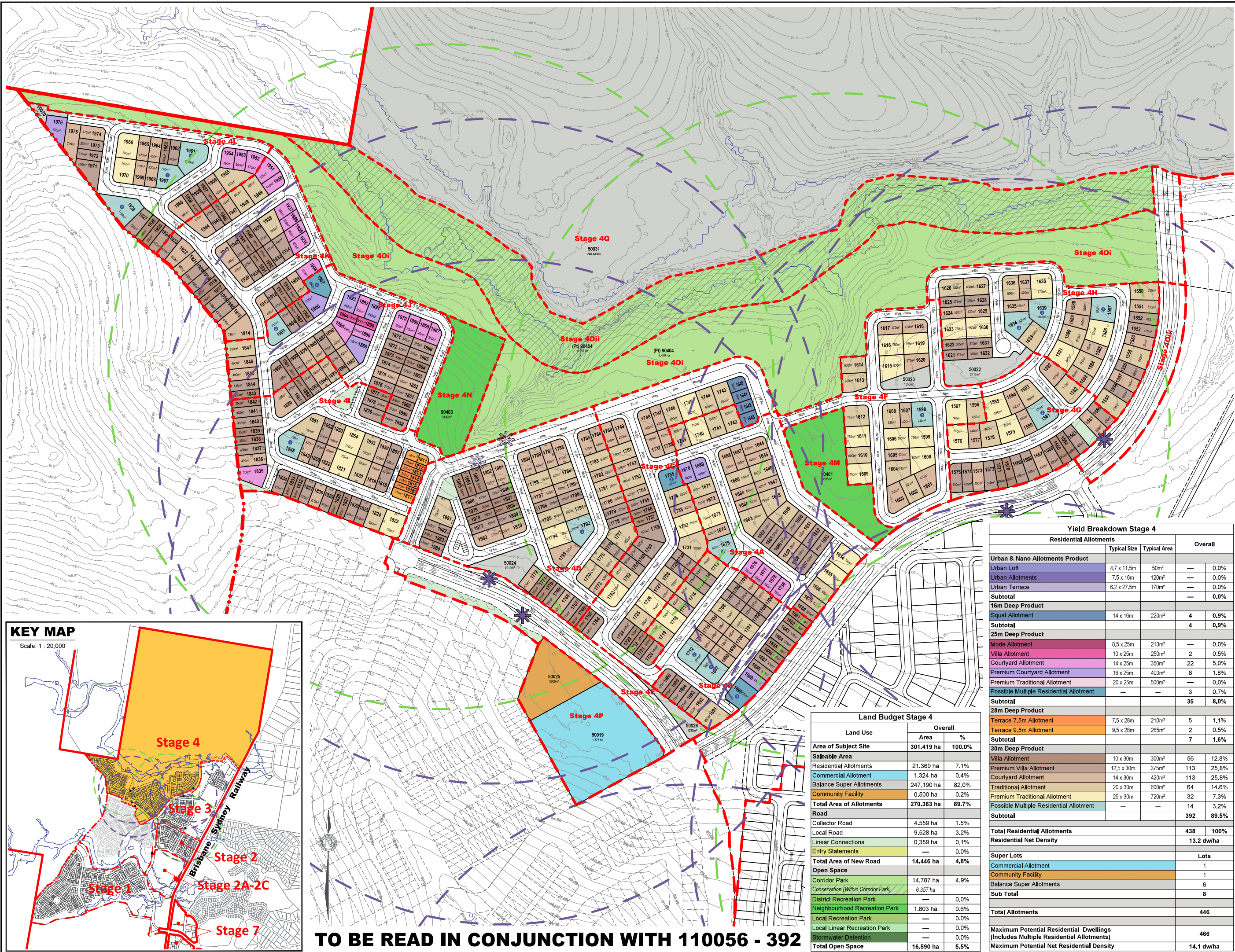




REVISION	
H: 23/09/2019	Stage 2 & 3 Layout Amendments
I: 11/03/2020	Road and Bus Stops Updates
J: 07/10/2020	Stage 2 & 5 Layout Amendments
K: 19/11/2020	Stage 2 Layout Amendments
L: 25/11/2020	Stage 2 Layout Amendments
M: 21/05/2021	Stage 2, 3 & 5 Layout Amendments
N: 26/07/2021	Stage 3 Layout Amendments
O: 11/08/2021	Stage 5/ii Change
P: 07/09/2021	Stage 3L, 5J & 5K Change
Q: 07/10/2021	Stage 3 & 4 Change
R: 20/10/2021	Stage 3 & 4 Change
S: 27/10/2021	Stage 4 Change

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².
The boundaries shown on this plan should not be used for final detailed engineers design.
Road linemarkings and turn slots are indicative only and subject to detailed design.

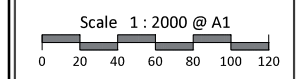
Source Information:
Site boundaries: Registered Survey Plans / Vens.
Adjoining information: DCDB.
Contours: Bradlees.

- Legend**
- Site Boundary
 - Proposed Stage Boundary
 - Proposed Sub Stage Boundary
 - Existing Q100
 - Possible Multiple Residential Allotment (Max. no. of dwellings)
 - Indicative Indented Bus Stop Location
 - Indicative Temporary In-Line Bus Stop Location
 - Bus Stop Catchment (400m)
 - Neighbourhood Park Catchment (400m)

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403

Date: 18 January 2022



CLIENT

PEET

PROJECT

Flagstone Precinct 1

Plan of Subdivision
Stage 4 Overall
Allotment Layout

Date.	27 October 2021
Comp By.	WNW / JC / MD
Checked By.	DG / MD
DWG Name.	Precinct 1 Stage 4
Job Ref.	110056
Local Authority.	Economic Development Queensland
Locality.	Flagstone
Scale	1 : 2000
Sheet	A1
Plan Ref	110056 - 391
Rev	S

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Yield Breakdown Stage 4				
Residential Allotments			Overall	
	Typical Size	Typical Area		
Urban & Nano Allotments Product				
Urban Loft	4.7 x 11.5m	50m ²	—	0.0%
Urban Allotments	7.5 x 16m	120m ²	—	0.0%
Urban Terrace	6.2 x 27.5m	170m ²	—	0.0%
Subtotal			—	0.0%
16m Deep Product				
Squat Allotment	14 x 16m	220m ²	4	0.9%
Subtotal			4	0.9%
25m Deep Product				
Mode Allotment	8.5 x 25m	213m ²	—	0.0%
Villa Allotment	10 x 25m	250m ²	2	0.5%
Courtyard Allotment	14 x 25m	350m ²	22	5.0%
Premium Courtyard Allotment	16 x 28m	400m ²	8	1.8%
Premium Traditional Allotment	20 x 25m	500m ²	—	0.0%
Possible Multiple Residential Allotment	—	—	3	0.7%
Subtotal			35	8.0%
28m Deep Product				
Terrace 7.5m Allotment	7.5 x 28m	210m ²	5	1.1%
Terrace 9.5m Allotment	9.5 x 28m	265m ²	2	0.5%
Subtotal			7	1.6%
30m Deep Product				
Villa Allotment	10 x 30m	300m ²	56	12.8%
Premium Villa Allotment	12.5 x 30m	375m ²	113	25.8%
Courtyard Allotment	14 x 30m	420m ²	113	25.8%
Traditional Allotment	20 x 30m	600m ²	64	14.6%
Premium Traditional Allotment	25 x 30m	720m ²	32	7.3%
Possible Multiple Residential Allotment	—	—	14	3.2%
Subtotal			392	89.5%
Total Residential Allotments			438	100%
Residential Net Density			13.2 dw/ha	
Super Lots				
Commercial Allotment			1	
Community Facility			1	
Balance Super Allotments			6	
Sub Total			8	
Total Allotments			446	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			466	
Maximum Potential Net Residential Density			14.1 dw/ha	

Land Budget Stage 4		
Land Use	Area	%
Area of Subject Site	301.419 ha	100.0%
Saleable Area		
Residential Allotments	21.369 ha	7.1%
Commercial Allotment	1.324 ha	0.4%
Balance Super Allotments	247.190 ha	82.0%
Community Facility	0.500 ha	0.2%
Total Area of Allotments	270.383 ha	89.7%
Road		
Collector Road	4.559 ha	1.5%
Local Road	9.528 ha	3.2%
Linear Connections	0.359 ha	0.1%
Entry Statements	—	0.0%
Total Area of New Road	14.446 ha	4.8%
Open Space		
Corridor Park	14.787 ha	4.9%
Conservation (Within Corridor Park)	6.357 ha	—
District Recreation Park	—	0.0%
Neighbourhood Recreation Park	1.803 ha	0.6%
Local Recreation Park	—	0.0%
Local Linear Recreation Park	—	0.0%
Stormwater Detention	—	0.0%
Total Open Space	16.590 ha	5.5%

Yield Breakdown Stage 4																					
Residential Allotments			Stage 4A	Stage 4B	Stage 4C	Stage 4D	Stage 4E	Stage 4F	Stage 4G	Stage 4H	Stage 4I	Stage 4J	Stage 4K	Stage 4L	Stage 4M	Stage 4N	Stage 4O	Stage 4P	Stage 4Q	Overall	
	Typical Size	Typical Area																			
Urban & Nano Allotments Product																					
Urban Loft	4.7 x 11.5m	50m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Subtotal			—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
16m Deep Product																					
Squat Allotment	14 x 16m	220m²	—	—	4	—	—	—	—	—	—	—	—	—	—	—	—	—	—	4	0.9%
Subtotal			—	—	4	—	—	—	—	—	—	—	—	—	—	—	—	—	—	4	0.9%
25m Deep Product																					
Mode Allotment	8.5 x 25m	213m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Villa Allotment	10 x 25m	250m²	—	—	—	—	—	—	—	—	—	2	—	—	—	—	—	—	—	2	0.5%
Courtyard Allotment	14 x 25m	350m²	4	—	—	—	—	—	—	—	1	7	7	3	—	—	—	—	—	22	5.0%
Premium Courtyard Allotment	16 x 25m	400m²	2	1	—	—	—	—	—	—	—	4	—	1	—	—	—	—	—	8	1.8%
Premium Traditional Allotment	20 x 25m	500m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	1	1	—	—	—	—	—	—	1	—	—	—	—	—	—	—	3	0.7%
Subtotal			6	2	1	—	—	—	—	—	1	14	7	4	—	—	—	—	—	35	8.0%
28m Deep Product																					
Terrace 7.5m Allotment	7.5 x 28m	210m²	—	—	—	—	—	—	—	—	5	—	—	—	—	—	—	—	—	5	1.1%
Terrace 9.5m Allotment	9.5 x 28m	265m²	—	—	—	—	—	—	—	—	2	—	—	—	—	—	—	—	—	2	0.5%
Subtotal			—	—	—	—	—	—	—	—	7	—	—	—	—	—	—	—	—	7	1.6%
30m Deep Product																					
Villa Allotment	10 x 30m	300m²	—	5	6	11	—	—	4	—	9	7	9	5	—	—	—	—	—	56	12.8%
Premium Villa Allotment	12.5 x 30m	375m²	9	13	10	13	—	—	8	10	15	16	12	7	—	—	—	—	—	113	25.8%
Courtyard Allotment	14 x 30m	420m²	12	10	10	18	—	7	7	11	12	8	10	8	—	—	—	—	—	113	25.8%
Traditional Allotment	20 x 30m	600m²	10	6	10	10	—	8	3	9	3	1	3	1	—	—	—	—	—	64	14.6%
Premium Traditional Allotment	25 x 30m	720m²	4	1	4	1	—	9	3	5	3	—	—	2	—	—	—	—	—	32	7.3%
Possible Multiple Residential Allotment	—	—	1	2	—	1	—	1	1	3	1	1	—	3	—	—	—	—	—	14	3.2%
Subtotal			36	37	40	54	—	25	26	38	43	33	34	26	—	—	—	—	—	392	89.5%
Total Residential Allotments			42	39	45	54	—	25	26	38	51	47	41	30	—	—	—	—	—	438	100%
Residential Net Density			14.9 dw/ha	16.1 dw/ha	15.4 dw/ha	15.3 dw/ha	—	8.3 dw/ha	12.6 dw/ha	12.0 dw/ha	15.8 dw/ha	16.2 dw/ha	15.5 dw/ha	12.5 dw/ha	—	—	—	—	—		13.2 dw/ha
Super Lots			Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	
Commercial Allotment			—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1	—	1	
Community Facility			—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1	—	1	
Balance Super Allotments			—	—	—	1	1	1	1	—	—	—	1	—	—	—	—	—	1	6	
Sub Total			—	—	—	1	1	1	1	—	—	—	1	—	—	—	—	2	1	8	
Total Allotments			42	39	45	55	1	26	27	38	51	47	41	31	—	—	—	2	1	446	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			44	43	46	56	—	26	28	44	53	49	41	36	—	—	—	—	—	466	
Maximum Potential Net Residential Density			15.6 dw/ha	17.7 dw/ha	15.7 dw/ha	15.9 dw/ha	—	8.6 dw/ha	13.5 dw/ha	13.9 dw/ha	16.4 dw/ha	16.9 dw/ha	15.5 dw/ha	15.0 dw/ha	—	—	—	—	—		14.1 dw/ha

Land Budget Stage 4

Land Use	Stage 4A	Stage 4B	Stage 4C	Stage 4D	Stage 4E	Stage 4F	Stage 4G	Stage 4H	Stage 4I	Stage 4J	Stage 4K	Stage 4L	Stage 4M	Stage 4N	Stage 4Oi	Stage 4Oii	Stage 4Oiii	Stage 4P	Stage 4Q	Overall	
	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	%
Area of Subject Site	3.325 ha	2.427 ha	3.526 ha	4.441 ha	1.716 ha	3.116 ha	2.070 ha	3.429 ha	3.234 ha	2.893 ha	2.640 ha	2.444 ha	0.889 ha	0.914 ha	8.867 ha	6.357 ha	0.864 ha	1.824 ha	246.443 ha	301.419 ha	100.0%
Saleable Area																					
Residential Allotments	2.122 ha	1.812 ha	2.176 ha	2.499 ha	—	1.655 ha	1.437 ha	2.204 ha	2.178 ha	1.935 ha	1.776 ha	1.575 ha	—	—	—	—	—	—	—	21.369 ha	7.1%
Commercial Allotment	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1.324 ha	—	1.324 ha	0.4%
Balance Super Allotments	—	—	—	0.201 ha	0.123 ha	0.105 ha	—	0.271 ha	—	—	—	0.047 ha	—	—	—	—	—	—	246.443 ha	247.190 ha	82.0%
Community Facility	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.500 ha	—	0.500 ha	0.2%
Total Area of Allotments	2.122 ha	1.812 ha	2.176 ha	2.700 ha	0.123 ha	1.760 ha	1.437 ha	2.475 ha	2.178 ha	1.935 ha	1.776 ha	1.622 ha	—	—	—	—	—	1.824 ha	246.443 ha	270.383 ha	89.7%
Road																					
Collector Road	0.512 ha	—	0.600 ha	0.718 ha	1.428 ha	—	—	—	—	—	—	—	—	—	0.437 ha	—	0.864 ha	—	—	4.559 ha	1.5%
Local Road	0.691 ha	0.615 ha	0.750 ha	0.978 ha	—	1.353 ha	0.565 ha	0.954 ha	0.978 ha	0.958 ha	0.864 ha	0.822 ha	—	—	—	—	—	—	—	9.528 ha	3.2%
Linear Connections	—	—	—	0.045 ha	0.165 ha	0.003 ha	0.068 ha	—	0.078 ha	—	—	—	—	—	—	—	—	—	—	0.359 ha	0.1%
Entry Statements	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Total Area of New Road	1.203 ha	0.615 ha	1.350 ha	1.741 ha	1.593 ha	1.356 ha	0.633 ha	0.954 ha	1.056 ha	0.958 ha	0.864 ha	0.822 ha	—	—	0.437 ha	—	0.864 ha	—	—	14.446 ha	4.8%
Open Space																					
Corridor Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	8.430 ha	6.357 ha	—	—	—	14.787 ha	4.9%
Conservation (Within Corridor Park)	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	6.357 ha	—	—	—	6.357 ha	
District Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	0.889 ha	0.914 ha	—	—	—	—	—	1.803 ha	0.6%
Local Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Total Open Space	—	—	—	—	—	—	—	—	—	—	—	—	0.889 ha	0.914 ha	8.430 ha	6.357 ha	—	—	—	16.590 ha	5.5%

REVISION
H: 23/09/2019 Stage 2 & 3 Layout Amendments
I: 11/03/2020 Road and Bus Stops Updates
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K: 19/11/2020 Stage 2 Layout Amendments
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R: 20/10/2021 Stage 3 & 4 Change
S: 27/10/2021 Stage 4 Change

Note:
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Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

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Source Information:
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Adjoining information: DCDB.
Contours: Bradlees.

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DEVELOPMENT APPROVAL
Approval no: DEV2012/403
Date: 18 January 2022



CLIENT
PEET

PROJECT
Flagstone Precinct 1

Plan of Subdivision
Stage 4 Overall
Statistics

Date,	27 October 2021
Comp By,	WNW / JC / MD
Checked By,	DG / MD
DWG Name,	Precinct 1 Stage 4
Job Ref,	110056
Local Authority,	Economic Development Queensland
Locality,	Flagstone
Scale	NTS
Sheet	A1
Plan Ref	110056 – 392
Rev	S

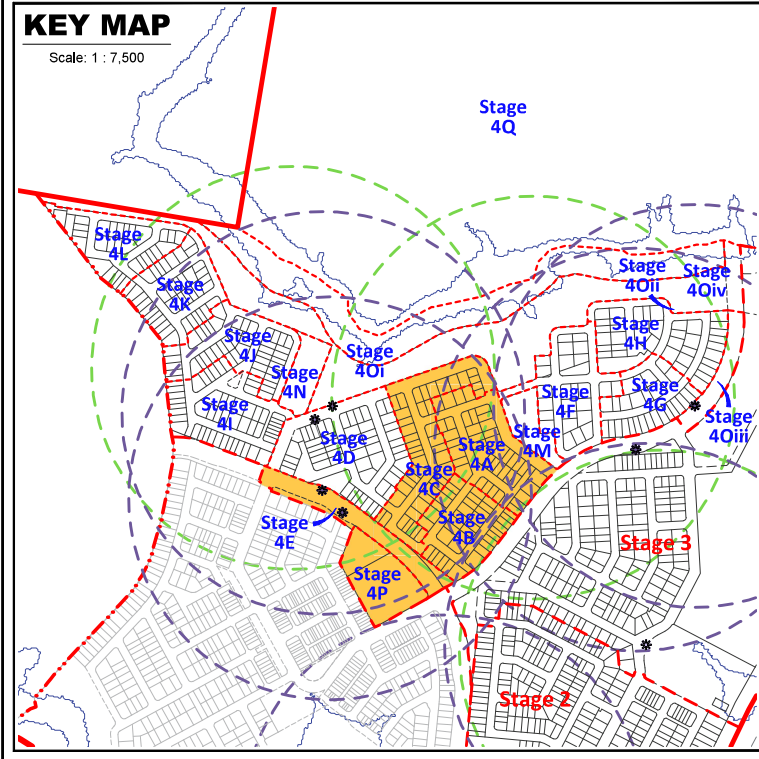
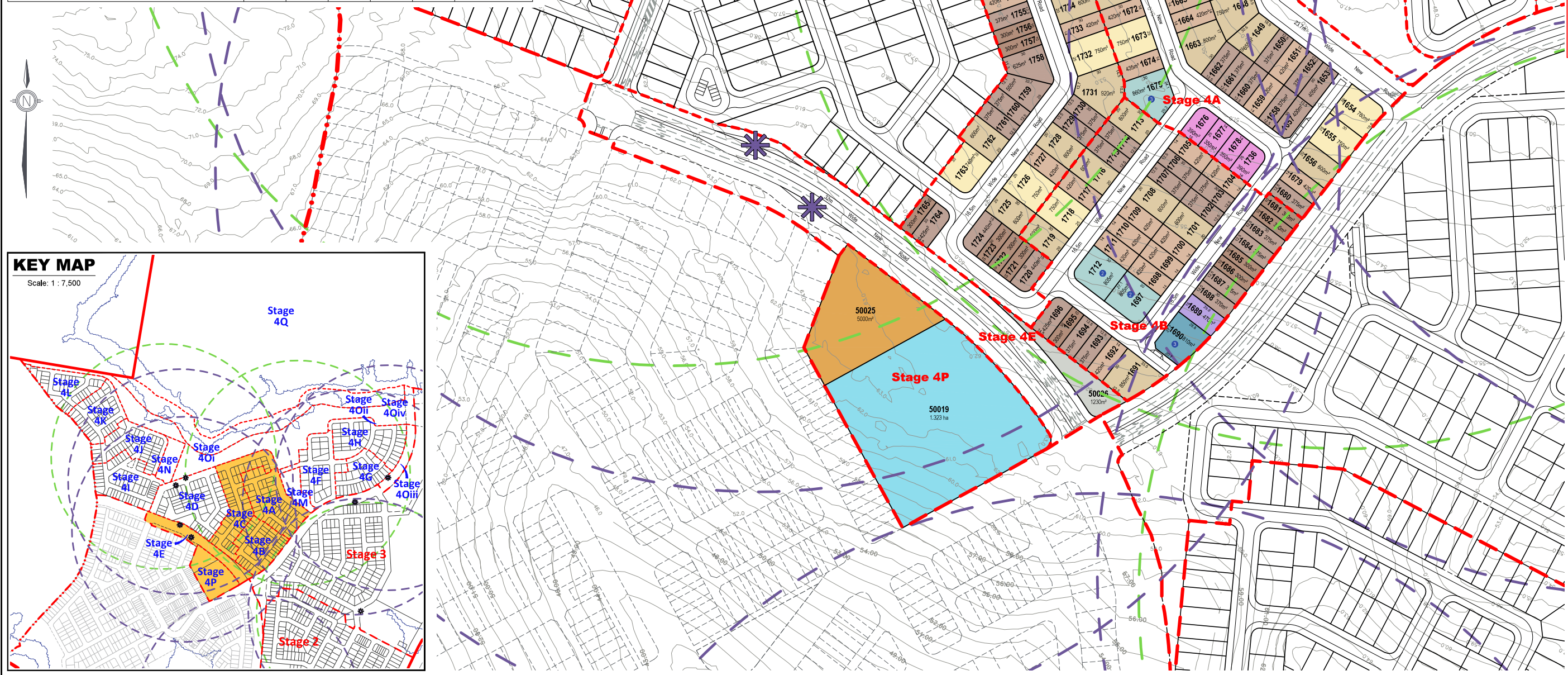
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Yield Breakdown Stage 4									
Residential Allotments			Stage 4A	Stage 4B	Stage 4C	Stage 4E	Stage 4P	Overall	
Typical Size	Typical Area								
Urban & Nano Allotments Product			—	—	—	—	—	—	0,0%
Urban Loft	4,7 x 11,5m	50m²	—	—	—	—	—	—	0,0%
Urban Allotments	7,5 x 16m	120m²	—	—	—	—	—	—	0,0%
Urban Terrace	6,2 x 27,5m	170m²	—	—	—	—	—	—	0,0%
Subtotal			—	—	—	—	—	—	0,0%
16m Deep Product									
Squat Allotment	14 x 18m	220m²	—	—	4	—	—	4	3,2%
Subtotal			—	—	4	—	—	4	3,2%
25m Deep Product									
Mode Allotment	8,5 x 25m	213m²	—	—	—	—	—	—	0,0%
Villa Allotment	10 x 25m	250m²	—	—	—	—	—	—	0,0%
Courtyard Allotment	14 x 25m	350m²	4	—	—	—	—	4	3,2%
Premium Courtyard Allotment	16 x 25m	400m²	2	1	—	—	—	3	2,4%
Premium Traditional Allotment	20 x 25m	500m²	—	—	—	—	—	—	0,0%
Possible Multiple Residential Allotment	—	—	—	1	1	—	—	2	1,6%
Subtotal			6	2	1	—	—	9	7,1%
28m Deep Product									
Terrace 7,5m Allotment	7,5 x 28m	210m²	—	—	—	—	—	—	0,0%
Terrace 9,5m Allotment	9,5 x 28m	265m²	—	—	—	—	—	—	0,0%
Subtotal			—	—	—	—	—	—	0,0%
30m Deep Product									
Villa Allotment	10 x 30m	300m²	—	5	6	—	—	11	8,7%
Premium Villa Allotment	12,5 x 30m	375m²	9	13	10	—	—	32	25,4%
Courtyard Allotment	14 x 30m	420m²	12	10	10	—	—	32	25,4%
Traditional Allotment	20 x 30m	600m²	10	6	10	—	—	26	20,6%
Premium Traditional Allotment	25 x 30m	720m²	4	1	4	—	—	9	7,1%
Possible Multiple Residential Allotment	—	—	1	2	—	—	—	3	2,4%
Subtotal			36	37	40	—	—	113	89,7%
Total Residential Allotments			42	39	45	—	—	126	100%
Residential Net Density			14,9 dw/ha	16,1 dw/ha	15,4 dw/ha	—	—		
Super Lots			Lots	Lots	Lots	Lots	Lots	Lots	
Commercial Allotment			—	—	—	—	1	1	
Community Facility			—	—	—	—	1	1	
Balance Super Allotments			—	—	—	1	—	1	
Sub Total			—	—	—	1	2	3	
Total Allotments			42	39	45	1	2	129	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			44	43	46	—	—	133	

Land Budget Stage 4							
Land Use	Stage 4A	Stage 4B	Stage 4C	Stage 4E	Stage 4P	Overall	
Area of Subject Site	Area	Area	Area	Area	Area	Area	%
Saleable Area	3,325 ha	2,427 ha	3,526 ha	1,716 ha	1,824 ha	10,994 ha	112,0%
Residential Allotments	2,122 ha	1,812 ha	2,176 ha	—	—	6,110 ha	55,6%
Commercial Allotment	—	—	—	—	1,324 ha	1,324 ha	12,0%
Balance Super Allotments	—	—	—	0,123 ha	—	0,123 ha	1,1%
Community Facility	—	—	—	—	0,500 ha	0,500 ha	4,5%
Total Area of Allotments	2,122 ha	1,812 ha	2,176 ha	0,123 ha	1,324 ha	7,557 ha	68,7%
Road							
Collector Road	0,512 ha	—	0,600 ha	1,428 ha	—	2,540 ha	23,1%
Local Road	0,691 ha	0,615 ha	0,750 ha	—	—	2,056 ha	18,7%
Linear Connections	—	—	—	0,165 ha	—	0,165 ha	1,5%
Entry Statements	—	—	—	—	—	—	0,0%
Total Area of New Road	1,203 ha	0,615 ha	1,350 ha	1,593 ha	—	4,761 ha	43,3%
Open Space							
Corridor Park	—	—	—	—	—	—	0,0%
Conservation (Within Corridor Park)	—	—	—	—	—	—	0,0%
District Recreation Park	—	—	—	—	—	—	0,0%
Neighbourhood Recreation Park	—	—	—	—	—	—	0,0%
Local Recreation Park	—	—	—	—	—	—	0,0%
Local Linear Recreation Park	—	—	—	—	—	—	0,0%
Stormwater Detention	—	—	—	—	—	—	0,0%
Total Open Space	—	—	—	—	—	—	0,0%



REVISION	
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K: 19/11/2020	Stage 2 Layout Amendments
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M: 21/05/2021	Stage 2, 3 & 5 Layout Amendments
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O: 11/08/2021	Stage 5li Change
P: 07/09/2021	Stage 3L, 5J & 5K Change
Q: 07/10/2021	Stage 3 & 4 Change
R: 20/10/2021	Stage 3 & 4 Change
S: 27/10/2021	Stage 4 Change

Note:
All dimensions and areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0,1 metres.
Areas have been rounded down to the nearest 5m².
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Source Information:
Site boundaries: Registered Survey Plans / Varies
Adjoining information: DCDB.
Contours: Bradlees.

Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Possible Multiple Residential Allotment (Max. no. of dwellings)
- Indicative Indented Bus Stop Location
- Indicative Temporary In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

PLANS AND DOCUMENTS referred to in the PDA

DEVELOPMENT APPROVAL

Approval no: DEV2012/403

Date: 18 January 2022

Scale 1 : 1500 @ A1

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PROJECT

Flagstone Precinct 1

Plan of Subdivision

Stage 4A, B, C & E

Allotment Layout

Date,	27 October 2021
Comp By,	WNW / JC / MD
Checked By,	DG / MD
DWS Name,	Precinct 1 Stage 4
Job Ref,	110056
Local Authority,	Economic Development Queensland
Locality,	Flagstone
Scale	Sheet
1 : 1500	A1
Plan Ref	Rev
110056 - 393	S

URBAN DESIGN

Level 4 H2 South

520 Wickham Street

PO Box 1559

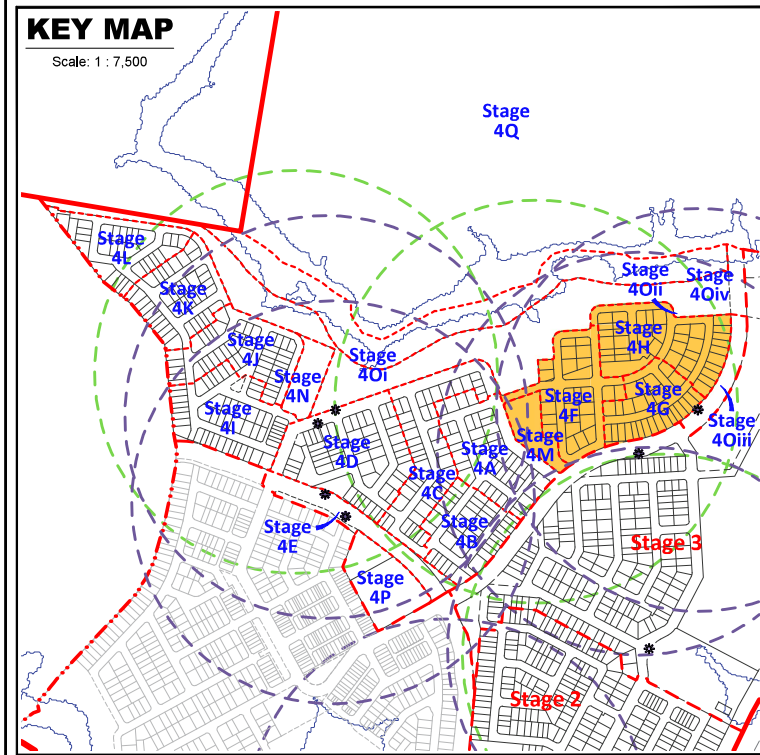
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Land Budget Stage 4						
Land Use	Stage 4F	Stage 4G	Stage 4H	Stage 4M	Overall	
	Area	Area	Area	Area	Area	%
Area of Subject Site	3.116 ha	2.070 ha	3.429 ha	0.889 ha	9.504 ha	100.0%
Saleable Area						
Residential Allotments	1.655 ha	1.437 ha	2.204 ha	—	5,296 ha	55.7%
Commercial Allotment	—	—	—	—	—	0.0%
Balance Super Allotments	0.105 ha	—	0.271 ha	—	0,376 ha	4.0%
Community Facility	—	—	—	—	—	0.0%
Total Area of Allotments	1.760 ha	1.437 ha	2.475 ha	—	5,672 ha	59.7%
Road						
Collector Road	—	—	—	—	—	0.0%
Local Road	1.353 ha	0.565 ha	0.954 ha	—	2,872 ha	30.2%
Linear Connections	0.003 ha	0.068 ha	—	—	0,071 ha	0.7%
Entry Statements	—	—	—	—	—	0.0%
Total Area of New Road	1.356 ha	0.633 ha	0.954 ha	—	2,943 ha	31.0%
Open Space						
Corridor Park	—	—	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	—	—	—
District Recreation Park	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	0.889 ha	0,889 ha	9.4%
Local Recreation Park	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	—	0.0%
Total Open Space	—	—	—	0.889 ha	0,889 ha	9.4%

Yield Breakdown Stage 4							
Residential Allotments			Stage 4F	Stage 4G	Stage 4H	Overall	
	Typical Size	Typical Area					
Urban & Nano Allotments Product							
Urban Loft	4,7 x 11,5m	50m²	—	—	—	—	0,0%
Urban Allotments	7,5 x 16m	120m²	—	—	—	—	0,0%
Urban Terrace	6,2 x 27,5m	170m²	—	—	—	—	0,0%
Subtotal			—	—	—	—	0,0%
16m Deep Product							
Squat Allotment	14 x 16m	220m²	—	—	—	—	0,0%
Subtotal			—	—	—	—	0,0%
25m Deep Product							
Mode Allotment	8,5 x 25m	213m²	—	—	—	—	0,0%
Villa Allotment	10 x 25m	250m²	—	—	—	—	0,0%
Courtyard Allotment	14 x 25m	350m²	—	—	—	—	0,0%
Premium Courtyard Allotment	16 x 25m	400m²	—	—	—	—	0,0%
Premium Traditional Allotment	20 x 25m	500m²	—	—	—	—	0,0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	0,0%
Subtotal			—	—	—	—	0,0%
28m Deep Product							
Terrace 7,5m Allotment	7,5 x 28m	210m²	—	—	—	—	0,0%
Terrace 9,5m Allotment	9,5 x 28m	265m²	—	—	—	—	0,0%
Subtotal			—	—	—	—	0,0%
30m Deep Product							
Villa Allotment	10 x 30m	300m²	—	4	—	4	4,5%
Premium Villa Allotment	12,5 x 30m	375m²	—	8	10	18	20,2%
Courtyard Allotment	14 x 30m	420m²	7	7	11	25	28,1%
Traditional Allotment	20 x 30m	600m²	8	3	9	20	22,5%
Premium Traditional Allotment	25 x 30m	720m²	9	3	5	17	19,1%
Possible Multiple Residential Allotment	—	—	1	1	3	5	5,6%
Subtotal			25	26	38	89	100,0%
Total Residential Allotments			25	26	38	89	100%
Residential Net Density			8,3 dw/ha	12,6 dw/ha	12,0 dw/ha		
Super Lots			Lots	Lots	Lots	Lots	
Commercial Allotment			—	—	—	—	
Community Facility			—	—	—	—	
Balance Super Allotments			1	1	—	—	
Sub Total			1	1	—	2	
Total Allotments			26	27	38	91	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			26	28	44	98	

REVISION

H: 23/09/2019 Stage 2 & 3 Layout Amendments
I: 11/10/2020 Road and Bus Stops Updates
J: 07/10/2020 Stage 2 & 5 Layout Amendments
K: 19/11/2020 Stage 2 Layout Amendments
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N: 26/07/2021 Stage 3 Layout Amendments
O: 11/08/2021 Stage 5li Change
P: 07/09/2021 Stage 3L, 5J & 5K Change
Q: 07/10/2021 Stage 3 & 4 Change
R: 20/10/2021 Stage 3 & 4 Change
S: 27/11/2021 Stage 4 Change

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Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered
 Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Bradlees.

Legend

-  Site Boundary
-  Proposed Stage Boundary
-  Proposed Sub Stage Boundary
-  Existing Q100
-  Possible Multiple Residential Allotment (Max. no. of dwellings)
-  Indicative Indented Bus Stop Location
-  Indicative Temporary In-Line Bus Stop Location
-  Bus Stop Catchment (400m)
-  Neighbourhood Park Catchment (400m)

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2012/403
Date: 18 January 2022

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PROJECT

**Flagstone
Precinct 1**

Plan of Subdivision Stage 4F - H & M Allotment Layout

Date. 27 October 2021

Comp By. WNW / JC / MD

Checked By.	DG / MD
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DWG Name. Precinct 1 Stage 4

Job Ref.	110056
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Local Authority. Economic

Development Queensland

Locality.	Flagstone
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Scale	Sheet
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Plan Ref	Rev
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110056 - 394	S
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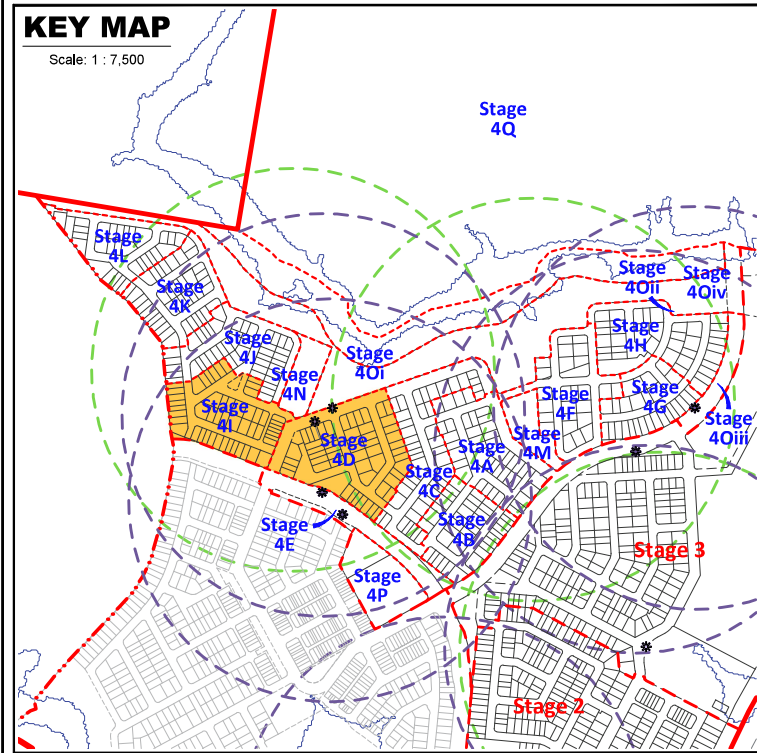
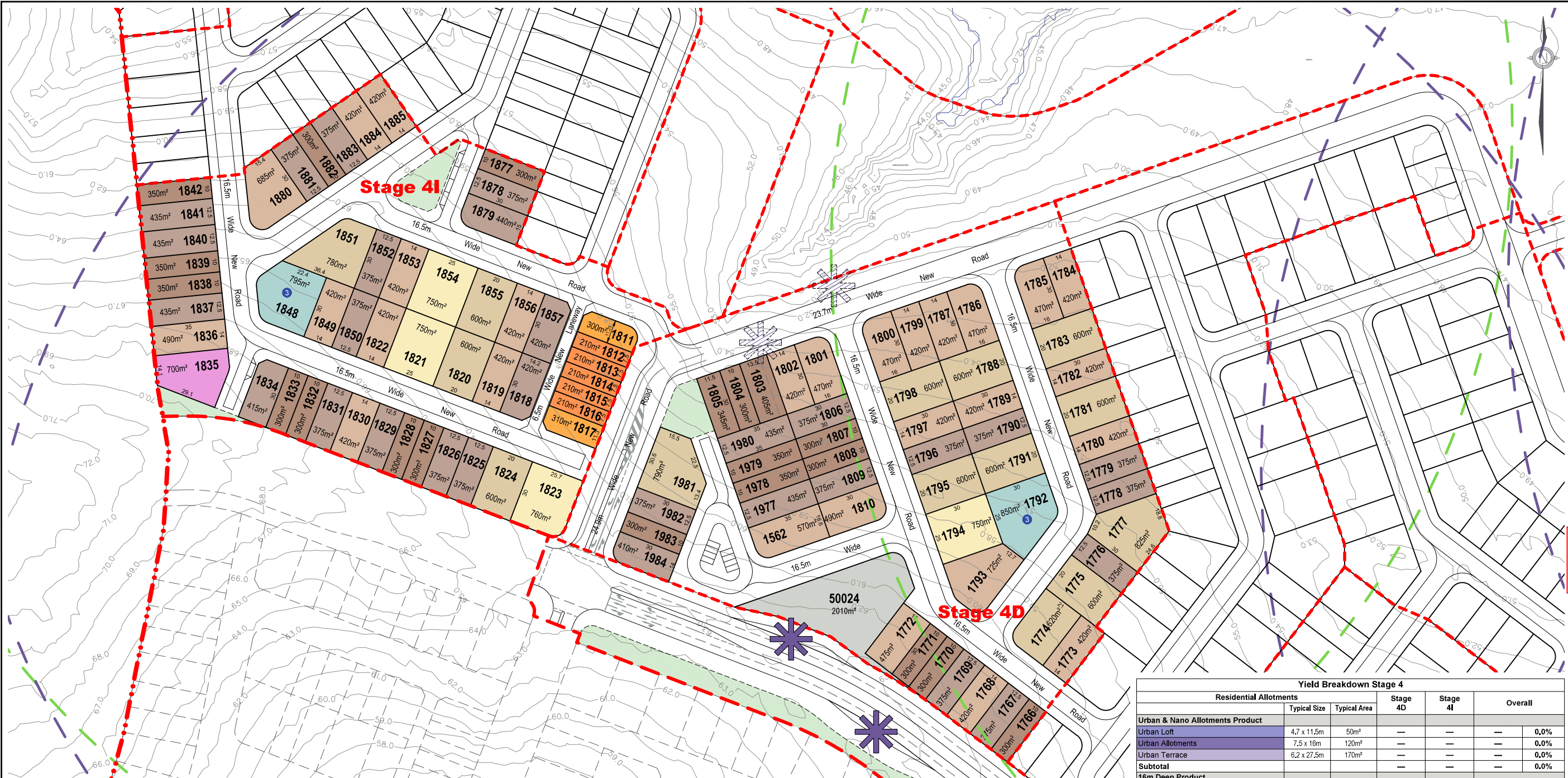
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Land Budget Stage 4				
Land Use	Stage 4D	Stage 4I	Overall	
Area of Subject Site	Area	Area	Area	%
Saleable Area	4,441 ha	3,234 ha	7,675 ha	100.0%
Residential Allotments	2,499 ha	2,178 ha	4,677 ha	60.9%
Commercial Allotment	—	—	—	0.0%
Balance Super Allotments	0.201 ha	—	0.201 ha	2.6%
Community Facility	—	—	—	0.0%
Total Area of Allotments	2,700 ha	2,178 ha	4,878 ha	63.6%
Road				
Collector Road	0.718 ha	—	0.718 ha	9.4%
Local Road	0.978 ha	0.978 ha	1,956 ha	25.5%
Linear Connections	0.045 ha	0.078 ha	0.123 ha	1.6%
Entry Statements	—	—	—	0.0%
Total Area of New Road	1,741 ha	1,056 ha	2,797 ha	36.4%
Open Space				
Corridor Park	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	0.0%
District Recreation Park	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	0.0%
Local Recreation Park	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	0.0%
Stormwater Detention	—	—	—	0.0%
Total Open Space	—	—	—	0.0%

Yield Breakdown Stage 4						
Residential Allotments			Stage 4D	Stage 4I	Overall	
Urban & Nano Allotments Product	Typical Size	Typical Area				
Urban Loft	4.7 x 11.5m	50m²	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m²	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m²	—	—	—	0.0%
Subtotal			—	—	—	0.0%
16m Deep Product						
Squat Allotment	14 x 16m	220m²	—	—	—	0.0%
Subtotal			—	—	—	0.0%
25m Deep Product						
Mode Allotment	8.5 x 25m	213m²	—	—	—	0.0%
Villa Allotment	10 x 25m	250m²	—	—	—	0.0%
Courtyard Allotment	14 x 25m	350m²	—	1	1	1.0%
Premium Courtyard Allotment	16 x 25m	400m²	—	—	—	0.0%
Premium Traditional Allotment	20 x 25m	500m²	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	0.0%
Subtotal			—	1	1	1.0%
28m Deep Product						
Terrace 7.5m Allotment	7.5 x 28m	210m²	—	5	5	4.8%
Terrace 9.5m Allotment	9.5 x 28m	265m²	—	2	2	1.9%
Subtotal			—	7	7	6.7%
30m Deep Product						
Villa Allotment	10 x 30m	300m²	11	9	20	19.0%
Premium Villa Allotment	12.5 x 30m	375m²	13	15	28	26.7%
Courtyard Allotment	14 x 30m	420m²	18	12	30	28.6%
Traditional Allotment	20 x 30m	600m²	10	3	13	12.4%
Premium Traditional Allotment	25 x 30m	720m²	1	3	4	3.8%
Possible Multiple Residential Allotment	—	—	1	1	2	1.9%
Subtotal			54	43	97	92.4%
Total Residential Allotments			54	51	105	100%
Residential Net Density			15.3 dw/ha	15.8 dw/ha		
Super Lots			Lots	Lots	Lots	
Commercial Allotment			—	—	—	
Community Facility			—	—	—	
Balance Super Allotments			1	—	1	
Sub Total			1	—	1	
Total Allotments			55	51	106	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			56	53	109	
Maximum Potential Net Residential Density			15.9 dw/ha	16.4 dw/ha		

REVISION	
H: 23/09/2019	Stage 2 & 3 Layout Amendments
I: 11/03/2020	Road and Bus Stops Updates
J: 07/10/2020	Stage 2 & 5 Layout Amendments
K: 19/11/2020	Stage 2 Layout Amendments
L: 25/11/2020	Stage 2 Layout Amendments
M: 21/05/2021	Stage 2, 3 & 5 Layout Amendments
N: 26/07/2021	Stage 3 Layout Amendments
O: 11/08/2021	Stage 5I Change
P: 07/09/2021	Stage 3L, 5J & 5K Change
Q: 07/10/2021	Stage 3 & 4 Change
R: 20/10/2021	Stage 3 & 4 Change
S: 27/10/2021	Stage 4 Change

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Source Information:
Site boundaries: Registered Survey Plans / Varies
Adjoining information: DCDB.
Contours: Bradlees.

- Legend**
- Site Boundary
 - Proposed Stage Boundary
 - Proposed Sub Stage Boundary
 - Existing Q100
 - Possible Multiple Residential Allotment (Max. no. of dwellings)
 - Indicative Indented Bus Stop Location
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 - Bus Stop Catchment (400m)
 - Neighbourhood Park Catchment (400m)

PLANS AND DOCUMENTS referred to in the PDA
DEVELOPMENT APPROVAL
Approval no: DEV2012/403
Date: 18 January 2022

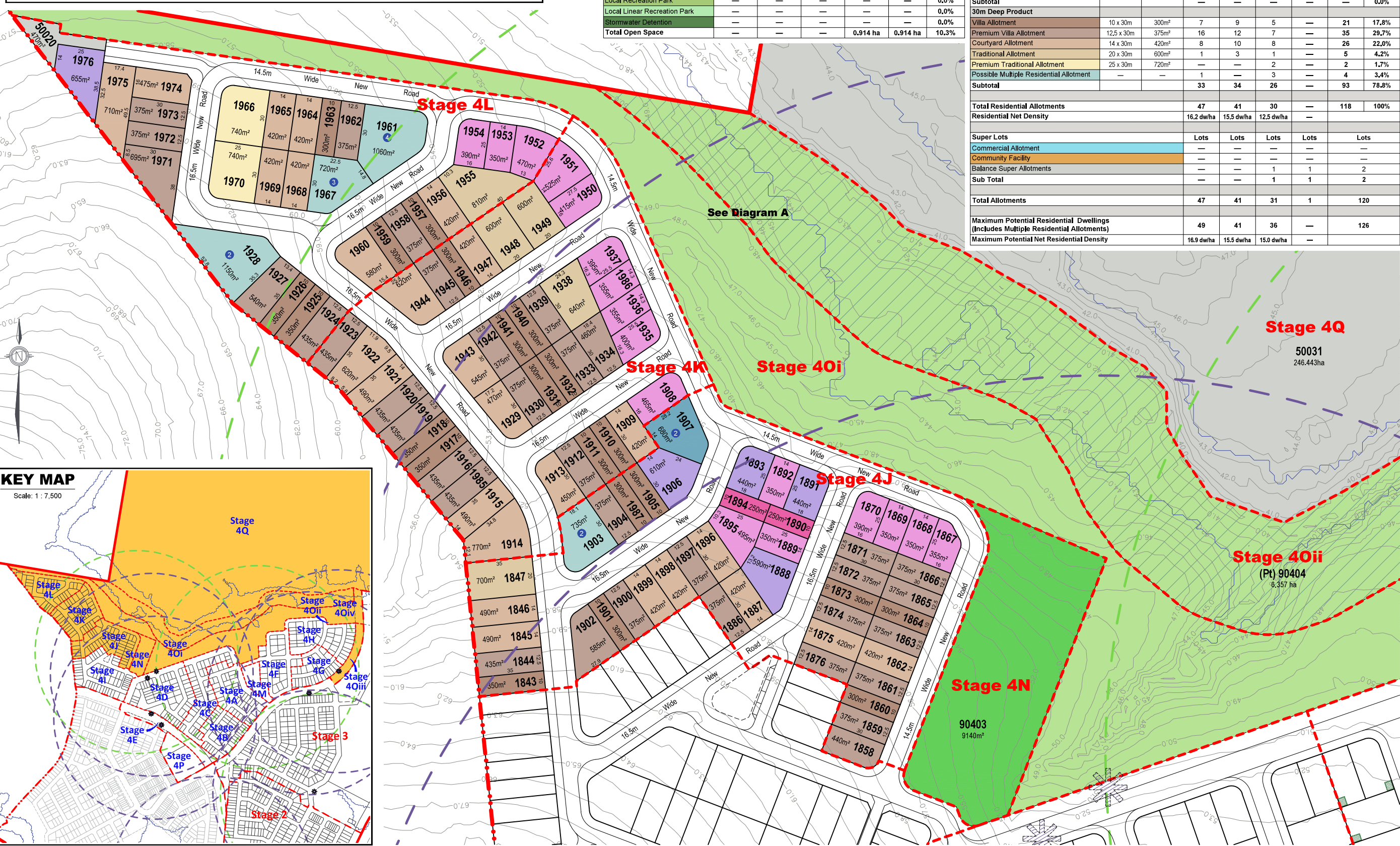
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PROJECT
Flagstone Precinct 1
Plan of Subdivision
Stage 4D & I
Allotment Layout

Date: 27 October 2021
Comp By: WNW / JC / MD
Checked By: DG / MD
DWS Name: Precinct 1 Stage 4
Job Ref: 110056
Local Authority: Economic Development Queensland
Locality: Flagstone
Scale: 1 : 1000
Sheet: A1
Plan Ref: 110056 - 395
Rev: S

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Yield Breakdown Stage 4								
Residential Allotments			Stage 4J	Stage 4K	Stage 4L	Stage 4Q	Overall	
	Typical Size	Typical Area						
Urban & Nano Allotments Product								
Urban Loft	4.7 x 11.5m	50m²	—	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m²	—	—	—	—	—	0.0%
Urban Terrace	6.2 x 27.5m	170m²	—	—	—	—	—	0.0%
Subtotal			—	—	—	—	—	0.0%
16m Deep Product								
Squat Allotment	14 x 16m	220m²	—	—	—	—	—	0.0%
Subtotal			—	—	—	—	—	0.0%
25m Deep Product								
Mode Allotment	8.5 x 25m	213m²	—	—	—	—	—	0.0%
Villa Allotment	10 x 25m	250m²	2	—	—	—	2	1.7%
Courtyard Allotment	14 x 25m	350m²	7	7	3	—	17	14.4%
Premium Courtyard Allotment	16 x 25m	400m²	4	—	1	—	5	4.2%
Premium Traditional Allotment	20 x 25m	500m²	—	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	1	—	—	—	1	0.8%
Subtotal			14	7	4	—	25	21.2%
28m Deep Product								
Terrace 7.5m Allotment	7.5 x 28m	210m²	—	—	—	—	—	0.0%
Terrace 9.5m Allotment	9.5 x 28m	265m²	—	—	—	—	—	0.0%
Subtotal			—	—	—	—	—	0.0%
30m Deep Product								
Villa Allotment	10 x 30m	300m²	7	9	5	—	21	17.8%
Premium Villa Allotment	12.5 x 30m	375m²	16	12	7	—	35	29.7%
Courtyard Allotment	14 x 30m	420m²	8	10	8	—	26	22.0%
Traditional Allotment	20 x 30m	600m²	1	3	1	—	5	4.2%
Premium Traditional Allotment	25 x 30m	720m²	—	—	2	—	2	1.7%
Possible Multiple Residential Allotment	—	—	1	—	3	—	4	3.4%
Subtotal			33	34	26	—	93	78.8%
Total Residential Allotments			47	41	30	—	118	100%
Residential Net Density			16.2 dw/ha	15.5 dw/ha	12.5 dw/ha	—		
Super Lots			Lots	Lots	Lots	Lots		Lots
Commercial Allotment			—	—	—	—		—
Community Facility			—	—	—	—		—
Balance Super Allotments			—	—	1	1		2
Sub Total			—	—	1	1		2
Total Allotments			47	41	31	1		120
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			49	41	36	—		126
Maximum Potential Net Residential Density			16.9 dw/ha	15.5 dw/ha	15.0 dw/ha	—		

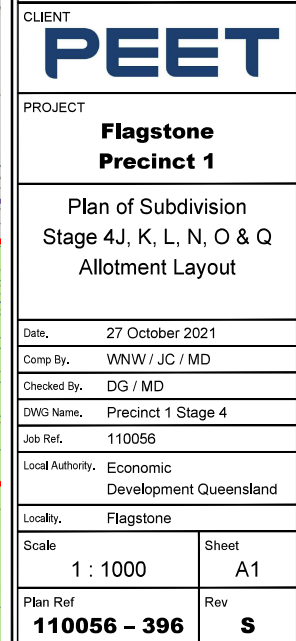
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Source Information:
Site boundaries: Registered
Survey Plans / Veris,
Adjoining information: DCDB,
Contours: Bradlees,

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
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- Possible Multiple Residential Allotment (Max. no. of dwellings)
- Indicative Indented Bus Stop Location
- Indicative Temporary In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

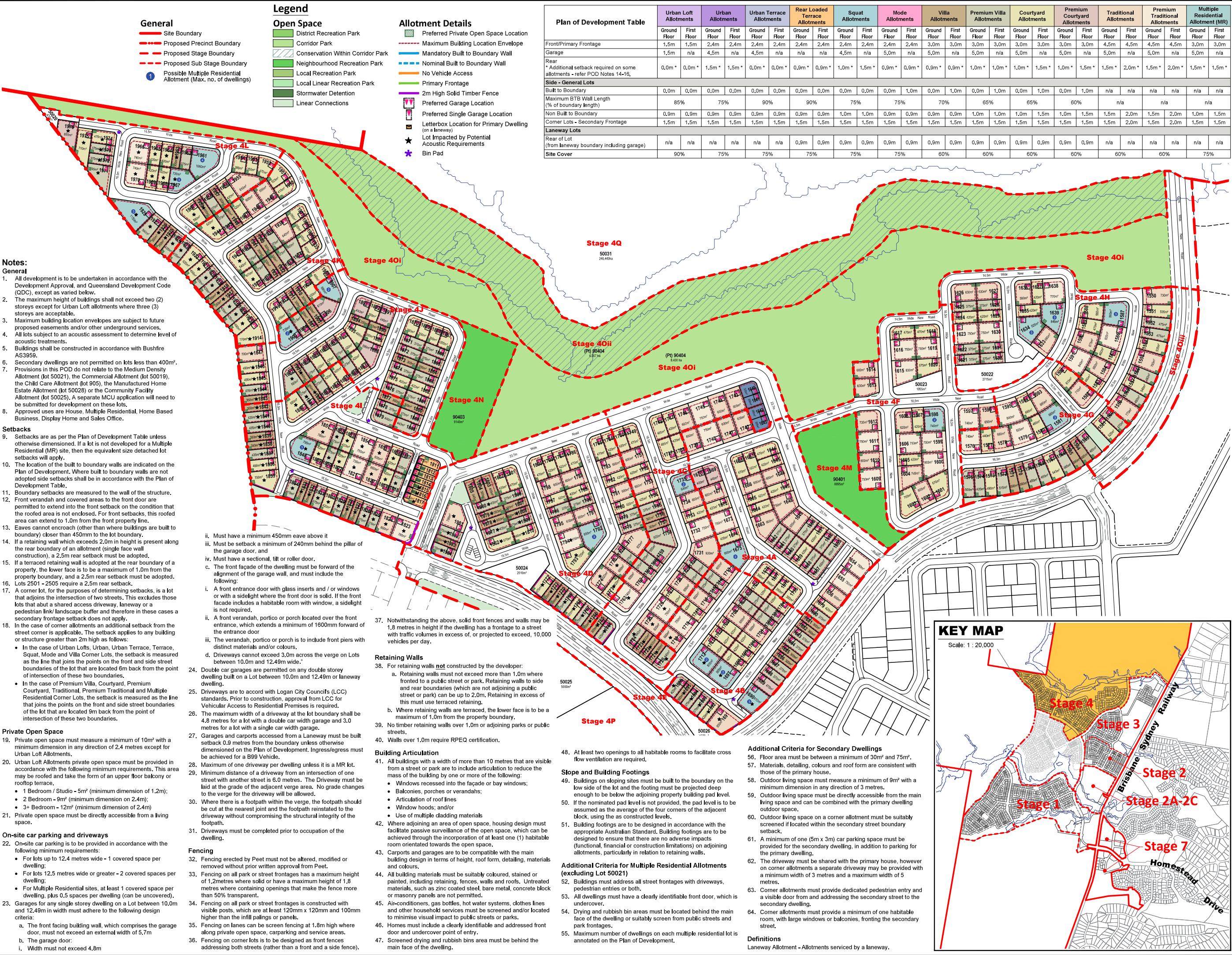


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REVISION

H: 23/09/2019 Stage 2 & 3 Layout Amendments
I: 11/03/2020 Road and Bus Stops Updates
J: 07/10/2020 Stage 2 & 5 Layout Amendments
K: 19/11/2020 Stage 2 Layout Amendments
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Site boundaries: Registered Survey Plans / Vets
Adjoining information: DCDB.
Contours: Bradlees.

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403
Date: 18 January 2022

Scale: 1 : 2000 @ A1

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PROJECT: **Flagstone Precinct 1**

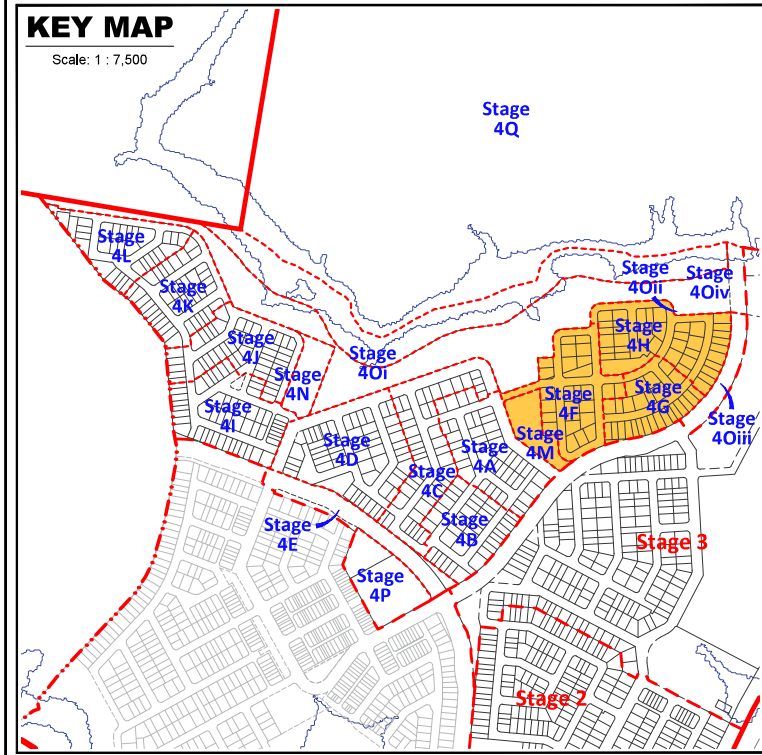
Plan of Development Stage 4 Overall Residential Allotments

Date: 27 October 2021
Comp By: WNW / JC / MD
Checked By: DG / MD
DWS Name: Precinct 1 Stage 4
Job Ref: 110056
Local Authority: Economic Development Queensland
Locality: Flagstone
Scale: 1 : 2000 Sheet: A1
Plan Ref: 110056 - 397 Rev: S

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- Retaining Walls**
38. For retaining walls **not** constructed by the developer:
- a. Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - b. Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
39. No timber retaining walls over 1.0m or adjoining parks or public streets.
40. Walls over 1.0m require RPEQ certification.

- ## Building Articulation
41. All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
 42. Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room oriented towards the open space.
 43. Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
 44. All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel bare metal, concrete block or masonry panels are not permitted.
 45. Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
 46. Homes must include a clearly identifiable and addressed front door and undercover point of entry.
 47. Screened drying and rubbish bins area must be behind the main face of the dwelling.
 48. At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

- ### **Slope and Building Footings**
49. Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
 50. If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
 51. Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.
- ### **Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)**
52. Buildings must address all street frontages with driveways, pedestrian entries or both.
 53. All dwellings must have a clearly identifiable front door, which is undercover.
 54. Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
 55. Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

- ### Additional Criteria for Secondary Dwellings
56. Floor area must be between a minimum of 30m² and 75m².
 57. Materials, detailing, colours and roof form are consistent with those of the primary house.
 58. Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
 59. Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
 60. Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
 61. A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
 62. The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
 63. Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
 64. Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

- Definitions**
Laneway Allotment - Allotments serviced by a laneway.

[illegible]

REVISION

X	23/09/2019	Stage 2 & 3 Layout Amendments
I	11/03/2020	Road and Bus Stops Updates
J	07/10/2020	Stage 2 & 5 Layout Amendments
K	19/11/2020	Stage 2 Layout Amendments
L	25/11/2020	Stage 2 Layout Amendments
M	21/05/2021	Stage 2, 3 & 5 Layout Amendments
N	26/07/2021	Stage 3 Layout Amendments
O	11/08/2021	Stage 5 <i>li</i> Change
P	07/09/2021	Stage 3 <i>Li</i> , 5 <i>Li</i> & 5 <i>K</i> Change
Q	07/10/2021	Stage 3 & 4 Change
R	20/10/2021	Stage 3 & 4 Change
S	27/11/2021	Stage 4 Change

Note: All dimensions and areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

Road line markings and turn slots are indicative only and subject to detailed design.

The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
Site boundaries: Registered Survey Plans / Veris.
Adjoining information: DCDB.
Contours: Bradlees.



PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2012/403
Date: 18 January 2022


**Queensland
Government**

Scale 1 : 1000 @ A1

CLIENT
PEET

PROJECT	Flagstone Precinct 1
	Plan of Development Stage 4F - H Residential Allotments

Date,	27 October 2021	
Comp By,	WNW / JC / MD	
Checked By,	DG / MD	
DWG Name,	Precinct 1 Stage 4	
Job Ref,	110056	
Local Authority,	Economic Development Queensland	
Locality,	Flagstone	
Scale	1 : 1000	Sheet A1
Plan Ref	110056 - 399	Rev S

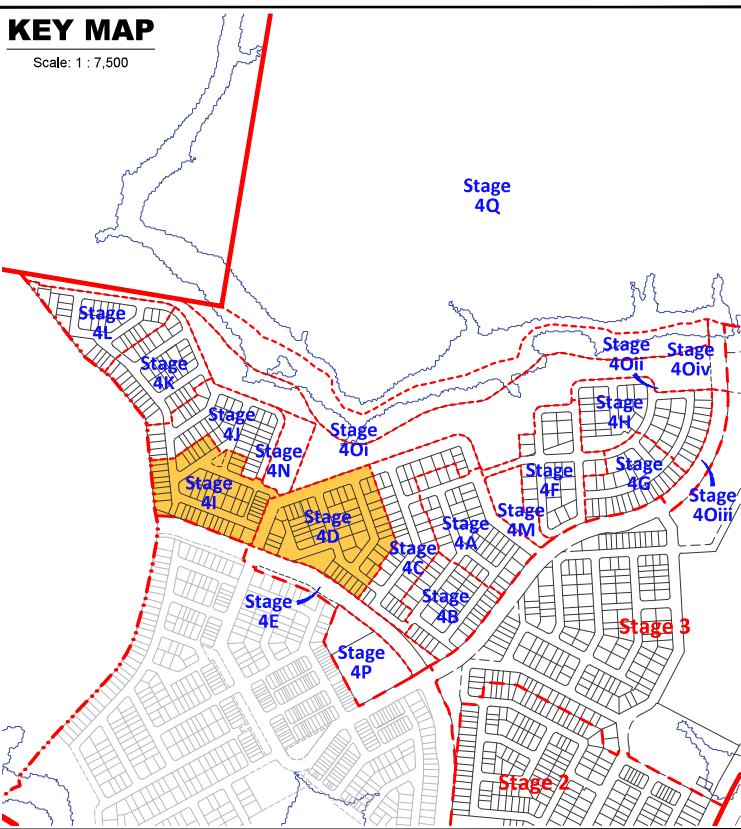
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KEY MAP

Scale: 1 : 7,500



Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
	Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	
Rear	0.0m *	0.0m *	1.5m *	1.5m *	0.0m *	0.0m *	0.9m *	0.9m *	1.0m *	1.5m *	0.9m *	0.9m *	0.9m *	0.9m *	1.0m *	1.0m *	1.0m *	1.5m *	1.0m *	1.5m *	1.5m *	2.0m *	1.5m *	2.0m *	1.5m *	1.5m *	
* Additional setback required on some allotments - refer POD Notes 14-16.																											
Side - General Lots																											
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a	
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a		n/a		n/a		
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	2.0m	1.5m	
Laneway Lots																											
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	
Site Cover	90%		75%		75%		75%		75%		75%		60%		60%		60%		60%		60%		60%		75%		

Notes:

General

- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
- The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
- Maximum building location envelopes are subject to future proposed easements and/or other underground services.
- All lots subject to an acoustic assessment to determine level of acoustic treatments.
- Buildings shall be constructed in accordance with Bushfire AS3959.
- Secondary dwellings are not permitted on lots less than 400m².
- Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
- Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
- The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Boundary setbacks are measured to the wall of the structure.
- Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
- Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
- If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
- If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
- Lots 2501 - 2505 require a 2.5m rear setback.
- A corner lot, for the purposes of determining setbacks, is a lot that joins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
- In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lots, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

Private Open Space

- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.

- Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension of 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
- Private open space must be directly accessible from a living space.

On-site car parking and driveways

- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
- Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide."

- Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway driveway.
- Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
- Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
- Maximum of one driveway per dwelling unless it is a MR lot.
- Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
- Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
- Driveways must be completed prior to occupation of the dwelling.

Fencing

- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
- Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
- Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill palings or panels.
- Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
- Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
- Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.

Retaining Walls

- For retaining walls **not** constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
- No timber retaining walls over 1.0m or adjoining parks or public streets.
- Walls over 1.0m require RPEQ certification.

Building Articulation

- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
- Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
- Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
- Homes must include a clearly identifiable and addressed front door and undercover point of entry.
- Screened drying and rubbish bins area must be behind the main face of the dwelling.
- At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

Slope and Building Footings

- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
- Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)

- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

- Floor area must be between a minimum of 30m² and 75m².
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

Definitions

Laneway Allotment - Allotments serviced by a laneway.

Legend

General

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Possible Multiple Residential Allotment (Max. no. of dwellings)

Open Space

- District Recreation Park
- Corridor Park
- Neighbourhood Recreation Park
- Local Recreation Park
- Local Linear Recreation Park
- Stormwater Detention
- Linear Connections

Allotment Details

- Preferred Private Open Space Location
- Maximum Building Location Envelope
- Mandatory Built to Boundary Wall
- Nominal Built to Boundary Wall
- No Vehicle Access
- Primary Frontage
- 2m High Solid Timber Fence
- Preferred Garage Location
- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling (on a laneway)
- Lot Impacted by Potential Acoustic Requirements
- Bin Pad

REVISION

H: 23/09/2019 Stage 2 & 3 Layout Amendments
I: 11/03/2020 Road and Bus Stops Updates
J: 07/10/2020 Stage 2 & 5 Layout Amendments
K: 19/11/2020 Stage 2 Layout Amendments
L: 25/11/2020 Stage 2 Layout Amendments
M: 21/05/2021 Stage 2, 3 & 5 Layout Amendments
N: 26/07/2021 Stage 3 Layout Amendments
O: 11/08/2021 Stage 5li Change
P: 07/09/2021 Stage 3L, 5J & 5K Change
Q: 07/10/2021 Stage 3 & 4 Change
R: 20/10/2021 Stage 3 & 4 Change
S: 27/10/2021 Stage 4 Change

Note:

All dimensions and areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:

Site boundaries: Registered Survey Plans 1/Veris
Adjoining information: DCDB.
Contours: Bradlees.

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403

Date: 18 January 2022

Scale 1 : 1000 @ A1

CLIENT

PEET

PROJECT

Flagstone Precinct 1

Plan of Development
Stage 4D & I
Residential Allotments

Date,	27 October 2021
Comp By,	WNW / JC / MD
Checked By,	DG / MD
DWG Name,	Precinct 1 Stage 4
Job Ref,	110056
Local Authority,	Economic Development Queensland
Locality,	Flagstone
Scale	Sheet
1 : 1000	A1
Plan Ref	Rev
110056 - 400	S

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rps

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Plan of Development Table	Urban Loft Allotments		Urban Allotments		Urban Terrace Allotments		Rear Loaded Terrace Allotments		Squat Allotments		Mode Allotments		Villa Allotments		Premium Villa Allotments		Courtyard Allotments		Premium Courtyard Allotments		Traditional Allotments		Premium Traditional Allotments		Multiple Residential Allotment (MR)		
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
Front/Primary Frontage	1.5m	1.5m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	3.0m	4.5m	4.5m	4.5m	4.5m	3.0m	3.0m
Garage	1.5m	n/a	4.5m	n/a	4.5m	n/a	n/a	n/a	4.5m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	5.0m	n/a	
Rear * Additional setback required on some allotments - refer POD Notes 14-16,	0.0m *	0.0m *	1.5m *	1.5m *	0.0m *	0.0m *	0.9m *	0.9m *	1.0m *	1.5m *	0.9m *	0.9m *	0.9m *	0.9m *	1.0m *	1.0m *	1.0m *	1.5m *	1.0m *	1.5m *	1.5m *	2.0m *	2.0m *	1.5m *	1.5m *	1.5m *	
Side - General Lots																											
Built to Boundary	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	0.0m	1.0m	n/a	n/a	n/a	n/a	n/a	n/a	
Maximum BTB Wall Length (% of boundary length)	85%		75%		90%		90%		75%		75%		70%		65%		65%		60%		n/a		n/a		n/a		
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.5m	2.0m	1.5m	2.0m	1.0m	1.5m	
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	1.5m	2.0m	1.5m	1.5m	1.5m	
Laneway Lots																											
Rear of Lot (from laneway boundary including garage)	n/a	n/a	n/a	n/a	n/a	n/a	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	0.9m	n/a	n/a	n/a	n/a	n/a	n/a	
Site Cover	90%		75%		75%		75%		75%		75%		60%		60%		60%		60%		60%		60%		75%		

Legend

General

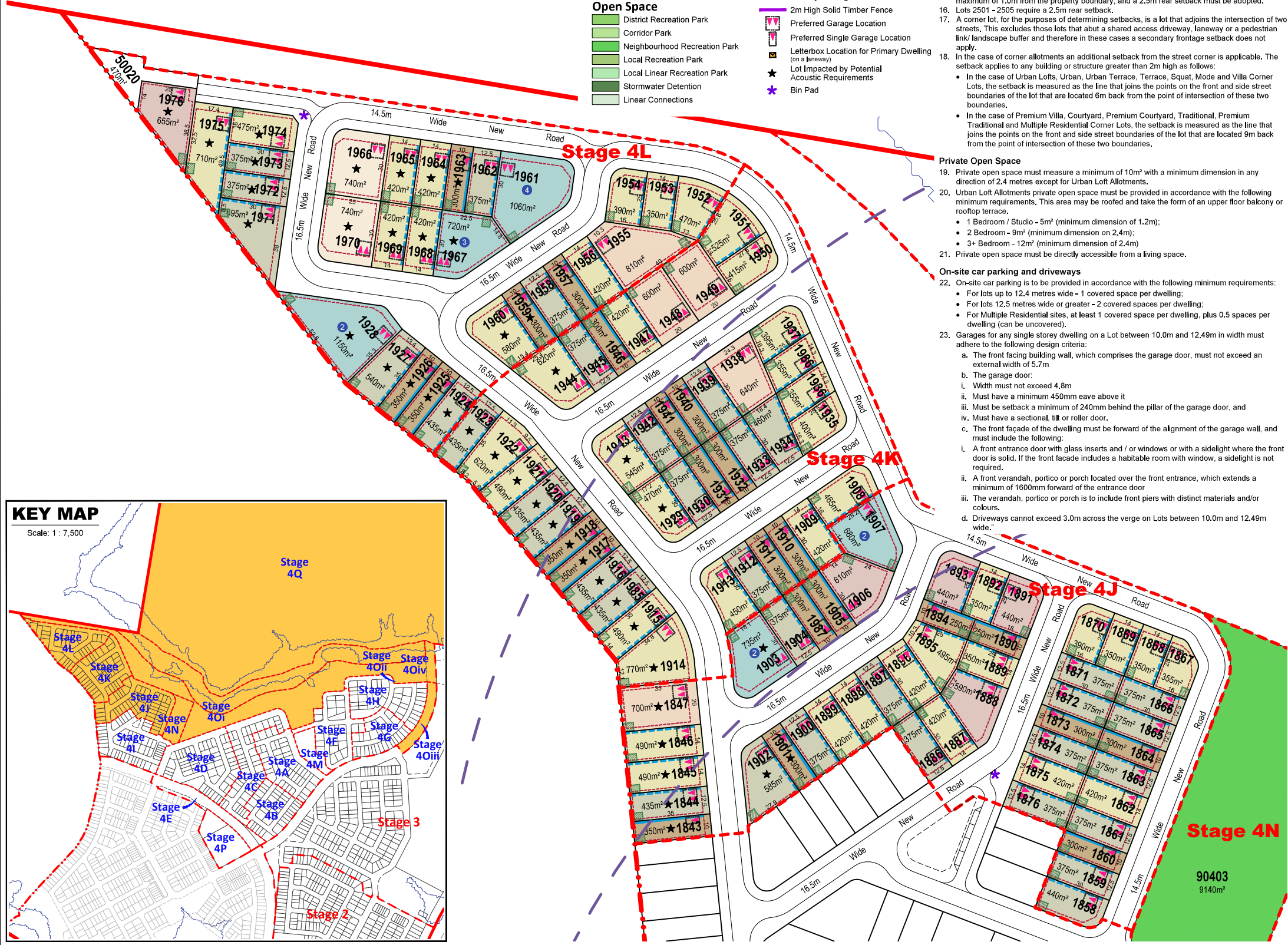
- Site Boundary
- Proposed Precinct Boundary
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- Primary Frontage
- 2m High Solid Timber Fence
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- Preferred Single Garage Location
- Letterbox Location for Primary Dwelling
- Lot Impacted by Potential Acoustic Requirements
- Bin Pad



Notes:

General

- All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
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- All lots subject to an acoustic assessment to determine level of acoustic treatments.
- Buildings shall be constructed in accordance with Bushfire AS3959.
- Secondary dwellings are not permitted on lots less than 400m².
- Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCJ application will need to be submitted for development on these lots.
- Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
- The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Boundary setbacks are measured to the wall of the structure.
- Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
- Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
- If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
- If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
- Lots 2501 - 2505 require a 2.5m rear setback.
- A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that abut a shared access driveway, laneway or a pedestrian link/ landscape buffer and therefore in these cases a secondary frontage setback does not apply.
- In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
 - In the case of Urban Lofts, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
 - In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 9m back from the point of intersection of these two boundaries.

Private Open Space

- Private open space must measure a minimum of 10m² with a minimum dimension in any direction of 2.4 metres except for Urban Loft Allotments.
- Urban Loft Allotments private open space must be provided in accordance with the following minimum requirements. This area may be roofed and take the form of an upper floor balcony or rooftop terrace.
 - 1 Bedroom / Studio - 5m² (minimum dimension of 1.2m);
 - 2 Bedroom - 9m² (minimum dimension on 2.4m);
 - 3+ Bedroom - 12m² (minimum dimension of 2.4m)
- Private open space must be directly accessible from a living space.

On-site car parking and driveways

- On-site car parking is to be provided in accordance with the following minimum requirements:
 - For lots up to 12.4 metres wide - 1 covered space per dwelling;
 - For lots 12.5 metres wide or greater - 2 covered spaces per dwelling;
 - For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
- Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional, tilt or roller door.
 - The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - A front entrance door with glass inserts and / or windows or with a sidelight where the front door is solid. If the front facade includes a habitable room with window, a sidelight is not required.
 - A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.*

- Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
- Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
- Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a B99 Vehicle.
- Maximum of one driveway per dwelling unless it is a MR lot.
- Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
- Where there is a footpath within the verge, the footpath should be cut at the nearest joint and the footpath reinstated to the driveway without compromising the structural integrity of the footpath.
- Driveways must be completed prior to occupation of the dwelling.

Fencing

- Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
- Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
- Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill palings or panels.
- Fencing on lanes can be screen fencing at 1.8m high where along private open space, carparking and service areas.
- Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
- Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.

Retaining Walls

- For retaining walls **not** constructed by the developer:
 - Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
 - Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
- No timber retaining walls over 1.0m or adjoining parks or public streets.
- Walls over 1.0m require RPEQ certification.

Building Articulation

- All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
 - Windows recessed into the façade or bay windows;
 - Balconies, porches or verandahs;
 - Articulation of roof lines
 - Window hoods; and/or
 - Use of multiple cladding materials
- Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) habitable room orientated towards the open space.
- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
- Air-conditioners, gas bottles, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
- Homes must include a clearly identifiable and addressed front door and undercover point of entry.
- Screened drying and rubbish bins area must be behind the main face of the dwelling.
- At least two openings to all habitable rooms to facilitate cross flow ventilation are required.

Slope and Building Footings

- Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
- If the nominated pad level is not provided, the pad level is to be assumed as the average of the four corners of the adjacent block, using the as constructed levels.
- Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)

- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Drying and rubbish bin areas must be located behind the main face of the dwelling or suitably screen from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

- Floor area must be between a minimum of 30m² and 75m².
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

Definitions

Laneway Allotment - Allotments serviced by a laneway.

REVISION

H: 23/09/2019 Stage 2 & 3 Layout Amendments
I: 11/03/2020 Road and Bus Stops Updates
J: 07/10/2020 Stage 2 & 5 Layout Amendments
K: 19/11/2020 Stage 2 Layout Amendments
L: 25/11/2020 Stage 2 Layout Amendments
M: 21/05/2021 Stage 2, 3 & 5 Layout Amendments
N: 26/07/2021 Stage 3 Layout Amendments
O: 11/08/2021 Stage 5li Change
P: 07/09/2021 Stage 3li, 5J & 5K Change
Q: 07/10/2021 Stage 3 & 4 Change
R: 20/10/2021 Stage 3 & 4 Change
S: 27/10/2021 Stage 4 Change

Note:

All dimensions and areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Road linemarkings and turn slots are indicative only and subject to detailed design.

Source Information:
Site boundaries: Registered Survey Plans / Veris
Adjoining information: DCDB.
Contours: Bradlees.



PLANS AND DOCUMENTS referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2012/403

Date: 18 January 2022

Scale 1 : 1000 @ A1
0 5 10 20 30 40 50 60

CLIENT
PEET

PROJECT
Flagstone Precinct 1

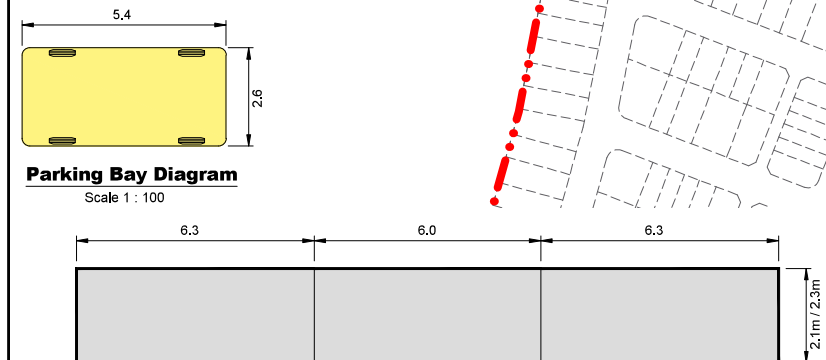
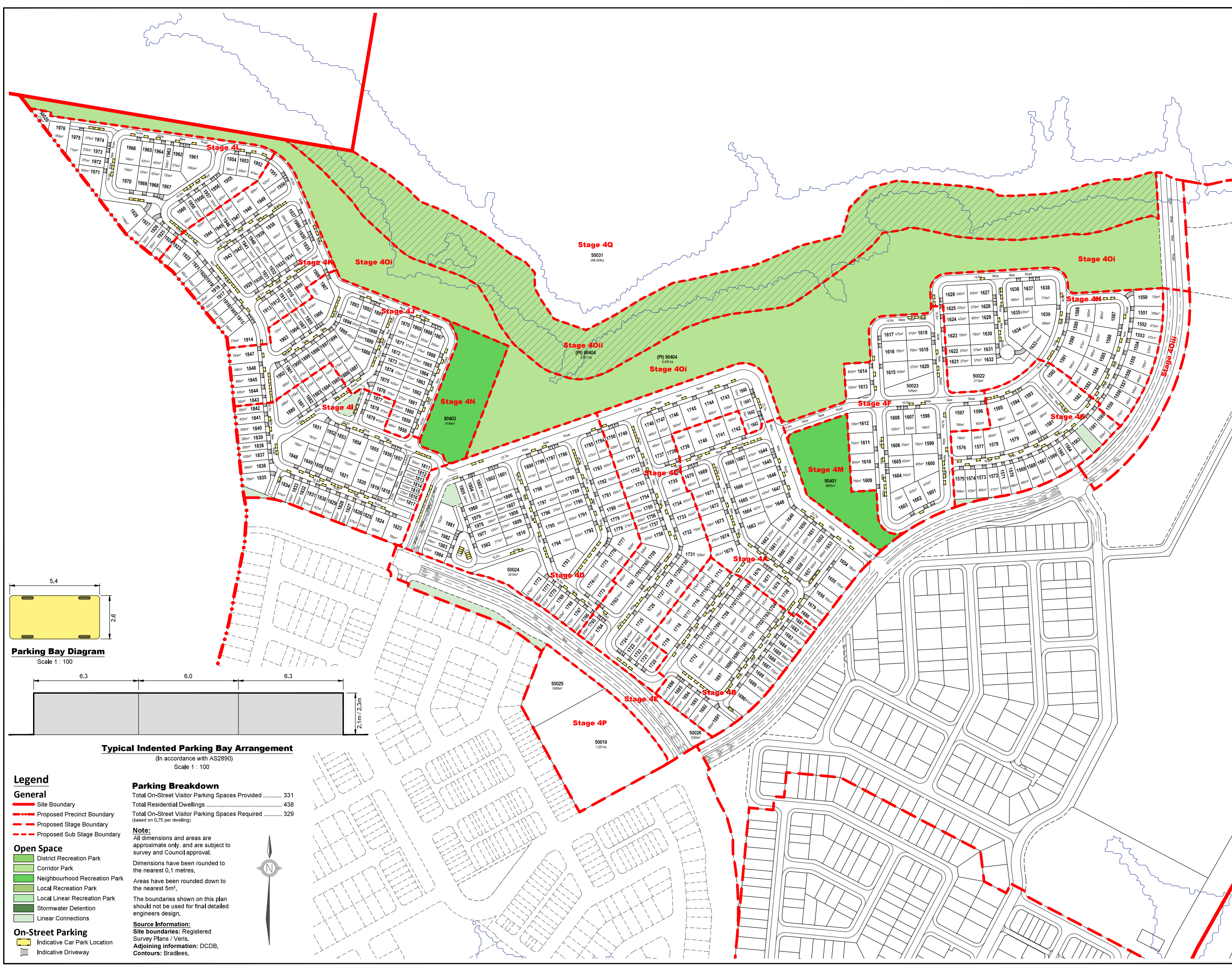
Plan of Development
Stage 4J, K & L
Residential Allotments

Date,	27 October 2021
Comp By,	WNW / JC / MD
Checked By,	DG / MD
DWS Name,	Precinct 1 Stage 4
Job Ref,	110056
Local Authority,	Economic Development Queensland
Locality,	Flagstone
Scale	Sheet
1 : 1000	A1
Plan Ref	Rev
110056 – 401	S

URBAN DESIGN
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520 Wickham Street
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rps

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Legend
General

- Site Boundary
- Proposed Precinct Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary

Open Space

- District Recreation Park
- Corridor Park
- Neighbourhood Recreation Park
- Local Recreation Park
- Local Linear Recreation Park
- Stormwater Detention
- Linear Connections

On-Street Parking

- Indicative Car Park Location
- Indicative Driveway

Parking Breakdown

Total On-Street Visitor Parking Spaces Provided 331
Total Residential Dwellings 438
Total On-Street Visitor Parking Spaces Required 329
(based on 0.75 per dwelling)

Note:
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PLANS AND DOCUMENTS

referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2012/403
Date: 18 January 2022

Scale 1 : 2000 @ A1

CLIENT
PEET

PROJECT
Flagstone Precinct 1

Plan of Subdivision
Stage 4 Overall
Parking Management Plan

Date,	27 October 2021
Comp By,	WNW / JC / MD
Checked By,	DG / MD
DWG Name,	Precinct 1 Stage 4
Job Ref,	110056
Local Authority,	Economic Development Queensland
Locality,	Flagstone
Scale	Sheet
1 : 2000	A1
Plan Ref	Rev
110056 - 402	S

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