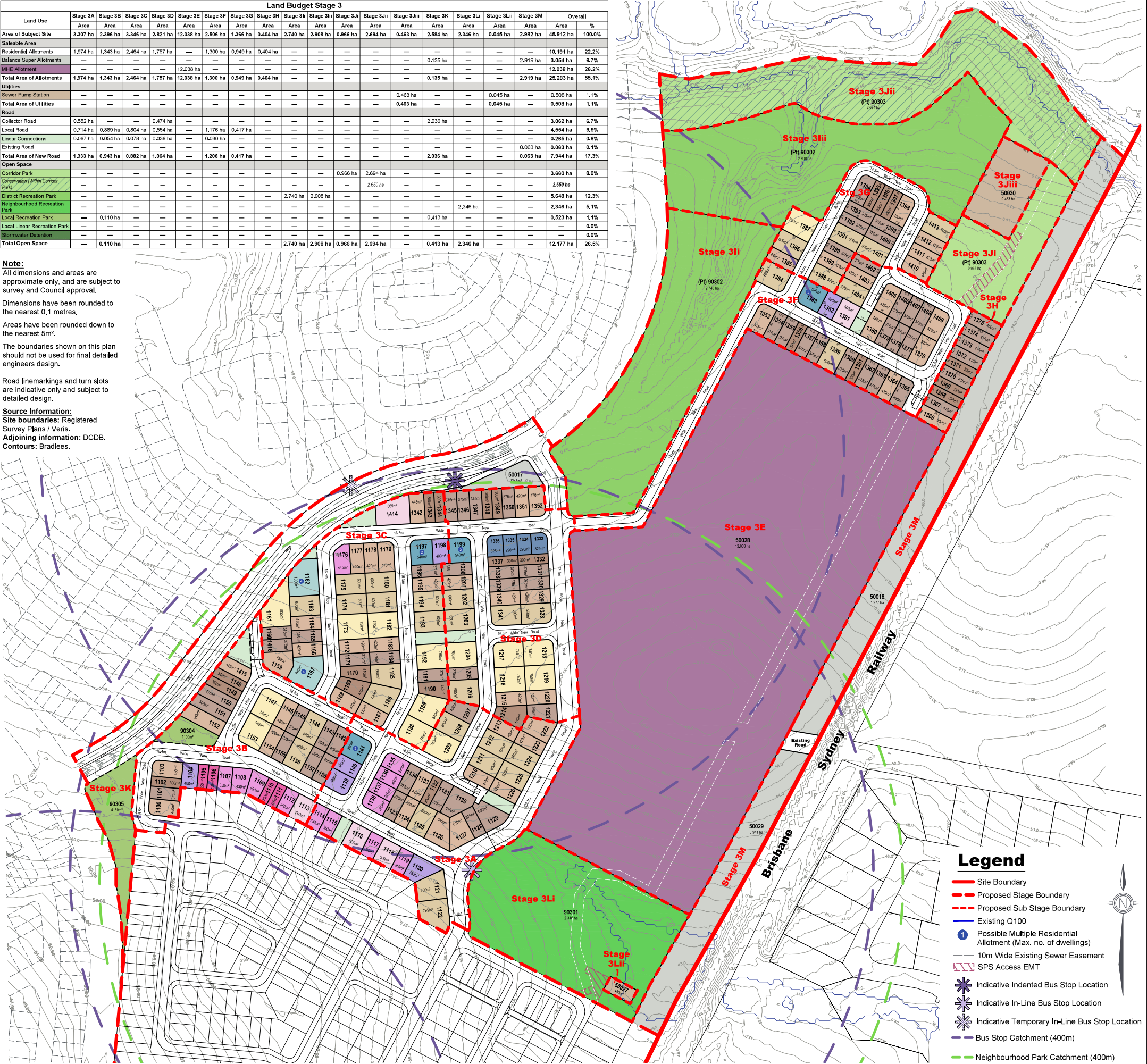
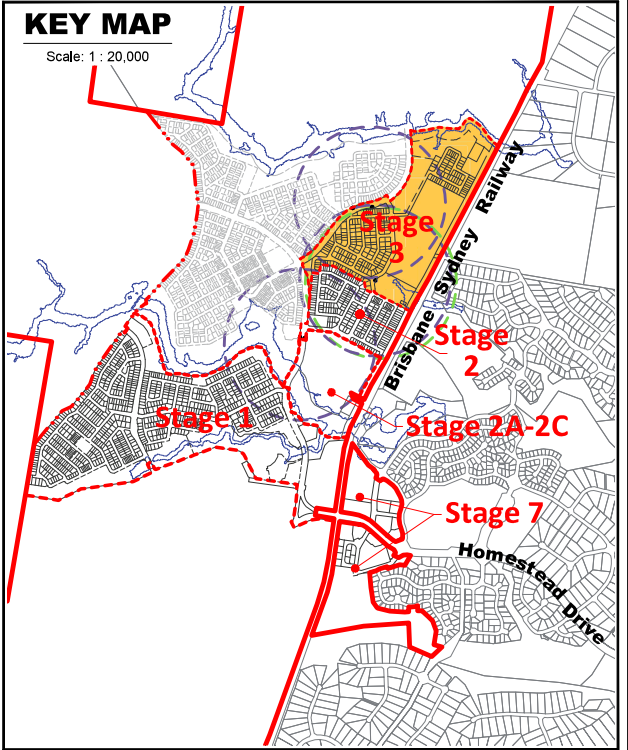


Land Budget Stage 3																			
Land Use	Stage 3A	Stage 3B	Stage 3C	Stage 3D	Stage 3E	Stage 3F	Stage 3G	Stage 3H	Stage 3I	Stage 3J	Stage 3Ji	Stage 3Jiii	Stage 3K	Stage 3Li	Stage 3Lii	Stage 3M	Overall		
	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	%	
Area of Subject Site	3,307 ha	2,396 ha	3,346 ha	2,821 ha	12,038 ha	2,506 ha	1,366 ha	0,404 ha	2,740 ha	2,908 ha	0,966 ha	2,694 ha	0,463 ha	2,584 ha	2,346 ha	0,045 ha	2,992 ha	45,912 ha	100.0%
Salable Area	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	10,191 ha	22.2%
Residential Allotments	1,974 ha	1,343 ha	2,464 ha	1,757 ha	—	1,300 ha	0,949 ha	0,404 ha	—	—	—	—	—	—	—	2,919 ha	—	3,054 ha	6.7%
Balance Super Allotments	—	—	—	—	—	—	—	—	—	—	—	—	—	0,135 ha	—	—	—	12,038 ha	26.2%
MHE Allotment	—	—	—	—	12,038 ha	—	—	—	—	—	—	—	—	—	—	—	—	—	—
Total Area of Allotments	1,974 ha	1,343 ha	2,464 ha	1,757 ha	12,038 ha	1,300 ha	0,949 ha	0,404 ha	—	—	—	—	—	0,135 ha	—	—	2,919 ha	25,283 ha	55.1%
Utilities	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—
Sewer Pump Station	—	—	—	—	—	—	—	—	—	—	—	—	0,463 ha	—	—	0,045 ha	—	0,508 ha	1.1%
Total Area of Utilities	—	—	—	—	—	—	—	—	—	—	—	—	0,463 ha	—	—	0,045 ha	—	0,508 ha	1.1%
Road	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—
Collector Road	0,552 ha	—	—	0,474 ha	—	—	—	—	—	—	—	—	—	2,036 ha	—	—	—	3,062 ha	6.7%
Local Road	0,714 ha	0,889 ha	0,804 ha	0,554 ha	—	1,176 ha	0,417 ha	—	—	—	—	—	—	—	—	—	—	4,554 ha	9.9%
Linear Connections	0,067 ha	0,054 ha	0,076 ha	0,036 ha	—	0,030 ha	—	—	—	—	—	—	—	—	—	—	—	0,265 ha	0.6%
Existing Road	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0,063 ha	0,063 ha	0.1%
Total Area of New Road	1,333 ha	0,943 ha	0,882 ha	1,064 ha	—	1,206 ha	0,417 ha	—	—	—	—	—	—	2,036 ha	—	—	0,063 ha	7,944 ha	17.3%
Open Space	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—
Corridor Park	—	—	—	—	—	—	—	—	—	—	0,966 ha	2,694 ha	—	—	—	—	—	3,660 ha	8.0%
Conservation (Within Corridor Park)	—	—	—	—	—	—	—	—	—	—	—	2,650 ha	—	—	—	—	—	2,650 ha	—
District Recreation Park	—	—	—	—	—	—	—	—	2,740 ha	2,908 ha	—	—	—	—	—	—	—	5,648 ha	12.3%
Neighbourhood Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	2,346 ha	—	—	2,346 ha	5.1%
Local Recreation Park	—	0,110 ha	—	—	—	—	—	—	—	—	—	—	—	0,413 ha	—	—	—	0,523 ha	1.1%
Local Linear Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Total Open Space	—	0,110 ha	—	—	—	—	—	—	2,740 ha	2,908 ha	0,966 ha	2,694 ha	—	0,413 ha	2,346 ha	—	—	12,177 ha	26.5%

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Road linemarkings and turn slots are indicative only and subject to detailed design.
Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Bradlees.

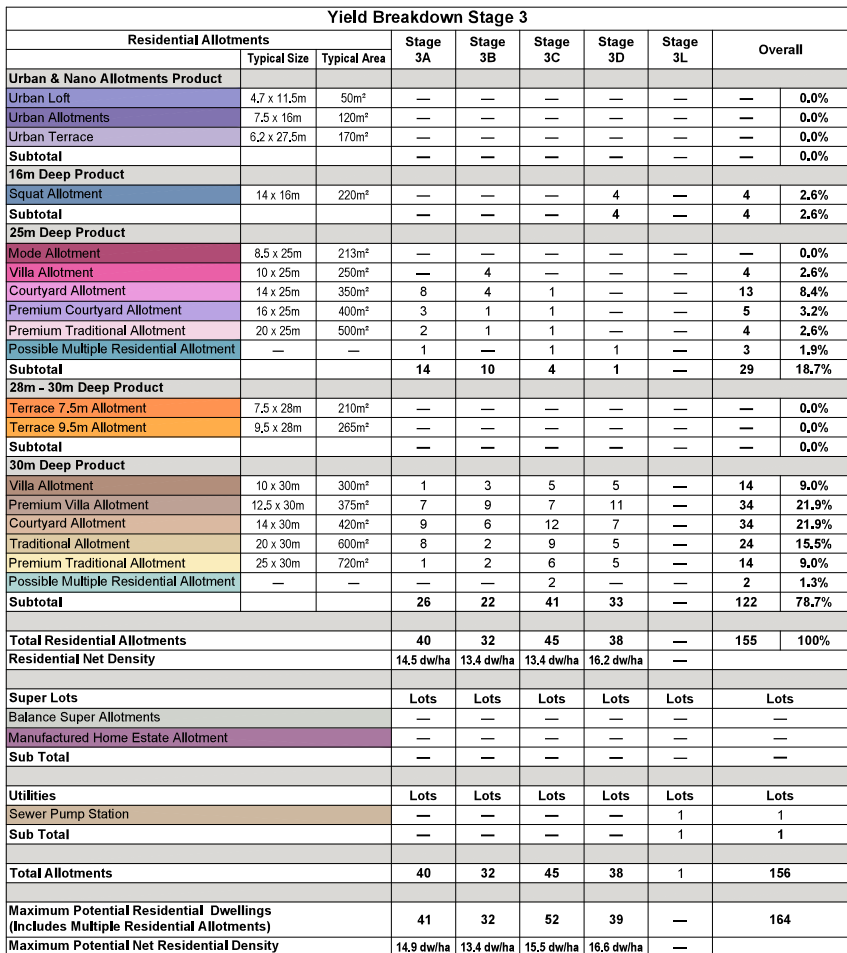


Yield Breakdown Stage 3																	
Residential Allotments			Stage 3A	Stage 3B	Stage 3C	Stage 3D	Stage 3E	Stage 3F	Stage 3G	Stage 3H	Stage 3I	Stage 3J	Stage 3K	Stage 3L	Stage 3M	Overall	
Urban & Nano Allotments Product	Typical Size	Typical Area															
Urban Loft	4.7 x 11.5m	50m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Subtotal			—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
16m Deep Product																	
Squat Allotment	14 x 16m	220m²	—	—	—	4	—	—	—	—	—	—	—	—	—	4	1.9%
Subtotal			—	—	—	4	—	—	—	—	—	—	—	—	—	4	1.9%
25m Deep Product																	
Mode Allotment	8.5 x 25m	213m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Villa Allotment	10 x 25m	250m²	—	4	—	—	—	—	—	—	—	—	—	—	—	4	1.9%
Courtyard Allotment	14 x 25m	350m²	8	4	1	—	—	—	—	—	—	—	—	—	—	13	6.0%
Premium Courtyard Allotment	16 x 25m	400m²	3	1	1	—	—	1	—	—	—	—	—	—	—	6	2.8%
Premium Traditional Allotment	20 x 25m	500m²	2	1	1	—	—	1	—	—	—	—	—	—	—	5	2.3%
Possible Multiple Residential Allotment	—	—	1	—	1	1	1	—	1	—	—	—	—	—	—	4	1.9%
Subtotal			14	10	4	1	—	3	—	—	—	—	—	—	—	32	14.8%
28m - 30m Deep Product																	
Terrace 7.5m Allotment	7.5 x 28m	210m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Terrace 9.5m Allotment	9.5 x 28m	265m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Subtotal			—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
30m Deep Product																	
Villa Allotment	10 x 30m	300m²	1	3	5	5	—	2	3	3	—	—	—	—	—	22	10.2%
Premium Villa Allotment	12.5 x 30m	375m²	7	9	7	11	—	15	6	6	—	—	—	—	—	61	28.2%
Courtyard Allotment	14 x 30m	420m²	9	6	12	7	—	7	6	1	—	—	—	—	—	48	22.2%
Traditional Allotment	20 x 30m	600m²	8	2	9	5	—	3	5	—	—	—	—	—	—	32	14.8%
Premium Traditional Allotment	25 x 30m	720m²	1	2	6	5	—	—	1	—	—	—	—	—	—	15	6.9%
Possible Multiple Residential Allotment	—	—	—	—	2	—	—	—	—	—	—	—	—	—	—	2	0.9%
Subtotal			26	22	41	33	—	27	21	10	—	—	—	—	—	180	83.3%
Total Residential Allotments			40	32	45	38	—	30	21	10	—	—	—	—	—	216	100%
Residential Net Density			14.9 dw/ha	13.4 dw/ha	15.5 dw/ha	16.8 dw/ha	—	12.0 dw/ha	15.4 dw/ha	24.8 dw/ha	—	—	—	—	—	12.0 dw/ha	
Super Lots			Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	
Balance Super Allotments			—	—	—	—	—	—	—	—	—	—	1	—	—	2	3
Manufactured Home Estate Allotment			—	—	—	—	1	—	—	—	—	—	—	—	—	—	1
Sub Total			—	—	—	—	1	—	—	—	—	—	1	—	2	4	
Utilities			Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	
Sewer Pump Station			—	—	—	—	—	—	—	—	—	1	—	1	—	—	2
Sub Total			—	—	—	—	—	—	—	—	—	1	—	1	—	—	2
Total Allotments			40	32	45	38	1	30	21	10	—	—	1	1	2	—	222
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			41	32	52	39	—	31	21	10	—	—	—	—	—	—	226
Maximum Potential Net Residential Density			14.9 dw/ha	13.4 dw/ha	15.5 dw/ha	16.8 dw/ha	—	12.4 dw/ha	15.4 dw/ha	24.8 dw/ha	—	—	—	—	—	—	12.6 dw/ha



REVISION H: 23/09/2019 Stage 2 & 3 Layout Amendments I: 11/03/2020 Road and Bus Stops Updates J: 07/10/2020 Stage 2 & 5 Layout Amendments K: 19/11/2020 Stage 2 Layout Amendments L: 25/11/2020 Stage 2 Layout Amendments M: 21/05/2021 Stage 2,3 & 5 Layout Amendments N: 26/07/2021 Stage 3 Layout Amendments O: 11/08/2021 Stage 3L Change P: 07/09/2021 Stage 3L, 5J & 5K Change Q: 07/10/2021 Stage 3 & 4 Change R: 20/10/2021 Stage 3 & 4 Change S: 27/10/2021 Stage 4 Change	PROJECT Flagstone Precinct 1		CLIENT PEET						 URBAN DESIGN Level 4 HG South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3539 9500 W rpsgroup.com			
	Job Ref. 110056		Date. 27 October 2021		PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL Approval no: DEV2012/403 Date: 18 January 2022 Plan of Subdivision Stage 3 Overall Allotment Layout		© COPYRIGHT PROTECTS THIS PLAN Unauthorized reproduction or amendment not permitted. Please contact the author.					
	Comp By. WW / JC / MD		DWG Name. Precinct 1 Stage 3									
	Chk'd By. DG / MD		Locality. Flagstone									
	Local Authority. Economic Development Queensland											
	Scale 1 : 2000		Sheet A1		Plan Ref 110056 – 382		Rev S					

Scale: 1 : 7.500

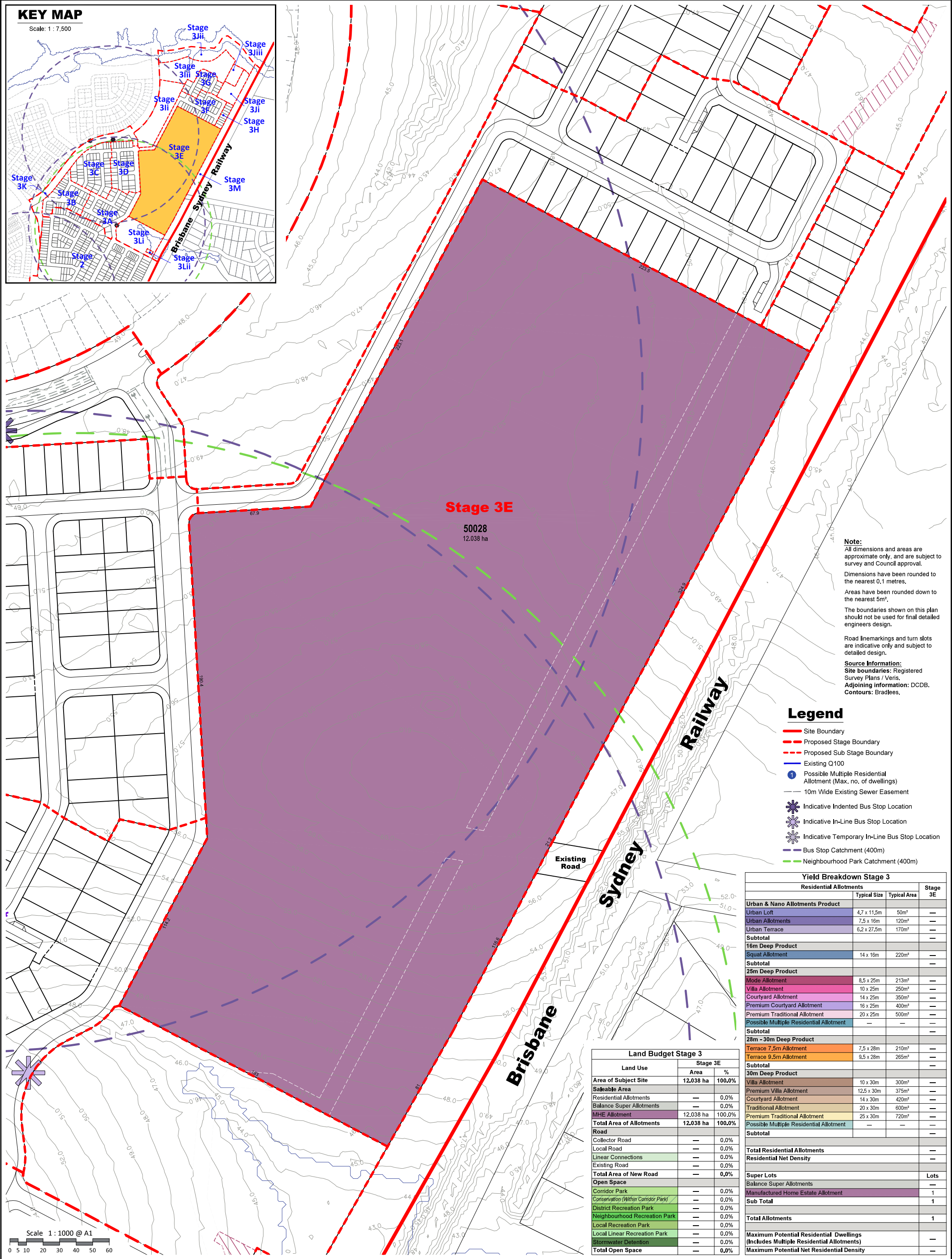


Land Budget Stage 3								
Land Use	Stage 3A	Stage 3B	Stage 3C	Stage 3D	Stage 3Li	Stage 3Lii	Overall	
	Area	Area	Area	Area	Area	Area	Area	%
Area of Subject Site	3,307 ha	2,396 ha	3,346 ha	2,821 ha	2,346 ha	0,045 ha	14,216 ha	100.0%
Saleable Area								
Residential Allotments	1,974 ha	1,343 ha	2,464 ha	1,757 ha	—	—	7,538 ha	53.0%
Balance Super Allotments	—	—	—	—	—	—	—	0.0%
MHE Allotment	—	—	—	—	—	—	—	0.0%
Total Area of Allotments	1,974 ha	1,343 ha	2,464 ha	1,757 ha	—	—	7,538 ha	53.0%
Utilities								
Sewer Pump Station	—	—	—	—	—	0,045 ha	0,045 ha	0.3%
Total Area of Utilities	—	—	—	—	—	0,045 ha	0,045 ha	0.3%
Road								
Collector Road	0,552 ha	—	—	0,474 ha	—	—	1,026 ha	7.2%
Local Road	0,714 ha	0,889 ha	0,804 ha	0,554 ha	—	—	2,961 ha	20.8%
Linear Connections	0,067 ha	0,054 ha	0,078 ha	0,036 ha	—	—	0,235 ha	1.7%
Existing Road	—	—	—	—	—	—	—	0.0%
Total Area of New Road	1,333 ha	0,943 ha	0,882 ha	1,064 ha	—	—	4,222 ha	29.7%
Open Space								
Corridor Park	—	—	—	—	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	—	—	—	—	—
District Recreation Park	—	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	2,346 ha	—	2,346 ha	16.5%
Local Recreation Park	—	0,110 ha	—	—	—	—	0,110 ha	0.8%
Local Linear Recreation Park	—	—	—	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	—	—	—	0.0%
Total Open Space	—	0,110 ha	—	—	2,346 ha	—	2,456 ha	17.3%

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- 10m Wide Existing Sewer Easement
- SPS Access EMT
- Indicative Indented Bus Stop Location
- Indicative In-Line Bus Stop Location
- Indicative Temporary In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

Scale 1 : 1000 @ A1

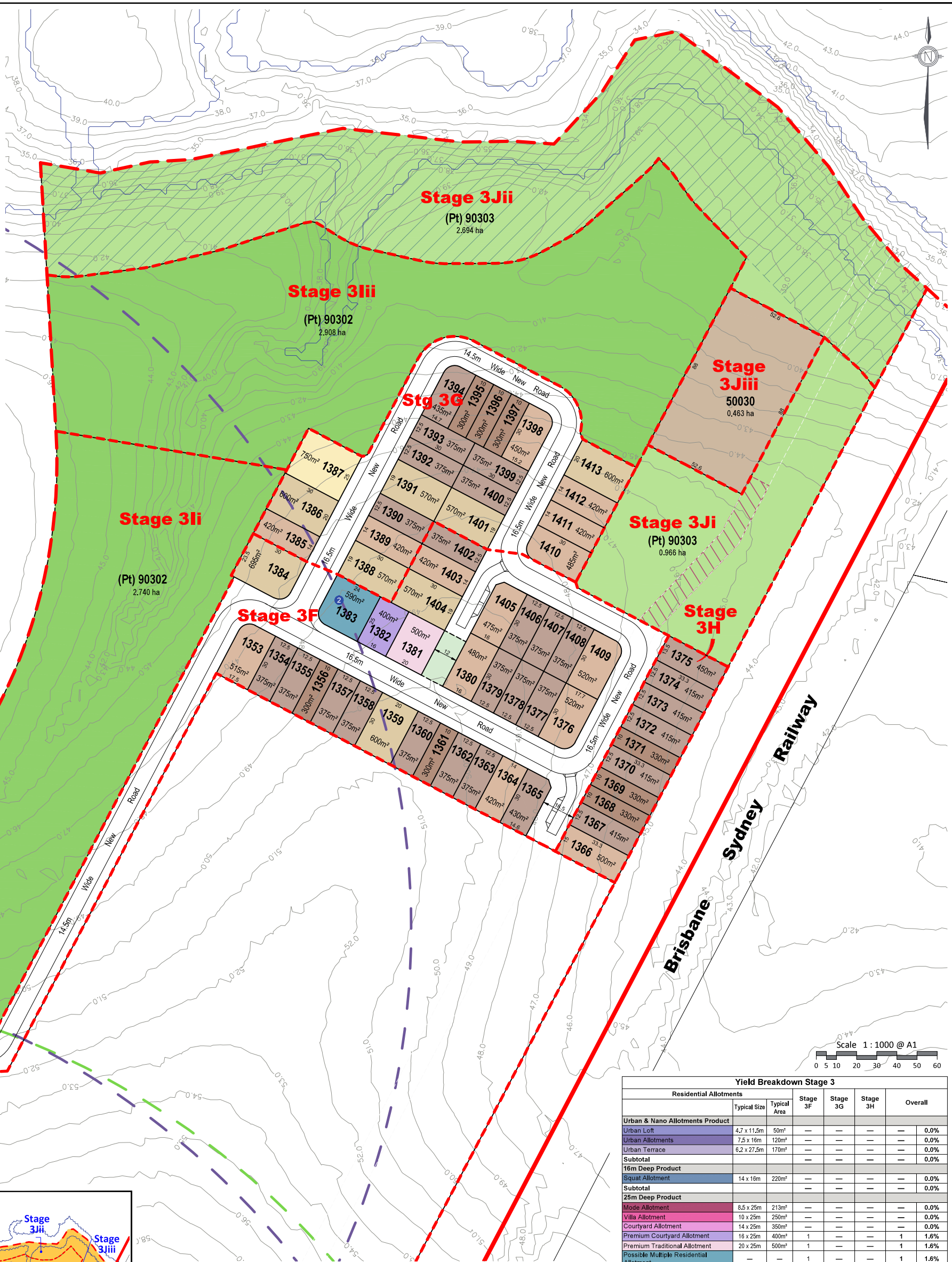
REVISION H: 23/09/2019 Stage 2 & 3 Layout Amendments I: 11/03/2020 Road and Bus Stops Updates J: 07/10/2020 Stage 2 & 5 Layout Amendments K: 19/11/2020 Stage 2 Layout Amendments L: 25/11/2020 Stage 2 Layout Amendments M: 21/05/2021 Stage 2,3 & 5 Layout Amendments N: 26/07/2021 Stage 3 Layout Amendments O: 11/08/2021 Stage 5B Change P: 07/09/2021 Stage 3L, 5J & 5K Change Q: 07/10/2021 Stage 3 & 4 Change R: 20/10/2021 Stage 3 & 4 Change S: 27/10/2021 Stage 4 Change	<table><tr><th colspan="2">PROJECT</th><th>CLIENT</th></tr><tr><td colspan="2">Flagstone Precinct 1</td><td>PEET</td></tr><tr><td>Job Ref.</td><td>110056</td><td rowspan="4"> PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL  Plan of Subdivision Stage 3A – 3D & 3L Allotment Layout </td></tr><tr><td>Date.</td><td>27 October 2021</td></tr><tr><td>Comp By.</td><td>VWV / JC / MD</td></tr><tr><td>DWG Name.</td><td>Precinct 1 Stage 3</td></tr><tr><td>Chk'd By.</td><td>DG / MD</td><td>Locality.</td><td>Flagstone</td></tr><tr><td colspan="2">Local Authority.</td><td colspan="2">Economic Development Queensland</td></tr></table>	PROJECT		CLIENT	Flagstone Precinct 1		PEET	Job Ref.	110056	PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL  Plan of Subdivision Stage 3A – 3D & 3L Allotment Layout	Date.	27 October 2021	Comp By.	VWV / JC / MD	DWG Name.	Precinct 1 Stage 3	Chk'd By.	DG / MD	Locality.	Flagstone	Local Authority.		Economic Development Queensland		 © COPYRIGHT PROTECTS THIS PLAN Unauthorised reproduction or amendment not permitted. Please contact the author.  URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3639 9020 W rpsgroup.com
PROJECT		CLIENT																							
Flagstone Precinct 1		PEET																							
Job Ref.	110056	PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL  Plan of Subdivision Stage 3A – 3D & 3L Allotment Layout																							
Date.	27 October 2021																								
Comp By.	VWV / JC / MD																								
DWG Name.	Precinct 1 Stage 3																								
Chk'd By.	DG / MD	Locality.	Flagstone																						
Local Authority.		Economic Development Queensland																							
Scale 1 : 1000		Sheet A1	Plan Ref 110056 – 383	Rev S																					



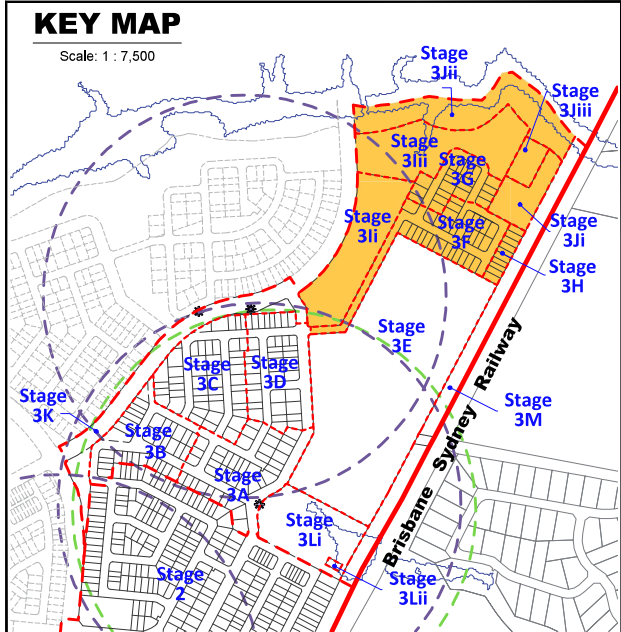
REVISION H: 23/09/2019 Stage 2 & 3 Layout Amendments I: 11/03/2020 Road and Bus Stops Updates J: 07/10/2020 Stage 2 & 5 Layout Amendments K: 19/11/2020 Stage 2 Layout Amendments L: 25/11/2020 Stage 2 Layout Amendments M: 21/05/2021 Stage 2,3 & 5 Layout Amendments N: 26/07/2021 Stage 3 Layout Amendments O: 11/08/2021 Stage 5K Change P: 07/09/2021 Stage 3L, 5J & 5K Change Q: 07/10/2021 Stage 3 & 4 Change R: 20/10/2021 Stage 3 & 4 Change S: 27/10/2021 Stage 4 Change	PROJECT		CLIENT		PEET Plan of Subdivision Stage 3E Allotment Layout 		URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3538 9500 W rpsgroup.com		
	Job Ref.	110056	Date.	27 October 2021					
	Comp By.	VWV / JC / MD	DWG Name.	Precinct 1 Stage 3					
	Chk'd By.	DG / MD	Locality.	Flagstone					
	Local Authority.		Economic Development Queensland						
	PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL								
	Approval no: DEV2012/403								
	Date: 18 January 2022								
	Scale		Sheet				Plan Ref		Rev
	1 : 1000		A1				110056 – 384		S

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- 10m Wide Existing Sewer Easement
- SPS Access EMT
- Indicative Indented Bus Stop Location
- Indicative In-Line Bus Stop Location
- Indicative Temporary In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

Source Information:
Site boundaries: Registered
 Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Bradlees.



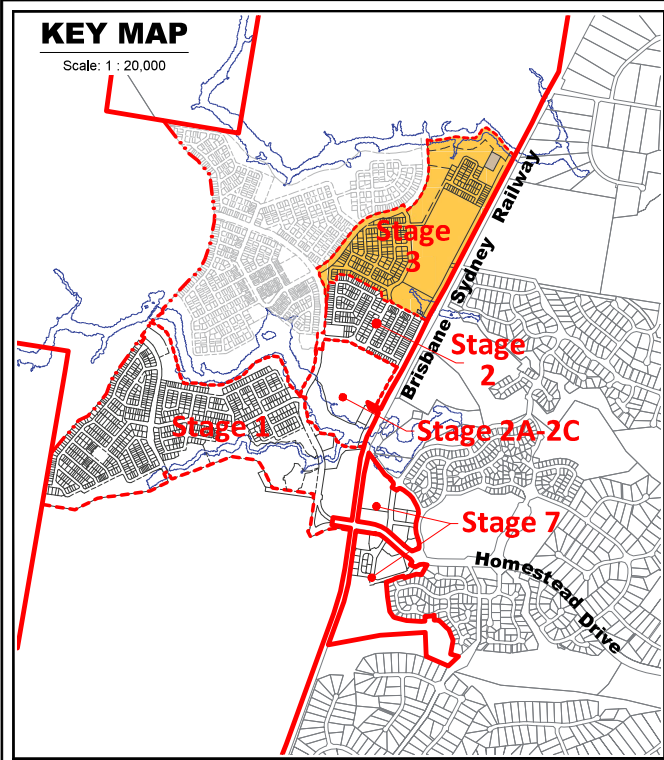
Scale: 1 : 7,500



Land Budget Stage 3										
Land Use	Stage 3F	Stage 3G	Stage 3H	Stage 3I	Stage 3II	Stage 3J	Stage 3JII	Stage 3JIII	Overall	
	Area	Area	Area	Area	Area	Area	Area	Area	Area	%
Area of Subject Site	2.506	1.366	0.404	2.74	2.908	0.966	2.694	0.463	14.047 ha	100.0%
Saleable Area										
Residential Allotments	1,300 ha	0,949 ha	0,404 ha	—	—	—	—	—	2,653 ha	18.9%
Balance Super Allotments	—	—	—	—	—	—	—	—	—	0.0%
MHE Allotment	—	—	—	—	—	—	—	—	—	0.0%
Total Area of Allotments	1,300 ha	0,949 ha	0,404 ha	—	—	—	—	—	2,653 ha	18.9%
Utilities										
Sewer Pump Station	—	—	—	—	—	—	—	0,463 ha	0,463 ha	3.3%
Total Area of Utilities	—	—	—	—	—	—	—	0,463 ha	0,463 ha	3.3%
Road										
Collector Road	—	—	—	—	—	—	—	—	—	0.0%
Local Road	1,176 ha	0,417 ha	—	—	—	—	—	—	1,593 ha	11.3%
Linear Connections	0,030 ha	—	—	—	—	—	—	—	0,030 ha	0.2%
Existing Road	—	—	—	—	—	—	—	—	—	0.0%
Total Area of New Road	1,206 ha	0,417 ha	—	—	—	—	—	—	1,623 ha	11.6%
Open Space										
Corridor Park	—	—	—	—	—	0,966 ha	—	—	3,660 ha	26.1%
Conservation (Within Corridor Park)	—	—	—	—	—	—	2,650 ha	—	2,650 ha	19.0%
District Recreation Park	—	—	—	2,740 ha	2,908 ha	—	—	—	5,648 ha	40.2%
Neighbourhood Recreation Park	—	—	—	—	—	—	—	—	—	0.0%
Local Recreation Park	—	—	—	—	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	—	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	—	—	—	—	—	0.0%
Total Open Space	—	—	—	2,740 ha	2,908 ha	0,966 ha	2,694 ha	—	9,308 ha	66.3%

Residential Allotments		Stage 3F	Stage 3G	Stage 3H	Overall
	Typical Size	Typical Area			
Urban & Nano Allotments Product					
Urban Loft	4.7 x 11.5m	50m²	—	—	0.0%
Urban Allotments	7.5 x 16m	120m²	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m²	—	—	0.0%
Subtotal			—	—	0.0%
16m Deep Product					
Squat Allotment	14 x 16m	220m²	—	—	0.0%
Subtotal			—	—	0.0%
25m Deep Product					
Mode Allotment	8.5 x 25m	213m²	—	—	0.0%
Villa Allotment	10 x 25m	250m²	—	—	0.0%
Courtyard Allotment	14 x 25m	350m²	—	—	0.0%
Premium Courtyard Allotment	16 x 25m	400m²	1	—	1.6%
Premium Traditional Allotment	20 x 25m	500m²	1	—	1.6%
Possible Multiple Residential Allotment	—	—	1	—	1.6%
Subtotal			3	—	4.9%
28m - 30m Deep Product					
Terrace 7.5m Allotment	7.5 x 28m	210m²	—	—	0.0%
Terrace 9.5m Allotment	9.5 x 28m	265m²	—	—	0.0%
Subtotal			—	—	0.0%
30m Deep Product					
Villa Allotment	10 x 30m	300m²	2	3	13.1%
Premium Villa Allotment	12.5 x 30m	375m²	15	6	44.3%
Courtyard Allotment	14 x 30m	420m²	7	6	24
Traditional Allotment	20 x 30m	600m²	3	5	8
Premium Traditional Allotment	25 x 30m	720m²	—	1	1.6%
Possible Multiple Residential Allotment	—	—	—	—	0.0%
Subtotal			27	21	58
Total Residential Allotments			30	21	10
Residential Net Density			12.0 dw/ha	15.4 dw/ha	24.8 dw/ha
Super Lots			Lots	Lots	Lots
Balance Super Allotments			—	—	—
Manufactured Home Estate Allotment			—	—	—
Sub Total			—	—	—
Total Allotments			30	21	10
					61
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			31	21	10
Maximum Potential Net Residential Density			12.4 dw/ha	15.4 dw/ha	24.8 dw/ha

REVISION H: 23/09/2019 Stage 2 & 3 Layout Amendments I: 11/03/2020 Road and Bus Stops Updates J: 07/10/2020 Stage 2 & 5 Layout Amendments K: 19/11/2020 Stage 2 Layout Amendments L: 25/11/2020 Stage 2 Layout Amendments M: 21/05/2021 Stage 2,3 & 5 Layout Amendments N: 26/07/2021 Stage 3 Layout Amendments O: 11/08/2021 Stage 5B Change P: 07/09/2021 Stage 3L, 5J & 5K Change Q: 07/10/2021 Stage 3 & 4 Change R: 20/10/2021 Stage 3 & 4 Change S: 27/10/2021 Stage 4 Change	PROJECT Flagstone Precinct 1 <table border="1"> <tr> <td>Job Ref.</td> <td>110056</td> <td>Date.</td> <td>27 October 2021</td> </tr> <tr> <td>Comp By.</td> <td>WW / JC / MD</td> <td>DWG Name.</td> <td>Precinct 1 Stage 3</td> </tr> <tr> <td>Chk'd By.</td> <td>DG / MD</td> <td>Locality.</td> <td>Flagstone</td> </tr> <tr> <td colspan="4">Local Authority. Economic Development Queensland</td> </tr> </table>	Job Ref.	110056	Date.	27 October 2021	Comp By.	WW / JC / MD	DWG Name.	Precinct 1 Stage 3	Chk'd By.	DG / MD	Locality.	Flagstone	Local Authority. Economic Development Queensland				CLIENT PEET PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL Plan of Subdivision Stage 3F – 3J Allotment Layout Approval no: DEV2012/403 Date: 18 January 2022	 URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3339 8500 W rpsgroup.com © COPYRIGHT PROTECTS THIS PLAN Unauthorised reproduction or amendment not permitted. Please contact the author. <table border="1"> <tr> <td>Scale</td> <td>Sheet</td> <td>Plan Ref</td> <td>Rev</td> </tr> <tr> <td>1 : 1000</td> <td>A1</td> <td>110056 – 385</td> <td>S</td> </tr> </table>	Scale	Sheet	Plan Ref	Rev	1 : 1000	A1	110056 – 385	S
Job Ref.	110056	Date.	27 October 2021																								
Comp By.	WW / JC / MD	DWG Name.	Precinct 1 Stage 3																								
Chk'd By.	DG / MD	Locality.	Flagstone																								
Local Authority. Economic Development Queensland																											
Scale	Sheet	Plan Ref	Rev																								
1 : 1000	A1	110056 – 385	S																								



Legend

General

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- 10m Wide Existing Sewer Easement

Open Space

- District Recreation Park
- Corridor Park
- Conservation Within Corridor Park
- Neighbourhood Recreation Park
- Local Recreation Park
- Local Linear Recreation Park
- Stormwater Detention
- Linear Connections

Allotment Details

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- Preferred Double Garage Location
- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)
- Lot Impacted by Potential Acoustic Requirements
- Bin Pad

Notes:

General

- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
- The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
- Maximum building location envelopes are subject to future proposed easements and/or other underground services.
- All lots subject to an acoustic assessment to determine level of acoustic treatments.
- Buildings shall be constructed in accordance with Bushfire AS3959.
- Secondary dwellings are not permitted on lots less than 400m².
- Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
- Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.

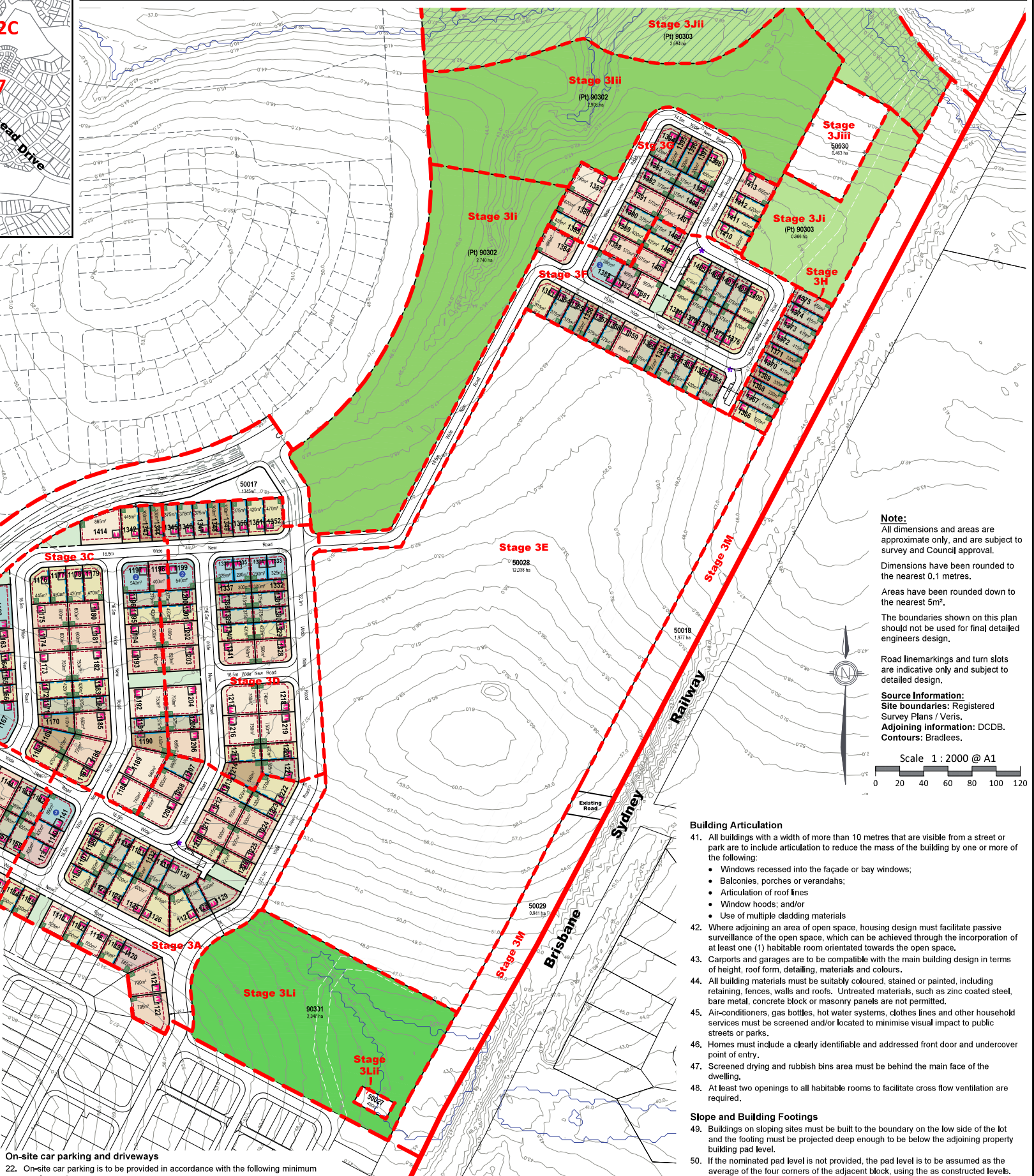
Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
- The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Boundary setbacks are measured to the wall of the structure.
- Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
- Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
- If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
- If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
- Lots 2501 - 2505 require a 2.5m rear setback.
- A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that about a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
- In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

Private Open Space

- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
- Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace:
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension of 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
- Private open space must be directly accessible from a living space.

Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a
Rear * Additional setback required on some allotments – refer POD Notes 14-16.	0.0m *	0.0m *	1.5m *	1.5m *	0.0m *	0.0m *	0.9m *	0.9m *	1.0m *	1.5m *	0.9m *	0.9m *	0.9m *	0.9m *	1.0m *	1.0m *	1.0m *	1.5m *	1.0m *	1.5m *	1.5m *	2.0m *	1.5m *	2.0m *	1.5m *	1.5m *
Side - General Lots																										
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a		n/a		n/a	
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m
Laneway Lots																										
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Site Cover	90%		75%		75%		75%		75%		75%		60%		60%		60%		60%		60%		60%		75%	



Note:

All dimensions and areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Bradlees.

Scale 1 : 2000 @ A1

0 20 40 60 80 100 120

Building Articulation

- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
- Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
- Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
- Homes must include a clearly identifiable and addressed front door and undercover point of entry.
- Screened drying and rubbish bins area must be behind the main face of the dwelling.
- At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

Slope and Building Footings

- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
- Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)

- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

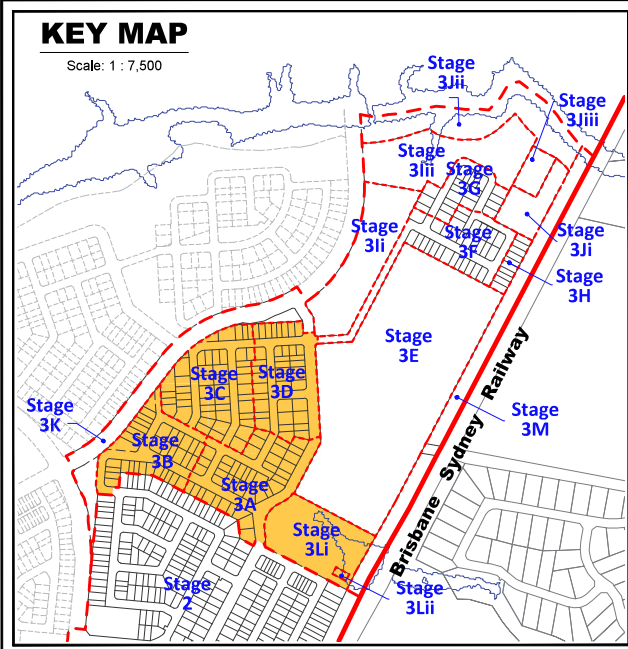
Additional Criteria for Secondary Dwellings

- Floor area must be between a minimum of 30m² and 75m².
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

Definitions

Laneway Allotment - Allotments serviced by a laneway.

REVISION H: 23/09/2019 Stage 2 & 3 Layout Amendments I: 11/03/2020 Road and Bus Stops Updates J: 07/10/2020 Stage 2 & 5 Layout Amendments K: 19/11/2020 Stage 2 Layout Amendments L: 25/11/2020 Stage 2 Layout Amendments M: 21/05/2021 Stage 2,3 & 5 Layout Amendments N: 26/07/2021 Stage 3 Layout Amendments O: 11/08/2021 Stage 5li Change P: 07/09/2021 Stage 3Li, 5J & 5K Change Q: 07/10/2021 Stage 3 & 4 Change R: 20/10/2021 Stage 3 & 4 Change S: 27/10/2021 Stage 4 Change	PROJECT Flagstone Precinct 1		CLIENT PEET		 Plan of Development Stage 3 Overall Residential Allotments		 URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3539 9500 W rpsgroup.com			
	Job Ref.	110056	Date.	27 October 2021			 PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL Approval no: DEV2012/403 Date: 18 January 2022		Scale	Sheet
	Comp By.	VVV / JC / MD	DWG Name.	Precinct 1 Stage 3	1 : 2000	A1			110056 – 386	S
	Chk'd By.	DG / MD	Locality.	Flagstone						
	Local Authority.			Economic Development Queensland						



Legend

General

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- 10m Wide Existing Sewer Easement

Open Space

- District Recreation Park
- Corridor Park
- Neighbourhood Recreation Park
- Local Recreation Park
- Local Linear Recreation Park
- Stormwater Detention
- Linear Connections

Allotment Details

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- Preferred Double Garage Location
- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)
- Lot Impacted by Potential Acoustic Requirements
- Bin Pad

Note:

All dimensions and areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:

Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Bradlees.

Notes:

General

- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
- The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
- Maximum building location envelopes are subject to future proposed easements and/or other underground services.
- All lots subject to an acoustic assessment to determine level of acoustic treatments.
- Buildings shall be constructed in accordance with Bushfire AS3959.
- Secondary dwellings are not permitted on lots less than 400m².
- Secondary dwellings are not permitted on lots less than 400m².
- Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
- Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
- The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Boundary setbacks are measured to the wall of the structure.
- Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
- Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
- If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
- If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
- Lots 2501 - 2505 require a 2.5m rear setback.
- A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that about a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
- In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

Private Open Space

- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
- Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension of 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
- Private open space must be directly accessible from a living space.

Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a
Rear	0.0m *	0.0m *	1.5m *	1.5m *	0.0m *	0.0m *	0.9m *	0.9m *	1.0m *	1.5m *	0.9m *	0.9m *	0.9m *	0.9m *	1.0m *	1.0m *	1.0m *	1.5m *	1.0m *	1.5m *	1.5m *	2.0m *	1.5m *	2.0m *	1.5m *	1.5m *
Side - General Lots																										
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a		n/a		n/a	
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m	1.5m
Laneway Lots																										
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a
Site Cover	90%		75%		75%		75%		75%		75%		60%		60%		60%		60%		60%		60%		75%	



On-site car parking and driveways

- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
- Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
 - The verandah, portico or porch is to include front friers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.
- Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m in width.
- Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage. Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
- Maximum of one driveway per dwelling unless it is a MR lot.
- Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
- Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
- Driveways must be completed prior to occupation of the dwelling.

Fencing

- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
- Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
- Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill palings or panels.
- Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.

Retaining Walls

- For retaining walls not constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
- No timber retaining walls over 1.0m or adjoining parks or public streets.
- Walls over 1.0m require RPEQ certification.

Building Articulation

- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the facade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
- Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and stairs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
- Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
- Homes must include a clearly identifiable and addressed front door and undercover point of entry.
- Screened drying and rubbish bins area must be behind the main face of the dwelling.

- At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

Slope and Building Footings

- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
- Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)

- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

- Area must be between a minimum of 30m² and 75m².
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

Definitions

Laneway Allotment - Allotments serviced by a laneway.

REVISION		PROJECT		CLIENT		Scale		Sheet		Plan Ref		Rev	
H: 23/09/2019 Stage 2 & 3 Layout Amendments I: 11/03/2020 Road and Bus Stops Updates J: 07/10/2020 Stage 2 & 5 Layout Amendments K: 19/11/2020 Stage 2 Layout Amendments L: 25/11/2020 Stage 2 Layout Amendments M: 21/05/2021 Stage 2, 3 & 5 Layout Amendments N: 26/07/2021 Stage 3 Layout Amendments O: 11/08/2021 Stage 5L Change P: 07/09/2021 Stage 3L, 5L & 5K Change Q: 07/10/2021 Stage 3 & 4 Change R: 20/10/2021 Stage 3 & 4 Change S: 27/10/2021 Stage 4 Change		Flagstone Precinct 1		PEET		1 : 1000		A1		110056 - 387		S	
Job Ref. 110056		Date. 27 October 2021		PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL		Approval no: DEV2012/403		Date: 18 January 2022		Residential Allotments			
Comp By. VVW / JC / MD		DWG Name. Precinct 1 Stage 3		Chk'd By. DG / MD		Locality. Flagstone		Local Authority. Economic Development Queensland					

KEY MAP

Scale: 1 : 7,500

The map shows the Brisbane South East Light Rail route (red line) and the Brisbane South East Light Rail Station (orange area). The map is divided into several development stages, labeled as follows:

- Stage 3K
- Stage 3B
- Stage 3A
- Stage 3Li
- Stage 3Lii
- Stage 3Liii
- Stage 3I
- Stage 3H
- Stage 3M
- Stage 3E
- Stage 3F
- Stage 3G
- Stage 3Ji
- Stage 3Jii
- Stage 3Jiii

Legend

General

Site Boundary

-
- - - - - Proposed Precinct Boundary
 - - - - - Proposed Stage Boundary
 - - - - - Proposed Sub Stage Boundary
 ① Possible Multiple Residential Allotment (Max. no. of dwellings)
 ——— 10m Wide Existing Sewer Easement

 District Recreation Park
 District Park

-
- Corridor Park
- Neighbourhood Recreation Park
- Local Recreation Park
- Local Linear Recreation Park
- Stormwater Detention
- Linear Connections
- Station

 Preferred Private Open Space Location

- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
-  Preferred Double Garage Location
-  Preferred Single Garage Location
-  Letterbox Location for Primary Dwelling (on a laneway)
-  Lot Impacted by Potential Acoustic Requirements
-  Bin Pad

General

1. All development is to be undertaken in accordance with the Development Approval, and Queensland

1. All development is to be undertaken in accordance with the Development Approval, and Queensland Code (QDC), except as varied below.

2. The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments & storeys are acceptable.
3. Maximum building location envelopes are subject to future proposed easements and/or other underground services.
4. All lots subject to an acoustic assessment to determine level of acoustic treatments.
5. Buildings shall be constructed in accordance with Bushfire AS3959.
6. Secondary dwellings are not permitted on lots less than 400m².
7. Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Area 50019, the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development of these lots.
8. Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.

9. Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed as a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.

10. The location of the built to boundary walls in accordance with the Plan of Development. Where built to are not adopted side setbacks shall be indicated with the Plan of Development Table.
11. Boundary setbacks are measured to the wall of the structure.
12. Front and side setbacks are permitted to extend into the front setback or that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the line.
13. Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the street.
14. If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (or construction), a 2.5m rear setback must be adopted.
15. If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a measure from the property boundary, and a 2.5m rear setback must be adopted.
16. Lots 2501 - 2505 require a 2.5m rear setback.
17. A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer; therefore in these cases a secondary frontage setback does not apply.
18. In the case of corner allotments an additional setback from the street corner is applicable. The setback any building or structure greater than 2m high as follows:
 - In the case of Urban Lots, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points of the front and side street boundaries of the lot that adjoins the street from the point of intersection of the two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

19. Private open space must measure a minimum of 10m² with a minimum dimension in any direction of not less than 2m, except for Urban Loft Allotments.

20. Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace:
- 1 Bedroom / Studio - 5m² (minimum dimension of 1,2m);
 - 2 Bedroom - 9m² (minimum dimension on 2,4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2,4m)
21. Private open space must be directly accessible from a living space.

22. On-site car parking is to be provided in accordance with the following minimum requirements:

- For lots up to 12.4 metres wide - 1 covered space per dwelling;

- For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (uncovered).
23. Garages for any single storey dwelling on a Lot between 10,0m and 12,49m in width must adhere to design criteria:
- a. The front facing building wall, which comprises the garage door, must not exceed an external wall height of 2,4m.
 - b. The garage door:
 - i. Width must not exceed 4,8m
 - ii. Must have a minimum 450mm eave above it
 - iii. Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - iv. Must have a sectional, tilt or roller door.
 - c. The front façade of the dwelling must be forward of the alignment of the garage wall, and must be the following:
 - i. A front entrance door with glass inserts and / or windows or with a side/height where the front door front facade includes a habitable room with window, a side/height is not required.
 - ii. A front verandah, portico or porch located over the front entrance, which extends a minimum of 1,0m forward of the entrance door
 - iii. The verandah, portico or porch is to include front piers with distinct materials and/or colours,
 - d. Driveways cannot exceed 3,0m across the verge on Lots between 10,0m and 12,49m wide.

Stage 3F

Stage 3G

Stage 3H

Stage 3Ji
(Pt) 90303
0.966 ha

Stage 3Jii
(Pt) 90302
2.908 ha

Stage 3Jiii
50030
0.463 ha

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Road linemarkings and turn slots are indicative only and subject to detailed design.
Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Bradlees.

Scale 1 : 1000 @ A1

0 5 10 20 30 40 50 60

All dimensions and areas are approximate only, and are subject to survey and Council approval.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
Site boundaries: Registered
Country: France (Metropole)

Scale 1 : 1000 @ A1

A number line from 0 to 60 with tick marks every 5 units. Shaded regions represent the inequality $x < 10$ or $20 \leq x < 30$ or $40 \leq x < 50$ or $60 \leq x$.

43. Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
44. All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
45. Conditions, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
46. Homes must include a clearly identifiable and addressed front door and undercover point of entry.
47. Screened drying and rubbish bins area must be behind the main face of the dwelling.
48. At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

49. Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.

50. If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
 51. Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
- Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**
52. Buildings must address all street frontages with driveways, pedestrian entries or both.
 53. All dwellings must have a clearly identifiable front door, which is undercover.
 54. Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
 55. Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

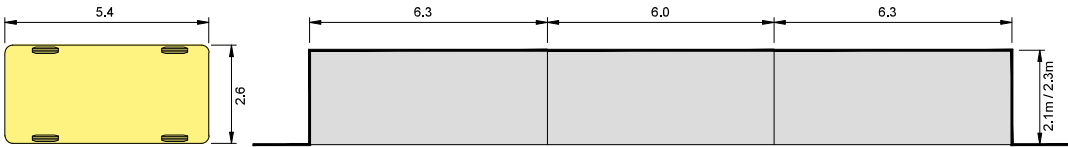
56. Floor area must be between a minimum of 30m² and 75m².

57. Materials, detailing, colours and roof form are consistent with those of the primary house.
58. Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
59. Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
60. Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
61. A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
62. The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
63. Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
64. Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

Laneway Allotment - Allotments serviced by a laneway.

--	--

REVISION H: 23/09/2019 Stage 2 & 3 Layout Amendments I: 11/03/2020 Road and Bus Stops Updates J: 07/10/2020 Stage 2 & 5 Layout Amendments K: 19/11/2020 Stage 2 Layout Amendments L: 25/11/2020 Stage 2 Layout Amendments M: 21/05/2021 Stage 2, 3 & 5 Layout Amendments N: 26/07/2021 Stage 3 Layout Amendments O: 11/08/2021 Stage 5B Change P: 07/09/2021 Stage 3L, 5J & 5K Change Q: 07/10/2021 Stage 3 & 4 Change R: 20/10/2021 Stage 3 & 4 Change S: 27/10/2021 Stage 4 Change	PROJECT Flagstone Precinct 1		CLIENT PEET		URBAN DESIGN Level 4 HQ South 520 Wickham Street PO Box 1559 Fortitude Valley QLD 4006 T +61 7 3539 9500 W rpsgroup.com © COPYRIGHT PROTECTS THIS PLAN Unauthorised reproduction or amendment not permitted. Please contact the author.					
	Job Ref. 110056	Date. 27 October 2021	PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL Approval no: DEV2012/403 Date: 18 January 2022		Plan of Development Stage 3F – 3H Residential Allotments		Scale 1 : 1000	Sheet A1	Plan Ref 110056 – 389	Rev S
	Comp By. VWV / JC / MD	DWG Name. Precinct 1 Stage 3								
	Chk'd By. DG / MD	Locality. Flagstone								
	Local Authority. Economic Development Queensland									



Parking Bay Diagram

Scale 1 : 100

Typical Indented Parking Bay Arrangement

(In accordance with AS2890)

Scale 1 : 100

Legend

General

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary

Open Space

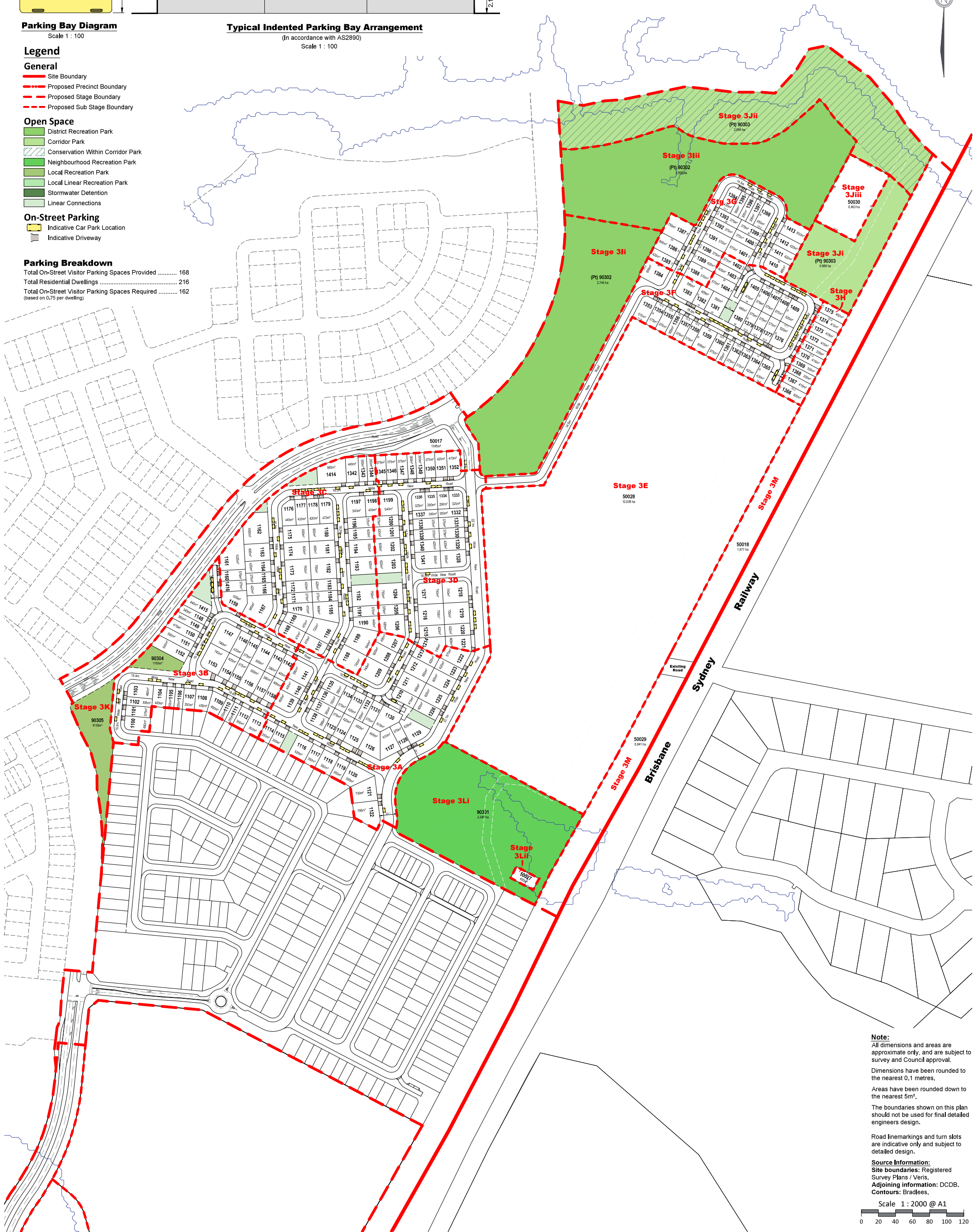
- District Recreation Park
- Corridor Park
- Conservation Within Corridor Park
- Neighbourhood Recreation Park
- Local Recreation Park
- Local Linear Recreation Park
- Stormwater Detention
- Linear Connections

On-Street Parking

- Indicative Car Park Location
- Indicative Driveway

Parking Breakdown

Total On-Street Visitor Parking Spaces Provided 168
Total Residential Dwellings 216
Total On-Street Visitor Parking Spaces Required 162
(based on 0.75 per dwelling)



Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Bradtecs.

Scale 1 : 2000 @ A1
0 20 40 60 80 100 120

REVISION H: 23/09/2019 Stage 2 & 3 Layout Amendments I: 11/03/2020 Road and Bus Stops Updates J: 07/10/2020 Stage 2 & 5 Layout Amendments K: 19/11/2020 Stage 2 Layout Amendments L: 25/11/2020 Stage 2 Layout Amendments M: 21/05/2021 Stage 2, 3 & 5 Layout Amendments N: 26/07/2021 Stage 3 Layout Amendments O: 11/08/2021 Stage 5L Change P: 07/09/2021 Stage 3L, 5J & 5K Change Q: 07/10/2021 Stage 3 & 4 Change R: 20/10/2021 Stage 3 & 4 Change S: 27/10/2021 Stage 4 Change		PROJECT Flagstone Precinct 1		CLIENT PEET		Plan of Development Stage 3 Overall Parking Management Plan		Scale 1 : 2000		Sheet A1	Plan Ref 110056 - 390	Rev S
Job Ref. 110056		Date. 27 October 2021		PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL		Approval no: DEV2012/403		Date: 18 January 2022				
Comp By. VVW / JC / MD		DWG Name. Precinct 1 Stage 3		Chk'd By. DG / MD		Locality. Flagstone		Local Authority. Economic Development Queensland				