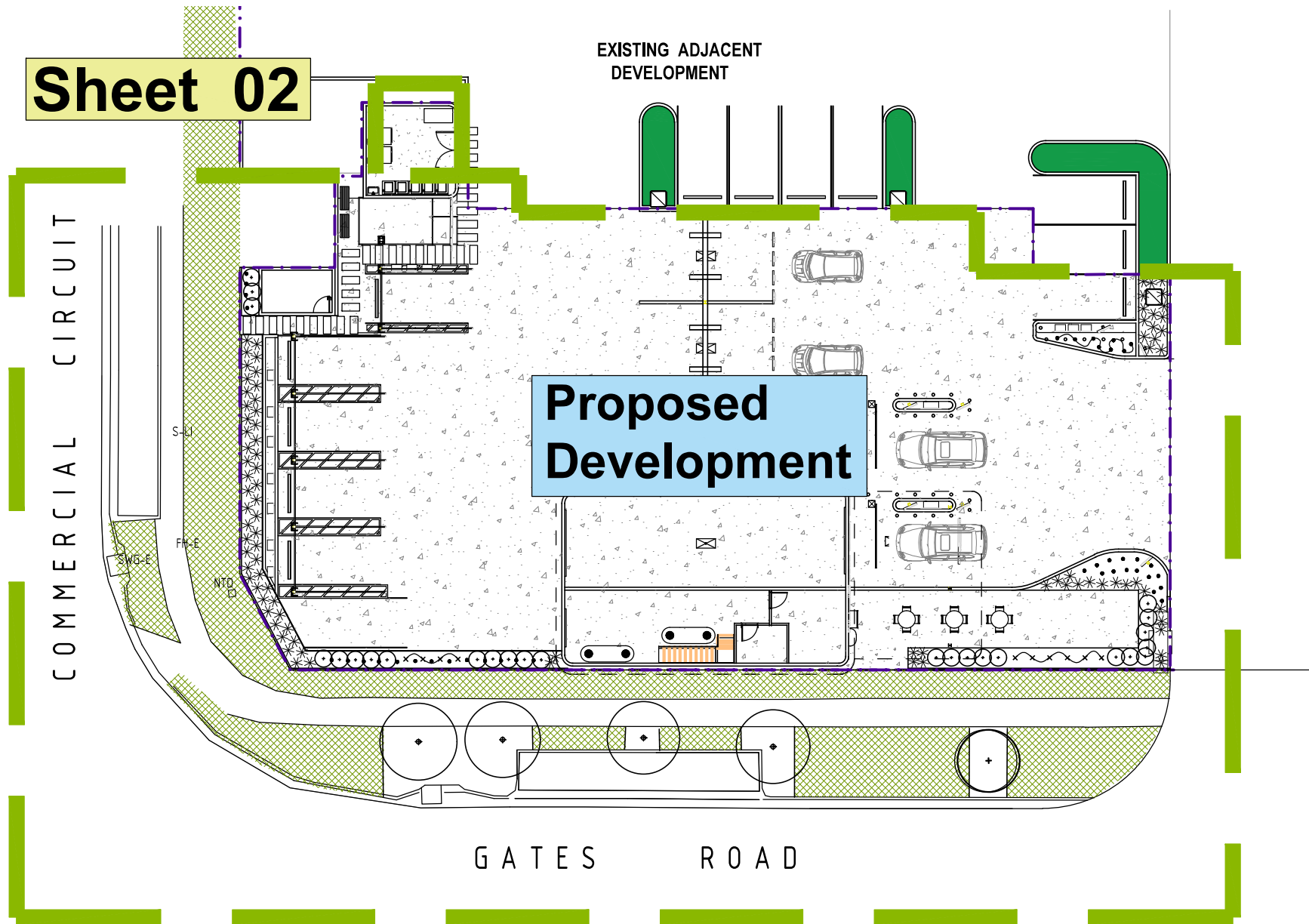
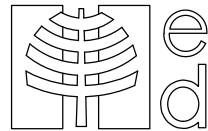




PROPOSED COMMERCIAL DEVELOPMENT
AT LOT 3 GATES ROAD, FLAGSTONE.

SHEET LEGEND -
SHEET 01 - OVERALL SITE LAYOUT
SHEET 02 - LANDSCAPE PLANTING
SHEET 03 - SCHEDULE / SPECIFICATION
SHEET 04 - LANDSCAPE DETAILS



CERTIFICATION

PLANS CERTIFIED AS PER
CONDITION 21 OF PDA
DEVELOPMENT APPROVAL.

TOBIAS VOLBERT
AILA REGISTRATION
No. 003855

PLEASE NOTE THIS LANDSCAPE
PLAN DOES NOT TAKE INTO
ACCOUNT ANY UNFORESEEN
SUBSURFACE ROCK FORMATIONS.

AMENDMENTS		
issue	date	description
A	29.09.21	ISSUE TO CLIENT FOR EDQ SUBMISSION
B	02.12.21	PLANTING ALTERED ISSUE TO CLIENT



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Phone 07 5444 6155
PO Box 1546, Buderim QLD 4556
admin@elementdesign.net.au

PROJECT PROPOSED COMMERCIAL
DEVELOPMENT AT LOT 3
GATES ROAD, FLAGSTONE.

CLIENT
A&M No 1 P/L as trustee ABN 64625641585
A&M No 2 P/L as trustee ABN 51412980476
Lot 3 Gates Road, Flagstone QLD 4280.

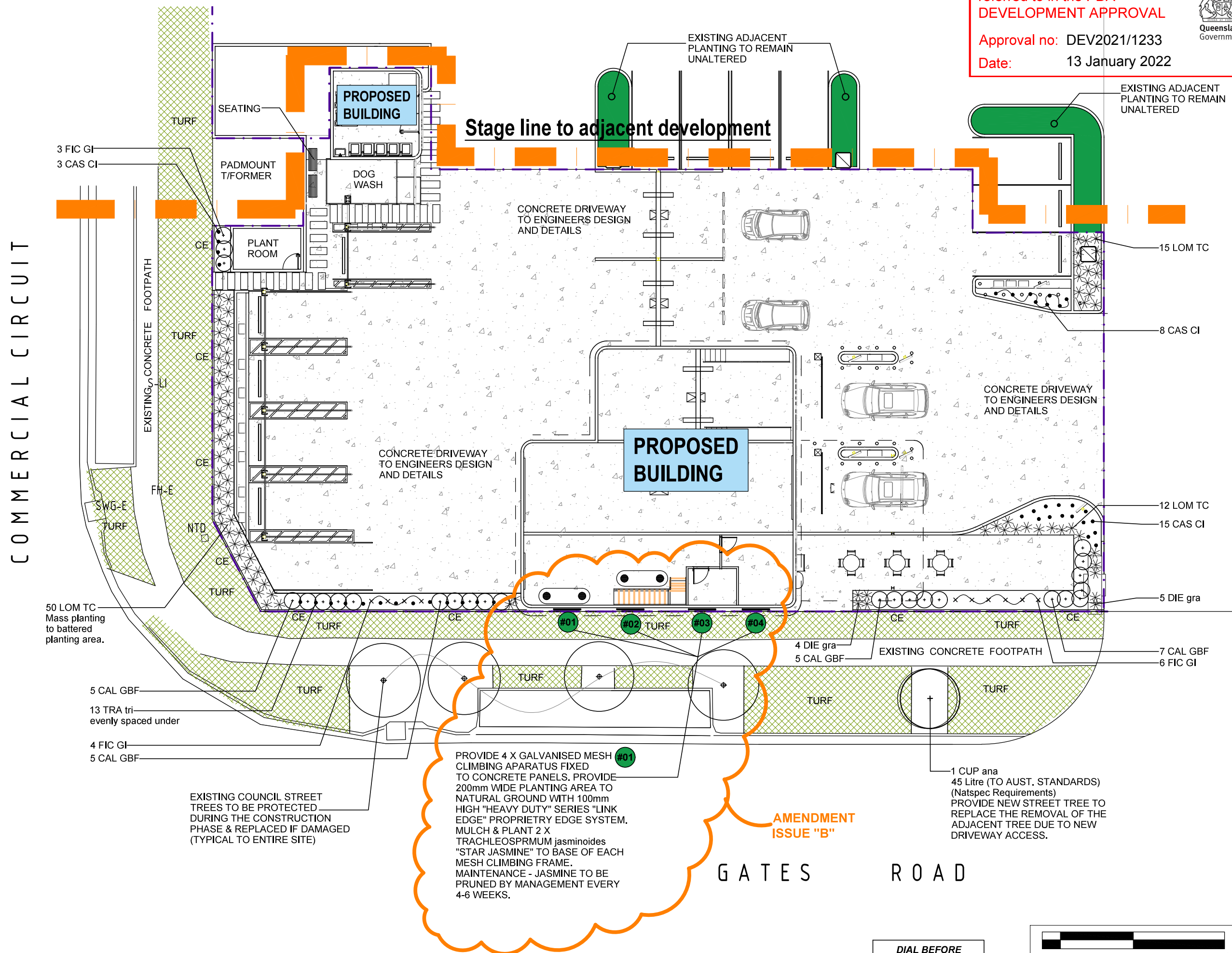
DWG
TITLE
LANDSCAPE PLAN
OPERATIONAL WORKS

ISSUE	
ED 21197	OPW - 01



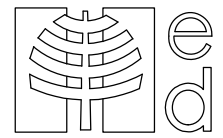
Date	SEPTEMBER 2021
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Design	NH Drawn NH
Sheet	01 OF 04

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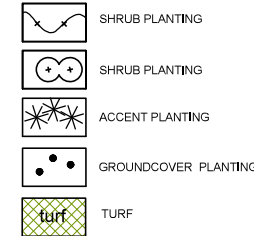


LANDSCAPE PLAN Operational Works - Sheet 2

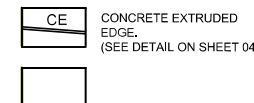
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LEGEND
PLANTING



HARD LANDSCAPE



CONTEXT



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ACCOUNT ANY UNFORESEEN
SUBSURFACE ROCK FORMATIONS.

AMENDMENTS		
issue	date	description
A	29.09.21	ISSUE TO CLIENT FOR APPROVAL
B	02.12.21	PLANTING ALTERED ISSUE TO CLIENT



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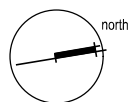
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PO Box 1546, Buderim QLD 4556
admin@elementdesign.net.au

PROJECT PROPOSED COMMERCIAL DEVELOPMENT AT LOT 3 GATES ROAD, FLAGSTONE.

CLIENT
A&M No 1 P/L as trustee ABN 64625641585
A&M No 2 P/L as trustee ABN 51412980476
Lot 3 Gates Road,Flagstone QLD 4280.

DWG
TITLE: LANDSCAPE PLAN
OPERATIONAL WORKS

issue	B
ED 21197	OPW - 02



Date	SEPTEMBER 2021		
Scale	1:200 @ A3		
Design	NH	Drawn	NH
Sheet	02 OF 04		

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PLANT SCHEDULE -				
Contractor to confirm plant quantities prior to ordering				
element design™				
ED 21197 Issue B				
SHRUB SPECIES				
Code	Botanical Name	Common Name	Size	Quantity
CAL GBF	Callistemon 'Great Balls of Fire'	Great Balls of Fire	200 pot	22
DIE gra	Dietes grandiflora	Grandiflora	200 pot	9
FIC GI	Ficus Green Island	Green Island	200 pot	13
LOM TC	Lomandra Tropic Cascade	Tropic Cascade	140 pot	77
GROUNDCOVER SPECIES				
Code	Botanical Name	Common Name	Size	Quantity
CAS CI	Casuarina Cousin It	Cousin It	140 pot	26
TRA tri	Trachleospermum Tricolor	Variagated Jasmine	140 pot	13
TRA jas	Trachleospermum jasminoides	Star Jasmine	140 pot	6

AMENDMENT
ISSUE "B"

SPECIFICATION FOR LANDSCAPE WORKS	
element design™	
SCOPE	PERFORMANCE
GENERAL CONDITIONS	● ALL LANDSCAPE CONSTRUCTION WORK IS TO BE CARRIED OUT IN COMPLIANCE WITH RELEVANT COUNCIL APPROVALS AND TO INDUSTRY BEST PRACTICE. ANY CHANGES FROM DESIGN DOCUMENTATION MUST BE APPROVED BY PROJECT LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION ON SITE. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE UNDERTAKEN WHERE NECESSARY TO ENSURE NO DETRIMENTAL EFFECT TO DOWNSTREAM WATERWAYS OR NEIGHBOURING SITES.
SITE PREPARATION / EARTHWORKS	● PRIOR TO COMMENCEMENT OF WORKS, EXISTING SITE CONDITION IS TO BE DOCUMENTED BY CONTRACTOR. ALL EXISTING AND PROPOSED SERVICES ON SITE ARE TO BE LOCATED AND CLEARLY IDENTIFIED. ALL BUILDING RUBBISH AND DELETERIOUS MATERIALS ARE TO BE REMOVED FROM SITE TO APPROVED WASTE LOCATION. LANDSCAPE AREAS SHALL BE SCARIFIED TO A DEPTH OF 150mm TO PROMOTE GOOD GROWTH FOR TURF AND PLANTING.
MATERIALS / SERVICES	● ALL MATERIALS TO BE USED IN THE CONSTRUCTION OF THE DESIGNED LANDSCAPE ARE TO BE OF AND INDUSTRY STANDARD QUALITY AND FROM A SUSTAINABLE SOURCE WHERE POSSIBLE. NO MATERIALS USED ON SITE SHALL BE TOXIC TO HUMANS, ANIMALS OR PLANTS. ALL SELECT ITEM MATERIALS ARE TO BE APPROVED BY CLIENT PRIOR TO CONSTRUCTION ON SITE. PROVIDE SERVICE CONDUITS TO ALL GARDEN BEDS FOR IRRIGATION AND DRAINAGE PURPOSE. PROVIDE CONDUITS FOR LIGHTING WHERE REQUIRED. ENSURE ADEQUATE DRAINAGE TO PLANTING AREAS FOR SPECIFIC SITE SOIL CONDITIONS VIA THE USE OF SLOTTED AGRICULTURAL DRAIN (SELECT TYPE FOR APPLICATION), OVERLAND FLOW PATHS WITHIN GARDENS (SELECT RIVER GRAVEL ON GEOFABRIC MATERIAL) AND SURFACE STORMWATER PITS (LOCATED IN GENERALLY CONCEALED POSITIONS).
HARDSCAPE	● PROPOSED HARDSCAPE ITEMS ARE TO BE CONSTRUCTED TO AUSTRALIAN STANDARDS AND RELEVANT COUNCIL CODES BY A SUITABLY LICENCED CONTRACTOR. WORKPLACE HEALTH AND SAFETY REGULATIONS MUST BE IMPLEMENTED DURING CONSTRUCTION PHASE.
PLANT MANAGEMENT	● ALL PLANT SPECIES ARE DETAILED WITHIN THE PLANT SCHEDULE. NO SUBSTITUTIONS ALLOWED WITHOUT PRIOR ACCEPTANCE BY COUNCIL AND PROJECT LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL OBTAIN ALL PLANTS AS SPECIFIED FROM AN ACCREDITED NURSERY OR OTHER APPROVED SOURCE. PLANTS SHALL BE PRE-WATERED PRIOR TO ARRIVING ON SITE. PLANTS SHALL BE HEALTHY, HARDY AND OF GOOD FORM. THE ROOT SYSTEM OF EACH PLANT SHOULD NOT BE ROOTBOUND AND BE CONDUCTIVE TO SUCCESSFUL TRANSPLANTATION. ALL PLANTS TO BE PEST AND DISEASE FREE WITH CONTAINERS FREE FROM WEEDS. STREET TREE SPECIES ARE TO COMPLY WITH NATSPEC AND RELEVANT COUNCIL CONDITIONS. STAKE TREES WITH A MIN. OF TWO 50x50 HWD STAKES AND HESSION STRAP OR SIMILAR AS NOT TO DAMAGE TREE. FIGURE 'B' DETAIL RECOMMENDED. NO TYPE OF STAKE TO BE PLACED THROUGH ROOTBALL OF PLANT AT ANY TIME. EACH PLANT TO HAVE ADDED WATER CRYSTALS TO PLANTING HOLE AND WATERED IN AFTER PLANTING AS REQUIRED. PLANT STOCK MAY BE REJECTED IF NOT CONFORMING WITH ABOVE SPECIFICATIONS.
SOFTSCAPE AS 4419-2003, SOILS FOR LANDSCAPING AND GARDEN USE AS 4454-2003, COMPOSTS, SOIL CONDITIONERS AND MULCHES	● SETOUT OF ALL SOFTSCAPE AREAS TO BE IN ACCORDANCE WITH APPROVED PLANS. PLANTING AREAS TO BE MOUNDED TO ACHIEVE ADEQUATE DRAINAGE AND AESTHETIC PRESENTATION. SOIL: A GOOD QUALITY FRIABLE, MODERATELY DRAINING, ORGANIC ENRICHED LANDSCAPING SOIL MIX SHALL BE IMPORTED FROM AN APPROVED SOURCE. THE SOIL SHOULD NOT CONTAIN ANY CLAY AND BE FREE FROM CONTAMINANTS SUCH AS WEEDS, STICKS AND ROCKS. IMPLEMENTATION WITHIN GARDEN AREAS TO A MIN. OF 300mm DEPTH. ORGANIC MULCH: HOOP PINE MULCH IN ITS VARIETY OF FORMS IS TO BE SUPPLIED AND INSTALLED TO A MIN. DEPTH OF 100mm. MULCH IS TO BE FREE OF FOREIGN MATTER INCLUDING WEEDS, SOIL, STICKS AND ROCKS. AVOID PLACEMENT OF MULCH AGAINST STEM OR TRUNK OF PLANTS. GRADE MULCH TO BE SELF RETAINED WITHIN GARDEN EDGING. GRAVEL MULCH: SELECTED WASHED RIVER MULCH GRADED IN SIZE AND COLOUR. USE IN AREAS AS SPECIFIED ON PLANS. TO BE USED TO SEPERATE ORGANIC MULCH FROM THE WALLS OF BUILDINGS, ADJACENT PATHS AND TOO FACILITATE DRAINAGE WITHIN GARDEN BEDS. MIN. DEPTH TO BE TWICE THE DIAMETER OF THE LARGEST PEBBLE.
TURF (GREEN COUCH)	● TURF SHALL CONSIST OF A DENSE, WELL ROOTED, VIGOROUS GRASS GROWTH WITH MIN. 25mm OF TOPSOIL. TURF IS TO BE DELIVERED TO SITE WITHIN 24 HOURS OF BEING CUT. TURF SHOULD BE FREE FROM DELETERIOUS MATERIAL INCLUDING WEEDS, SEEDS OR ROOTS INCLUDING NUT GRASS AND OXALIS. TURF SHALL BE SUPPLIED IN UNIFORM SIZE IN UNBROKEN CONDITION. MOISTURE LEVEL OF TURF TO REMAIN CONSISTANT DURING LAYING. TURF TO BE LAID ALONG CONTOUR AND PINNED IF GREATER THAN 1:4 SLOPE. PREPARE SUBGRADE TO A LEVEL BASE WITH AN APPROVED TOPSOIL AND SPREAD UNDER TURF FERTILIZER AT RECOMMENDED RATE. TURF TO FINISH LEVEL WITH PATHS, EDGES AND KERBS AFTER ROLLING AND SETTLEMENT.
IRRIGATION (to be confirmed)	● IRRIGATION TO BE INSTALLED BY A SUITABLY QUALIFIED CONTRACTOR AND BE INSTALLED IN ACCORDANCE WITH ALL COUNCIL WATER REGULATIONS. THE MOST WATER EFFICIENT METHOD OF IRRIGATION IS TO BE USED, CONNECTED TO TANK SUPPLY WHERE POSSIBLE. CONDUITS TO BE LAID TO ALL GARDEN AREAS TO PROVIDE A REGULATED COVERAGE. FLUSH AND PRESSURE TEST PRIOR TO COMMISSIONING. PROVIDE AS CONSTRUCTED DRAWINGS CLEARLY SHOWING LOCATION OF ALL IRRIGATION COMPONENTRY.
LANDSCAPE ESTABLISHMENT PERIOD	● THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND MAINTENANCE OF ALL LANDSCAPE WORKS FOR A PERIOD OF 13 WEEKS AFTER COMPLETION. MAINTENANCE IS TO INCLUDE MOWING OF TURF, REMOVAL AND SPRAYING OF WEEDS, PRUNING AND TRIMMING OF SHRUBS WHERE REQUIRED. REPLACEMENT OF DEAD OR DISEASED PLANT STOCK AND CORRECT WORKING OF IRRIGATION SYSTEM. WATER IS TO BE PROVIDED TO ALL SOFT LANDSCAPING AT A REQUIRED RATE DURING THE ESTABLISHMENT PERIOD TO ENSURE HEALTHY AND VIGOROUS GROWTH.

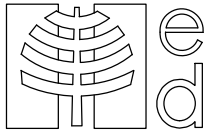
PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2021/1233
Date: 13 January 2022



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LANDSCAPE PLAN Operational Works - Sheet 3



PLEASE NOTE THIS LANDSCAPE
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ACCOUNT ANY UNFORESEEN
SUBSURFACE ROCK FORMATIONS.

Issue	Date	Description
A	29.08.21	ISSUE TO CLIENT FOR APPROVAL
B	02.12.21	PLANTING ALTERED ISSUE TO CLIENT



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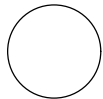
151 Brisbane Rd., Mooloolaba
Phone 07 5444 6155 Fax 07 5444 6055
PO Box 1546, Bundamba QLD 4556
admin@elementdesign.net.au

PROJECT PROPOSED COMMERCIAL
DEVELOPMENT AT LOT 3
GATES ROAD, FLAGSTONE.

CLIENT
A&M No 1 P/L as trustee ABN 64625641585
A&M No 2 P/L as trustee ABN 51412980476
Lot 3 Gates Road, Flagstone QLD 4280.

DWG TITLE
PLANT SCHEDULE &
SPECIFICATION

ISSUE	
B	
ED 21197	OPW - 03



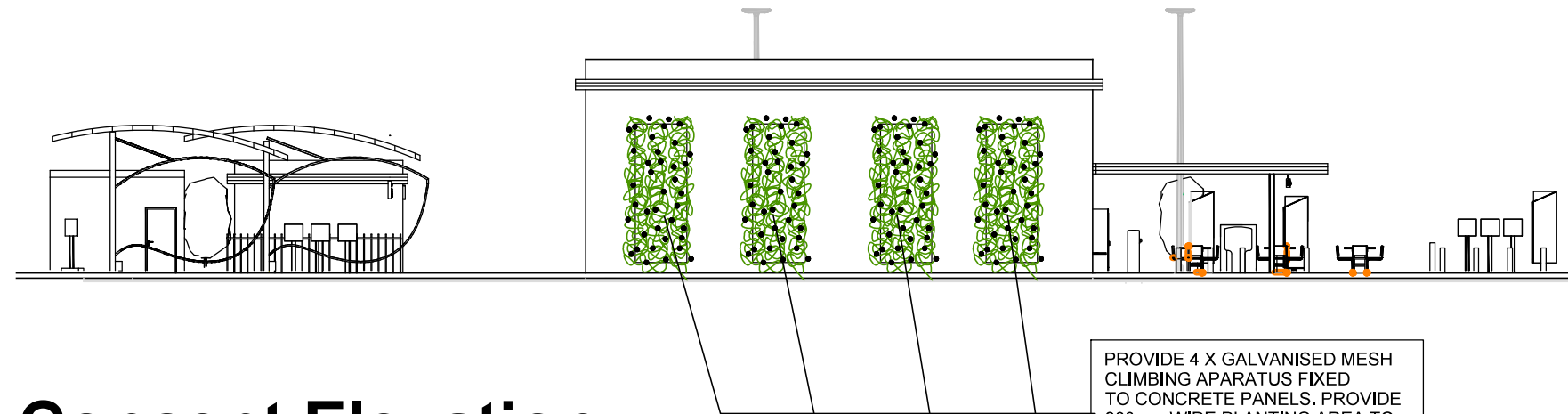
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Design NH Drawn NH

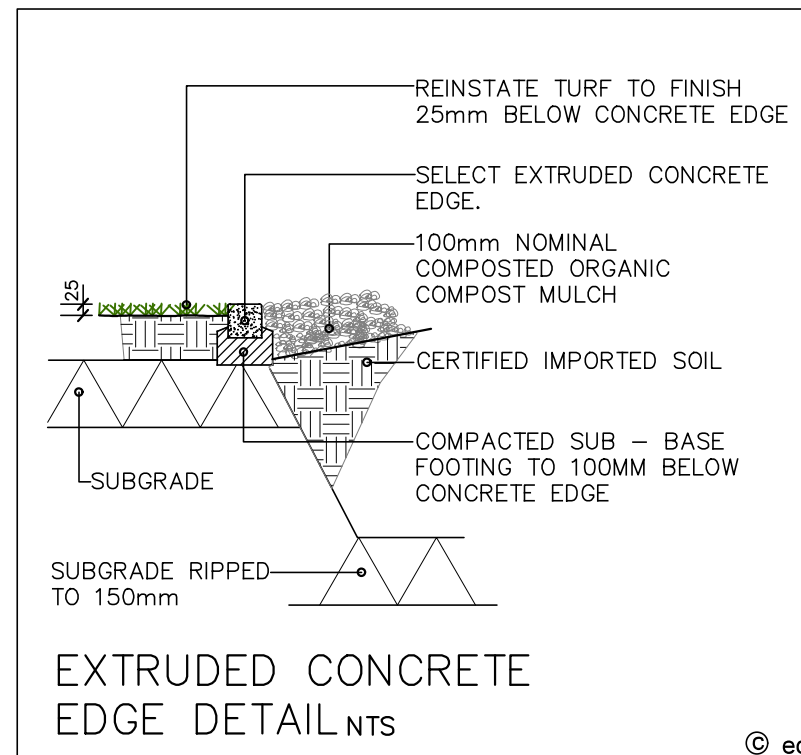
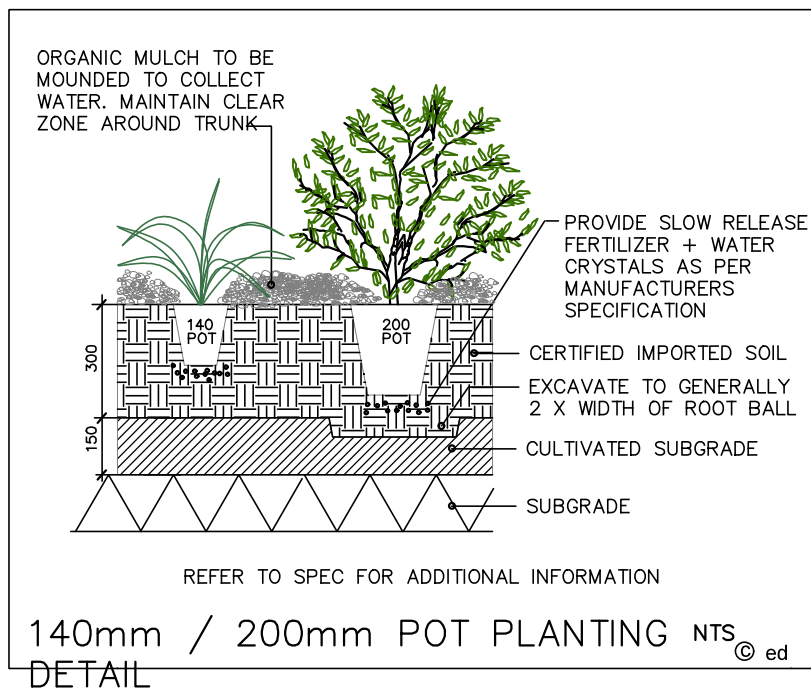
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Concept Elevation -

PROVIDE 4 X GALVANISED MESH CLIMBING APARATUS FIXED TO CONCRETE PANELS. PROVIDE 200mm WIDE PLANTING AREA TO NATURAL GROUND WITH 100mm HIGH "HEAVY DUTY" SERIES "LINK EDGE" PROPRIETRY EDGE SYSTEM. MULCH & PLANT 2 X TRACHLEOSPRMUM jasminoides "STAR JASMINE" TO BASE OF EACH MESH CLIMBING FRAME. MAINTENANCE - JASMINE TO BE PRUNED BY MANAGEMENT EVERY 4-6 WEEKS.



PLEASE NOTE THIS LANDSCAPE PLAN DOES NOT TAKE INTO ACCOUNT ANY UNFORESEEN SUBSURFACE ROCK FORMATIONS.

AMENDMENTS		
issue	date	description
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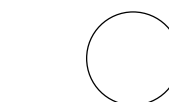
151 Brisbane Rd. Mooloolaba
Phone 07 5444 6155 Fax 07 5444 6055
PO Box 1546, Bundaberg QLD 4655
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PROJECT **PROPOSED COMMERCIAL
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CLIENT
**A&M No 1 P/L as trustee ABN 64625641585
A&M No 2 P/L as trustee ABN 51412980476
Lot 3 Gates Road, Flagstone QLD 4280.**

DWG TITLE
**LANDSCAPE PLAN
DETAILS SHEET**

ISSUE	B
ED 21197	OPW - 04



Date	SEPTEMBER 2021
Scale	NTS
Design	NH Drawn NH
Sheet	04 OF 04

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