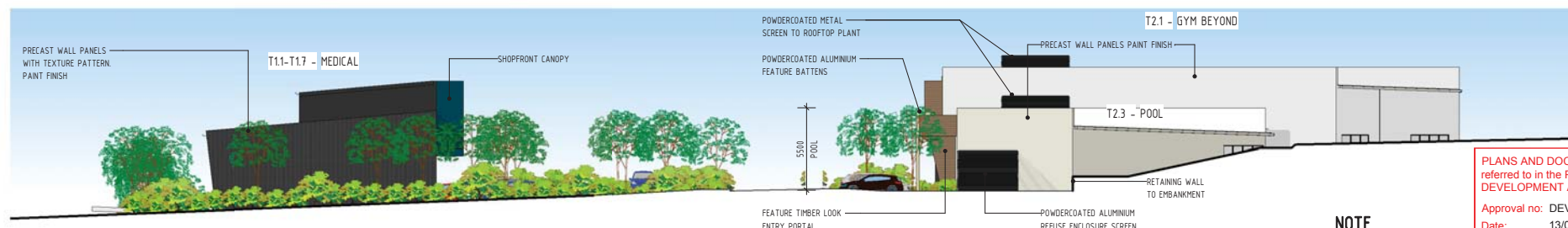
Revision
F



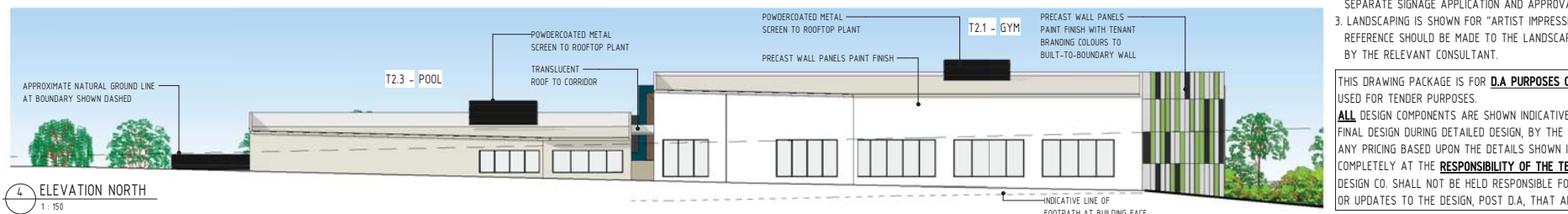
1 ELEVATION SOUTH
1:150



2 ELEVATION WEST
1:150



3 ELEVATION EAST
1:150



4 ELEVATION NORTH
1:150

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL
Approval no: DEV2021/1229
Date: 13/04/2022



NOTE

1. ALL DIMENSIONS MEASURED FROM FINISHED GROUND FLOOR LEVEL UNLESS NOTED OTHERWISE
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A	07.06.2021	TD	BUILDING 1 SETBACK INCREASED TO 6m
B	08.06.2021	TD	BUILDING 1 SETBACK INCREASED TO 6m
C	12.01.2022	BM	RESPONSE TO COUNCIL I.R.
D	12.01.2022	TD	GLAZING ADDED TO BLDG 2 CORRIDOR

Project Description	Appr
PROPOSED MIXED USE DEVELOPMENT STAGE 2 43-77 OLD PUB LANE, GREENBANK 4124	TD
Scale @A1 As Indicated	Drawn TD
Date SEPT 2020	Approved By SS

Drawing Title	Job Number - Drawing Number	Revision
SITE ELEVATIONS	19222 DA23	D



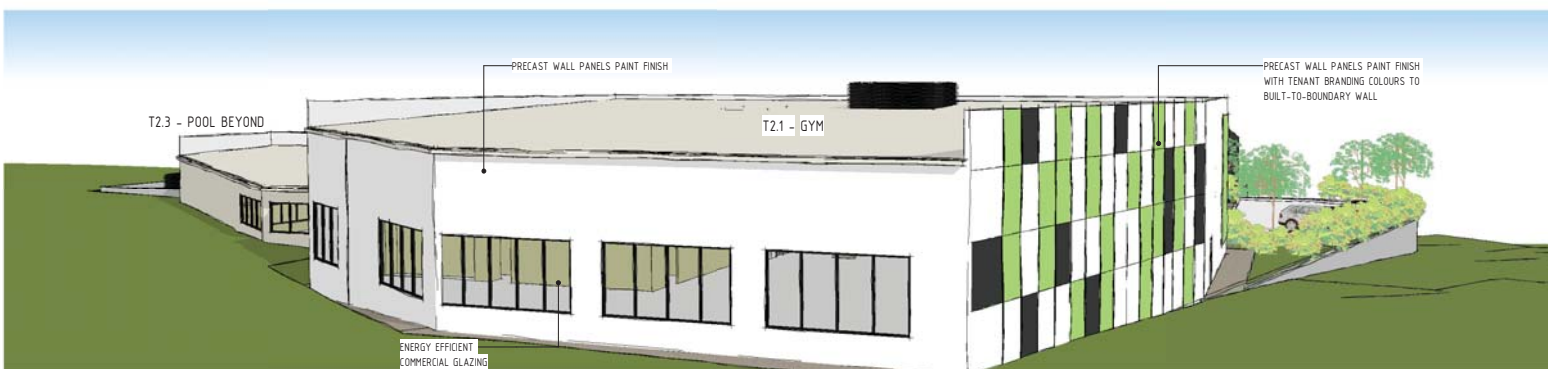
1 Street Perspective



2 INTERNAL ELEVATION - BUILDING 2
1:150



3 INTERNAL ELEVATION - BUILDING 1
1:150



4 Perspective from Pub Lane

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2021/1229
Date: 13/04/2022



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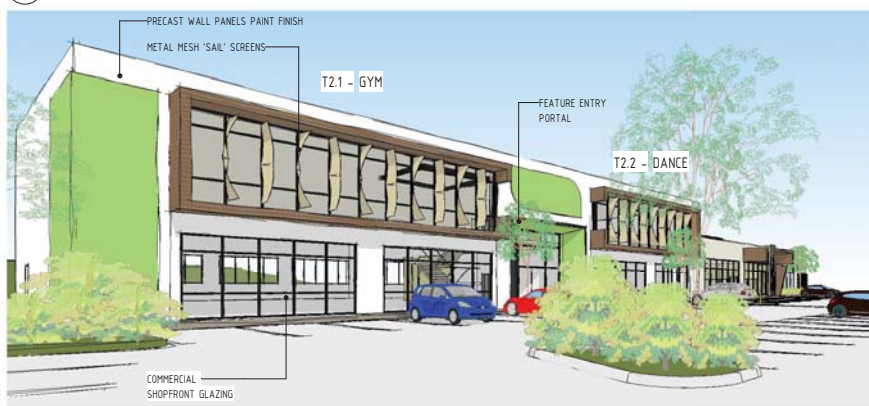
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A	07.06.2021	TD	BUILDING 1 SETBACK INCREASED TO 6m	
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C	12.01.2022	BM	RESPONSE TO COUNCIL I.R.	TD
D	12.01.2022	TD	GLAZING ADDED TO BLDG 2 CORRIDOR	

Project Description	Scale	Date
PROPOSED MIXED USE DEVELOPMENT STAGE 2 43-77 OLD PUB LANE, GREENBANK 4124	Scale @A1 As Indicated	SEPT 2020
	Drawn TD	Approved By SS

Drawing Title	Job Number - Drawing Number	Revision
BUILDING ELEVATIONS & PERSPECTIVES	19222 DA24	D



1 3D View Site Entry



2 3D View Tenancy T2-1 & T2-2



3 3D View Tenancy T2-3



4 3D View Internal

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2021/1229

Date: 13/04/2022



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Revision and approvals				Project Description	
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A	07.06.2021	TD	BUILDING 1 SETBACK INCREASED TO 6m		PROPOSED MIXED USE DEVELOPMENT STAGE 2 43-77 OLD PUB LANE, GREENBANK 4124
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C	12.01.2022	BM	RESPONSE TO COUNCIL I.R.	TD	
D	12.01.2022	TD	GLAZING ADDED TO BUILD 2 CORRIDOR		
					Scale @A1 1:50
					Drawn TD

Date:

SEPT 2020

Approved By
SS

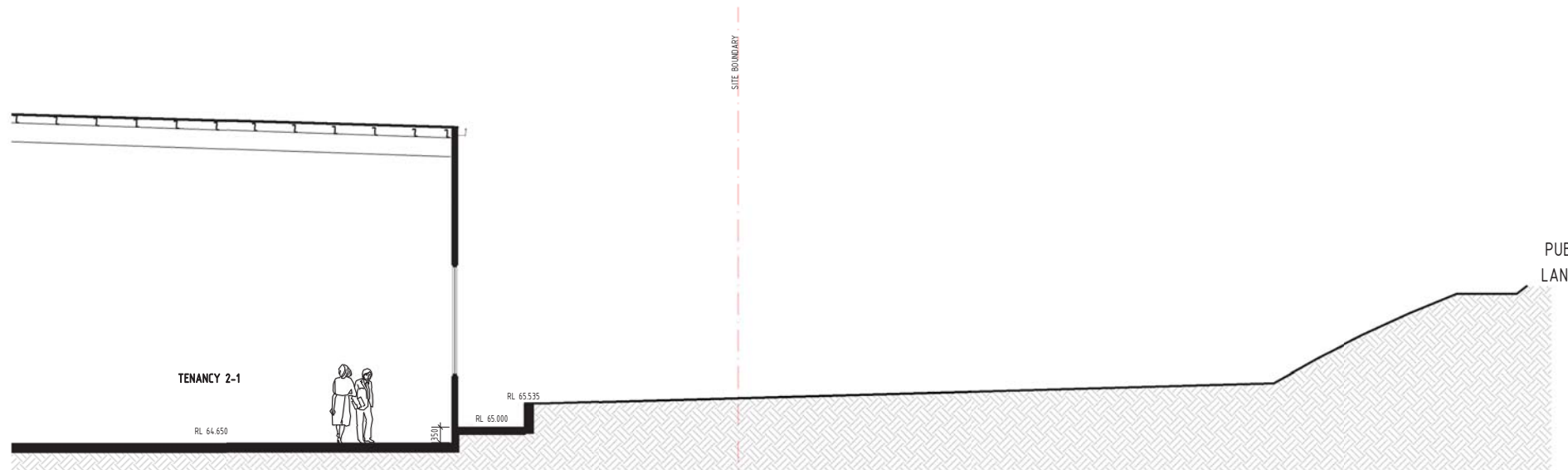
Drawing Title
BUILDING ELEVATIONS & PERSPECTIVES

Job Number - Drawing Number

19222

DA25

D



1 SITE SECTION A
DA22 1:50

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2021/1229
Date: 13/04/2022



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Revision and approvals

Rev	Date	By	Description	Appr
A	12.01.2022	BH	RESPONSE TO COUNCIL 1R	TD
B	12.01.2022	TD	GLAZING ADDED TO BLDG 2 CORRIDOR	

Project Description

PROPOSED MIXED USE DEVELOPMENT
STAGE 2
43-77 OLD PUB LANE, GREENBANK 4124

Scale @A1
1:50
Drawn BH

Date

JAN 2022

Approved By

TD

Drawing Title

BUILDING ELEVATIONS &
PERSPECTIVES

Job Number - Drawing Number

19222

DA26

Revision

B