

HERCULES STREET

19 HERCULES ST HAMILTON, BRISBANE QLD 4000

DEVELOPMENT APPLICATION

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2020/1165

Date: 9th December 2021



NO.	DESCRIPTION	Drawing Scales
DA 000	COVER SHEET	
DA 001	LEGEND AND BASIX	
DA 002	LOCATION PLAN	1:500
DA 003	SITE ANALYSIS	
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DA 110	LEVELS 3, 4, 7, 8, 11, 12 + 15 PLANS (TYP LOWER)	1:200
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DA 115	LEVEL 23	1:200
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DA 121	ROOF	1:200
DA 201	NORTH ELEVATION HERCULES STREET	1:200
DA 202	EAST ELEVATION	1:200
DA 203	SOUTH ELEVATION	1:200
DA 204	WEST ELEVATION	1:200
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DA 302	SECTION BB	1:200
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DA 401	ADAPTABLE UNIT	
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LEGEND

REVISION ID	AMENDMENT	DATE
02	FOR INFORMATION	7/02/2020
05	PRELIMINARY	16/10/2020
06	PRELIMINARY	30/10/2020
A	ISSUE FOR DA	7/12/2020

ARCHITECT
FUSE
 ARCHITECTURE | URBAN DESIGN | INTERIOR DESIGN
 STUDIO 64
 61 MARLBOROUGH STREET
 SURRY HILLS NSW 2019
 MAIL@FUSEARCHITECTURE.COM.AU
 ABN 61 612 046 843
 NOMINATED ARCHITECT RACHID ANDARY 8627



Level 1, 8 Knox Lane
 Double Bay NSW 2028

PROJECT
 HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000
 JOB NO
 1944

CHECKED DRAWN

DATE
 7/12/2020

PROJECT STATUS
 DEVELOPMENT APPLICATION

DRAWING TITLE
 COVER SHEET

SHEET NO. REVISION
 DA 000 A

ARCHITECTURAL LEGEND

A (A) AC ACS AD ADJ ADP AH AHD AL AMB AP ASL ASP AWN	B B BD BG BGS BH BJ BKP BKR BKS BL BLK BOL BSN BSP BST BT BTH BTN BTP BTR BWK BWJ BY	C CAP CBC CBF CCF CGF CH CHE CHS (C) CIS CJ CKT CL CLD CLK CLNR CLR CNR COF COL COM COMS COMC COS CP CPC CPD CPE CPL CPS CPT CS CSF CSK CSNK CST CTF CTW CU CVJ CW CWB CWS CY	D DG DGO DJ DM DP DPC DRW DRY DW	E EA EDB EFF EJ ELEC EM EN EP EPO (EX) EXH EXP (EXP)	F FB FBV FCC FCL FCR FCU FEP FES FEX FFL FG FGL FH FHB FHR FIP FLS FMP FN FNC FR FRL FS FW FX	G GA GBC GBR GC GD GDR GE GHR GL GLR GM GP GPO GPT GR GRL GS GT	H HC HD HDR HDO HIR HK HMR HP HR HRV HWS HWU	I ID IL (INA) INS INT IO	J JF JP	K KB KE	L LB LCB LCL LCS LM LP LRA LSA LT LV LY	M MATV MBP MBX MCP MDR MDSP MGS MJ MOV MR MRR MRV MS MSB MTR MV MVJ	N NGL NOM	O OFS OSD OSR OV	P PB PC PD PEL PF PFC PLT PP PRC PV	R (R) RA RASS RC RD REP RES RF RFF RH RHS RL RTL RY RWH RWO RWT	S S SA SB SBT SC SCN SCOL SD SDH SDO SDSP SEC SFF SGN SHR SHRR SHS SIM SJ SK SKL SKT SLR SN SNK SO SOP SP SPR SPT SQE SRV SS SSD SSL SSN ST STL STN STY SW SWD SWF SWP	T (T) T TCE TD TDS TE TF TFF TFW TGIS TGS TH TND TOH TOS TOW TPS TR TRA TRH TSA TV TYP	U UG UIS UA UCT UG UNO UR US UT	V VIS VN VP	W WC WIR WM WP WPM WST WTM
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SITE ANALYSIS

	SITE
	STRUCTURES ON SITE
	NEIGHBOURING STRUCTURE
	FOOT PRINT
	GRASS VERGE
	STREET PARKING ZONE
	EASEMENT - TO BE EXTINGUISHED
	FALL OF TERRAIN
	VEHICULAR ACCESS
	TRAFFIC DIRECTION AND LANES
	EXISTING TREES
	CROSSING
	LIGHT POLE
	POWER POLE + POWER LINES
	PIT
	TELSTRA PIT
	UNDERGROUND ELECTRICITY
	UNDERGROUND TELECOMMUNICATIONS
	GAS MAIN
	WATER MAIN
	PREVAILING BREEZES
	NOISE SOURCE
	PEDESTRIAN CROSSING
	BUS STOP

UNIT TYPES

	1 BED APARTMENT
	1 BED + STUDY
	1 BED + MEDIA NOOK
	1 BED + TERRACE
	2 BED APARTMENT
	2 BED + STUDY
	2 BED + MEDIA NOOK
	2 BED + TERRACE
	3 BED APARTMENT
	3 BED DUAL KEYS
	3 BED DUAL KEYS + MEDIA NOOK
	3 BED DUAL KEYS + TERRACE
	4 BED APARTMENT
	4 BED DUAL KEYS
	BALCONY
	RESIDENTIAL CARSPACE
	VISITORS CARSPACE
	ADAPTABLE CARSPACE
	ACCESSIBLE CARSPACE
	SHARED ZONE
	BOLLARD
	STORAGE CAGES
	STORAGE ROOM
	DEEP SOIL ZONE - DCP 30% = 369m ²
	ADAPTABLE APARTMENT
	LIVABLE APARTMENT
	EASEMENT - TO BE EXTINGUISHED
	AIR CONDITIONER CONDENSER UNIT
	MASTERPLAN OUTLINE - SHOWN DOTTED
	SITE SETBACKS

PLANNING CONTROLS

	SITE
	BUILT TO BOUNDARIES
	R4 - HIGH DENSITY RESIDENTIAL HOB: 20m FSR 1.5: 1
	B3 - COMMERCIAL CORE
	SITE SETBACKS
	AWNING
	3m LANDSCAPED ZONE ALONG STREET FRONTAGE
	DEEP SOIL ZONE - DCP 30% = 369m ²
	DEEP SOIL ZONE - ADG 7% = 86m ²
	COMMUNAL OPEN SPACE - (ADG) 25% = 307m ²
	COURTYARD ZONE
	LANDSCAPE SETBACK TO BASEMENT DRIVEWAY
	SEMI - ACTIVE FRONTAGE (NOT CONTINUOUS ACTIVE STREET FRONTAGE)
	ARTICULATION ZONE (CAN INCLUDE OPEN STRUCTURE ELEMENTS, BALCONIES, HOODS AND BAY WINDOWS)
	FUTURE PLANNED BUILT FORM
	EASEMENT - TO BE EXTINGUISHED
	EXISTING STREET TREE
	DCP STREET TREE - 2 TREES FOR EVERY 10m
	8m CANOPY TREE - 2 TREES FOR EVERY 15m
	6m CANOPY DCP STREET TREE (B3 ZONE) - 1 TREES FOR EVERY 15m
	BASEMENT FOOTPRINT
	3m FROM BOUNDARY
	20% ADAPTABLE
	10% LIVABLE HOME
	FUTURE BUILDING ENVELOPE
	VEHICULAR ACCESS
	MIN. 28m FRONTAGE

PARKING

	RESIDENTIAL PARKING 2400x5400
	RESIDENTIAL PARKING 4800x5400
	COMMERCIAL PARKING 2400x5400
	COMMERCIAL DISABLED PARKING 4800x5400
	VISITOR PARKING 2400x5400
	VISITOR DISABLED PARKING 4800x5400
	RESIDENTIAL BICYCLE PARKING 850x2000
	COMMERCIAL BICYCLE PARKING 850x2000
	RESIDENTIAL MOTORCYCLE PARKING 1200x2500
	COMMERCIAL MOTORCYCLE PARKING 1200x2500
	VISITOR BICYCLE PARKING 850x2000

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ARCHITECT
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 STUDIO 64
 61 MARLBOROUGH STREET
 SURRY HILLS NSW 2010
 MAIL@FUSEARCHITECTURE.COM.AU
 ABN 61 612 046 843
 NOMINATED ARCHITECT RACHID ANDARIY 8627

CLIENT

 Level 1, 8 Knox Lane
 Double Bay NSW 2028

PROJECT
HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000

JOB NO
1944

CHECKED DRAWN

DATE SCALE
 7/12/2020 @ A1 A3@50%

PROJECT STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
LEGEND AND BASIC

SHEET NO. REVISION
 DA 001 A




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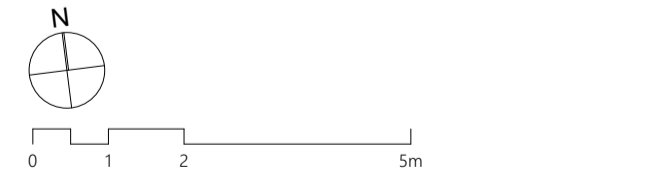
PRELIMINARY

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JOB NO
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CHECKED _____ DRAWN _____

DATE
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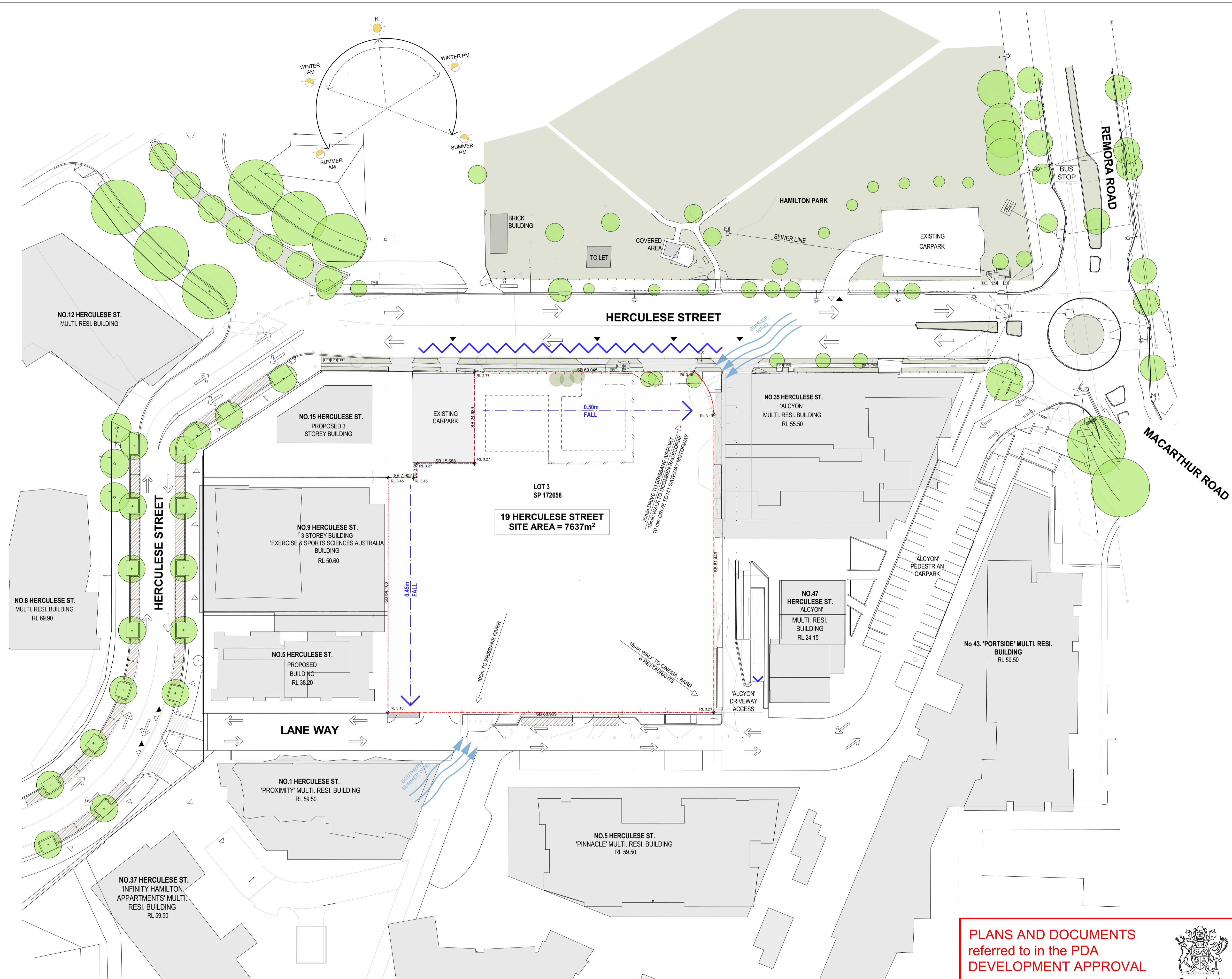
PROJECT STATUS
DEVELOPMENT APPLICATION
 DRAWING TITLE
LOCATION PLAN

SHEET NO
DA 002 REVISION
A

NOTE:

- SITE ANALYSIS
- SITE
- STRUCTURES ON SITE
- NEIGHBOURING STRUCTURE
- FOOTPRINT
- FOOTPATH
- GRASS VERGE
- STREET PARKING ZONE
- EASEMENT - TO BE EXTINGUISHED
- FALL OF TERRAIN
- VEHICULAR ACCESS
- TRAFFIC DIRECTION AND LANES
- EXISTING TREES
- CROSSING
- LIGHT POLE
- CROSSING
- POWER POLE + POWER LINES
- SPEED HUMP
- PIT
- TPIT
- TELETRA PIT
- UNDERGROUND ELECTRICITY
- UNDERGROUND TELECOMMUNICATIONS
- GAS MAIN
- WATER MAIN
- PREVAILING BREEZES
- NOISE SOURCE
- PEDESTRIAN CROSSING
- BUS STOP

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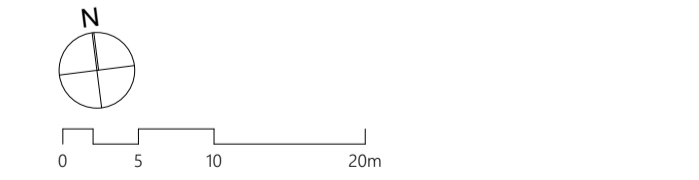


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PROJECT
HERCULESE STREET
 SITE ADDRESS
 19 HERCULESE ST HAMILTON, BRISBANE QLD 4000
 JOB NO
 1944
 CHECKED DRAWN
 DATE SCALE
 7/12/2020 @ A1 A3@50%
 PROJECT STATUS
 DEVELOPMENT APPLICATION
 DRAWING TITLE
 SITE ANALYSIS

SHEET NO. DA 003 REVISION A

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2020/1165
 Date: 9th December 2021

HERCULES STREET OVER

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PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

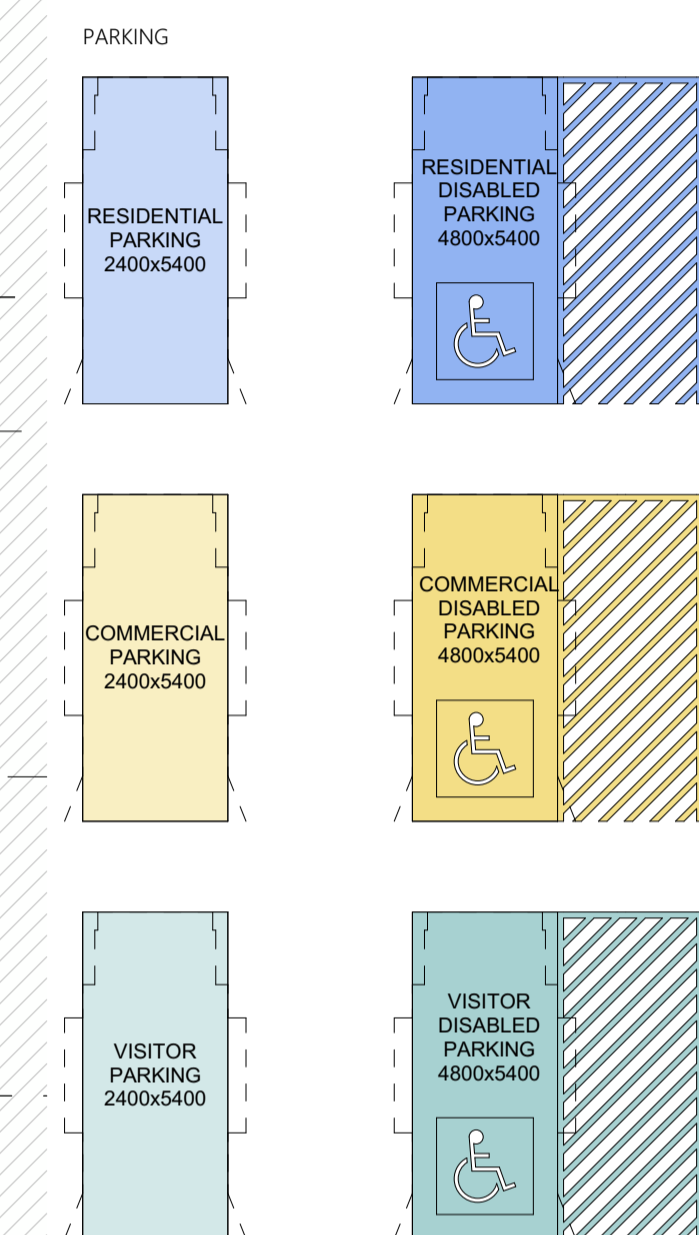
Approval no: DEV2020/1165
 Date: 9th December 2021



LEGEND

CARPARKS REQUIRED

2 BED (1 PER UNIT) =	53 CARPARK REQ.
3 BED (2 PER UNIT) =	98 CARPARK REQ.
4 BED (2 PER UNIT) =	102 CARPARK REQ.
VISITORS (0.15/DWELLING) =	23 CARPARK REQ.
PATRONS (1/150M2 NLA) =	28 CARPARK REQ.
TOTAL =	304 CARPARK REQ.

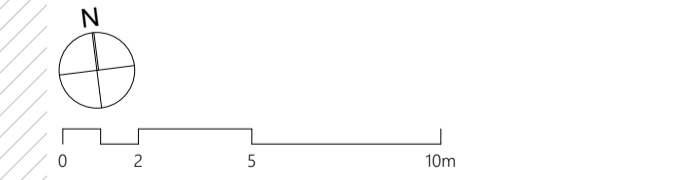


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 MAIL@FUSEARCHITECTURE.COM.AU
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Level 1, 8 Knox Lane
 Double Bay NSW 2028



PROJECT
 HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000

JOB NO
 1944

CHECKED DRAWN

DATE SCALE
 7/12/2020 1:200 @ A1 A3@50%

PROJECT STATUS
 DEVELOPMENT APPLICATION

DRAWING TITLE
 BASEMENT 4

SHEET NO DA 102 REVISION A



PROPOSED BUILDING
 RL 38.20

MAIN ROAD OVER

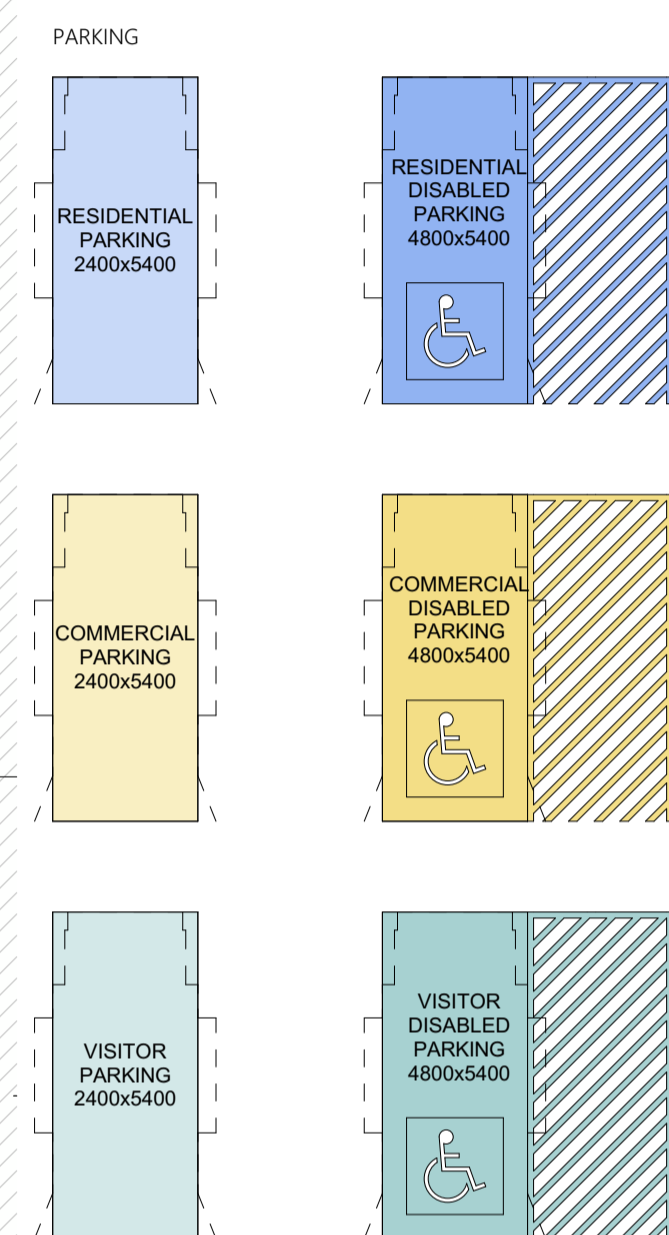
HERCULES STREET OVER

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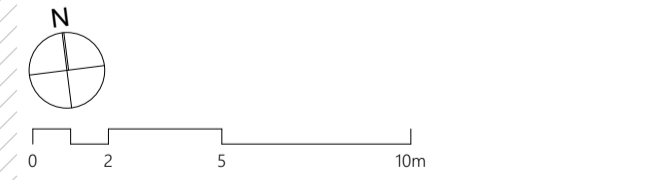


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Level 1, 8 Knox Lane
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PROJECT
 HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000
 JOB NO
 1944

CHECKED DRAWN
 DATE SCALE
 7/12/2020 1:200 @ A1 A3@50%

PROJECT STATUS
 DEVELOPMENT APPLICATION
 DRAWING TITLE
 BASEMENT 3

SHEET NO. REVISION
 DA 103 A

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2020/1165
 Date: 9th December 2021



PROPOSED BUILDING
 RL 38.20

MAIN ROAD OVER

HERCULES STREET OVER

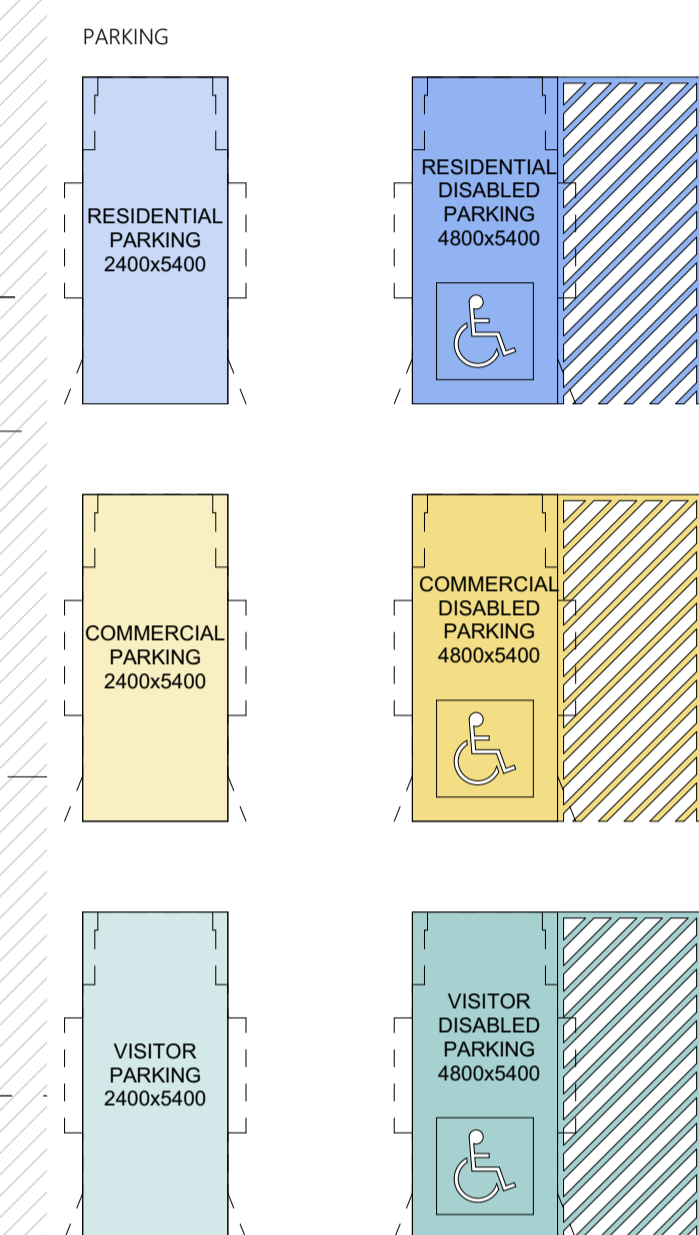
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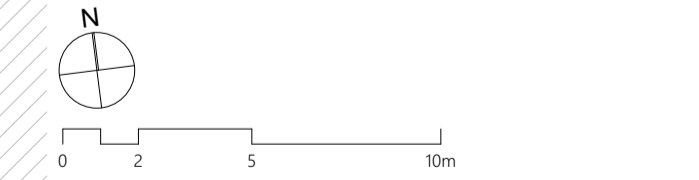


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CLIENT
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 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000

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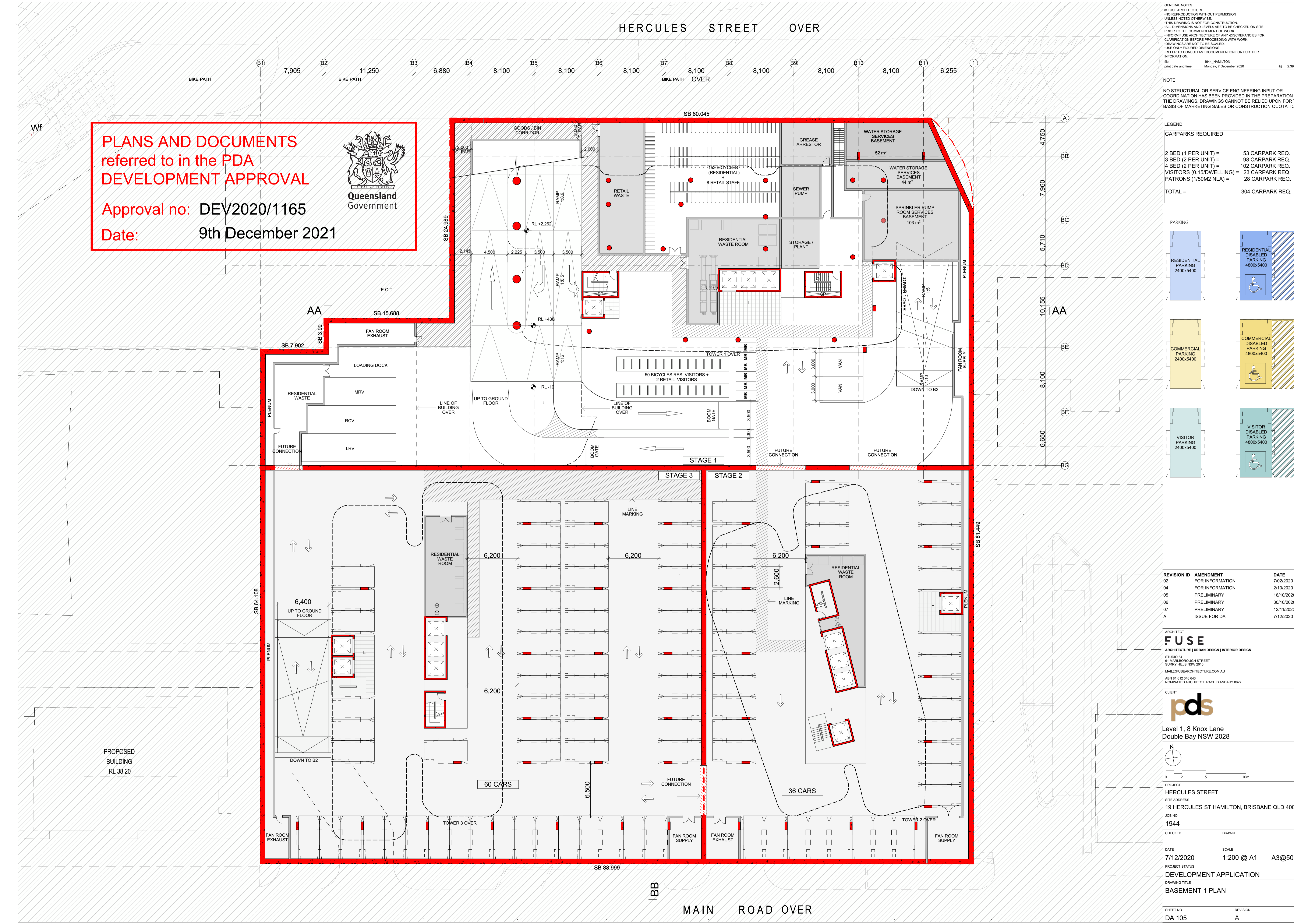
DATE SCALE
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PROJECT STATUS
 DEVELOPMENT APPLICATION
 DRAWING TITLE
 BASEMENT 1 PLAN

SHEET NO REVISION
 DA 105 A

PLANS AND DOCUMENTS
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 DEVELOPMENT APPROVAL

Approval no: DEV2020/1165
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PROPOSED BUILDING
 RL 38.20

MAIN ROAD OVER

GENERAL NOTES
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LEGEND

UNIT TYPES

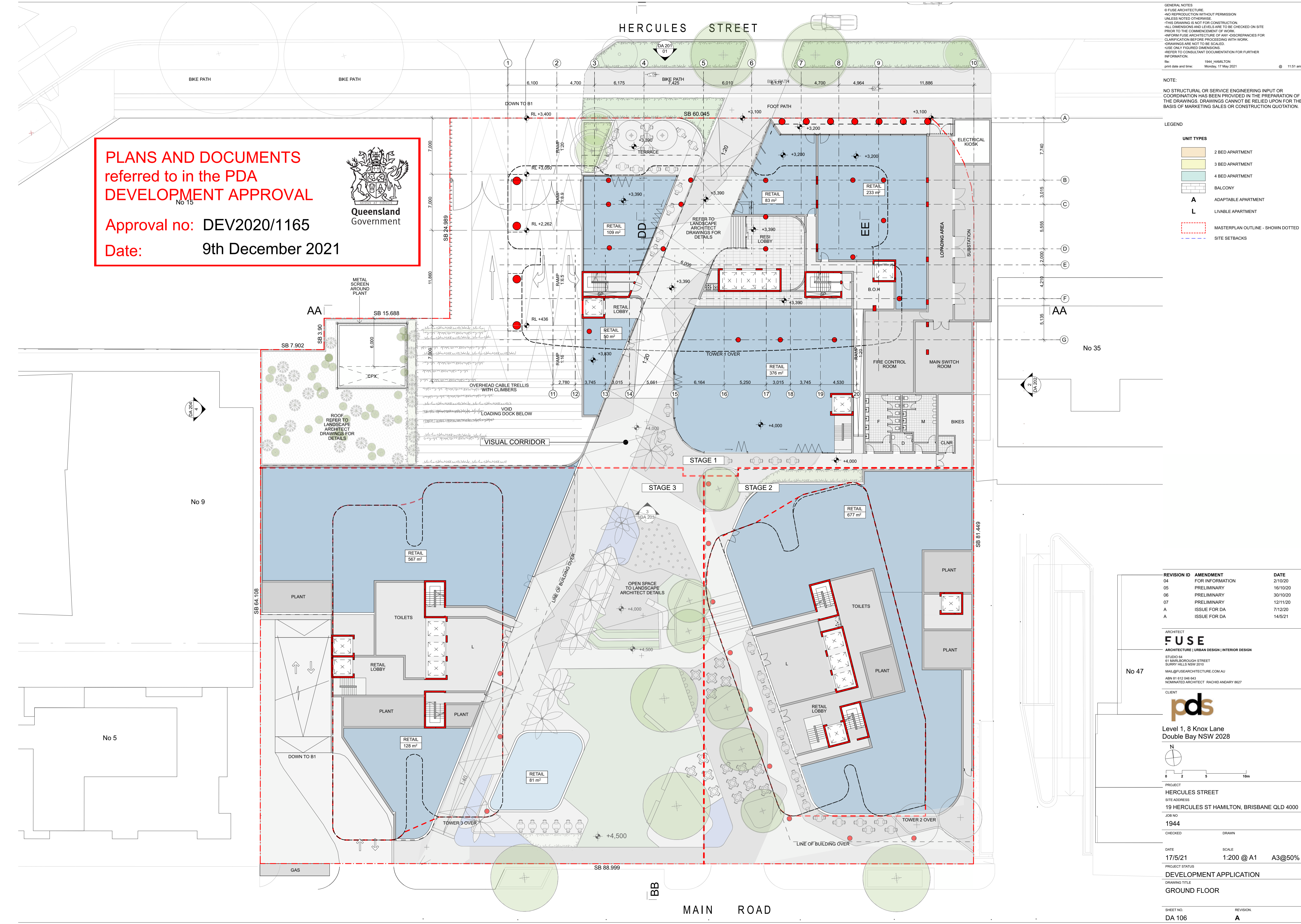
- 2 BED APARTMENT
- 3 BED APARTMENT
- 4 BED APARTMENT
- BALCONY
- A** ADAPTABLE APARTMENT
- L** LIVABLE APARTMENT
- MASTERPLAN OUTLINE - SHOWN DOTTED
- SITE SETBACKS

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

No 15

Approval no: DEV2020/1165

Date: 9th December 2021

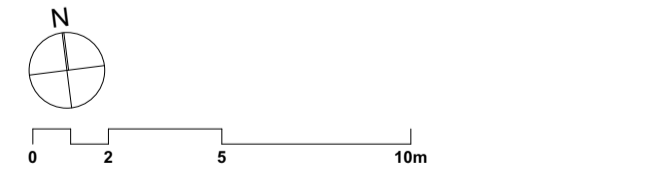


REVISION ID	AMENDMENT	DATE
04	FOR INFORMATION	2/10/20
05	PRELIMINARY	16/10/20
06	PRELIMINARY	30/10/20
07	PRELIMINARY	12/11/20
A	ISSUE FOR DA	7/12/20
A	ISSUE FOR DA	14/5/21

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FUSE
 ARCHITECTURE | URBAN DESIGN | INTERIOR DESIGN
 STUDIO 64
 61 MARLBOROUGH STREET
 SURRY HILLS NSW 2010
 MAIL@FUSEARCHITECTURE.COM.AU
 ABN 61 612 048 843
 NOMINATED ARCHITECT RACHID ANDARY 8627



Level 1, 8 Knox Lane
 Double Bay NSW 2028




PROJECT
HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000
 JOB NO
 1944
 CHECKED DRAWN
 DATE
 17/5/21
 SCALE
 1:200 @ A1 A3@50%
 PROJECT STATUS
 DEVELOPMENT APPLICATION
 DRAWING TITLE
 GROUND FLOOR

SHEET NO
 DA 106
 REVISION
 A

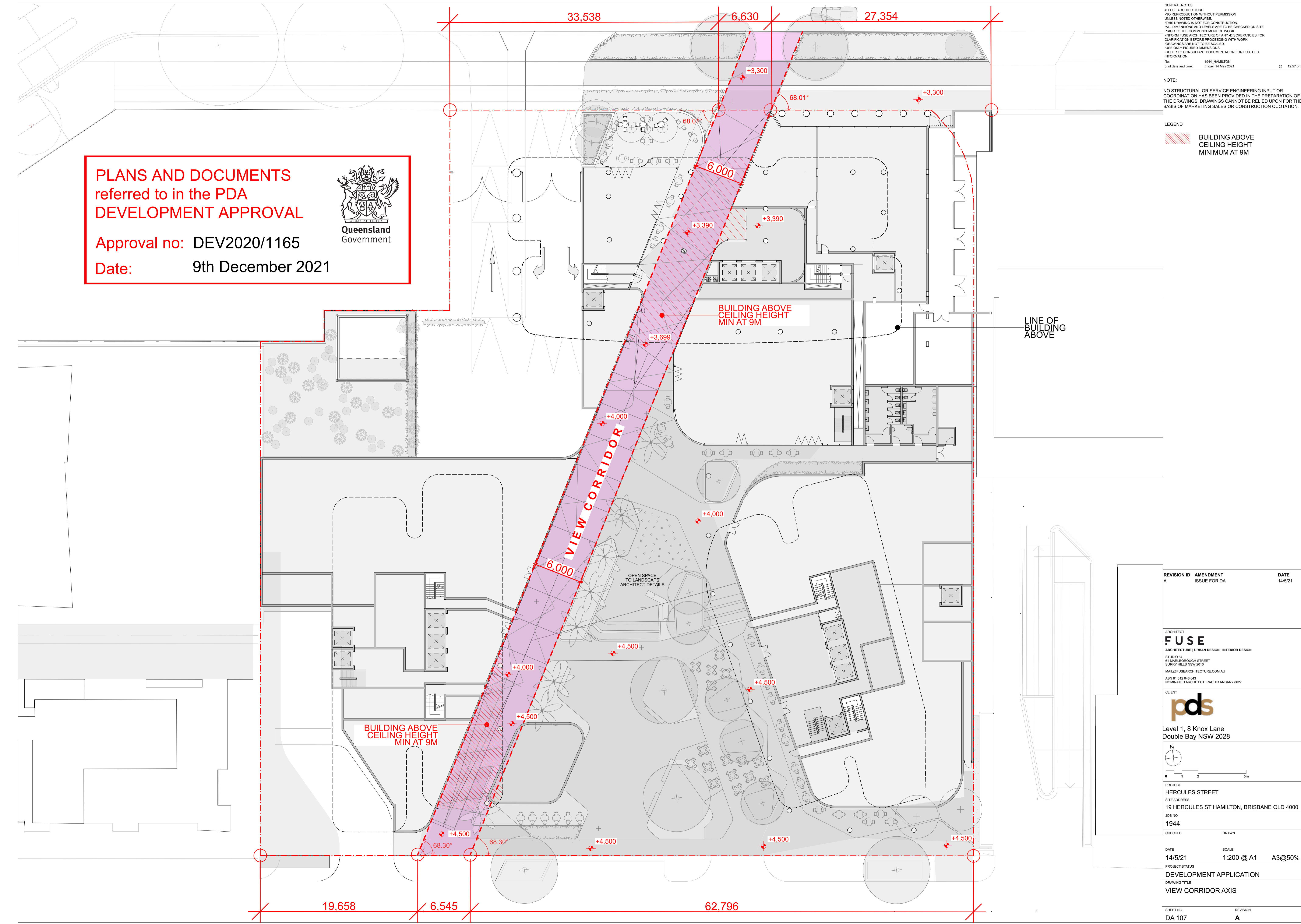
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 file: 1944_HAMILTON
 print date and time: Friday, 14 May 2021 12:57 pm

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LEGEND
 BUILDING ABOVE CEILING HEIGHT MINIMUM AT 9M

PLANS AND DOCUMENTS
 referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2020/1165
 Date: 9th December 2021

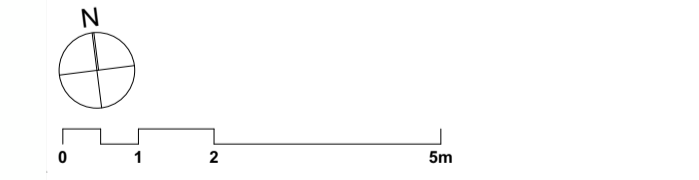


REVISION ID	AMENDMENT	DATE
A	ISSUE FOR DA	14/5/21

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 ABN 61 612 048 843
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CLIENT

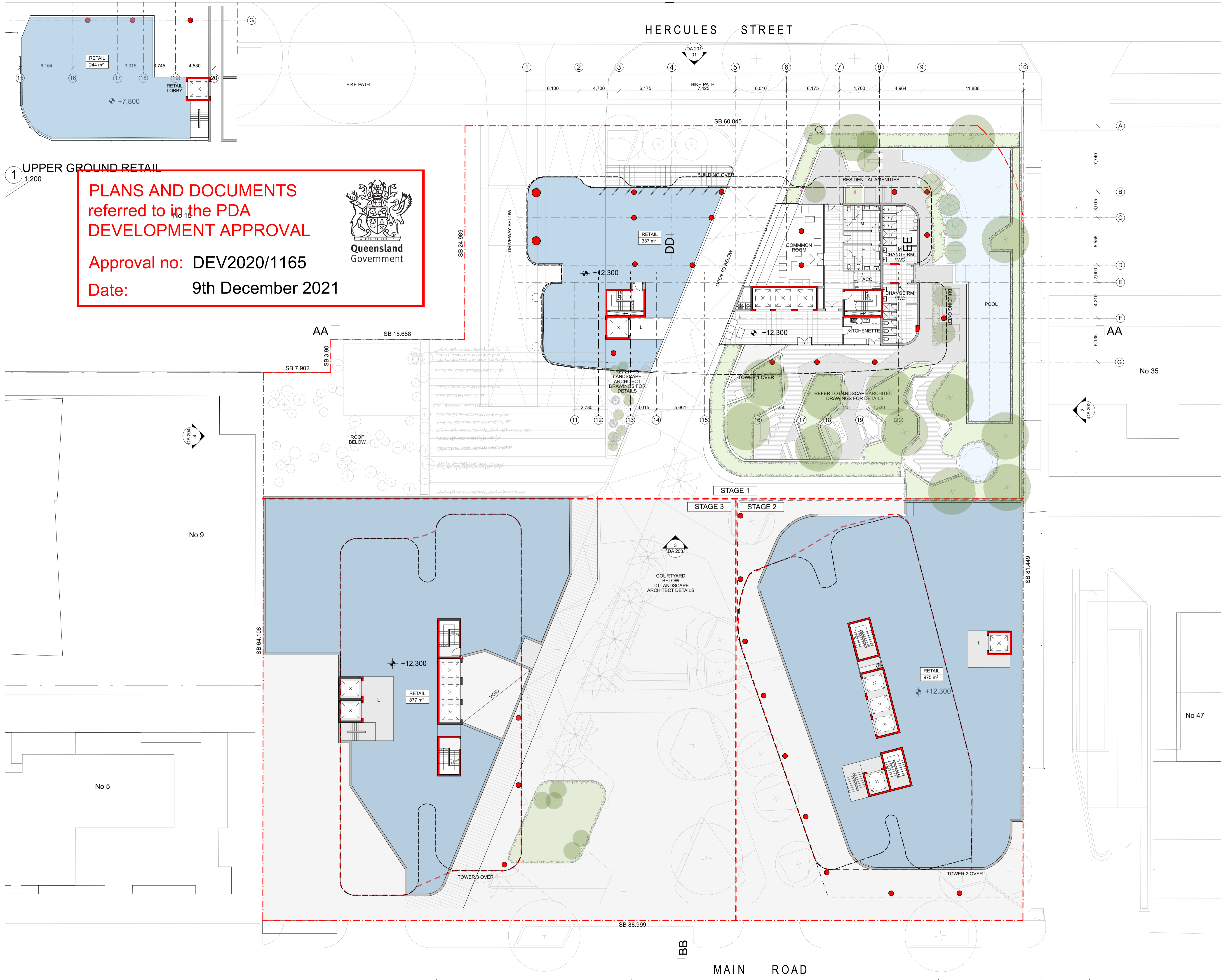
 Level 1, 8 Knox Lane
 Double Bay NSW 2028



PROJECT
HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000
 JOB NO
 1944
 CHECKED DRAWN

DATE
 14/5/21
 PROJECT STATUS
 DEVELOPMENT APPLICATION
 DRAWING TITLE
 VIEW CORRIDOR AXIS

SHEET NO
 DA 107
 REVISION
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- LEGEND
- UNIT TYPES
- 2 BED APARTMENT
 - 3 BED APARTMENT
 - 4 BED APARTMENT
 - BALCONY
 - A** ADAPTABLE APARTMENT
 - L** LIVABLE APARTMENT
 - MASTERPLAN OUTLINE - SHOWN DOTTED
 - SITE SETBACKS

REVISION ID	AMENDMENT	DATE
02	FOR INFORMATION	7/2/20
04	FOR INFORMATION	2/10/20
05	PRELIMINARY	16/10/20
06	PRELIMINARY	30/10/20
A	ISSUE FOR DA	7/12/20
A	ISSUE FOR DA	14/5/21

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 61 MARLBOROUGH STREET
 SURRY HILLS NSW 2010
 MAIL@FUSEARCHITECTURE.COM.AU
 ABN 81 612 048 843
 NOMINATED ARCHITECT RACHID ANDARI 8627

CLIENT
pds
 Level 1, 8 Knox Lane
 Double Bay NSW 2028

PROJECT
HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000

JOB NO
1944

CHECKED DRAWN

DATE SCALE
 17/5/21 1:200 @ A1 A3@50%

PROJECT STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
MEZZANINE

SHEET NO
 DA 108

REVISION
A

1 UPPER GROUND RETAIL
 1:200

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: **DEV2020/1165**
 Date: **9th December 2021**

Queensland Government

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2020/1165

Date: 9th December 2021



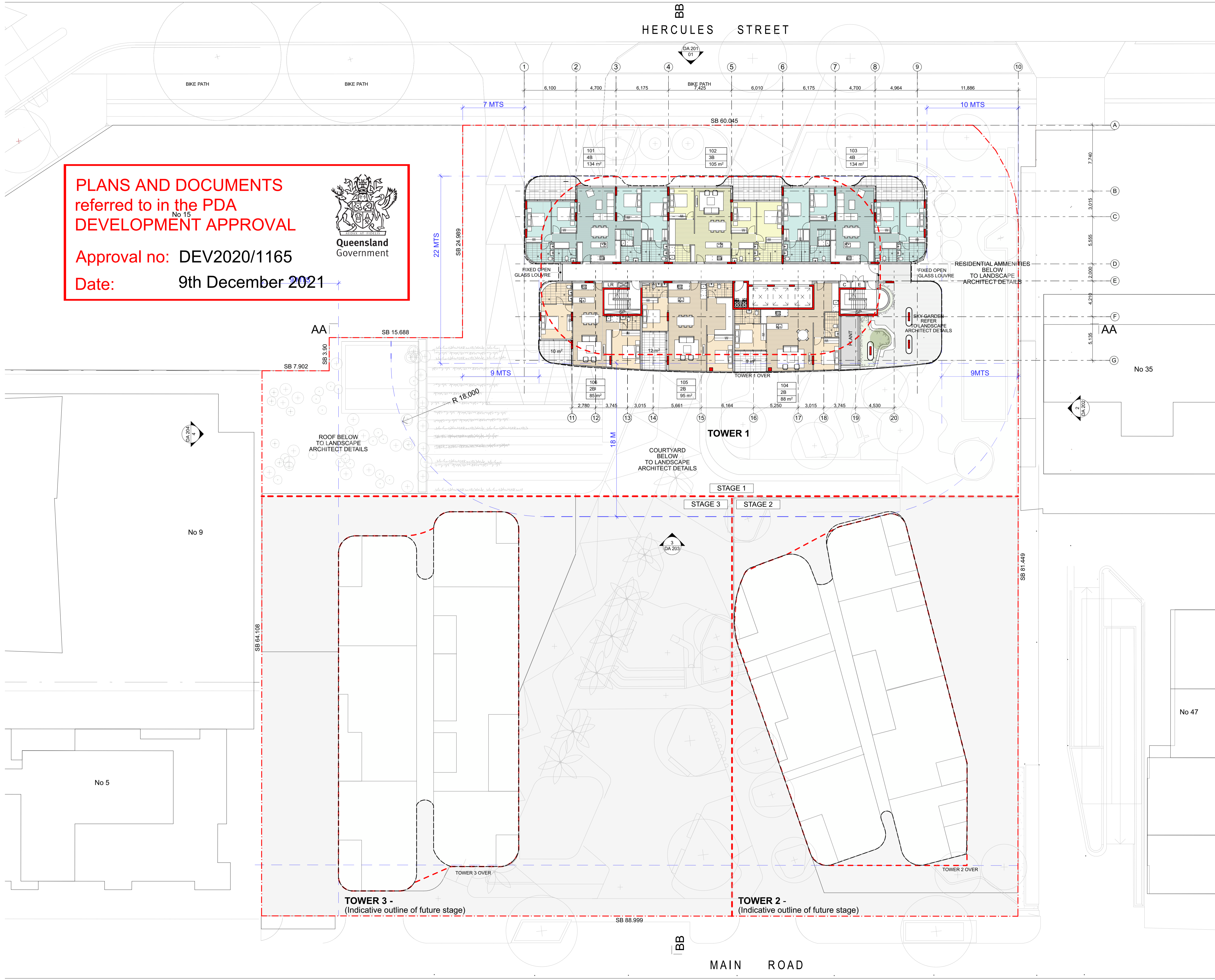
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LEGEND

UNIT TYPES

	2 BED APARTMENT
	3 BED APARTMENT
	4 BED APARTMENT
	BALCONY
	A ADAPTABLE APARTMENT
	L LIVABLE APARTMENT
	MASTERPLAN OUTLINE - SHOWN DOTTED
	SITE SETBACKS



CHANGE DESCRIPTION

CHANGE	DESCRIPTION
02	FOR INFORMATION
04	FOR INFORMATION
05	PRELIMINARY
06	PRELIMINARY
A	ISSUE FOR DA
A	ISSUE FOR DA

REVISION ID AMENDMENT DATE

REVISION ID	AMENDMENT	DATE
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06	PRELIMINARY	30/10/20
A	ISSUE FOR DA	7/12/20
A	ISSUE FOR DA	14/5/21

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 STUDIO 64
 61 MARLBOROUGH STREET
 SURRY HILLS NSW 2010
 MAIL@FUSEARCHITECTURE.COM.AU
 ABN 61 612 046 843
 NOMINATED ARCHITECT RACHID ANDARY 8627

CLIENT
pds
 Level 1, 8 Knox Lane
 Double Bay NSW 2028

PROJECT
 HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000

JOB NO
 1944

CHECKED DRAWN

DATE SCALE
 14/5/21 1:200 @ A1 A3@50%

PROJECT STATUS
 DEVELOPMENT APPLICATION

DRAWING TITLE
 LEVEL 1

SHEET NO REVISION
 DA 109 A

HERCULES STREET

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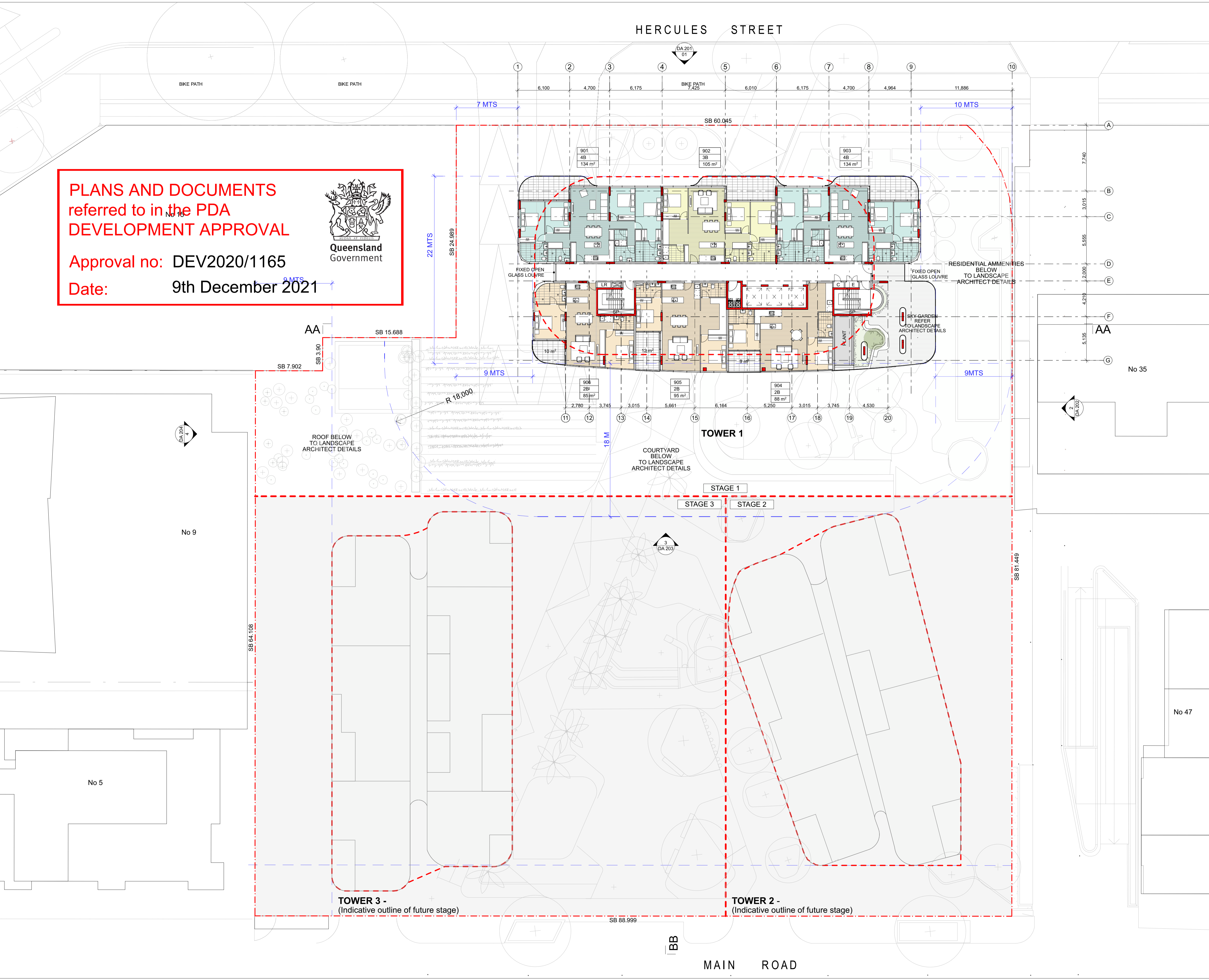
Approval no: DEV2020/1165
 Date: 9th December 2021



LEGEND

UNIT TYPES

- 2 BED APARTMENT
- 3 BED APARTMENT
- 4 BED APARTMENT
- BALCONY
- A ADAPTABLE APARTMENT
- L LIVABLE APARTMENT
- MASTERPLAN OUTLINE - SHOWN DOTTED
- SITE SETBACKS



CHANGE	DESCRIPTION
02	FOR INFORMATION
04	FOR INFORMATION
05	PRELIMINARY
06	PRELIMINARY
A	ISSUE FOR DA
A	ISSUE FOR DA

REVISION ID AMENDMENT DATE
 02 FOR INFORMATION 7/2/20
 04 FOR INFORMATION 2/10/20
 05 PRELIMINARY 16/10/20
 06 PRELIMINARY 30/10/20
 A ISSUE FOR DA 7/12/20
 A ISSUE FOR DA 14/5/21

ARCHITECT
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 STUDIO 64
 61 MARLBOROUGH STREET
 SURRY HILLS NSW 2010
 MAIL@FUSEARCHITECTURE.COM.AU
 ABN 61 612 048 843
 NOMINATED ARCHITECT RACHID ANDARY 8627

CLIENT
pds
 Level 1, 8 Knox Lane
 Double Bay NSW 2028

PROJECT
HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000
 JOB NO
 1944
 CHECKED DRAWN
 DATE 14/5/21 SCALE 1:200 @ A1 A3@50%
 PROJECT STATUS
DEVELOPMENT APPLICATION
 DRAWING TITLE
LEVELS 2, 9,+10 PLANS (TYP LOWER W/ SKYGARDENS TO EAST)
 SHEET NO. DA 110 REVISION A

HERCULES STREET

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LEGEND

UNIT TYPES

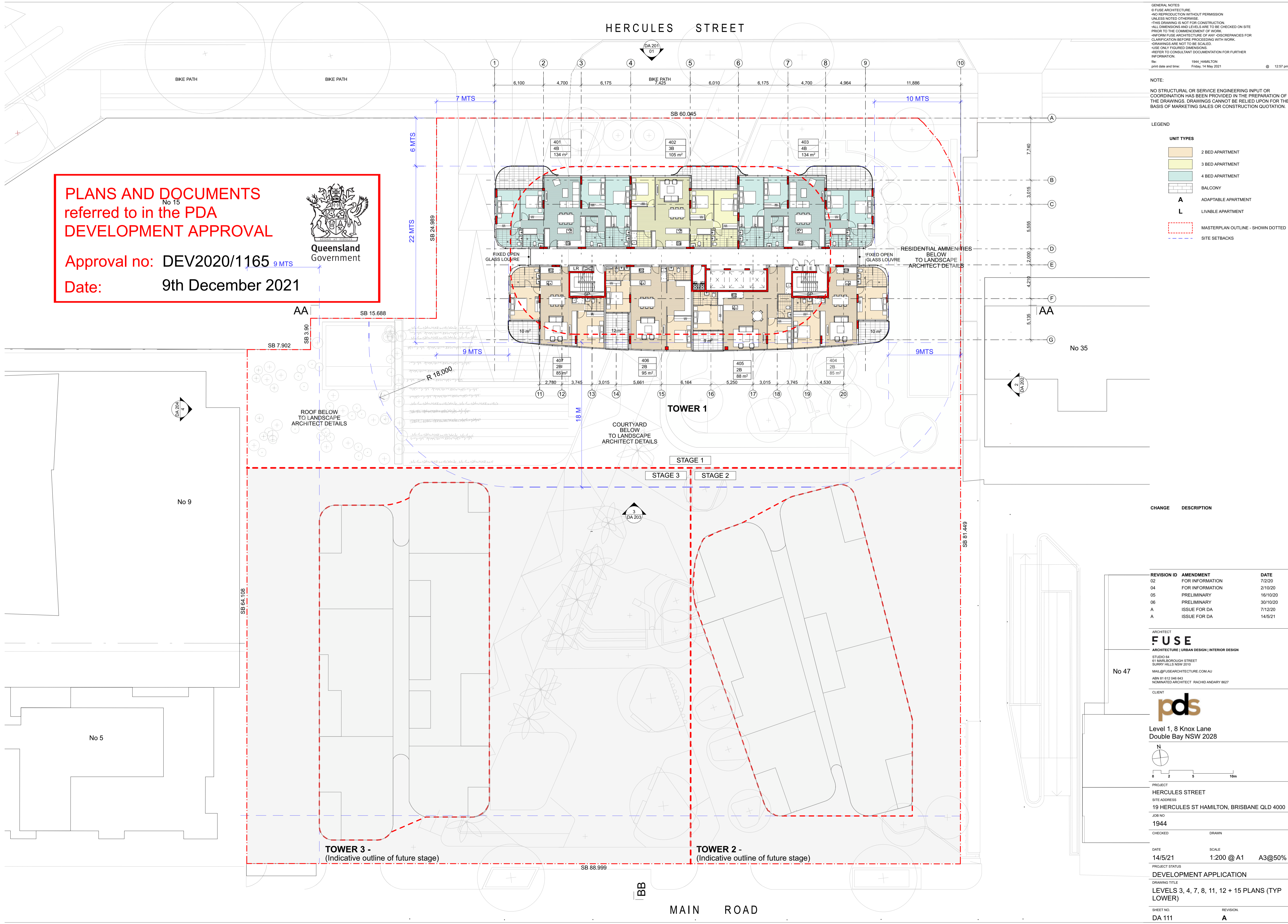
	2 BED APARTMENT
	3 BED APARTMENT
	4 BED APARTMENT
	BALCONY
A	ADAPTABLE APARTMENT
L	LIVABLE APARTMENT
	MASTERPLAN OUTLINE - SHOWN DOTTED
	SITE SETBACKS

PLANS AND DOCUMENTS
 No 15
 referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: **DEV2020/1165** 9 MTS
 Date: **9th December 2021**



Queensland Government



CHANGE DESCRIPTION

CHANGE	DESCRIPTION
02	FOR INFORMATION
04	FOR INFORMATION
05	PRELIMINARY
06	PRELIMINARY
A	ISSUE FOR DA
A	ISSUE FOR DA

REVISION ID AMENDMENT DATE

REVISION ID	AMENDMENT	DATE
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06	PRELIMINARY	30/10/20
A	ISSUE FOR DA	7/12/20
A	ISSUE FOR DA	14/5/21

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 STUDIO 64
 61 MARLBOROUGH STREET
 SURRY HILLS NSW 2010
 MAIL@FUSEARCHITECTURE.COM.AU
 ABN 61 612 046 843
 NOMINATED ARCHITECT RACHED ANDARY 8627

CLIENT
pds
 Level 1, 8 Knox Lane
 Double Bay NSW 2028

PROJECT
HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000

JOB NO
1944

CHECKED DRAWN

DATE SCALE
 14/5/21 1:200 @ A1 A3@50%

PROJECT STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
LEVELS 3, 4, 7, 8, 11, 12 + 15 PLANS (TYP LOWER)

SHEET NO REVISION
 DA 111 A

HERCULES STREET

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PLANS AND DOCUMENTS
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 DEVELOPMENT APPROVAL

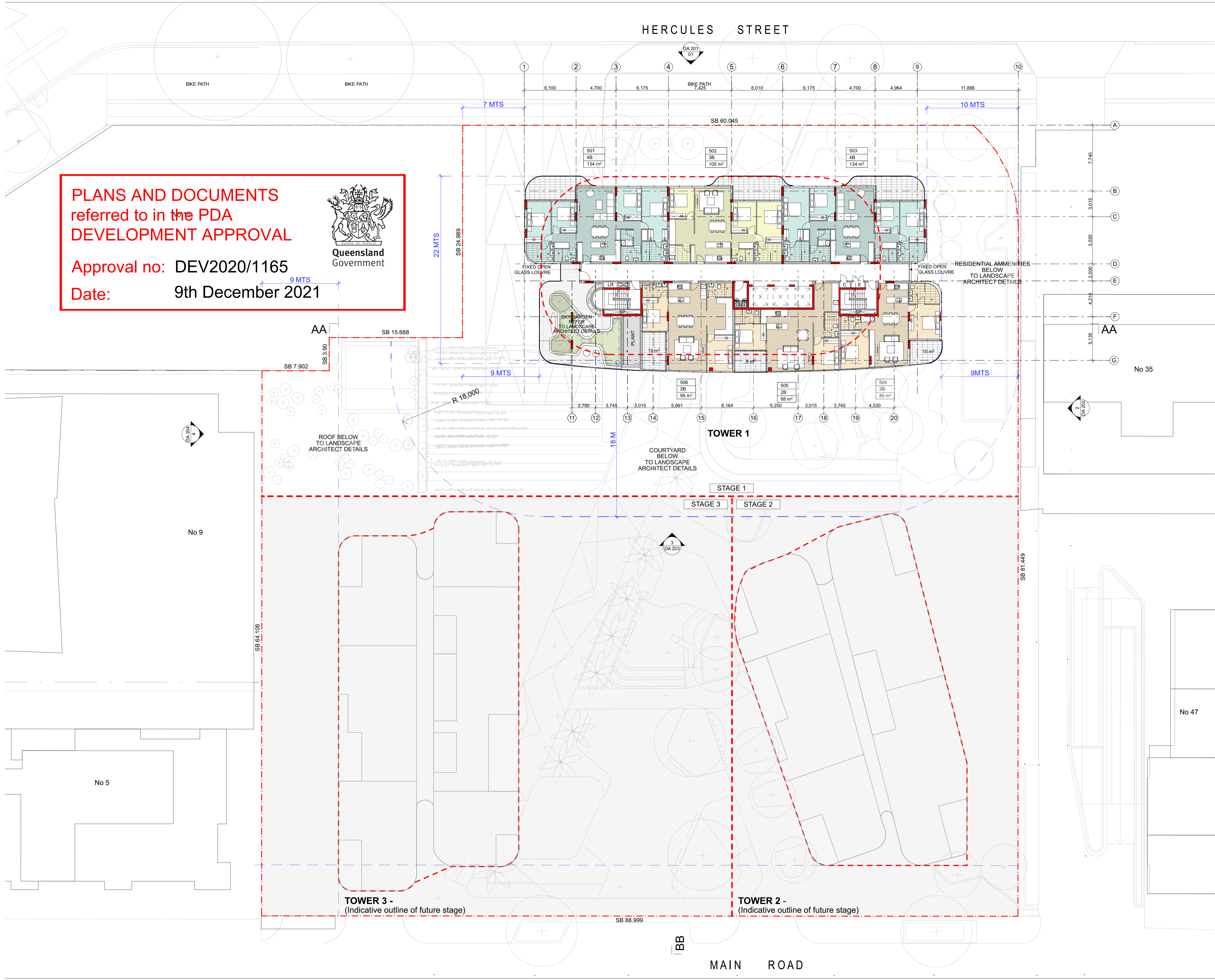


Approval no: DEV2020/1165
 Date: 9th December 2021

LEGEND

UNIT TYPES

	2 BED APARTMENT
	3 BED APARTMENT
	4 BED APARTMENT
	BALCONY
	A ADAPTABLE APARTMENT
	L LIVABLE APARTMENT
	MASTERPLAN OUTLINE - SHOWN DOTTED
	SITE SETBACKS



CHANGE DESCRIPTION

CHANGE	DESCRIPTION	DATE
02	FOR INFORMATION	7/2/20
04	FOR INFORMATION	2/10/20
05	PRELIMINARY	16/10/20
06	PRELIMINARY	30/10/20
A	ISSUE FOR DA	7/12/20
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 STUDIO 64
 61 MARLBOROUGH STREET
 SURRY HILLS NSW 2010
 MAIL@FUSEARCHITECTURE.COM.AU
 ABN 61 612 048 843
 NOMINATED ARCHITECT RACHID ANDARY 8627

CLIENT
pds
 Level 1, 8 Knox Lane
 Double Bay NSW 2028

PROJECT
 HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000
 JOB NO
 1944
 CHECKED DRAWN
 DATE
 14/5/21
 SCALE
 1:200 @ A1 A3@50%
 PROJECT STATUS
 DEVELOPMENT APPLICATION
 DRAWING TITLE
 LEVELS 5, 6, 13+14 PLANS (TYP LOWER W/
 SKYGARDENS TO WEST)
 SHEET NO
 DA 112
 REVISION
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HERCULES STREET

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PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL
 No 15

Approval no: DEV2020/1165

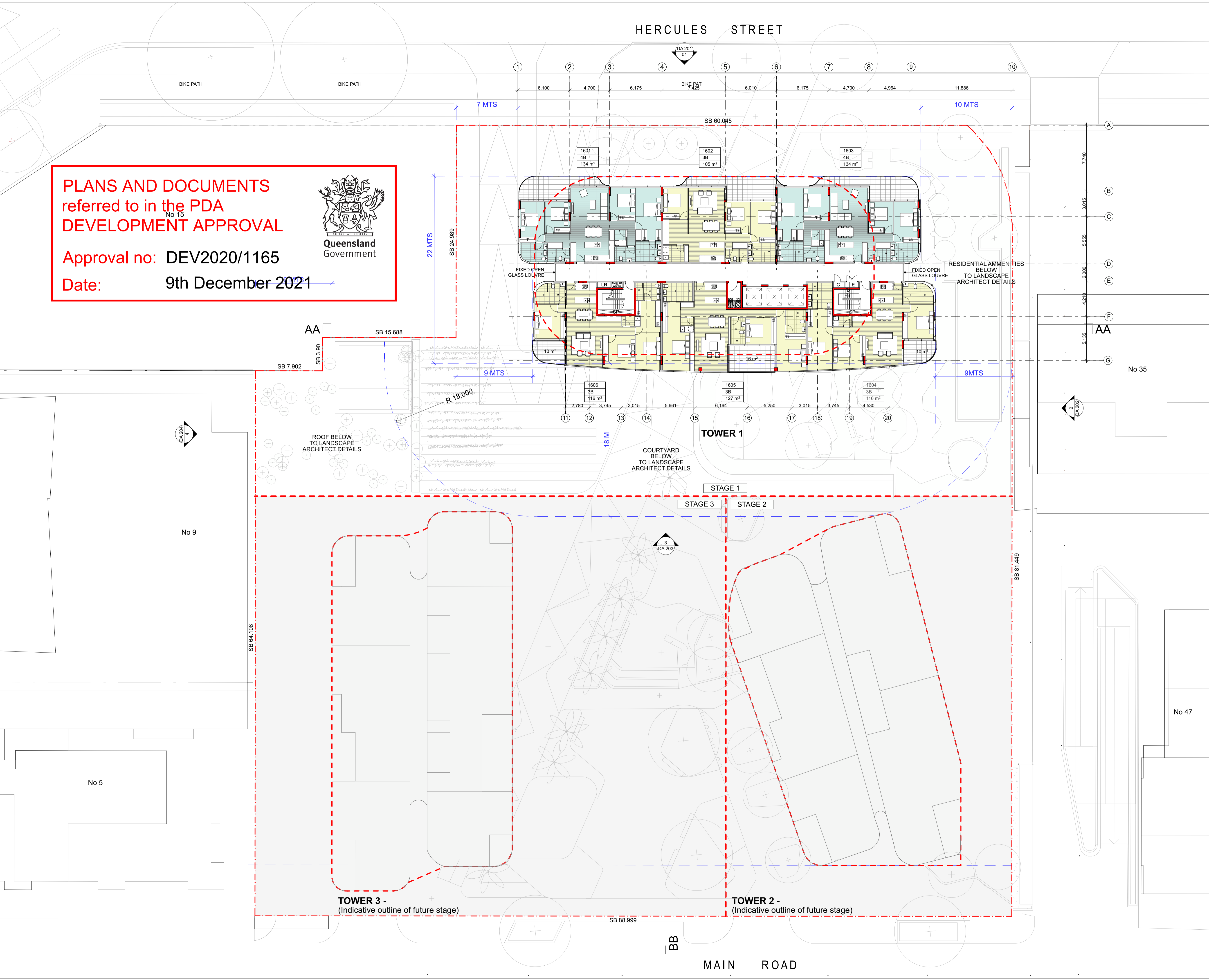
Date: 9th December 2021



LEGEND

UNIT TYPES

	2 BED APARTMENT
	3 BED APARTMENT
	4 BED APARTMENT
	BALCONY
	ADAPTABLE APARTMENT
	LIVABLE APARTMENT
	MASTERPLAN OUTLINE - SHOWN DOTTED
	SITE SETBACKS



CHANGE DESCRIPTION

REVISION ID	AMENDMENT	DATE
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ARCHITECT
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 STUDIO 64
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 SURRY HILLS NSW 2010
 MAIL@FUSEARCHITECTURE.COM.AU
 ABN 61 612 046 843
 NOMINATED ARCHITECT RACHED ANDARY 8627

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pds
 Level 1, 8 Knox Lane
 Double Bay NSW 2028



PROJECT
HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000
 JOB NO
 1944
 CHECKED DRAWN
 DATE
 14/5/21
 SCALE
 1:200 @ A1 A3@50%
 PROJECT STATUS
DEVELOPMENT APPLICATION
 DRAWING TITLE
LEVELS 16, 19, 20 (TYP UPPER)

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LEGEND

UNIT TYPES	
	2 BED APARTMENT
	3 BED APARTMENT
	4 BED APARTMENT
	BALCONY
	ADAPTABLE APARTMENT
	LIVABLE APARTMENT
	MASTERPLAN OUTLINE - SHOWN DOTTED
	SITE SETBACKS

CHANGE	DESCRIPTION
02	FOR INFORMATION
04	FOR INFORMATION
05	PRELIMINARY
06	PRELIMINARY
A	ISSUE FOR DA
A	ISSUE FOR DA

ARCHITECT
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 61 MARLBOROUGH STREET
 SURRY HILLS NSW 2010
 MAIL@FUSEARCHITECTURE.COM.AU
 ABN 61 612 046 843
 NOMINATED ARCHITECT RACHID ANDARY 8627

CLIENT
pds

Level 1, 8 Knox Lane
 Double Bay NSW 2028

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PROJECT
HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000

JOB NO
1944

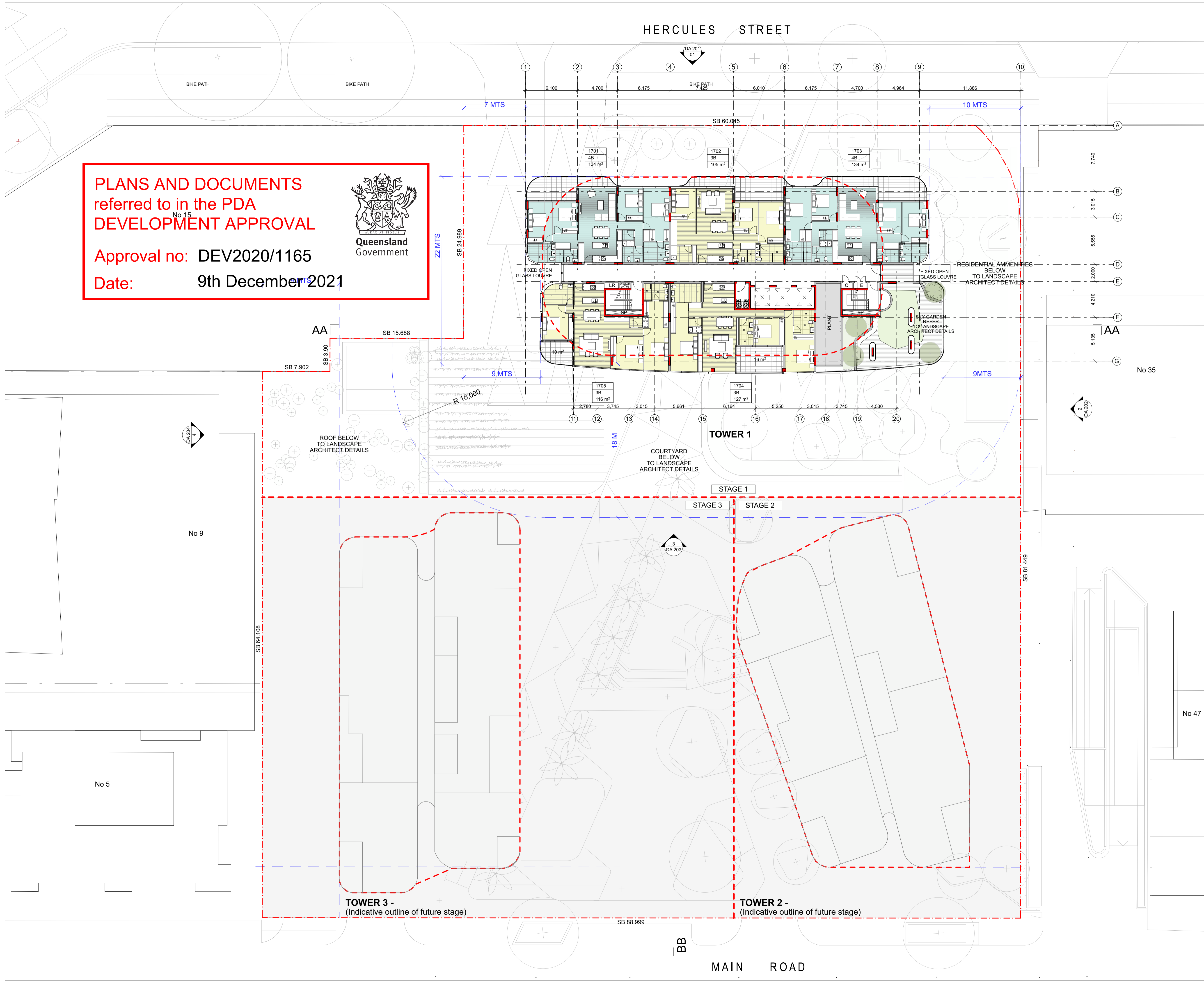
CHECKED DRAWN

DATE SCALE
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PROJECT STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
LEVELS 17 + 18 (TYP UPPER W/ SKYGARDENS TO EAST)

SHEET NO REVISION
 DA 114 A



PLANS AND DOCUMENTS
 referred to in the PDA
 DEVELOPMENT APPROVAL
 No 15
 Approval no: DEV2020/1165
 Date: 9th December 2021



HERCULES STREET

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: **DEV2020/1165**

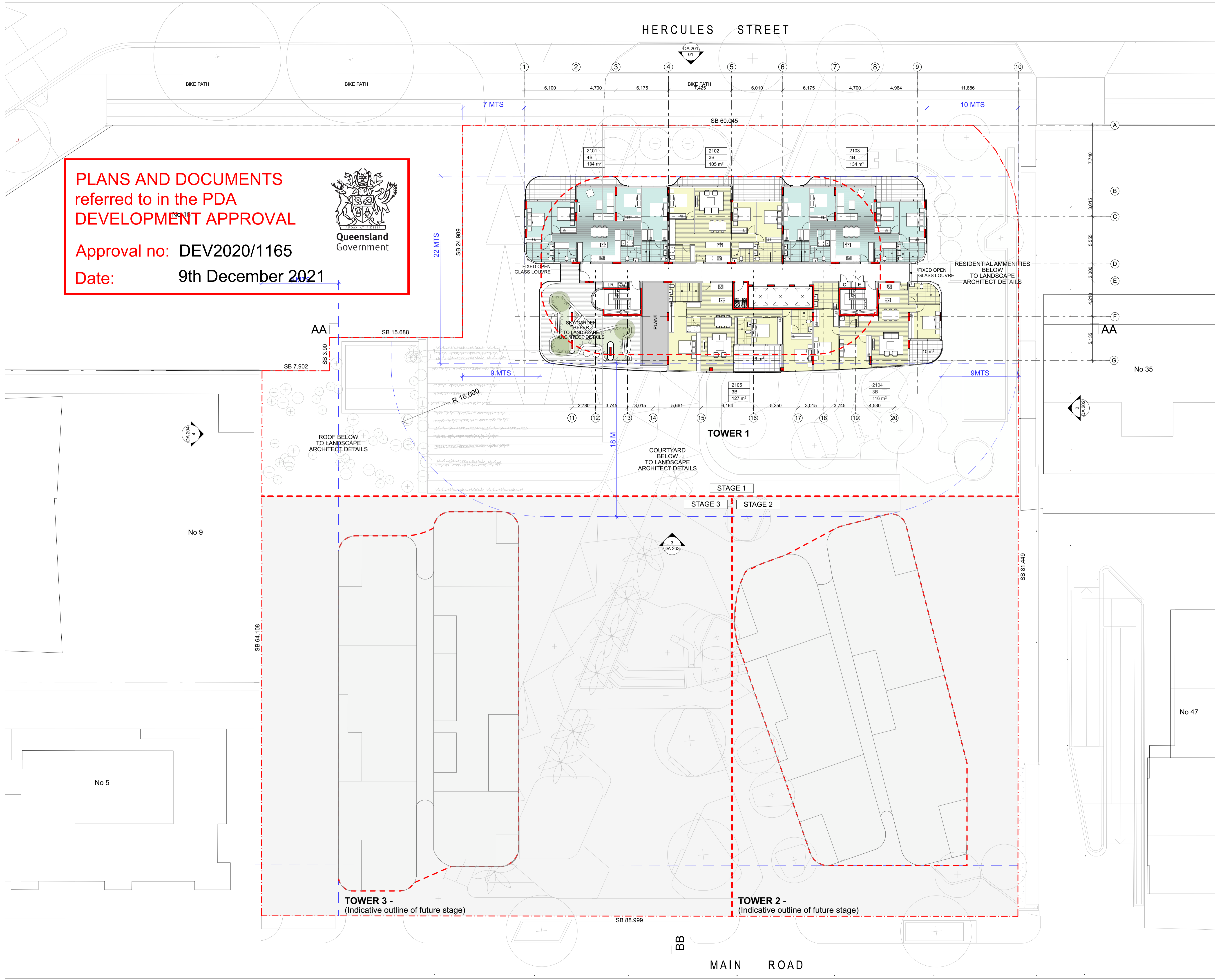
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- LEGEND
- UNIT TYPES
- 2 BED APARTMENT
 - 3 BED APARTMENT
 - 4 BED APARTMENT
 - BALCONY
 - A** ADAPTABLE APARTMENT
 - L** LIVABLE APARTMENT
 - MASTERPLAN OUTLINE - SHOWN DOTTED
 - SITE SETBACKS



CHANGE DESCRIPTION

REVISION ID	AMENDMENT	DATE
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ARCHITECT
FUSE
 ARCHITECTURE | URBAN DESIGN | INTERIOR DESIGN
 STUDIO 64
 61 MARLBOROUGH STREET
 SURRY HILLS NSW 2010
 MAIL@FUSEARCHITECTURE.COM.AU
 ABN 61 612 046 843
 NOMINATED ARCHITECT RACHID ANDARY 8627

CLIENT
pds
 Level 1, 8 Knox Lane
 Double Bay NSW 2028

PROJECT
HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000

JOB NO
1944

CHECKED DRAWN

DATE SCALE
 14/5/21 1:200 @ A1 A3@50%

PROJECT STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
LEVELS 21 + 22 (TYP UPPER W/ SKYGARDENS TO WEST)

SHEET NO REVISION
 DA 115 A

HERCULES STREET

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Approval no: DEV2020/1165

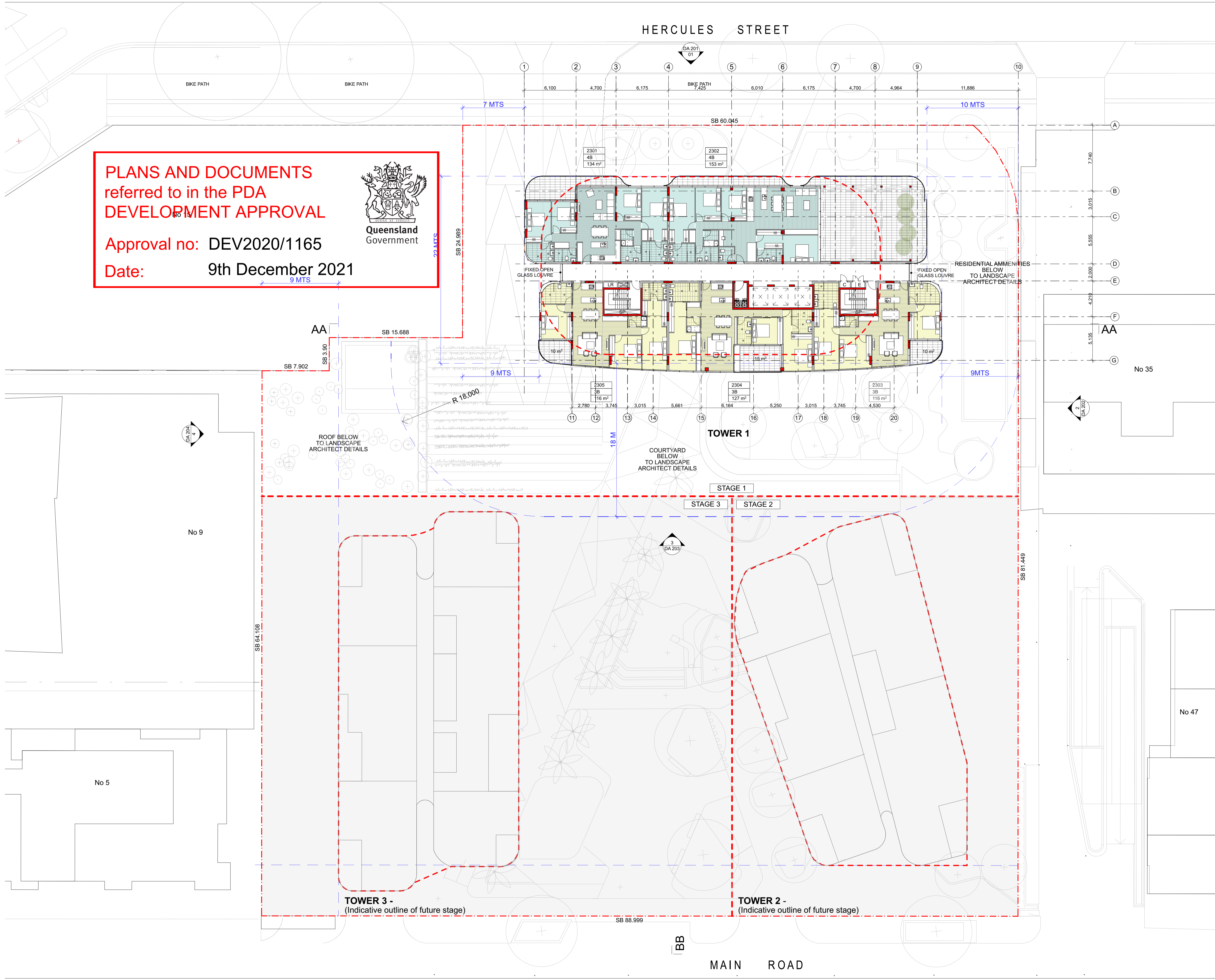
Date: 9th December 2021



LEGEND

UNIT TYPES

- 2 BED APARTMENT
- 3 BED APARTMENT
- 4 BED APARTMENT
- BALCONY
- A ADAPTABLE APARTMENT
- L LIVABLE APARTMENT
- MASTERPLAN OUTLINE - SHOWN DOTTED
- SITE SETBACKS



REVISION ID	AMENDMENT	DATE
02	FOR INFORMATION	7/2/20
04	FOR INFORMATION	2/10/20
05	PRELIMINARY	16/10/20
06	PRELIMINARY	30/10/20
A	ISSUE FOR DA	7/12/20
A	ISSUE FOR DA	14/5/21

ARCHITECT
FUSE
 ARCHITECTURE | URBAN DESIGN | INTERIOR DESIGN
 STUDIO 64
 61 MARLBOROUGH STREET
 SURRY HILLS NSW 2010
 MAIL@FUSEARCHITECTURE.COM.AU
 ABN 61 612 048 843
 NOMINATED ARCHITECT RACHID ANDARY 8627

CLIENT
pds
 Level 1, 8 Knox Lane
 Double Bay NSW 2028

PROJECT
HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000

JOB NO
1944

CHECKED DRAWN

DATE SCALE
 14/5/21 1:200 @ A1 A3@50%

PROJECT STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
LEVEL 23

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 file: 1944_HAMILTON
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LEGEND

UNIT TYPES

- 2 BED APARTMENT
- 3 BED APARTMENT
- 4 BED APARTMENT
- BALCONY
- A** ADAPTABLE APARTMENT
- L** LIVABLE APARTMENT
- MASTERPLAN OUTLINE - SHOWN DOTTED
- SITE SETBACKS

CHANGE	DESCRIPTION
02	FOR INFORMATION
04	FOR INFORMATION
05	PRELIMINARY
06	PRELIMINARY
A	ISSUE FOR DA
A	ISSUE FOR DA

ARCHITECT
FUSE
 ARCHITECTURE | URBAN DESIGN | INTERIOR DESIGN
 STUDIO 64
 61 MARLBOROUGH STREET
 SURRY HILLS NSW 2010
 MAIL@FUSEARCHITECTURE.COM.AU
 ABN 61 612 046 843
 NOMINATED ARCHITECT RACHID ANDARY 8627

CLIENT
pds

Level 1, 8 Knox Lane
 Double Bay NSW 2028

N
 0 2 5 10m

PROJECT
HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000

JOB NO
1944

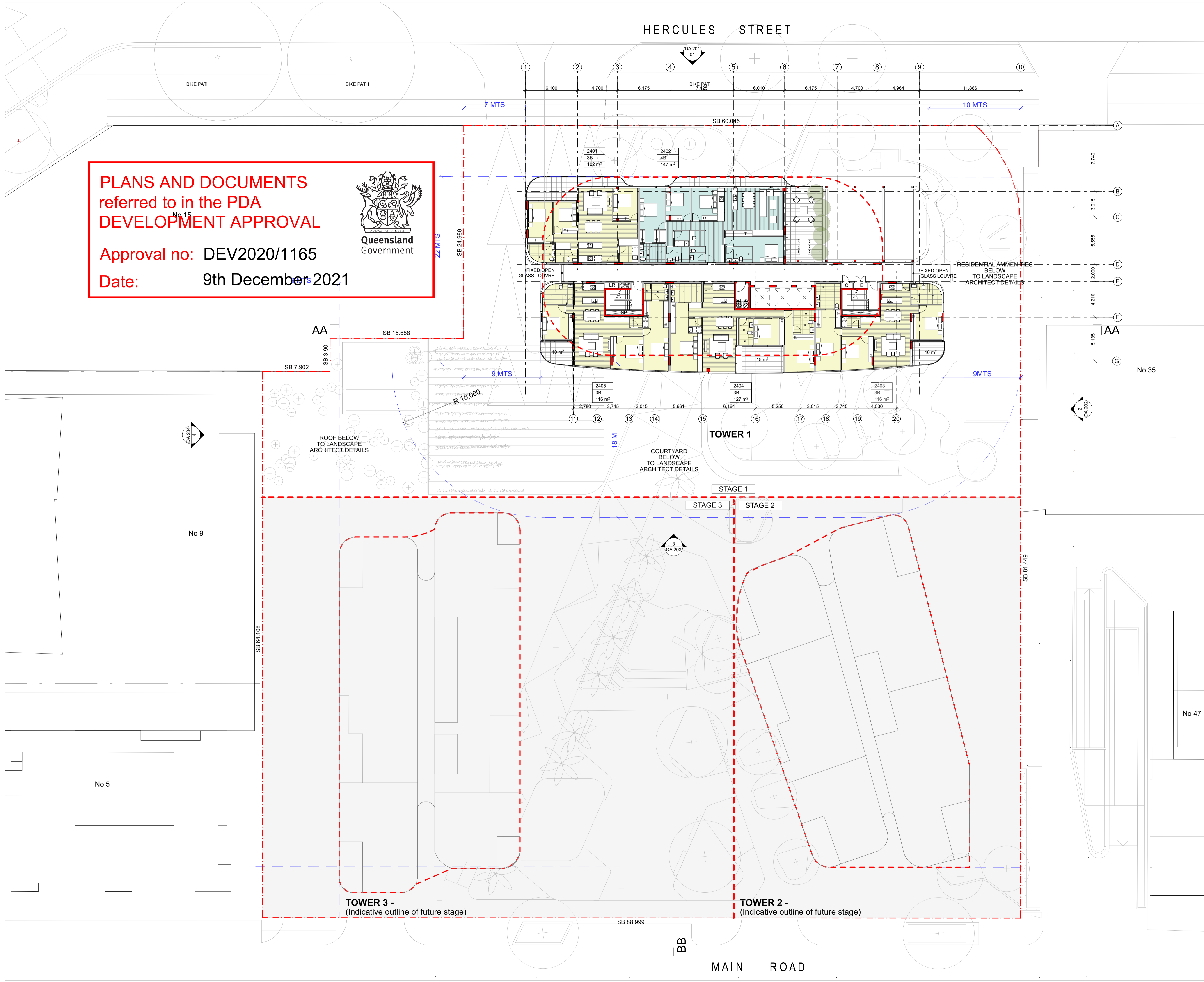
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DATE SCALE
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PROJECT STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
LEVEL 24

SHEET NO. DA 117 REVISION: A



PLANS AND DOCUMENTS
 referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2020/1165
 Date: 9th December 2021

Queensland Government



AA SB 7.902 SB 3.90 SB 15.688 SB 24.989

9 MTS 9 MTS 9 MTS

R 18.000

ROOF BELOW TO LANDSCAPE ARCHITECT DETAILS

COURTYARD BELOW TO LANDSCAPE ARCHITECT DETAILS

STAGE 1 STAGE 2 STAGE 3

BB SB 64.108 SB 81.449 SB 88.999

TOWER 1

TOWER 2 - (Indicative outline of future stage)

TOWER 3 - (Indicative outline of future stage)

HERCULES STREET

MAIN ROAD

No 5 No 9 No 35

DA 201 01 DA 203 3 DA 204 4

RESIDENTIAL AMENITIES BELOW TO LANDSCAPE ARCHITECT DETAILS

FIXED OPEN GLASS LOUVRE

FIXED OPEN GLASS LOUVRE

RESIDENTIAL AMENITIES BELOW TO LANDSCAPE ARCHITECT DETAILS

SB 60.045 SB 64.108 SB 81.449 SB 88.999

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LEGEND

UNIT TYPES	
	2 BED APARTMENT
	3 BED APARTMENT
	4 BED APARTMENT
	BALCONY
	ADAPTABLE APARTMENT
	LIVABLE APARTMENT
	MASTERPLAN OUTLINE - SHOWN DOTTED
	SITE SETBACKS

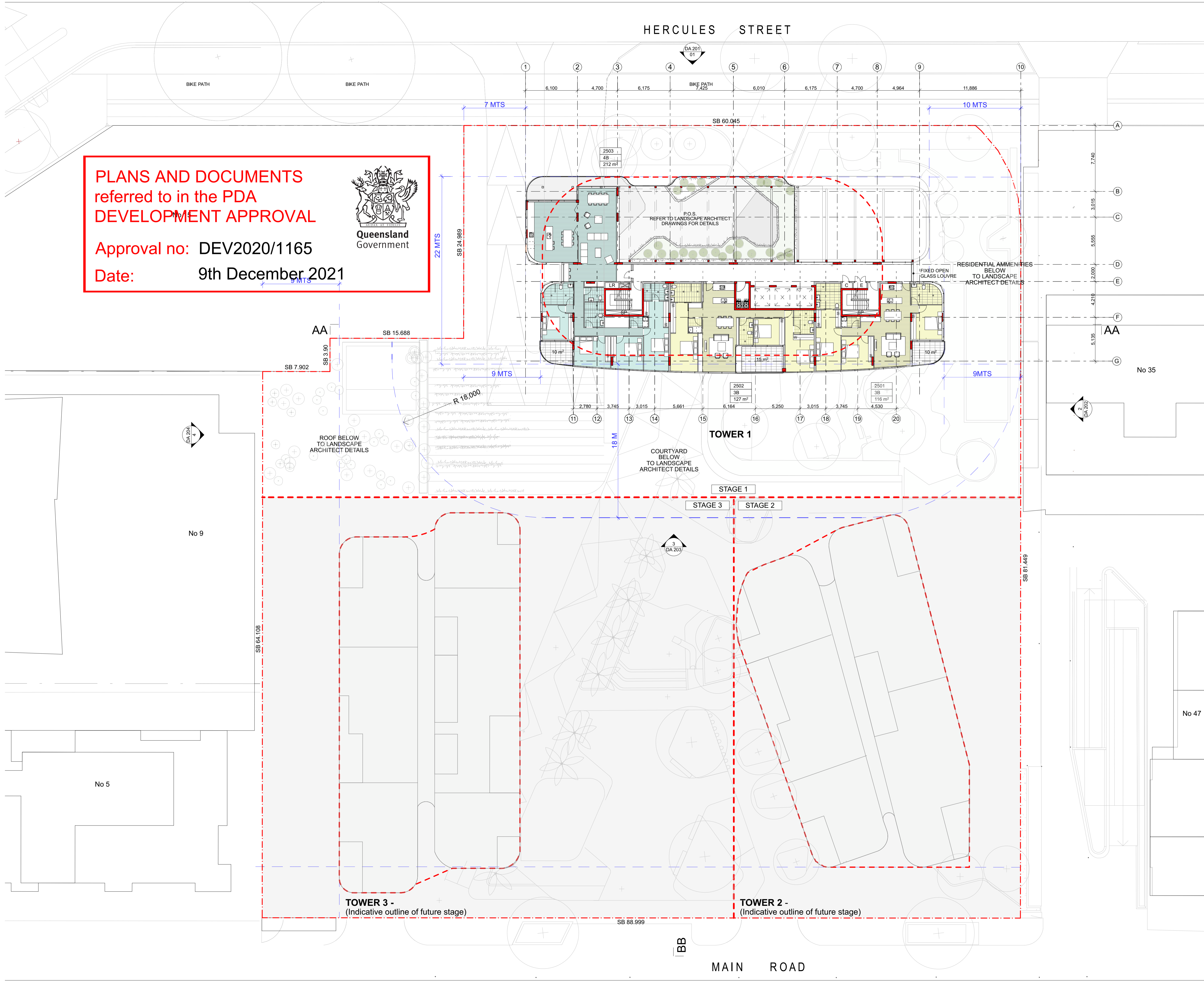
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04	FOR INFORMATION
05	PRELIMINARY
06	PRELIMINARY
A	ISSUE FOR DA
A	ISSUE FOR DA

ARCHITECT
FUSE
 ARCHITECTURE | URBAN DESIGN | INTERIOR DESIGN
 STUDIO 64
 61 MARLBOROUGH STREET
 SURRY HILLS NSW 2010
 MAIL@FUSEARCHITECTURE.COM.AU
 ABN 61 612 046 843
 NOMINATED ARCHITECT RACHED ANDARY 8627

CLIENT
pds
 Level 1, 8 Knox Lane
 Double Bay NSW 2028

PROJECT
HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000
 JOB NO
 1944
 CHECKED DRAWN
 DATE
 14/5/21
 SCALE
 1:200 @ A1 A3@50%
 PROJECT STATUS
DEVELOPMENT APPLICATION
 DRAWING TITLE
LEVEL 25

SHEET NO
 DA 118
 REVISION
 A



PLANS AND DOCUMENTS
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DEVELOPMENT APPROVAL

Approval no: DEV2020/1165
 Date: 9th December 2021



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 INFORMATION
 file: 1944_HAMILTON
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LEGEND

UNIT TYPES	
	2 BED APARTMENT
	3 BED APARTMENT
	4 BED APARTMENT
	BALCONY
A	ADAPTABLE APARTMENT
L	LIVABLE APARTMENT
	MASTERPLAN OUTLINE - SHOWN DOTTED
	SITE SETBACKS

CHANGE	DESCRIPTION
02	FOR INFORMATION
04	FOR INFORMATION
05	PRELIMINARY
06	PRELIMINARY
A	ISSUE FOR DA
A	ISSUE FOR DA

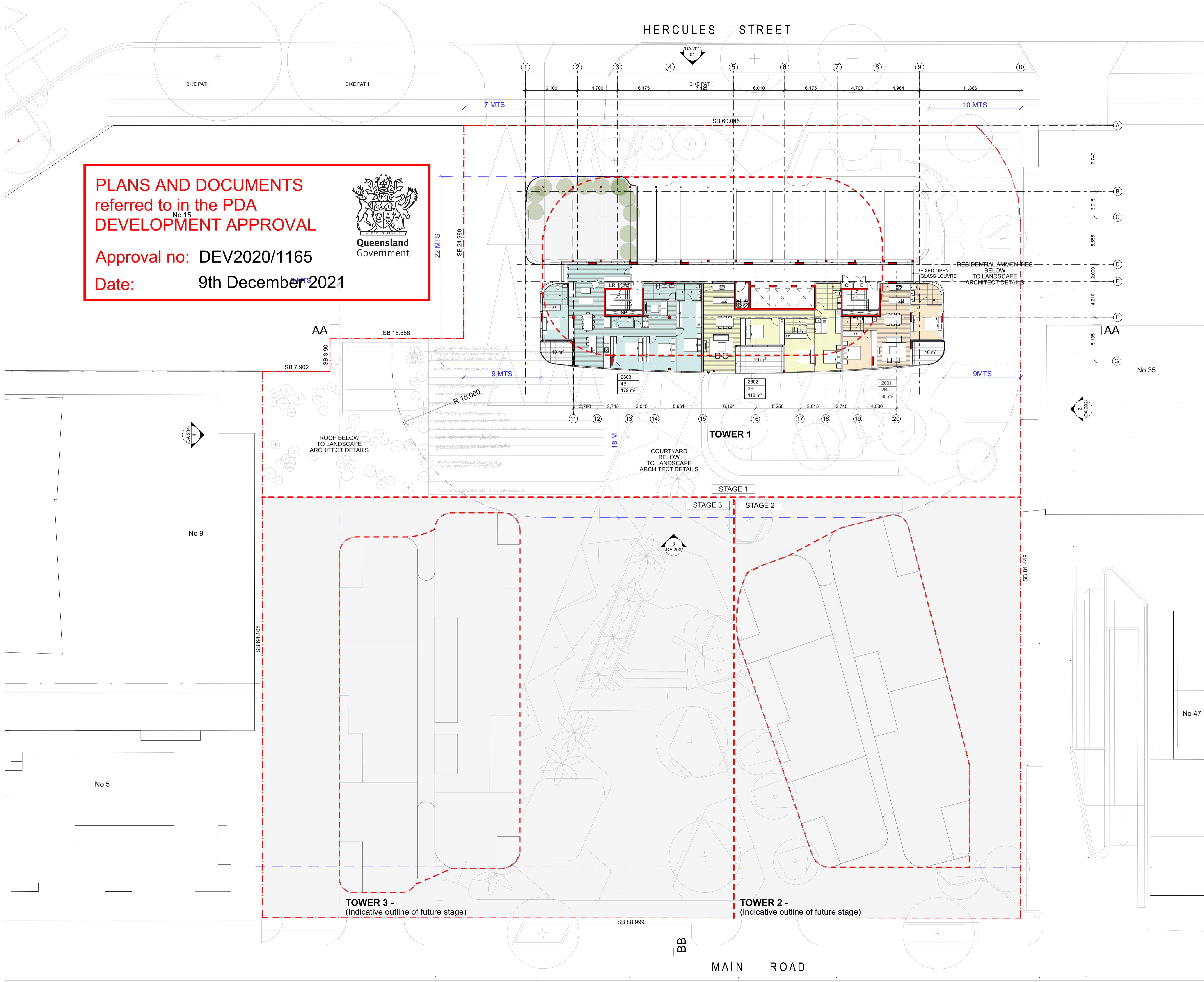
ARCHITECT
FUSE
 ARCHITECTURE | URBAN DESIGN | INTERIOR DESIGN
 STUDIO 64
 61 MARLBOROUGH STREET
 SURRY HILLS NSW 2010
 MAIL@FUSEARCHITECTURE.COM.AU
 ABN 61 612 046 843
 NOMINATED ARCHITECT RACHID ANDARY 8627

CLIENT
pds

No 47
 Level 1, 8 Knox Lane
 Double Bay NSW 2028

PROJECT
HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000
 JOB NO
 1944
 CHECKED DRAWN
 DATE
 14/5/21
 SCALE
 1:200 @ A1 A3@50%
 PROJECT STATUS
DEVELOPMENT APPLICATION
 DRAWING TITLE
LEVEL 26

SHEET NO
 DA 119
 REVISION
A



PLANS AND DOCUMENTS
 referred to in the PDA
 DEVELOPMENT APPROVAL
 No 15
 Approval no: DEV2020/1165
 Date: 9th December 2021



No 5

No 9

No 35

BB

MAIN ROAD

HERCULES STREET

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 file: 1944_HAMILTON
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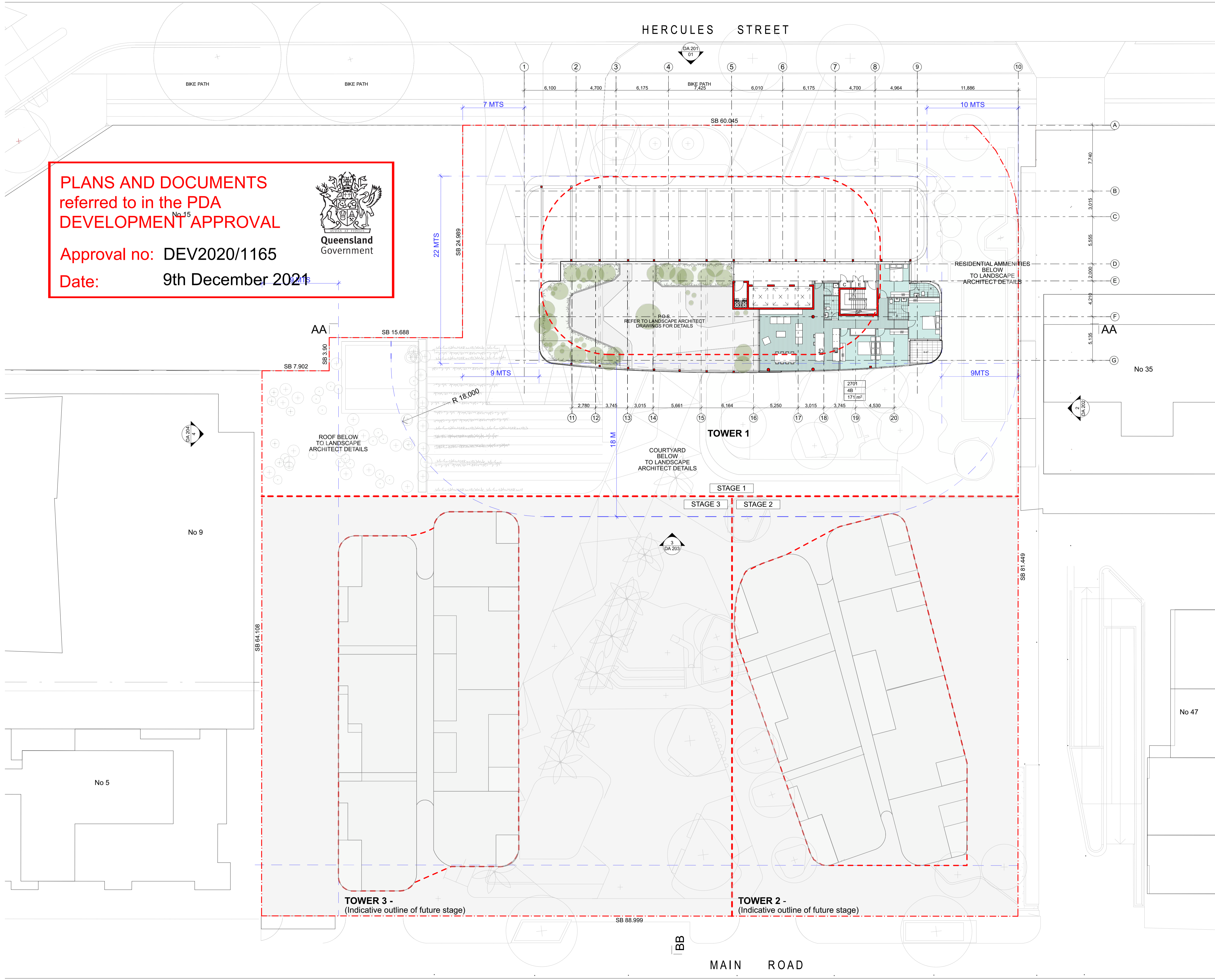
Approval no: DEV2020/1165
 Date: 9th December 2021



LEGEND

UNIT TYPES

- 2 BED APARTMENT
- 3 BED APARTMENT
- 4 BED APARTMENT
- BALCONY
- A ADAPTABLE APARTMENT
- L LIVABLE APARTMENT
- MASTERPLAN OUTLINE - SHOWN DOTTED
- SITE SETBACKS



CHANGE	DESCRIPTION
02	FOR INFORMATION
04	FOR INFORMATION
05	PRELIMINARY
06	PRELIMINARY
A	ISSUE FOR DA
A	ISSUE FOR DA

REVISION ID AMENDMENT DATE
 02 FOR INFORMATION 7/2/20
 04 FOR INFORMATION 2/10/20
 05 PRELIMINARY 16/10/20
 06 PRELIMINARY 30/10/20
 A ISSUE FOR DA 7/12/20
 A ISSUE FOR DA 14/5/21

ARCHITECT
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 STUDIO 64
 61 MARLBOROUGH STREET
 SURRY HILLS NSW 2010
 MAIL@FUSEARCHITECTURE.COM.AU
 ABN 61 612 046 843
 NOMINATED ARCHITECT RACHID ANDARY 8627

CLIENT
pds
 Level 1, 8 Knox Lane
 Double Bay NSW 2028

PROJECT
HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000
 JOB NO
 1944
 CHECKED DRAWN
 DATE
 14/5/21
 SCALE
 1:200 @ A1 A3@50%
 PROJECT STATUS
DEVELOPMENT APPLICATION
 DRAWING TITLE
LEVEL 27

SHEET NO. DA 120 REVISION: A

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 file: 1944_HAMILTON
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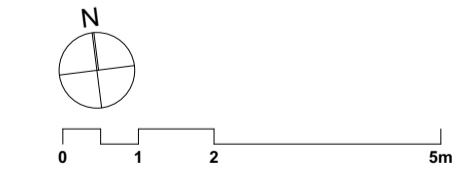
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REVISION ID	AMENDMENT	DATE
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04	FOR INFORMATION	2/10/20
05	PRELIMINARY	16/10/20
06	PRELIMINARY	30/10/20
A	ISSUE FOR DA	7/12/20
A	ISSUE FOR DA	14/5/21

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 STUDIO 64
 61 MARLBOROUGH STREET
 SURRY HILLS NSW 2010
 MAIL@FUSEARCHITECTURE.COM.AU
 ABN 61 612 046 843
 NOMINATED ARCHITECT RACHED ANDARY 8627

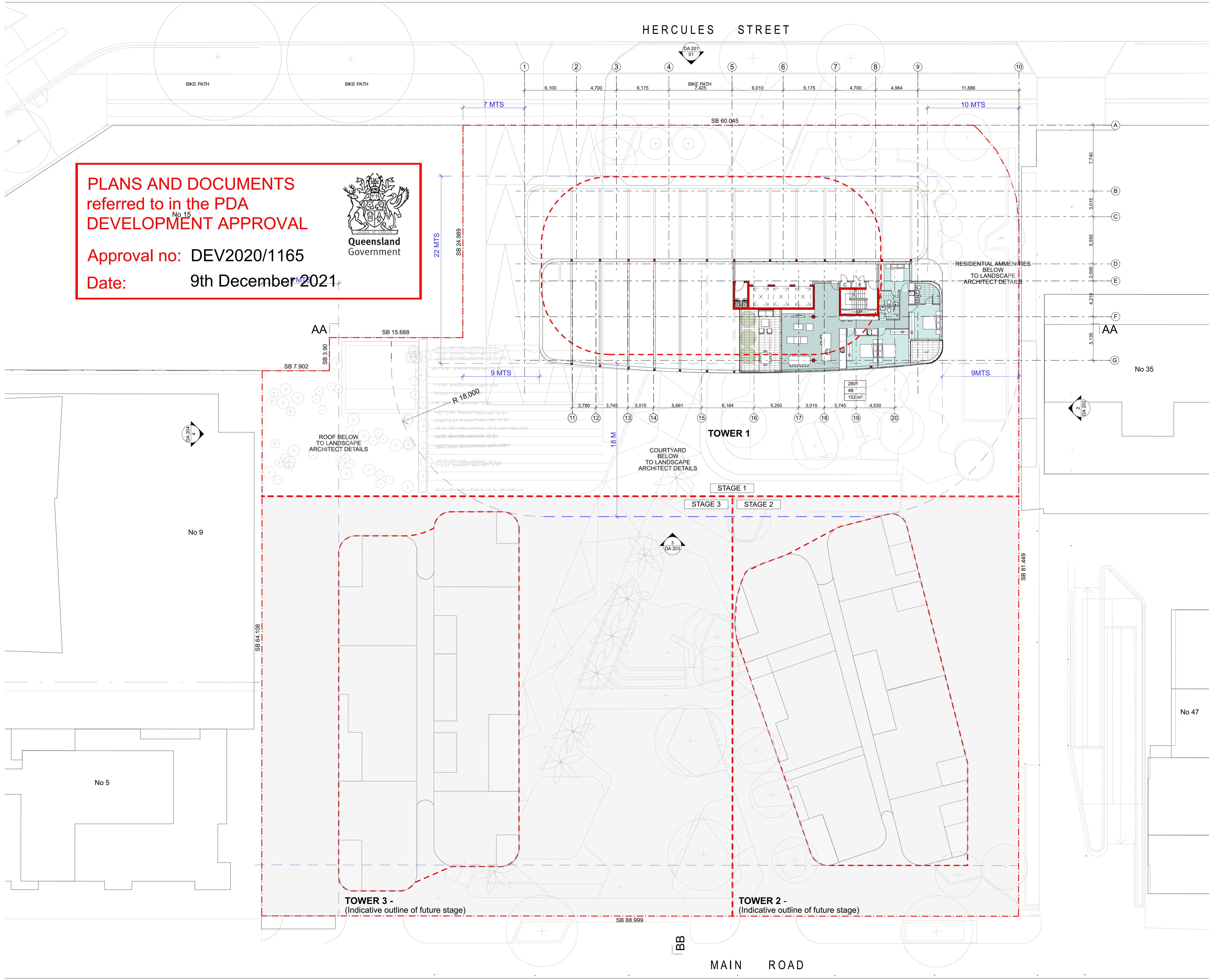
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pds

Level 1, 8 Knox Lane
 Double Bay NSW 2028



PROJECT
HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000
 JOB NO
 1944
 CHECKED DRAWN
 DATE
 14/5/21
 SCALE
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 PROJECT STATUS
 DEVELOPMENT APPLICATION
 DRAWING TITLE
 LEVEL 28

SHEET NO
 DA 121
 REVISION
 A



PLANS AND DOCUMENTS
 referred to in the PDA
 DEVELOPMENT APPROVAL
 No 15
 Approval no: DEV2020/1165
 Date: 9th December 2021



Queensland
 Government

AA

No 9

ROOF BELOW
 TO LANDSCAPE
 ARCHITECT DETAILS

STAGE 3

STAGE 2

STAGE 1

COURTYARD
 BELOW
 TO LANDSCAPE
 ARCHITECT DETAILS

TOWER 1

TOWER 2 -
 (Indicative outline of future stage)

TOWER 3 -
 (Indicative outline of future stage)

RESIDENTIAL AMENITIES
 BELOW
 TO LANDSCAPE
 ARCHITECT DETAILS

BB

MAIN ROAD

No 5

No 47

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LEGEND

UNIT TYPES

- 2 BED APARTMENT
- 3 BED APARTMENT
- 4 BED APARTMENT
- BALCONY
- A** ADAPTABLE APARTMENT
- L** LIVABLE APARTMENT
- MASTERPLAN OUTLINE - SHOWN DOTTED
- SITE SETBACKS

CHANGE	DESCRIPTION
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04	FOR INFORMATION
05	PRELIMINARY
06	PRELIMINARY
A	ISSUE FOR DA
A	ISSUE FOR DA

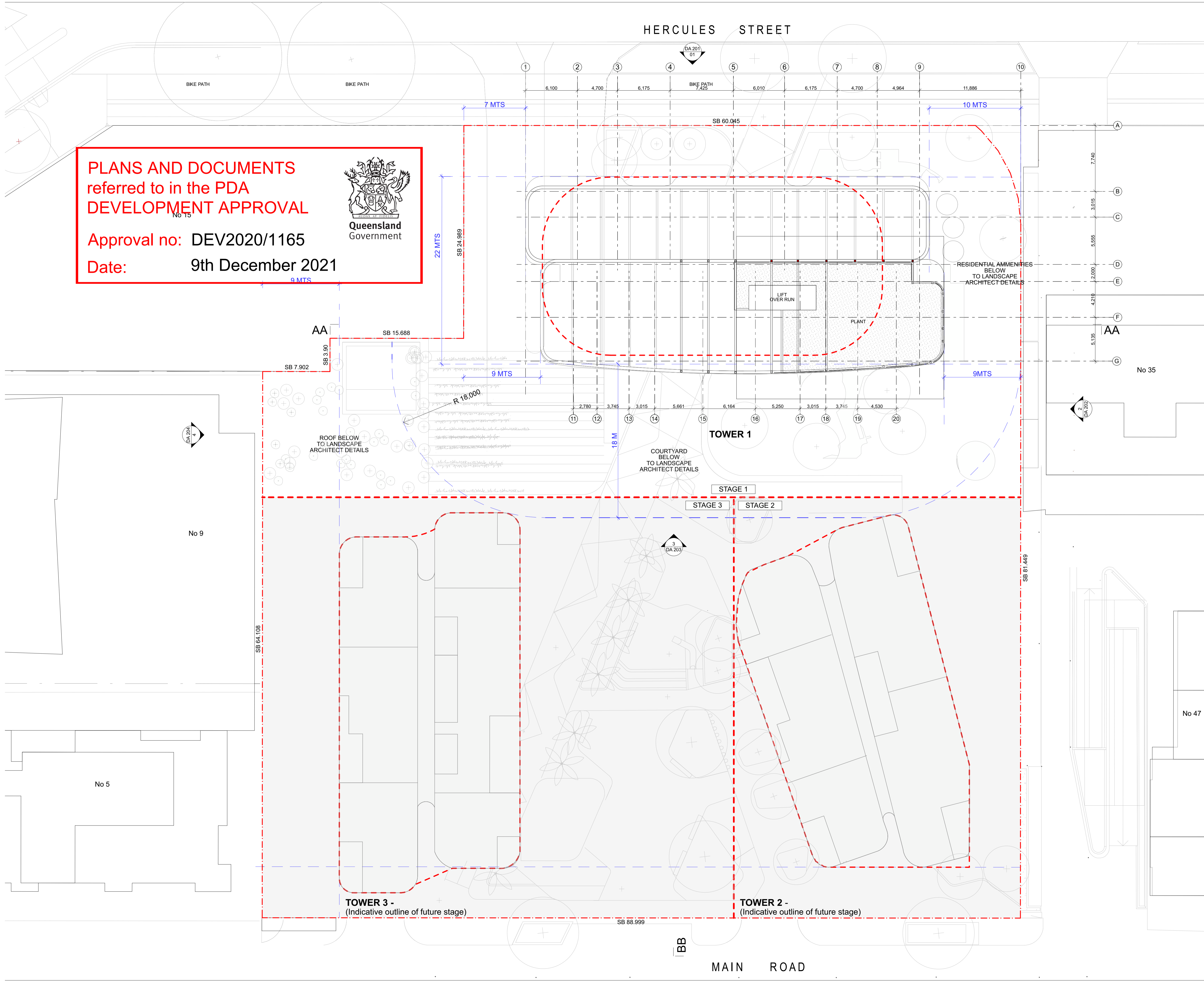
ARCHITECT
FUSE
 ARCHITECTURE | URBAN DESIGN | INTERIOR DESIGN
 STUDIO 64
 61 MARLBOROUGH STREET
 SURRY HILLS NSW 2010
 MAIL@FUSEARCHITECTURE.COM.AU
 ABN 61 612 046 843
 NOMINATED ARCHITECT RACHID ANDARI 8627

CLIENT
pds
 Level 1, 8 Knox Lane
 Double Bay NSW 2028



PROJECT
HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000
 JOB NO
 1944
 CHECKED DRAWN
 DATE
 14/5/21
 SCALE
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 PROJECT STATUS
DEVELOPMENT APPLICATION
 DRAWING TITLE
ROOF

SHEET NO
 DA 122
 REVISION
A



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2020/1165

Date: 9th December 2021



Queensland Government

SB 15.688

SB 7.902

ROOF BELOW TO LANDSCAPE ARCHITECT DETAILS

TOWER 1

COURTYARD BELOW TO LANDSCAPE ARCHITECT DETAILS

STAGE 1
 STAGE 3
 STAGE 2

TOWER 3 -
 (Indicative outline of future stage)

TOWER 2 -
 (Indicative outline of future stage)

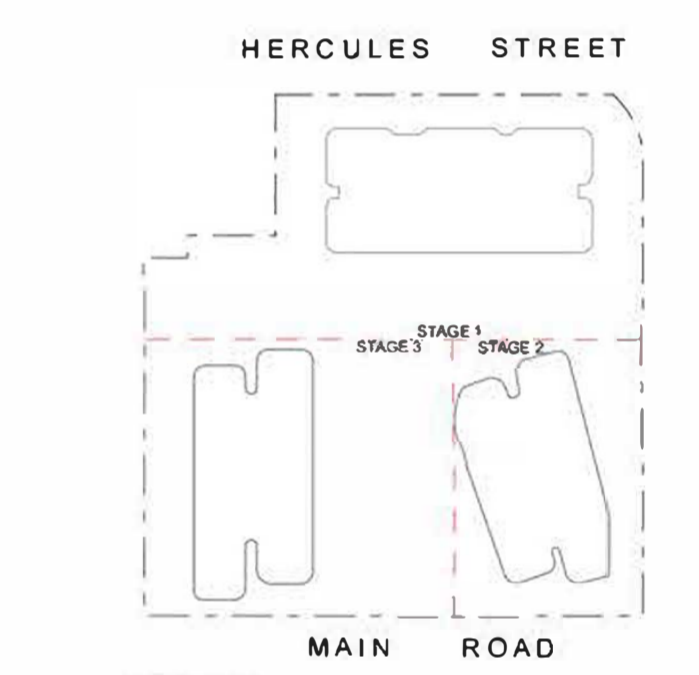
SB 88.999

MAIN ROAD

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 INFORMATION
 No: 1944_HAMILTON
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 QUOTATION.

- LEGEND
- GL01 FRITTED TINTED BLUE GLASS
 - GL02 FRITTED TINTED GREY GLASS
 - GL03 CLEAR GLASS
 - AL01 DARK GREY ALUMINIUM LOUVRES AND WINDOW FRAMING
 - SCN01 DARK GREY ALUMINIUM SCREEN
 - AL02 DARK BRONZE ALUMINIUM
 - SOFF LIGHT WEIGHT MIRRORRED FINISH SOFFIT AND COLUMNS
 - CEA CONCRETE EXPOSED AGGREGATE FINISH
 - PF01 DARK GREY FINISH



REVISION ID AMENDMENT DATE

REVISION ID	AMENDMENT	DATE
02	FOR INFORMATION	7/02/2020
05	PRELIMINARY	16/10/2020
06	PRELIMINARY	30/10/2020
A	ISSUE FOR DA	07/12/2020

ARCHITECT
FUSE
 ARCHITECTURE | URBAN DESIGN | INTERIOR DESIGN
 STUDIO 64
 61 MARLBOROUGH STREET
 SURREY HILLS NSW 2019
 MAIL @FUSEARCHITECTURE.COM.AU
 AIN R1 612 045 643
 NOMINATED ARCHITECT RACHD ANDARY 8627

CLIENT
pds
 Level 1, 8 Knox Lane
 Double Bay NSW 2028

PROJECT
HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000
 JOB NO
 1944
 CHECKED DRAWN
 DATE SCALE
 07/12/2020 1:200 @ A1 A3@50%
 PROJECT STATUS
 DEVELOPMENT APPLICATION
 DRAWING TITLE
 EAST ELEVATION
 SHEET NO. REVISION
 DA 202 A



PLANS AND DOCUMENTS
 referred to in the PDA
 DEVELOPMENT APPROVAL

Approval no: DEV2020/1165
 Date: 9th December 2021



TOWER 2 OUTLINE

SITE BOUNDARY

MAIN ROAD

SITE BOUNDARY

HERCULES STREET

HAMILTON PARK

No 35

SOFF

RESIDENTIAL AMENITIES POOL

SUB STATION

ELECTRICAL WORK

- +105.100 ROOF
- +102.000 LEVEL 28
- +98.900 LEVEL 27
- +95.800 LEVEL 26
- +92.700 LEVEL 25
- +89.600 LEVEL 24
- +86.500 LEVEL 23
- +83.400 LEVEL 22
- +80.300 LEVEL 21
- +77.200 LEVEL 20
- +74.100 LEVEL 19
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- +40.000 LEVEL 08
- +36.900 LEVEL 07
- +33.800 LEVEL 06
- +30.700 LEVEL 05
- +27.600 LEVEL 04
- +24.500 LEVEL 03
- +21.400 LEVEL 02
- +18.300 LEVEL 01
- +12.300 MEZZANINE
- +3.300 GROUND FLOOR



**PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL**

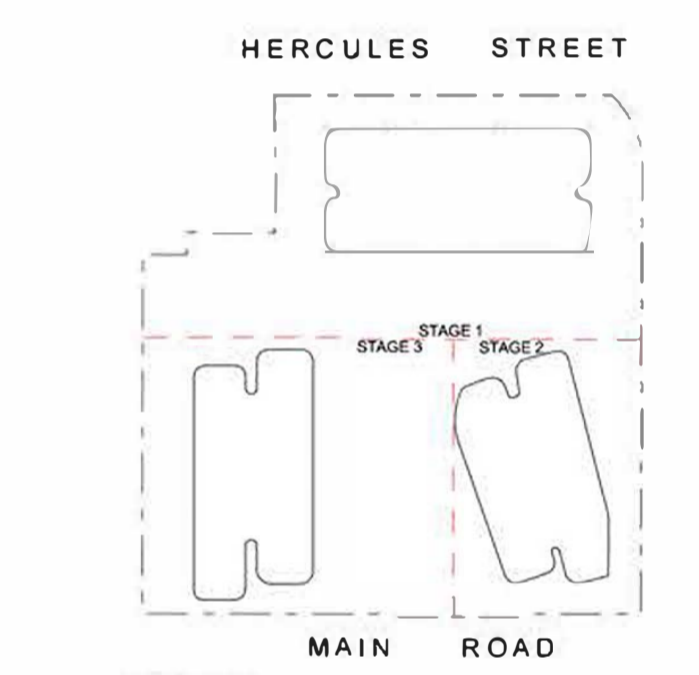
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 Ref: 1944_HAMILTON
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- LEGEND**
- GL01 FRITTED TINTED BLUE GLASS
 - GL02 FRITTED TINTED GREY GLASS
 - GL03 CLEAR GLASS
 - AL01 DARK GREY ALUMINIUM LOUVRES AND WINDOW FRAMING
 - SCN01 DARK GREY ALUMINIUM SCREEN
 - AL02 DARK BRONZE ALUMINIUM
 - SOFF LIGHT WEIGHT MIRRORED FINISH SOFFIT AND COLUMNS
 - CEA CONCRETE EXPOSED AGGREGATE FINISH
 - PF01 DARK GREY FINISH



REVISION ID	AMENDMENT	DATE
02	FOR INFORMATION	7/02/2020
05	PRELIMINARY	16/10/2020
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A	ISSUE FOR DA	07/12/2020

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 ARCHITECTURE | URBAN DESIGN | INTERIOR DESIGN
 STUDIO 64
 61 MARLBOROUGH STREET
 SERRILL HILLS NSW 2019
 MAIL @ FUSEARCHITECTURE.COM.AU
 ABN 81 612 045 643
 NOMINATED ARCHITECT RACHO ANDARY 8627

CLIENT

 Level 1, 8 Knox Lane
 Double Bay NSW 2028

PROJECT
 HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000
 JOB NO
 1944
 CHECKED DRAWN
 DATE SCALE
 07/12/2020 1:200 @ A1 A3@50%
 PROJECT STATUS
 DEVELOPMENT APPLICATION
 DRAWING TITLE
 WEST ELEVATION
 SHEET NO.
 DA 204 A

A 6M SETBACK B 3.015 C 5.555 D 2.000 E 4.210 F 5.135 G

SITE BOUNDARY

6M SETBACK

SITE BOUNDARY

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2020/1165
 Date: 9th December 2021



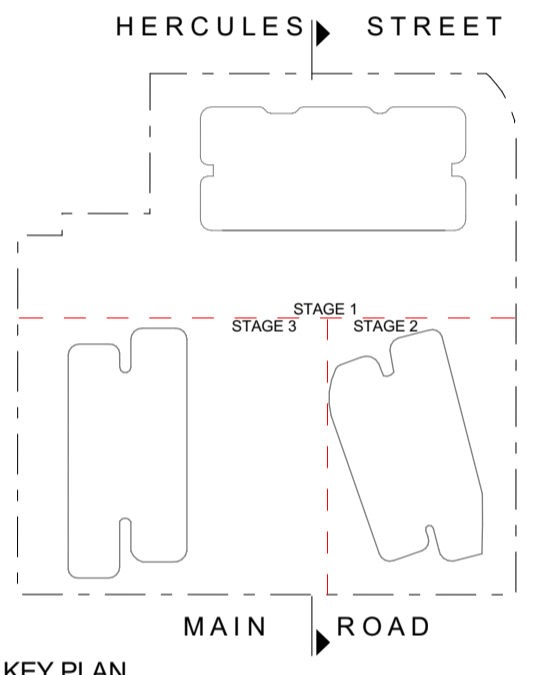
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LEGEND

GL01	FRITTED TINTED BLUE GLASS
GL02	FRITTED TINTED GREY GLASS
GL03	CLEAR GLASS
AL01	DARK GREY ALUMINIUM LOUVRES AND WINDOW FRAMING
SCN01	DARK GREY ALUMINIUM SCREEN
AL02	DARK BRONZE ALUMINIUM
SOFF	LIGHT WEIGHT MIRRORRED FINISH SOFFIT AND COLUMNS
CEA	CONCRETE EXPOSED AGGREGATE FINISH
PF01	DARK GREY FINISH



CHANGE	DESCRIPTION
REVISION ID	AMENDMENT
01	FOR INFORMATION
02	FOR INFORMATION
05	PRELIMINARY
06	PRELIMINARY
A	ISSUE FOR DA
	DATE
	6/11/2019
	7/02/2020
	16/10/2020
	30/10/2020
	7/12/2020

ARCHITECT
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 ARCHITECTURE | URBAN DESIGN | INTERIOR DESIGN
 STUDIO 64
 61 MARLBOROUGH STREET
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 MAIL@FUSEARCHITECTURE.COM.AU
 ABN 61 612 046 843
 NOMINATED ARCHITECT RACHID ANDARY 8627

CLIENT

 Level 1, 8 Knox Lane
 Double Bay NSW 2028

PROJECT
HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000

JOB NO
1944

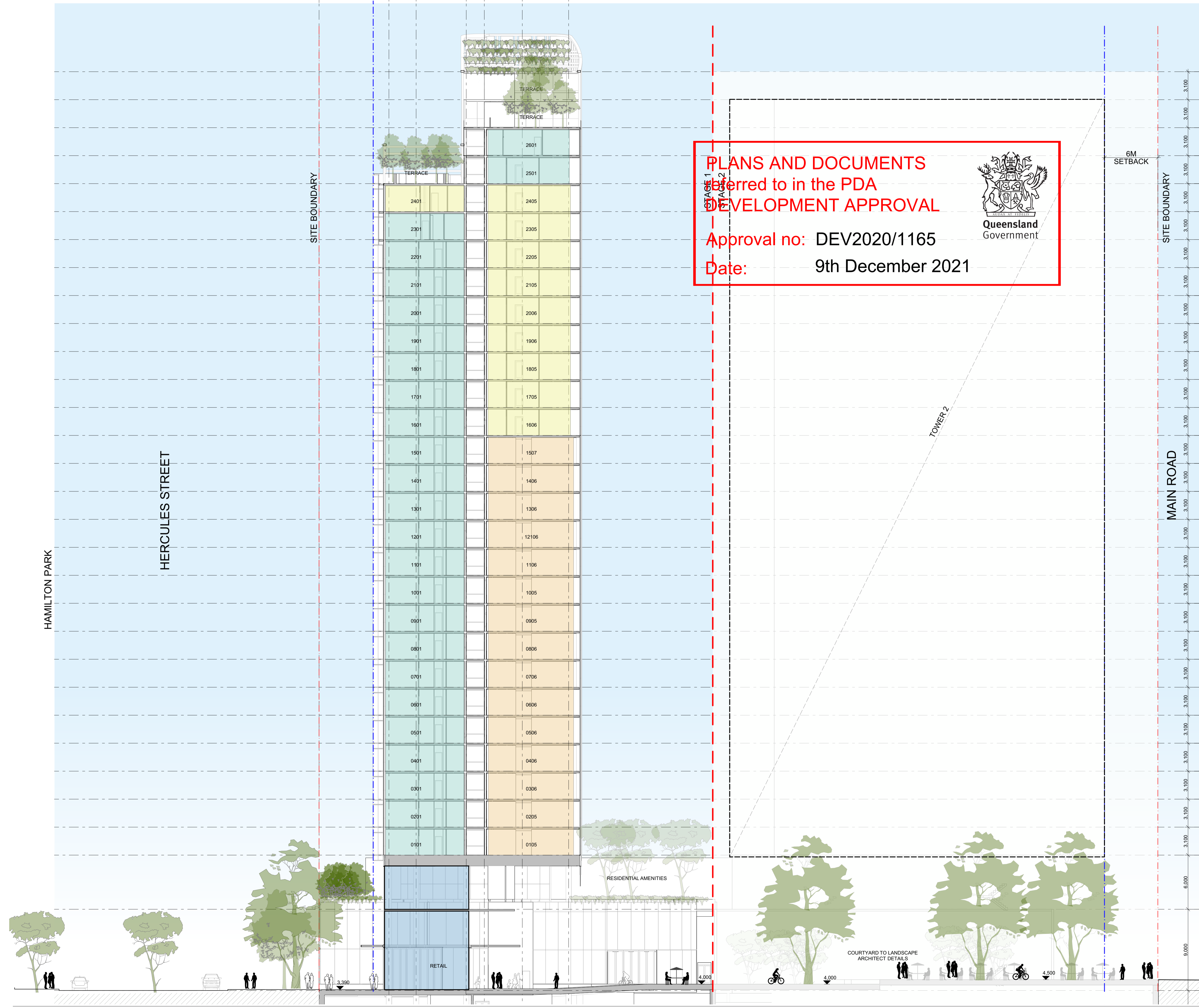
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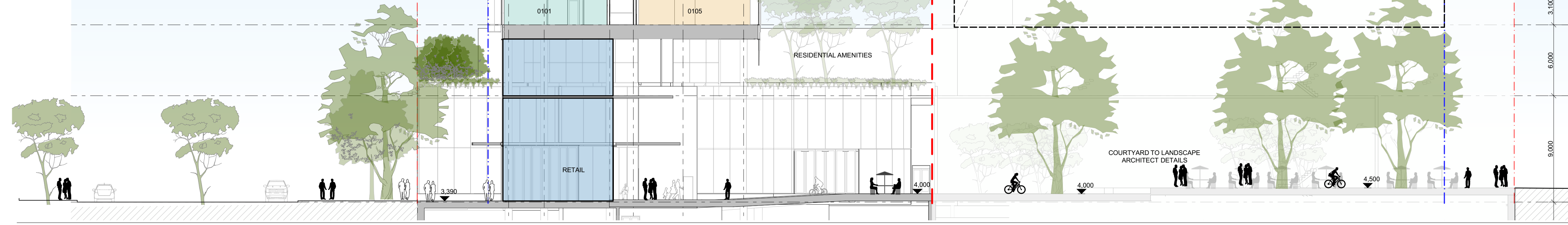
PROJECT STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
SECTION BB

SHEET NO. REVISION
 DA 302 A



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 MEZZANINE +12,300
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PLANS AND DOCUMENTS
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DEVELOPMENT APPROVAL

Approval no: DEV2020/1165

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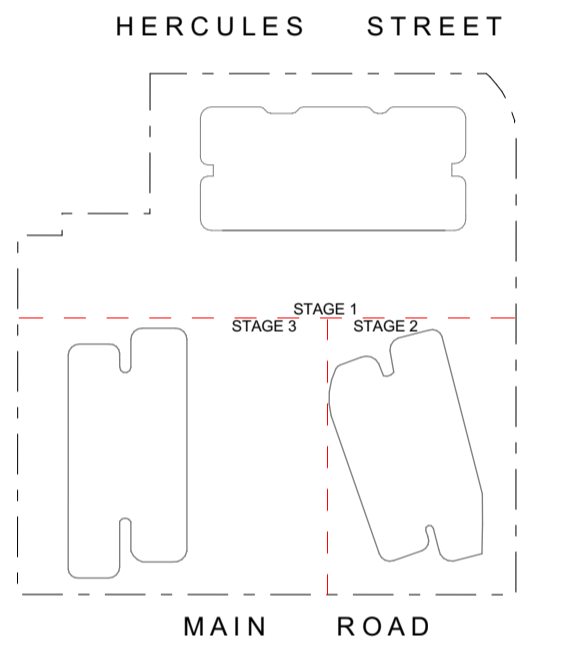
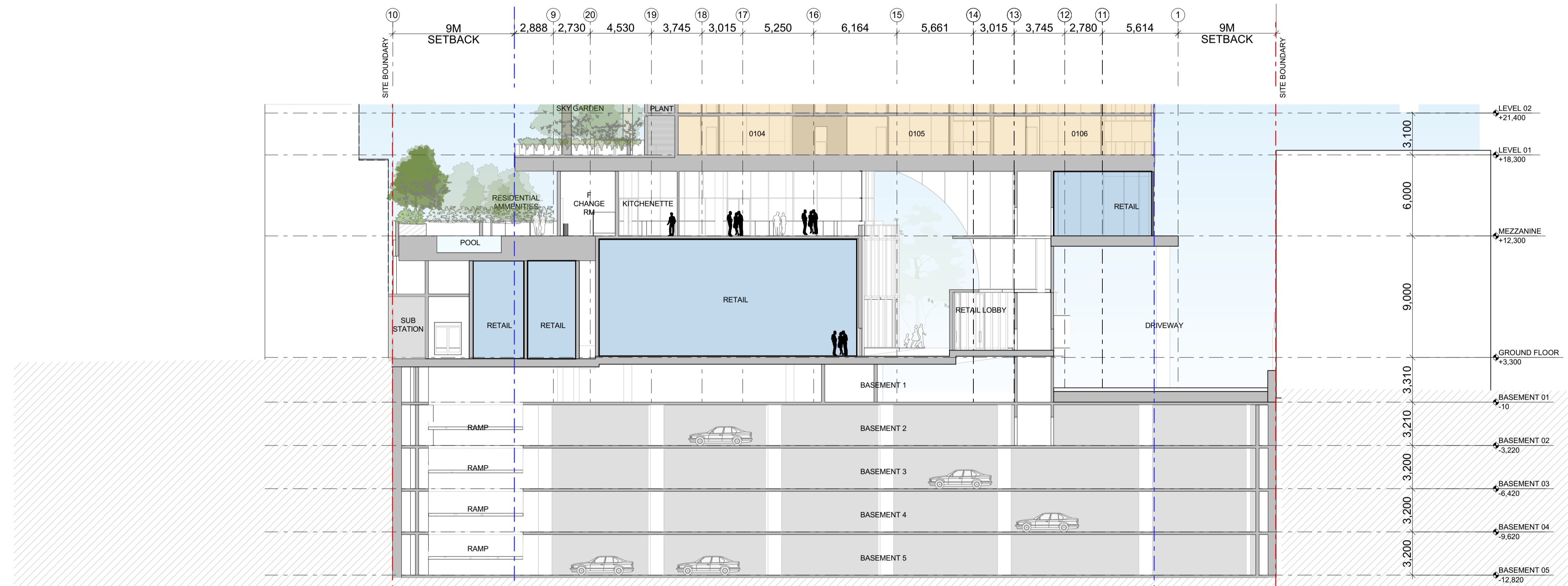


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LEGEND

GL01	FRITTED TINTED BLUE GLASS
GL02	FRITTED TINTED GREY GLASS
GL03	CLEAR GLASS
AL01	DARK GREY ALUMINIUM LOUVRES AND WINDOW FRAMING
SCN01	DARK GREY ALUMINIUM SCREEN
AL02	DARK BRONZE ALUMINIUM
SOFF	LIGHT WEIGHT MIRRORRED FINISH SOFFIT AND COLUMNS
CEA	CONCRETE EXPOSED AGGREGATE FINISH
PF01	DARK GREY FINISH



KEY PLAN

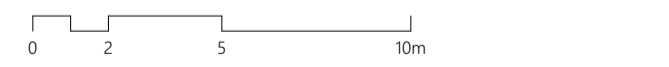
CHANGE	DESCRIPTION
A	ISSUE FOR DA

REVISION ID	AMENDMENT	DATE
A	ISSUE FOR DA	7/12/2020

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 MAIL@FUSEARCHITECTURE.COM.AU
 ABN 81 612 046 843
 NOMINATED ARCHITECT RACHID ANDARY 8627



Level 1, 8 Knox Lane
 Double Bay NSW 2028



PROJECT
HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000
 JOB NO
 1944
 CHECKED DRAWN
 DATE SCALE
 7/12/2020 1:200 @ A1 A3@50%
 PROJECT STATUS
 DEVELOPMENT APPLICATION
 DRAWING TITLE
 SECTION CC

SHEET NO. REVISION
 DA 303 A

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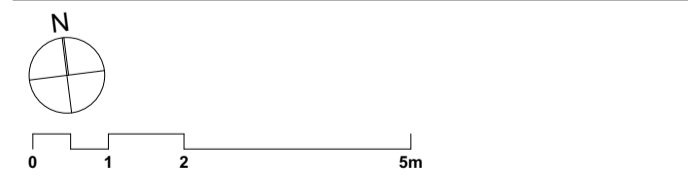
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REVISION ID	AMENDMENT	DATE
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PROJECT
 HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000
 JOB NO
 1944
 CHECKED
 AA/RA
 DATE
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SHEET NO.
 DA 304

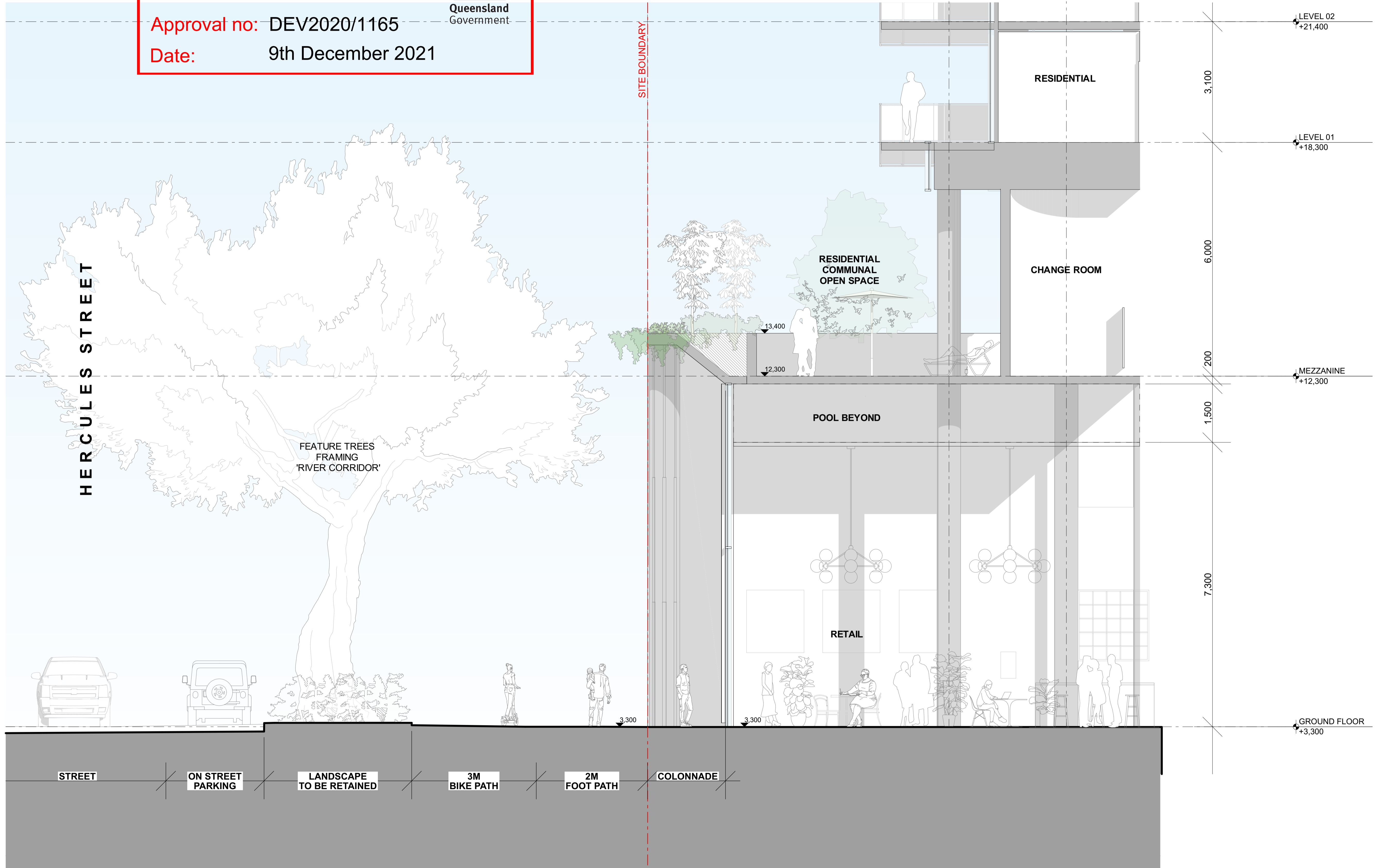
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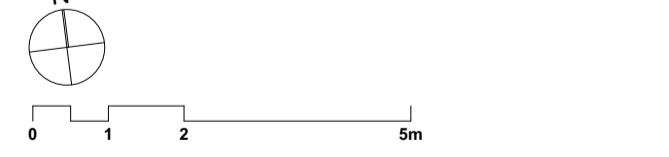
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REVISION ID	AMENDMENT	DATE

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CLIENT
 Level 1, 8 Knox Lane
 Double Bay NSW 2028



PROJECT
 HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000
 JOB NO
 1944

CHECKED: AA/RA
 DATE: 21/5/21
 PROJECT STATUS: DEVELOPMENT APPLICATION

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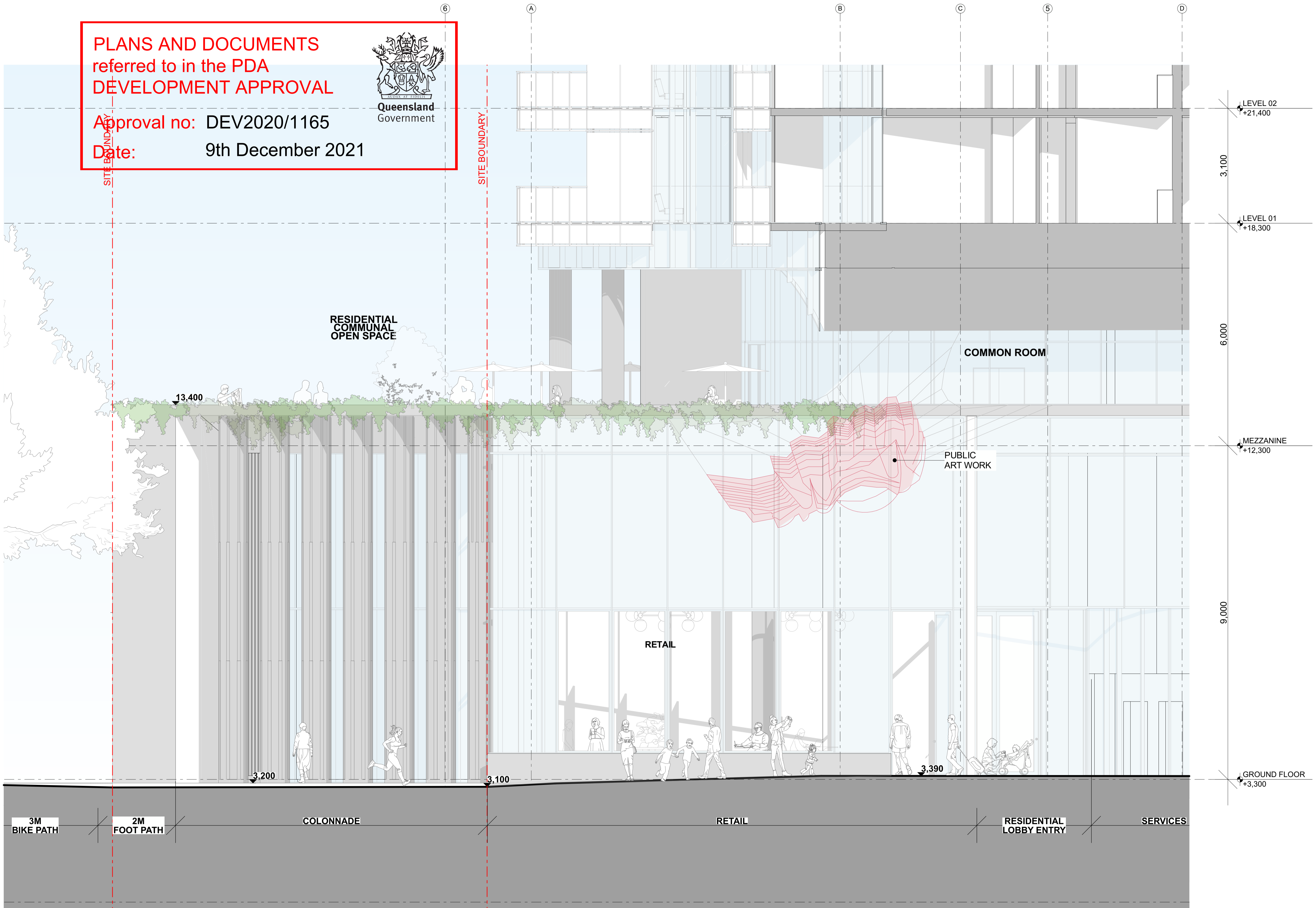
SHEET NO: DA 305
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Date: 9th December 2021



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REVISION ID	AMENDMENT	DATE

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 ABN 61 612 046 843
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 Double Bay NSW 2028

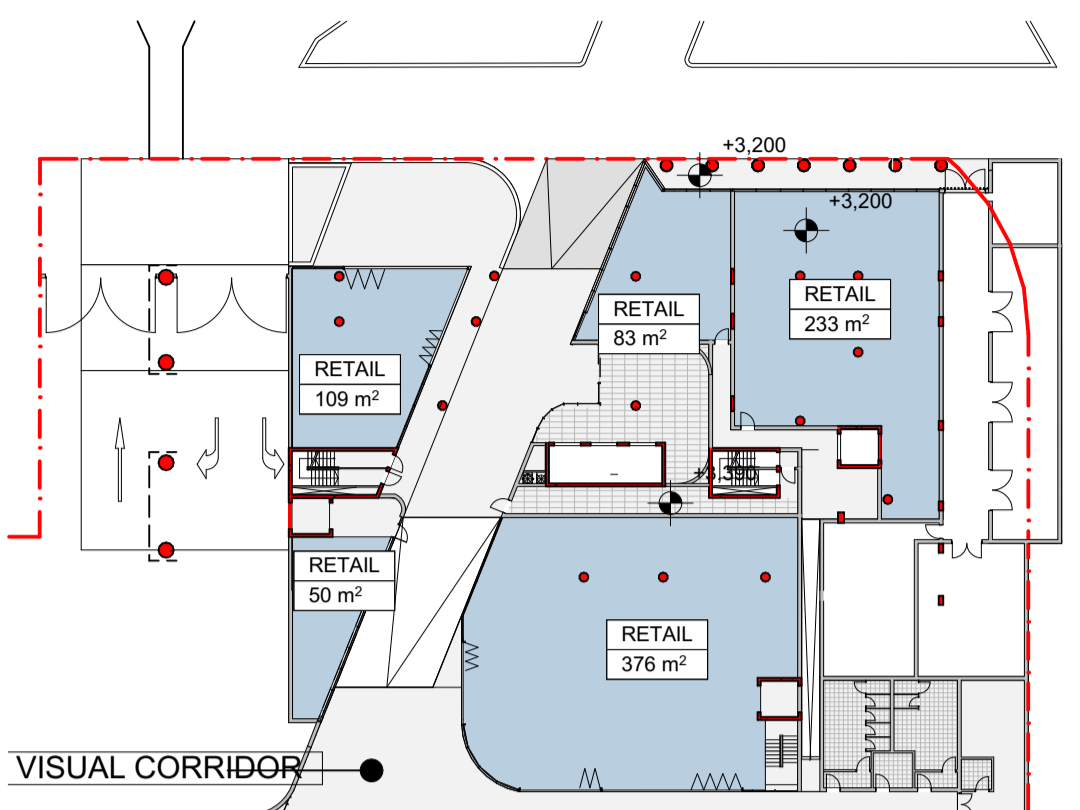
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 HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000
 JOB NO
 1944

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 PROJECT STATUS: DEVELOPMENT APPLICATION
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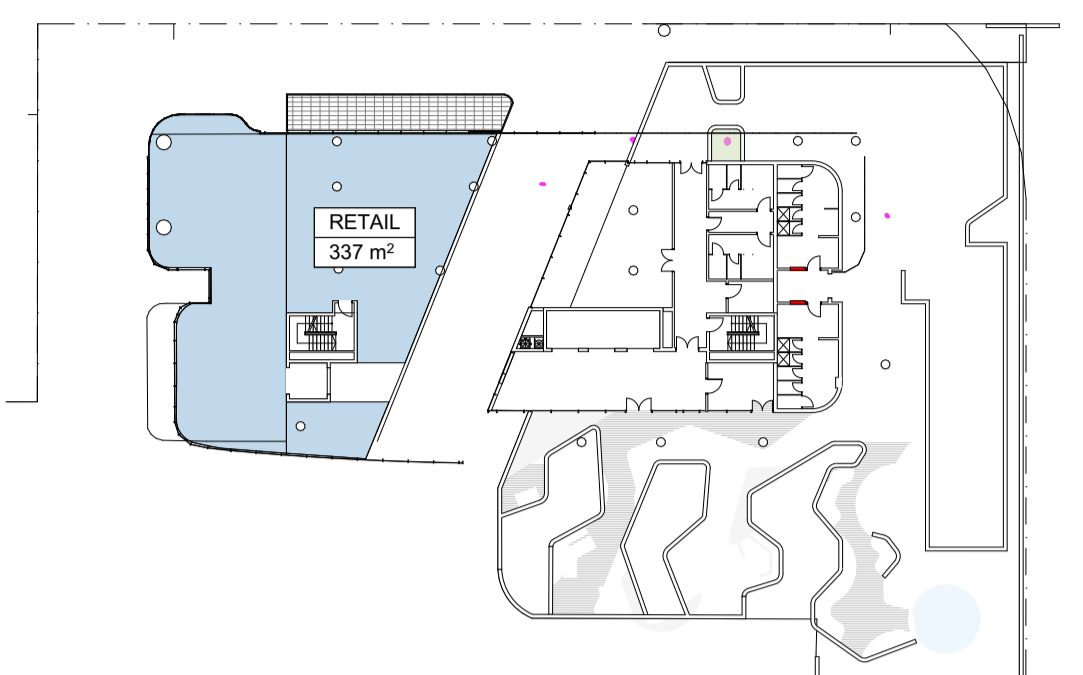
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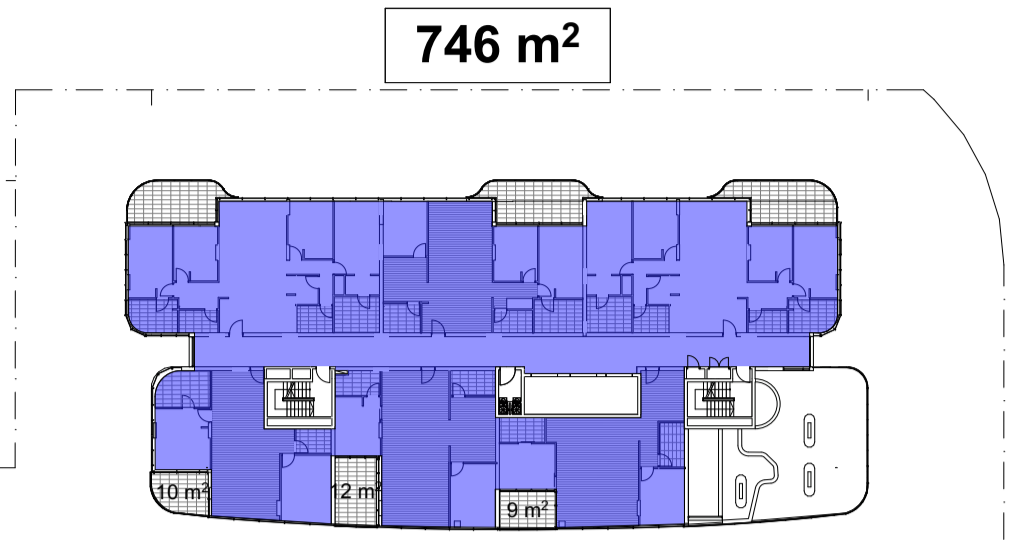
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LEVEL	TOTAL m ²	LEVEL	TOTAL m ²
LEVEL 01	746	GROUND FLOOR	851
LEVEL 02	746	M2	244
LEVEL 03	835	MEZZANINE	337
LEVEL 04	835		1,432 m ²
LEVEL 05	748		
LEVEL 06	748		
LEVEL 07	835		
LEVEL 08	835		
LEVEL 09	746		
LEVEL 10	746		
LEVEL 11	835		
LEVEL 12	835		
LEVEL 13	748		
LEVEL 14	748		
LEVEL 15	835		
LEVEL 16	842		
LEVEL 17	724		
LEVEL 18	724		
LEVEL 19	842		
LEVEL 20	842		
LEVEL 21	723		
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LEVEL 25	537		
LEVEL 26	455		
LEVEL 27	208		
LEVEL 28	191		
	20,096 m²		



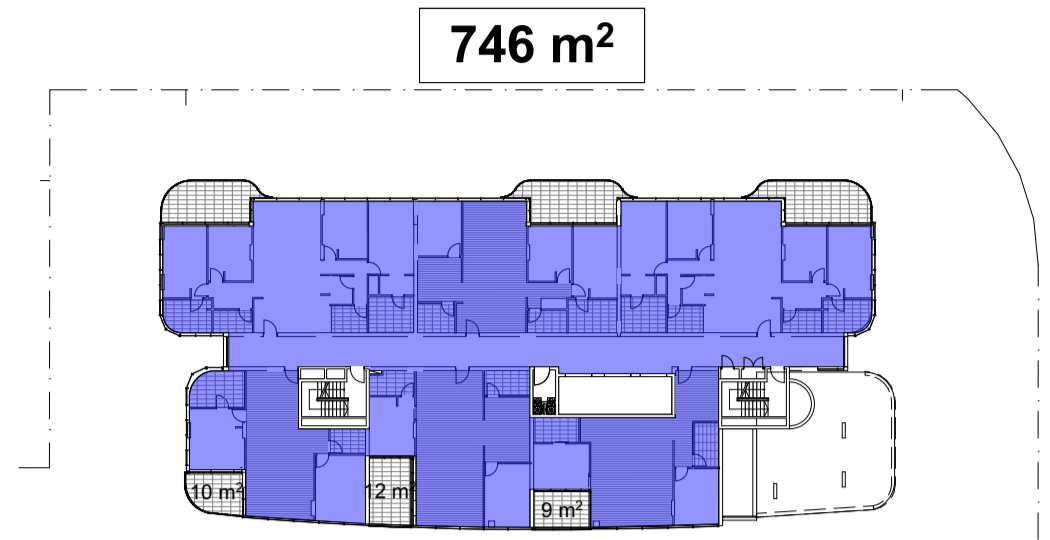
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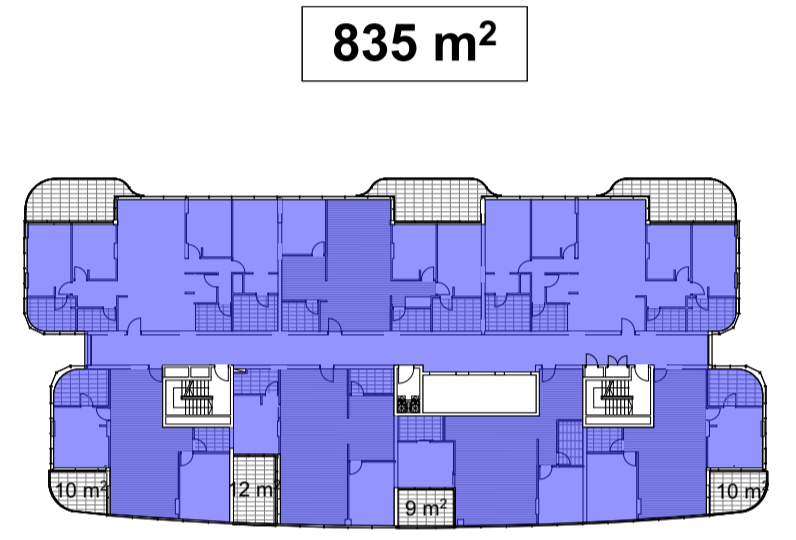
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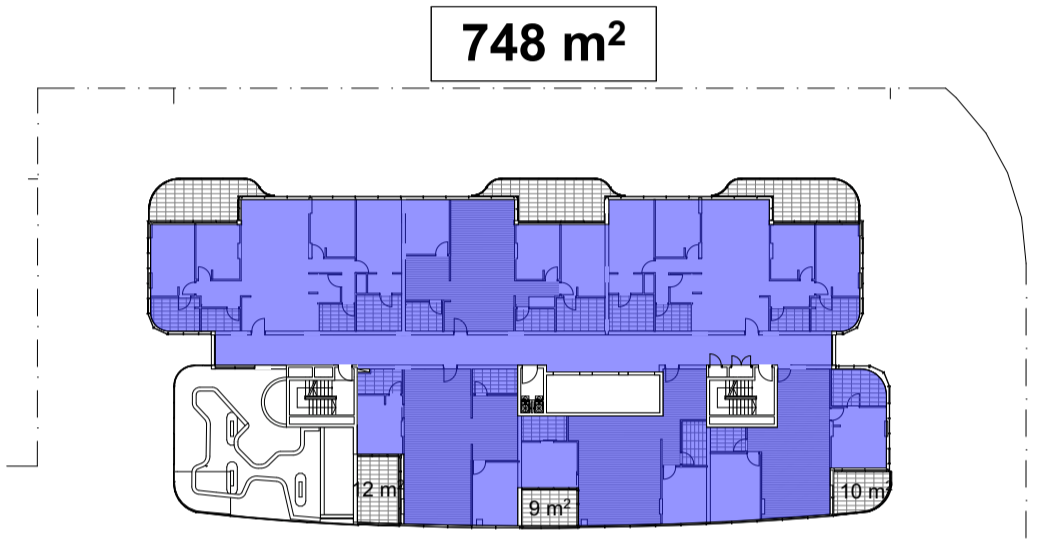
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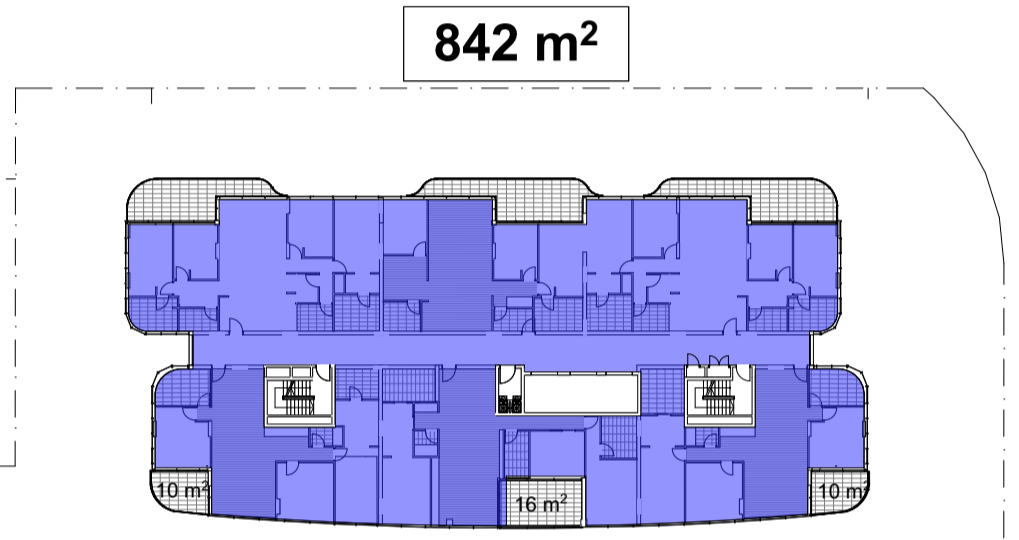
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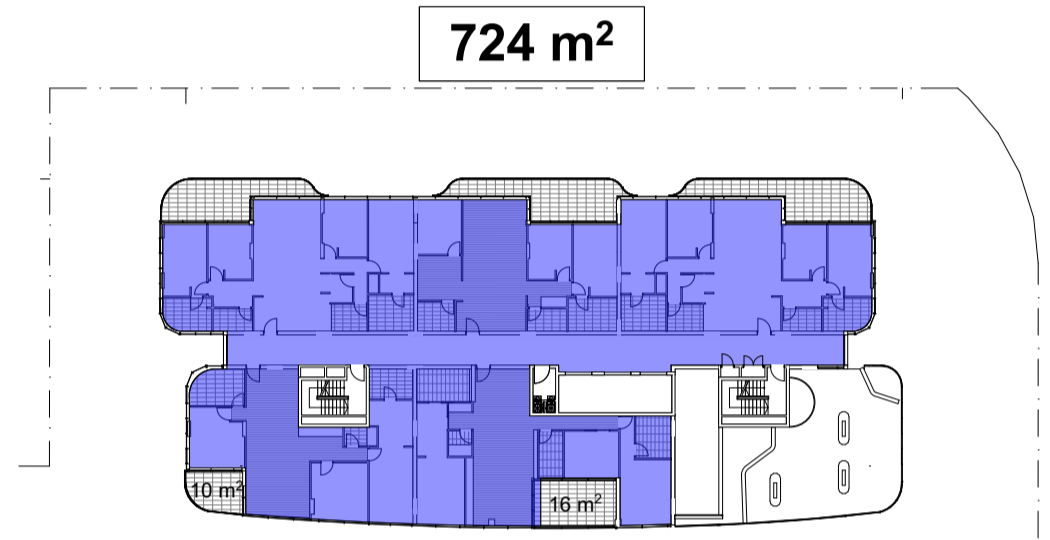
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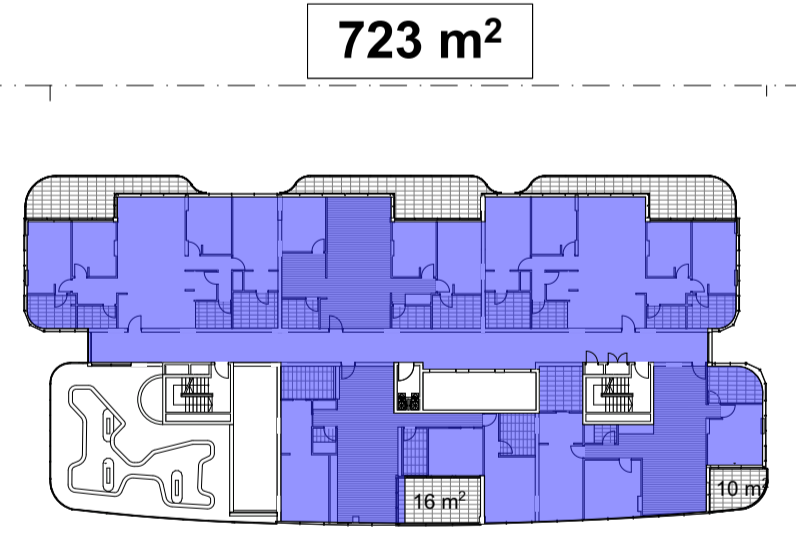
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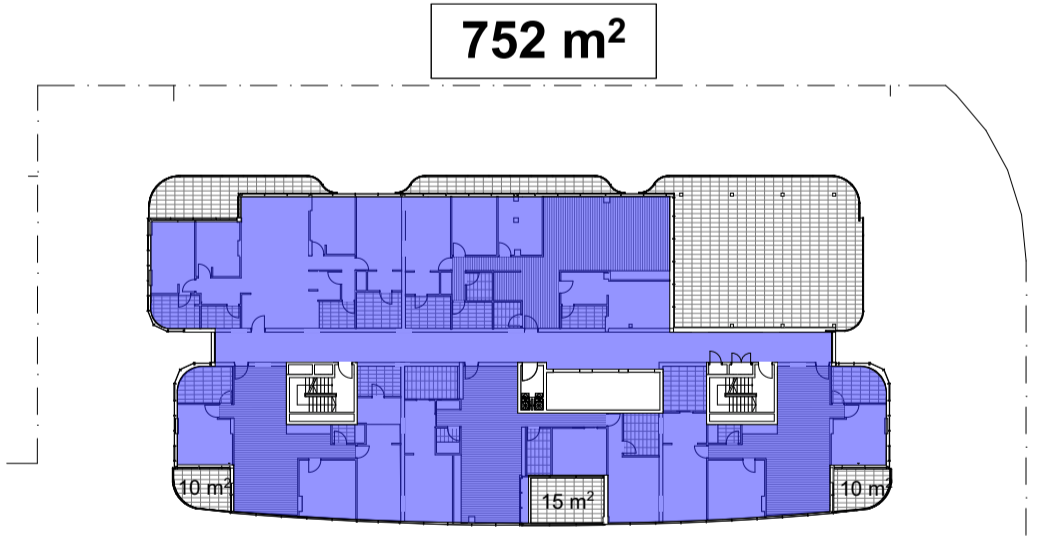
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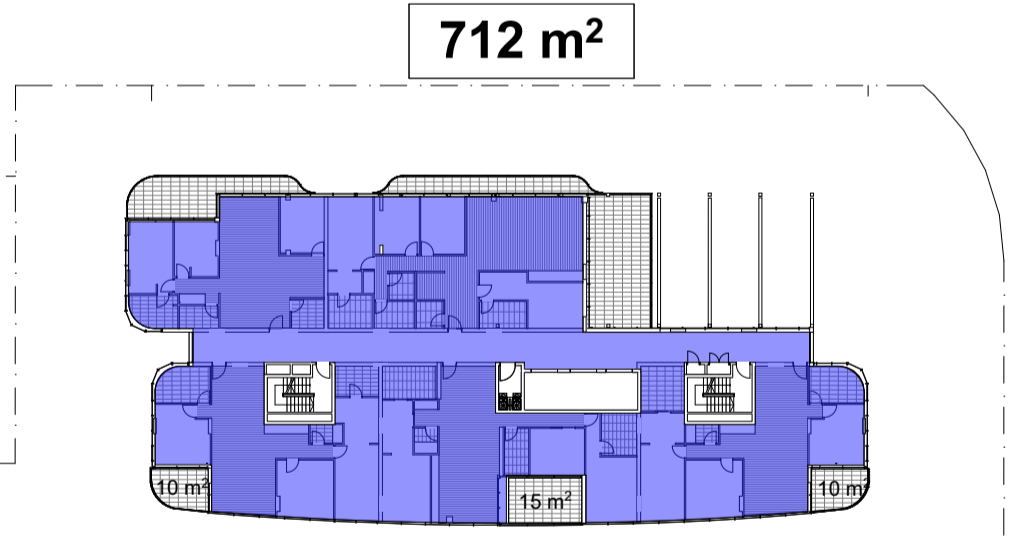
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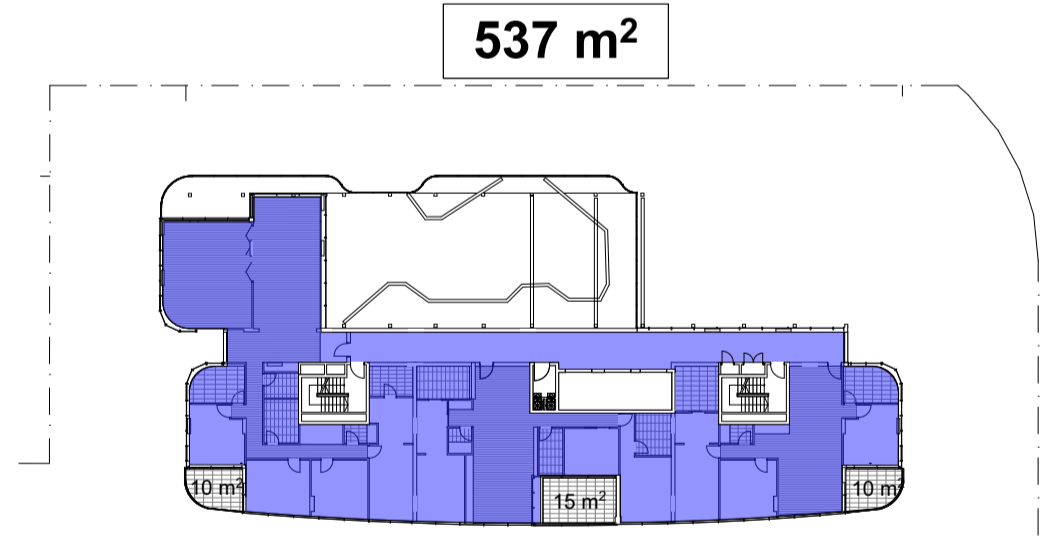
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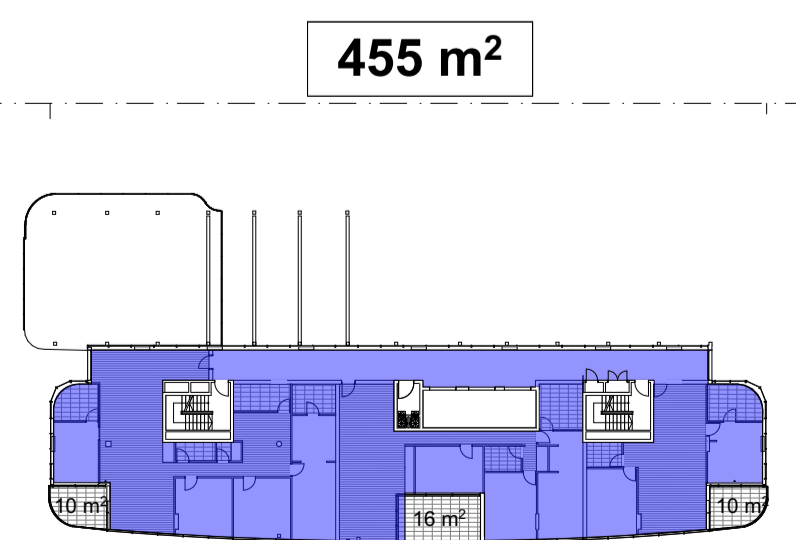
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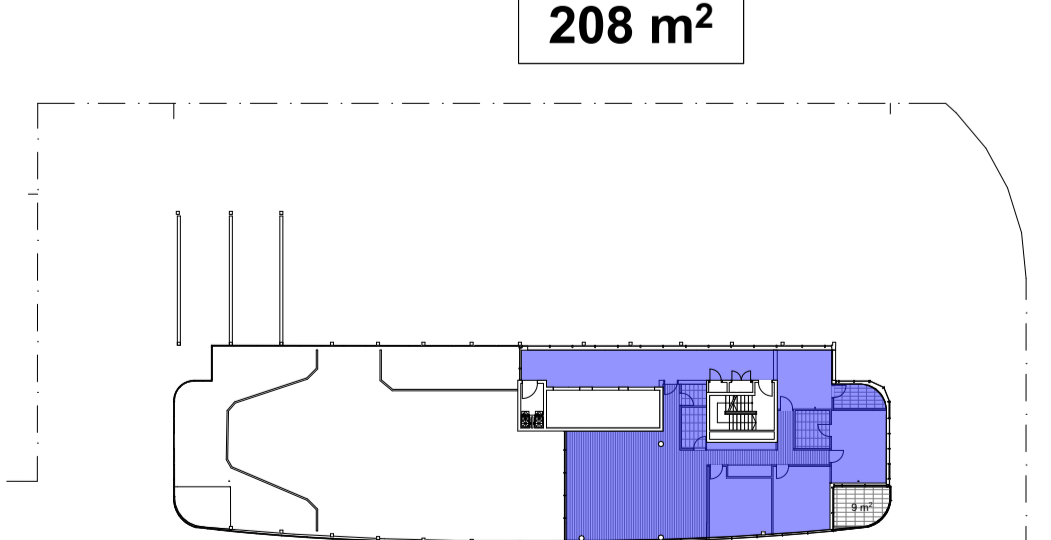
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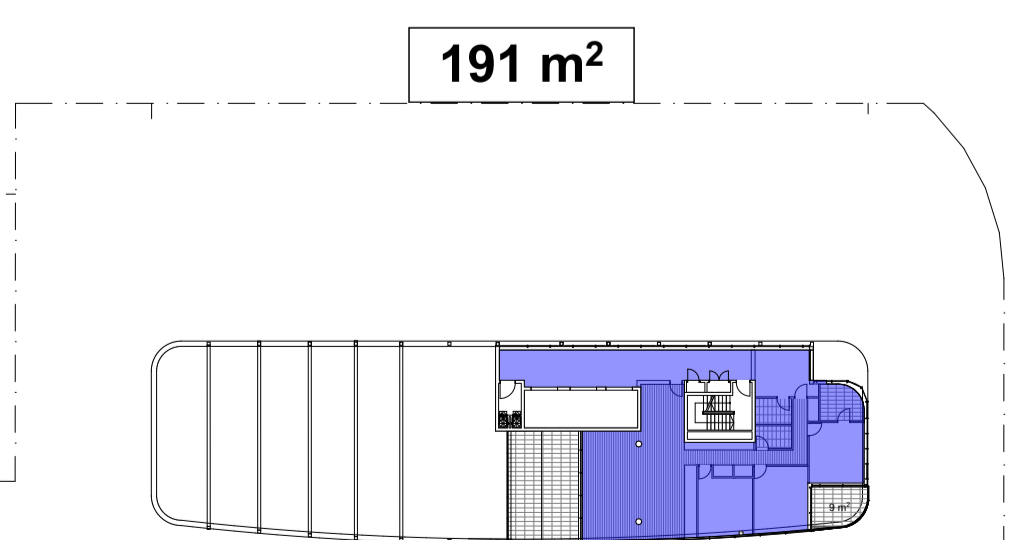
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13 GFA - LEVEL 26
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14 GFA - LEVEL 27
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PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2020/1165
 Date: 9th December 2021



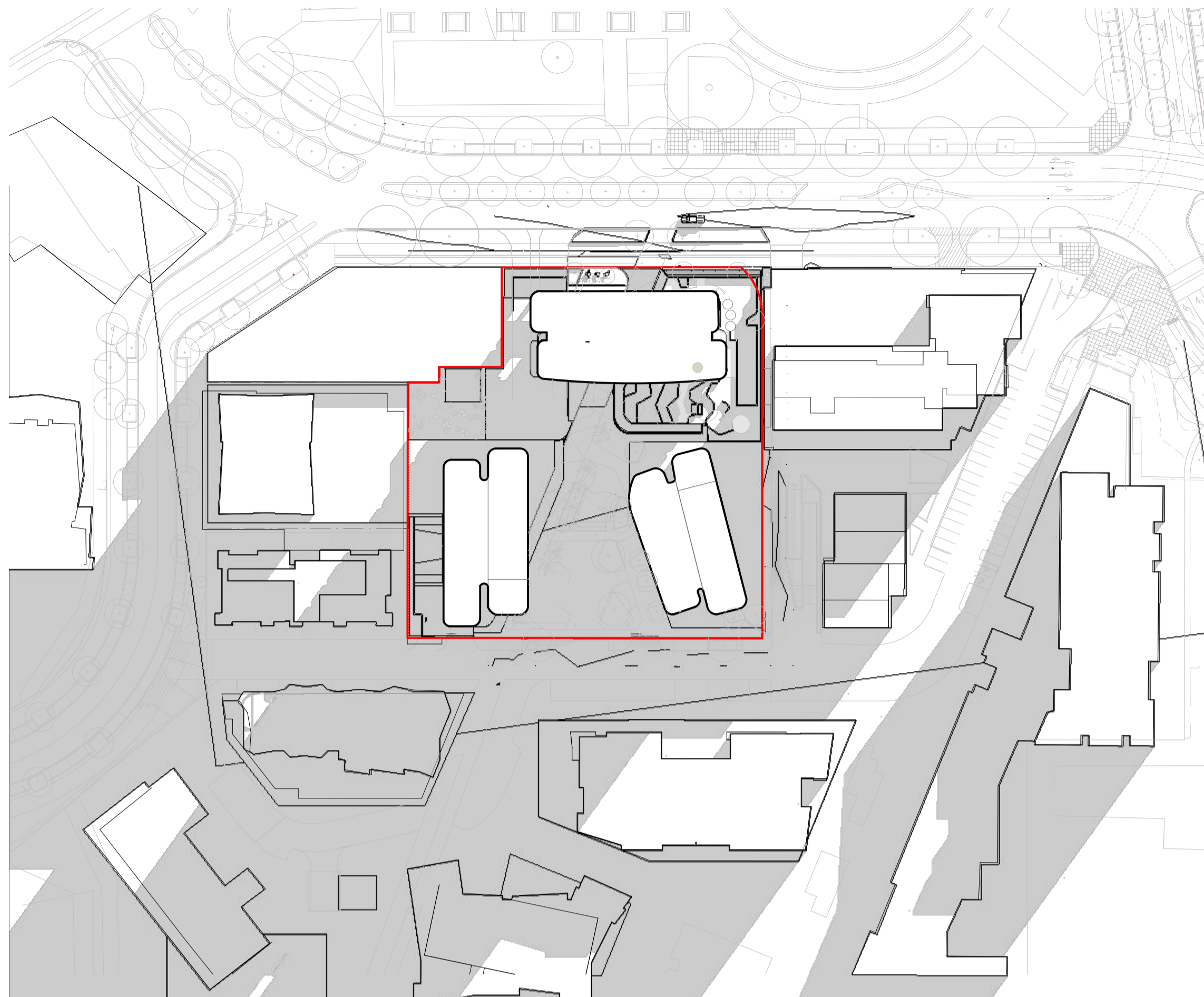
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02	FOR INFORMATION	7/02/2020
05	PRELIMINARY	16/10/2020
06	PRELIMINARY	30/10/2020
A	ISSUE FOR DA	7/12/2020

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 Double Bay NSW 2028

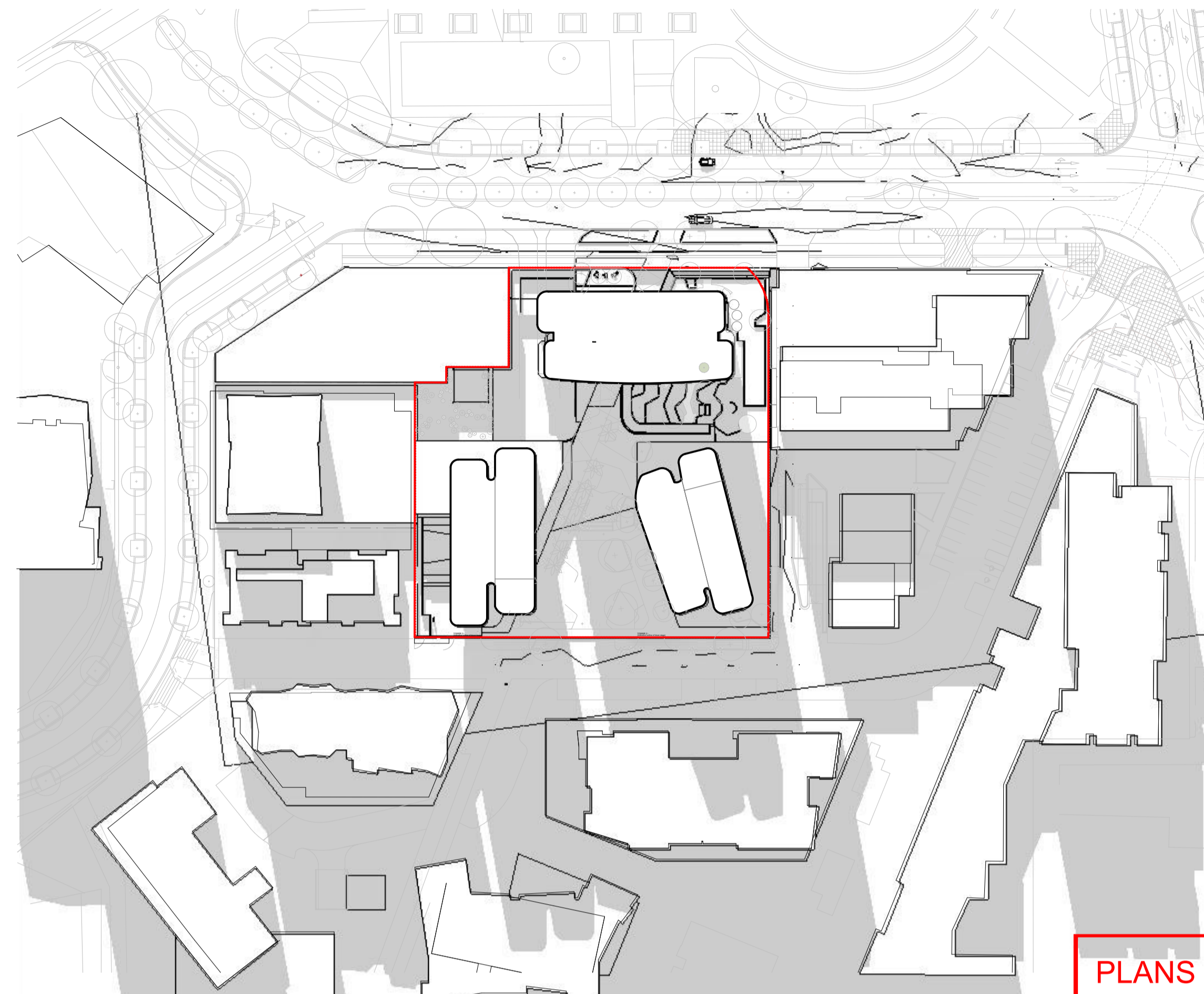
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 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000
 JOB NO
 1944
 CHECKED DRAWN
 DATE
 7/12/2020
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 DEVELOPMENT APPLICATION
 DRAWING TITLE
 AREA CALCULATIONS DIAGRAMS

SHEET NO
 DA 402
 REVISION
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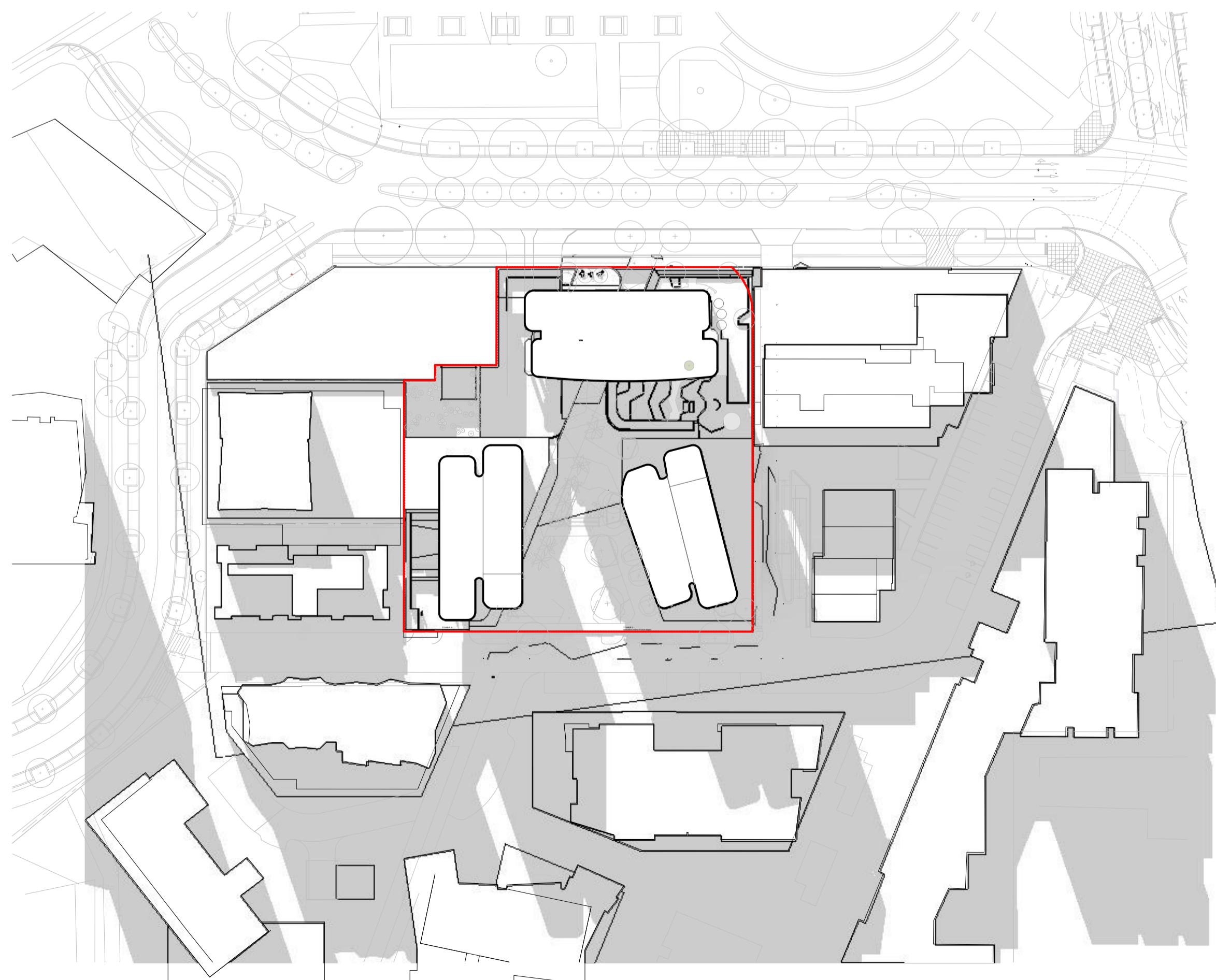
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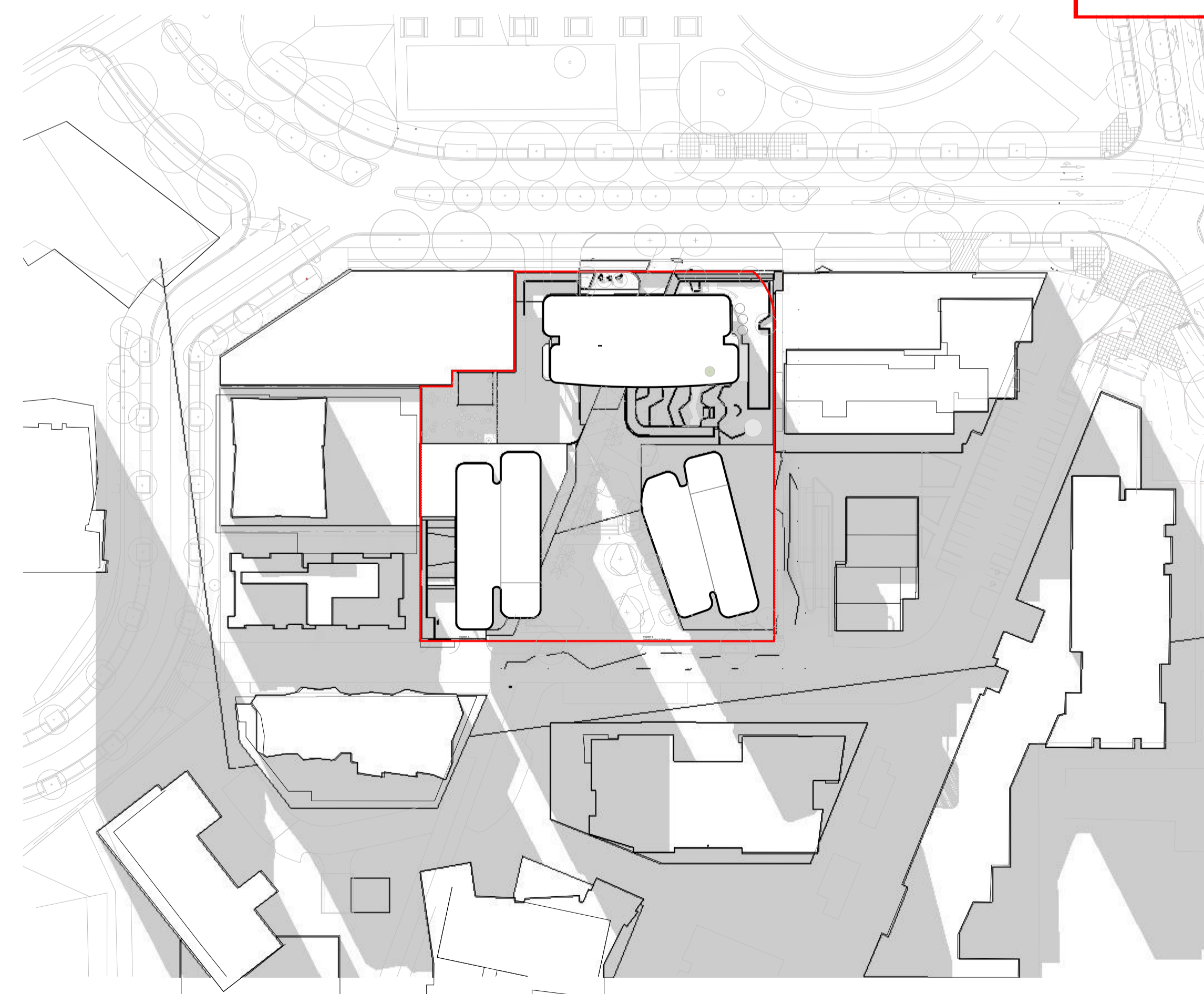
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PLANS AND DOCUMENTS
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DEVELOPMENT APPROVAL
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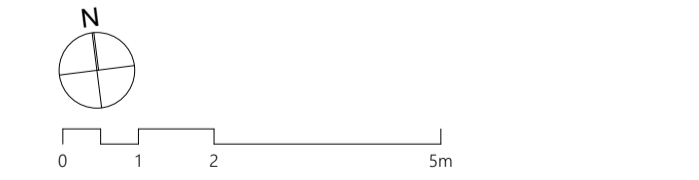
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REVISION ID	AMENDMENT	DATE
A	ISSUE FOR DA	7/12/2020

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 ABN 61 612 046 843
 NOMINATED ARCHITECT RACHID ANDARY 8627

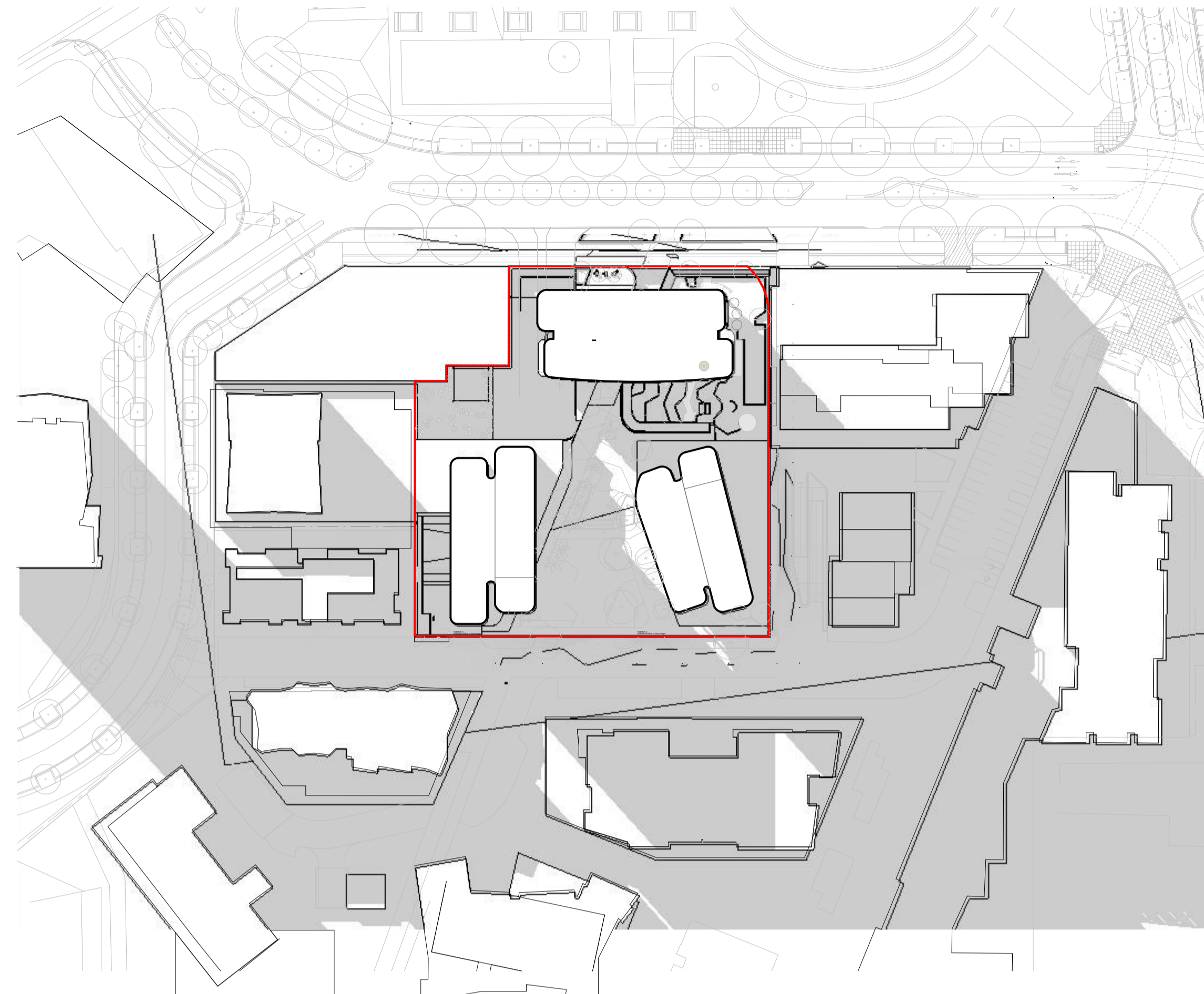
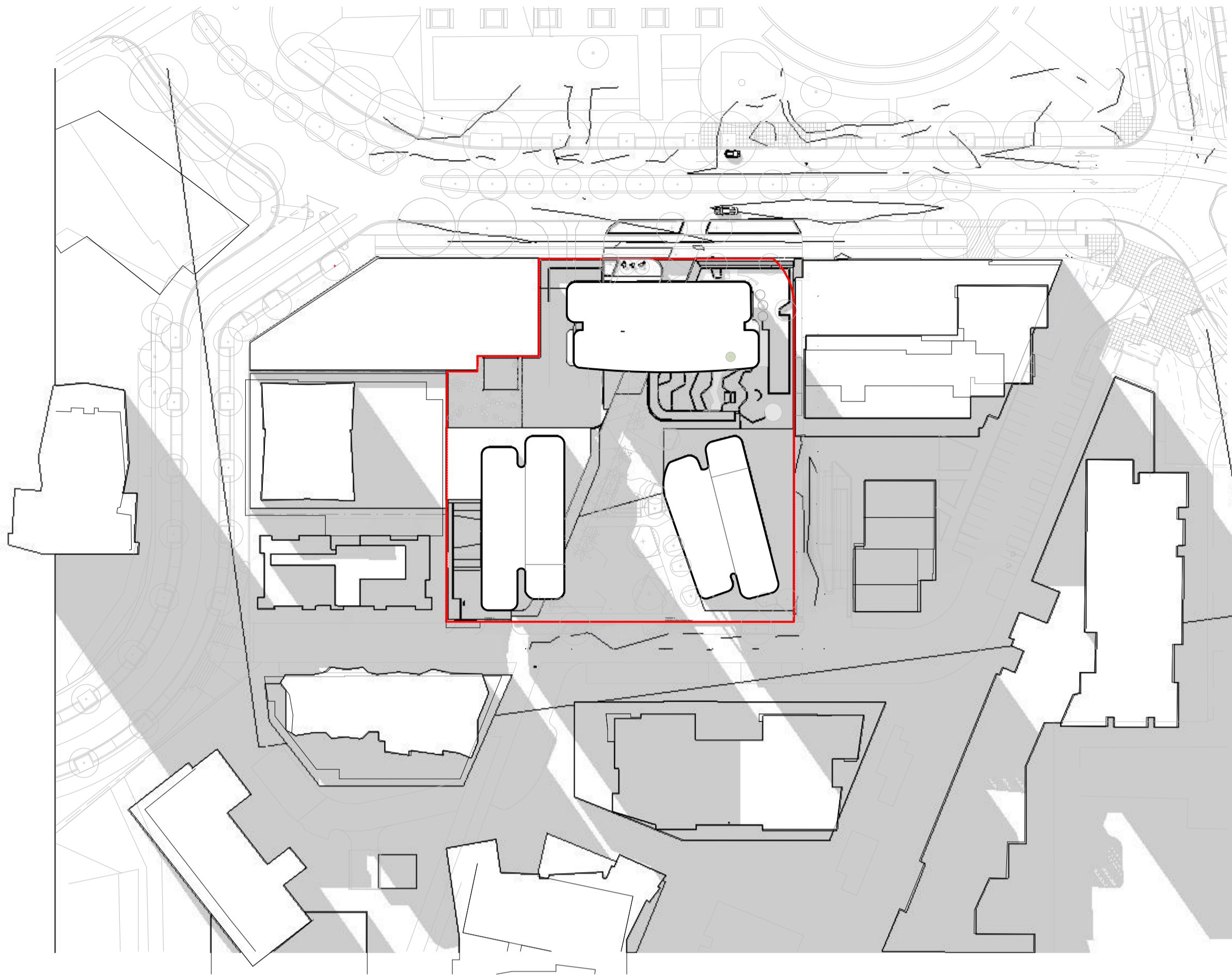
CLIENT

 Level 1, 8 Knox Lane
 Double Bay NSW 2028



PROJECT
HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000
 JOB NO
1944
 CHECKED DRAWN
 DATE SCALE
 7/12/2020 @ A1 A3@50%
 PROJECT STATUS
DEVELOPMENT APPLICATION
 DRAWING TITLE
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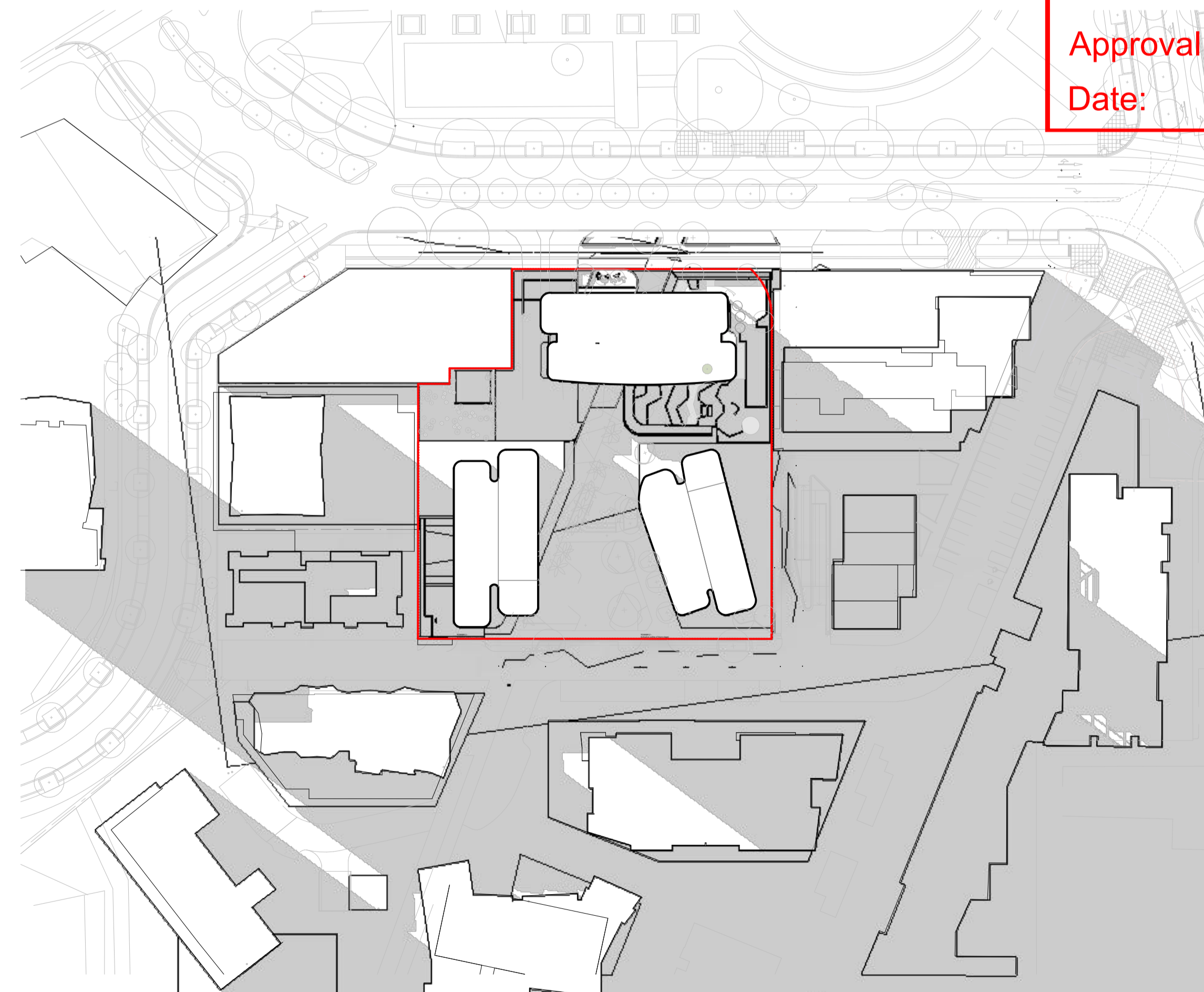
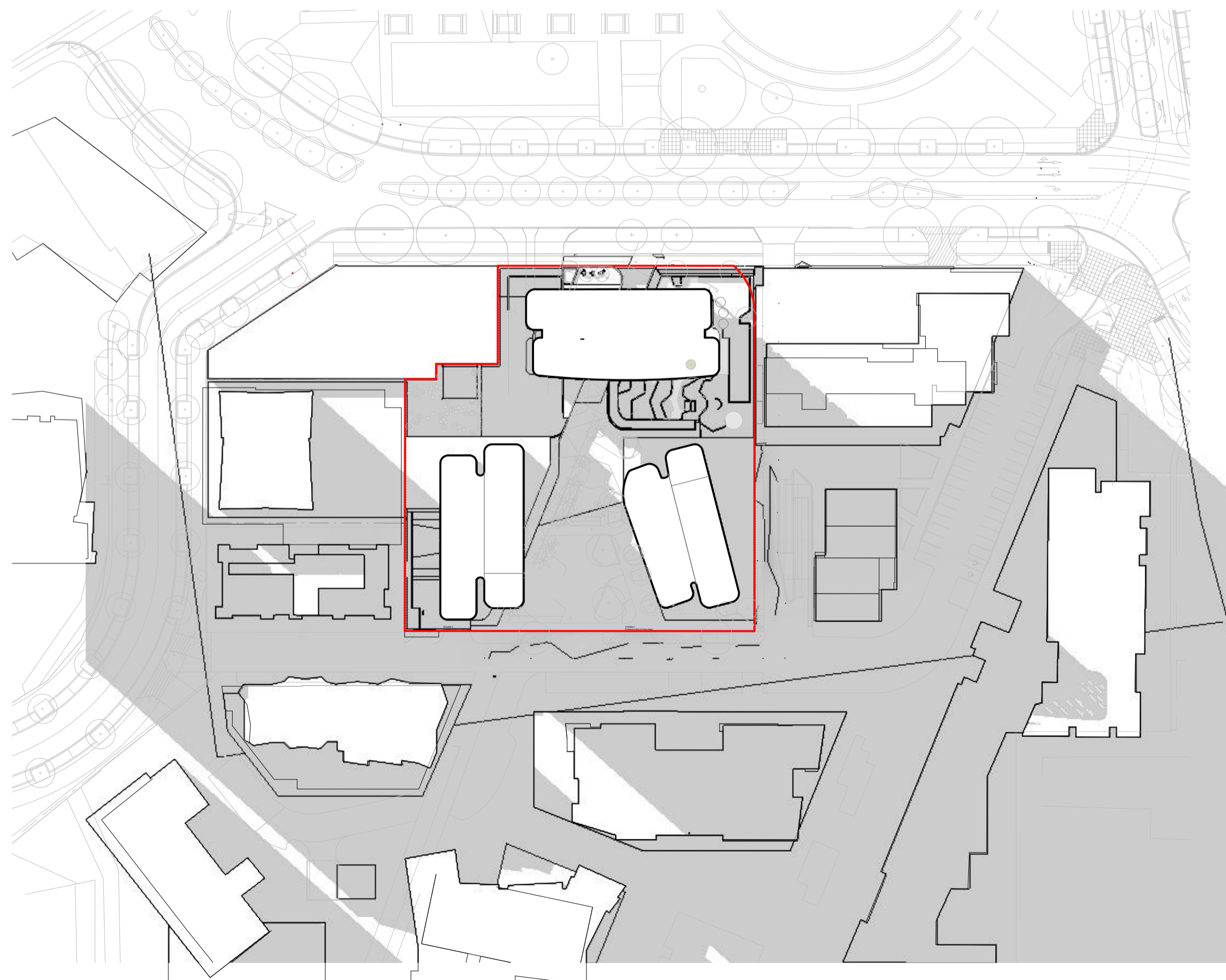
1.

JUNE 21 - 1.30PM
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2.

PLANS AND DOCUMENTS
 referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2020/1165
 Date: 9th December 2021

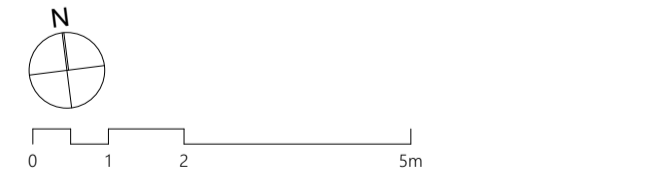


REVISION ID	AMENDMENT	DATE
A	ISSUE FOR DA	7/12/2020

ARCHITECT
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 STUDIO 64
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 SURRY HILLS NSW 2010
 MAIL@FUSEARCHITECTURE.COM.AU
 ABN 61 612 046 843
 NOMINATED ARCHITECT RACHID ANDARY 8627

CLIENT

 Level 1, 8 Knox Lane
 Double Bay NSW 2028



PROJECT
HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000
 JOB NO
 1944

CHECKED _____ DRAWN _____
 DATE 7/12/2020 SCALE @ A1 A3@50%
 PROJECT STATUS
DEVELOPMENT APPLICATION
 DRAWING TITLE
SUNSTUDIES @ JUNE 21st

3.

JUNE 21 - 2.30PM
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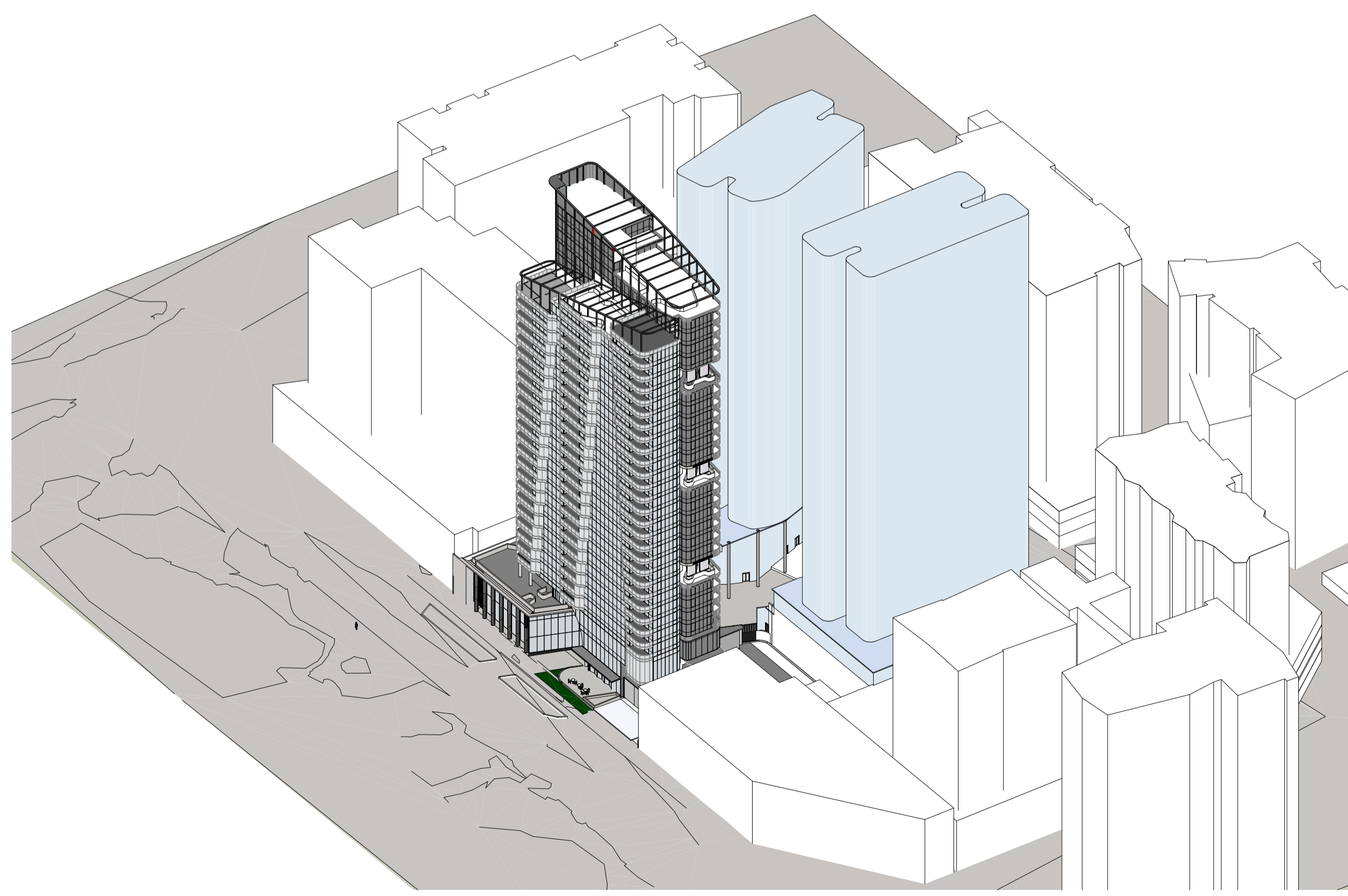
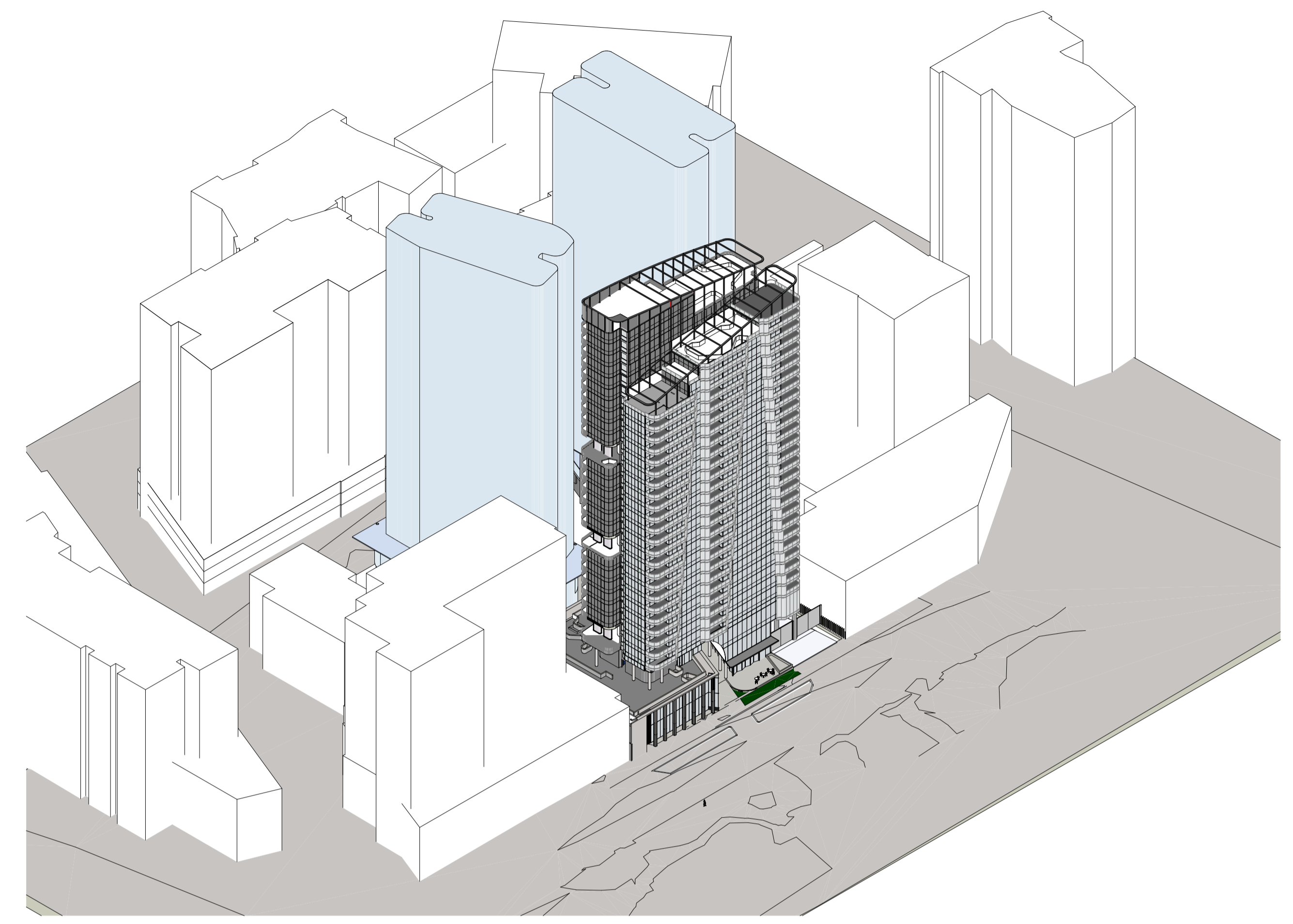
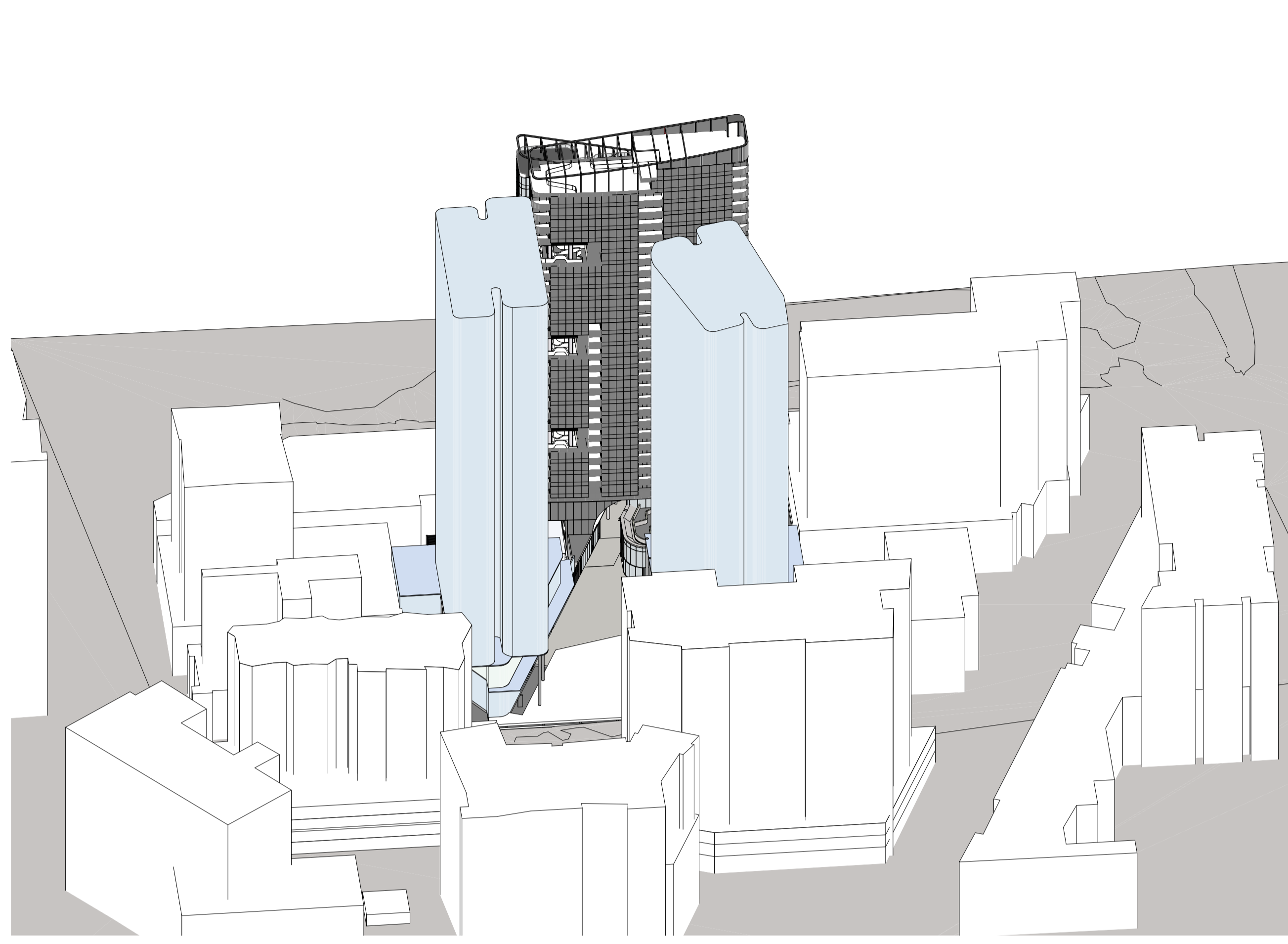
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SHEET NO	REVISION
DA 404	A

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 file: 1944_HAMILTON
 print date and time: Thursday, 13 May 2021 @ 1:08 pm

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LEGEND



PLANS AND DOCUMENTS
 referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2020/1165
 Date: 9th December 2021

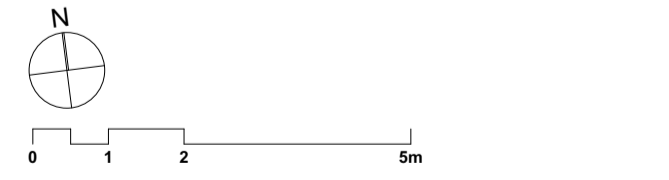


REVISION ID	AMENDMENT	DATE
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 MAIL@FUSEARCHITECTURE.COM.AU
 ABN 61 612 046 843
 NOMINATED ARCHITECT RACHID ANDARI 8627



Level 1, 8 Knox Lane
 Double Bay NSW 2028



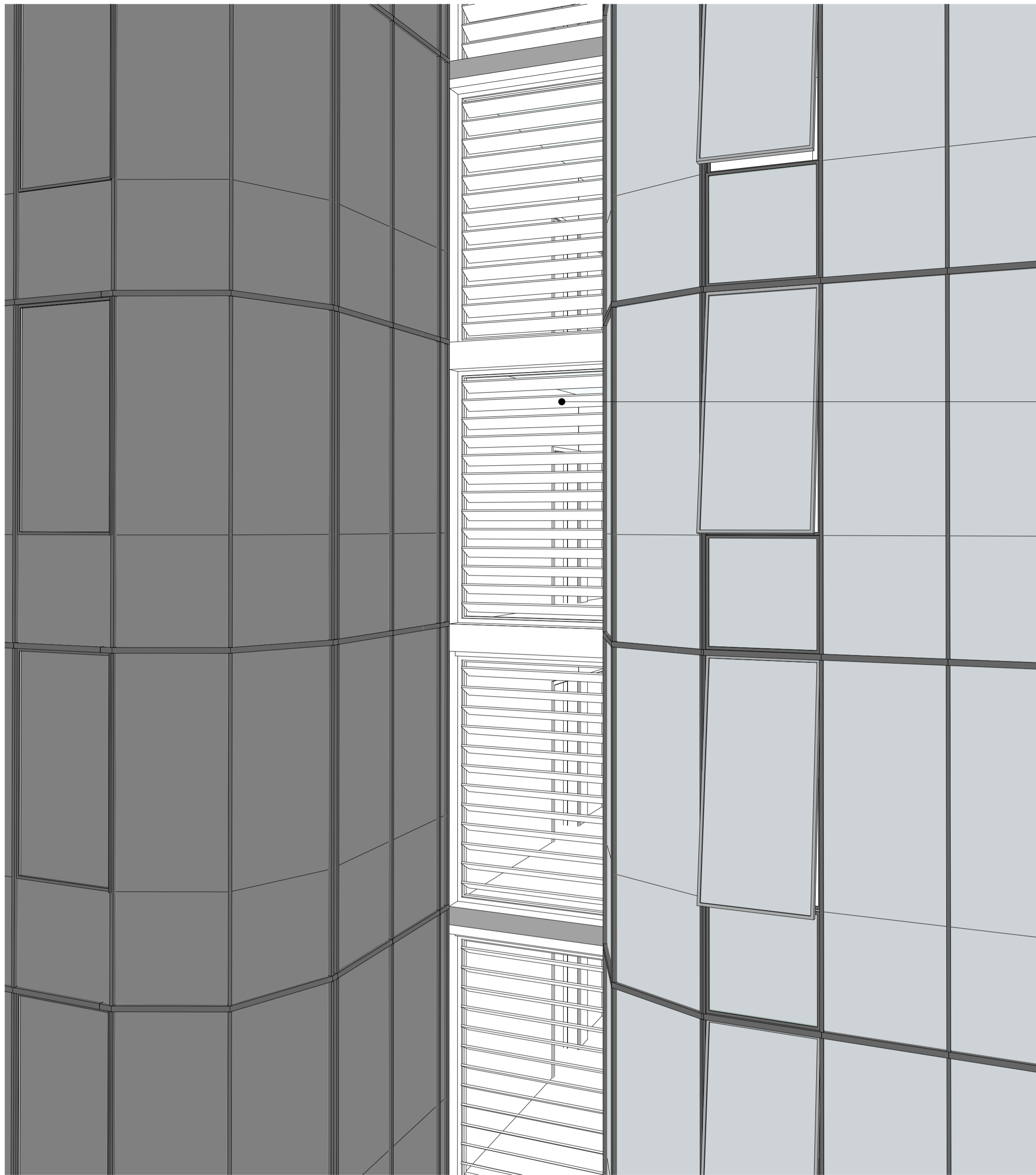
PROJECT
HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000
 JOB NO
 1944

CHECKED _____ DRAWN _____

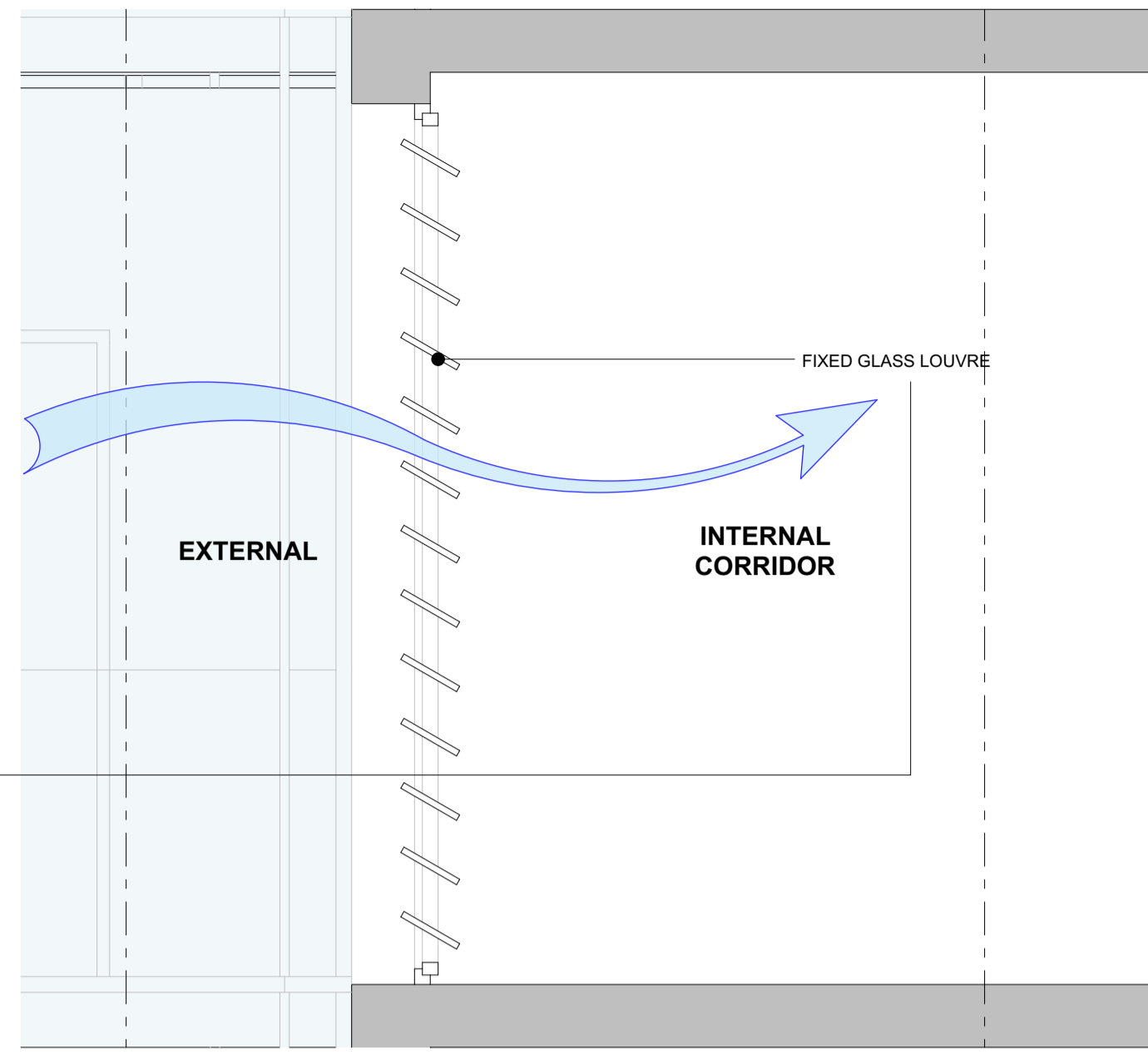
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PROJECT STATUS
DEVELOPMENT APPLICATION
 DRAWING TITLE
CONTEXTUAL RELATIONSHIP

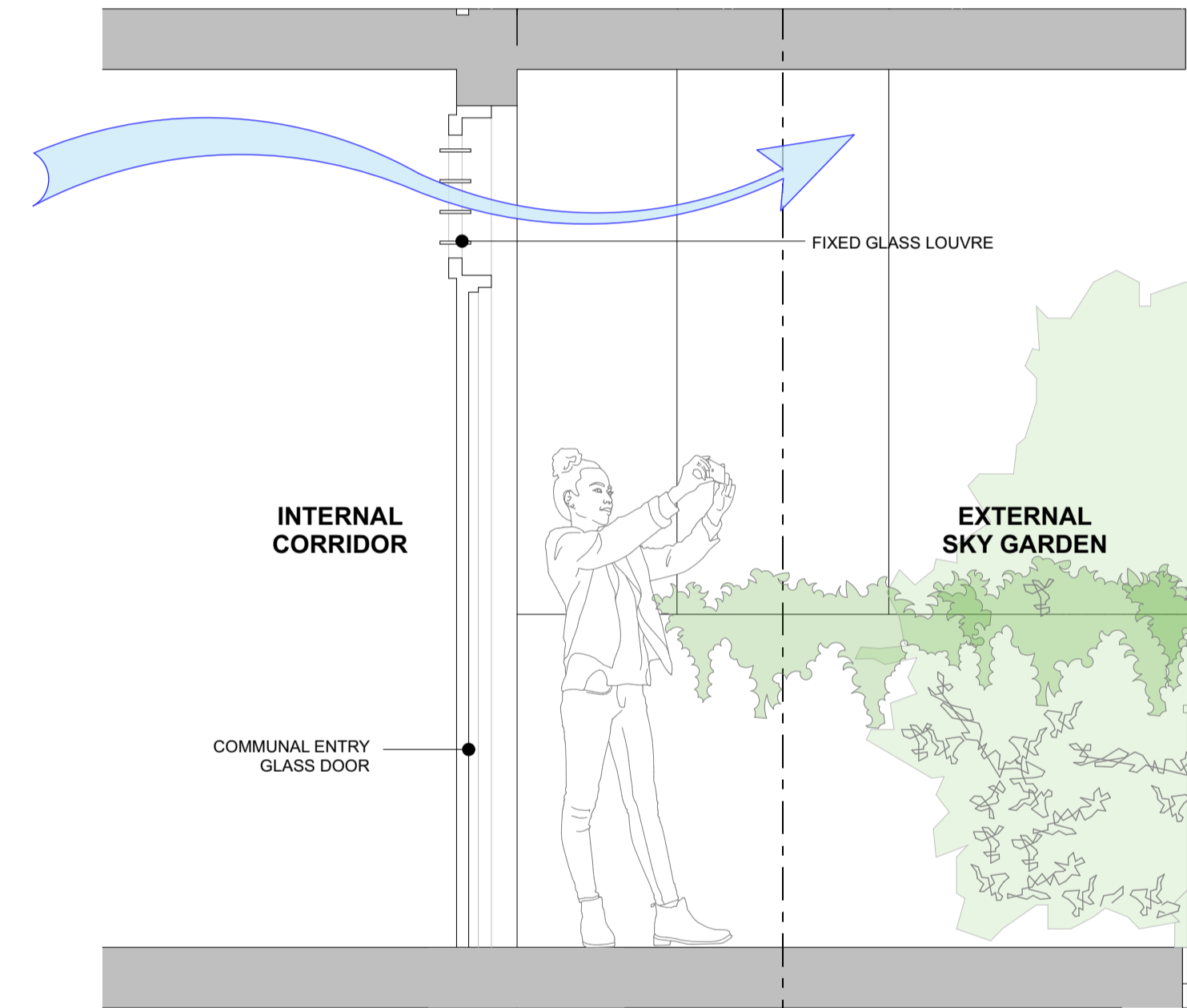
SHEET NO. DA 405 REVISION



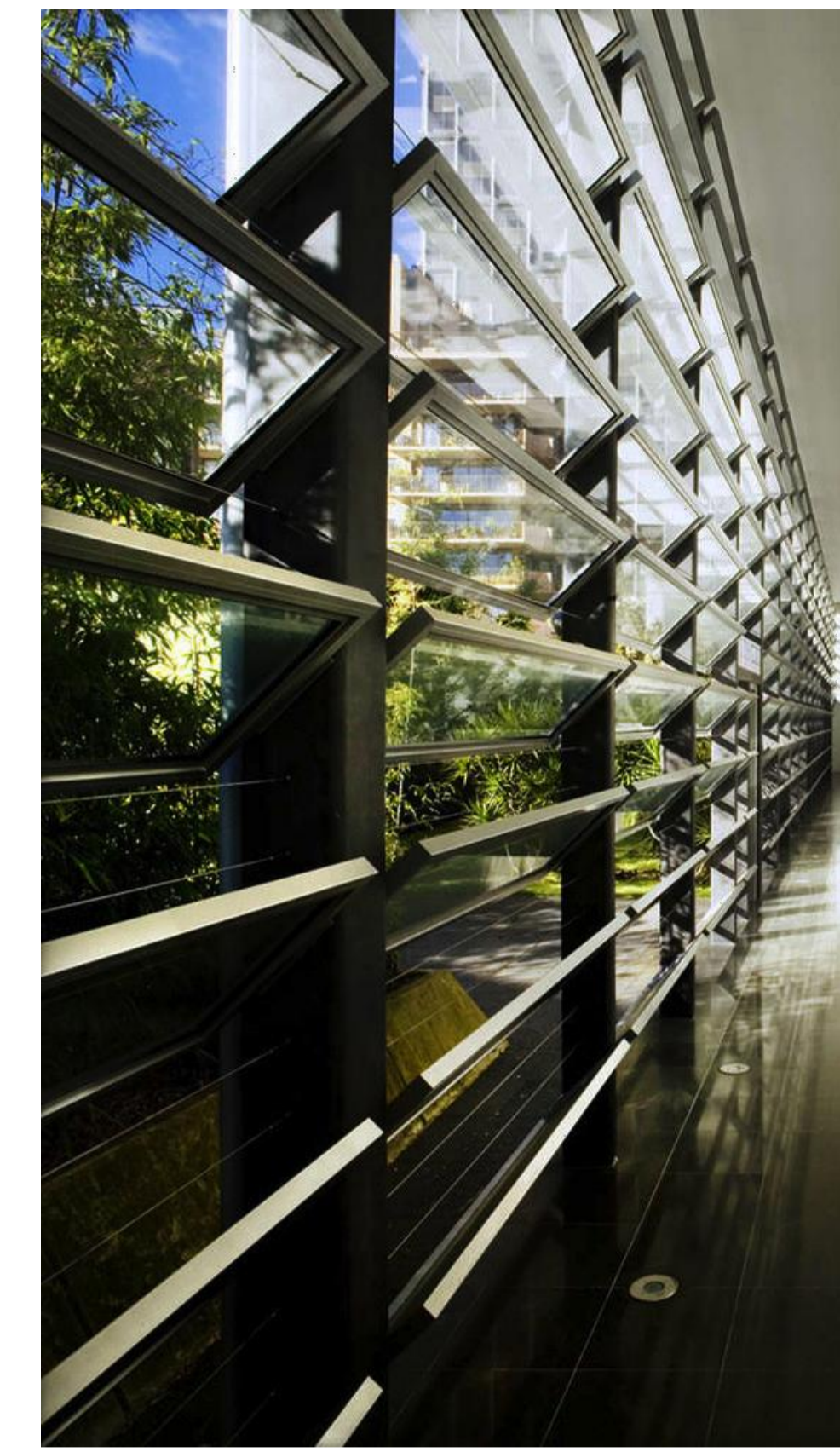
1 FIXED GLASS LOUVRES IN CORRIDOR
1:100



2 FIXED GLASS LOUVRES IN CORRIDOR
1:20



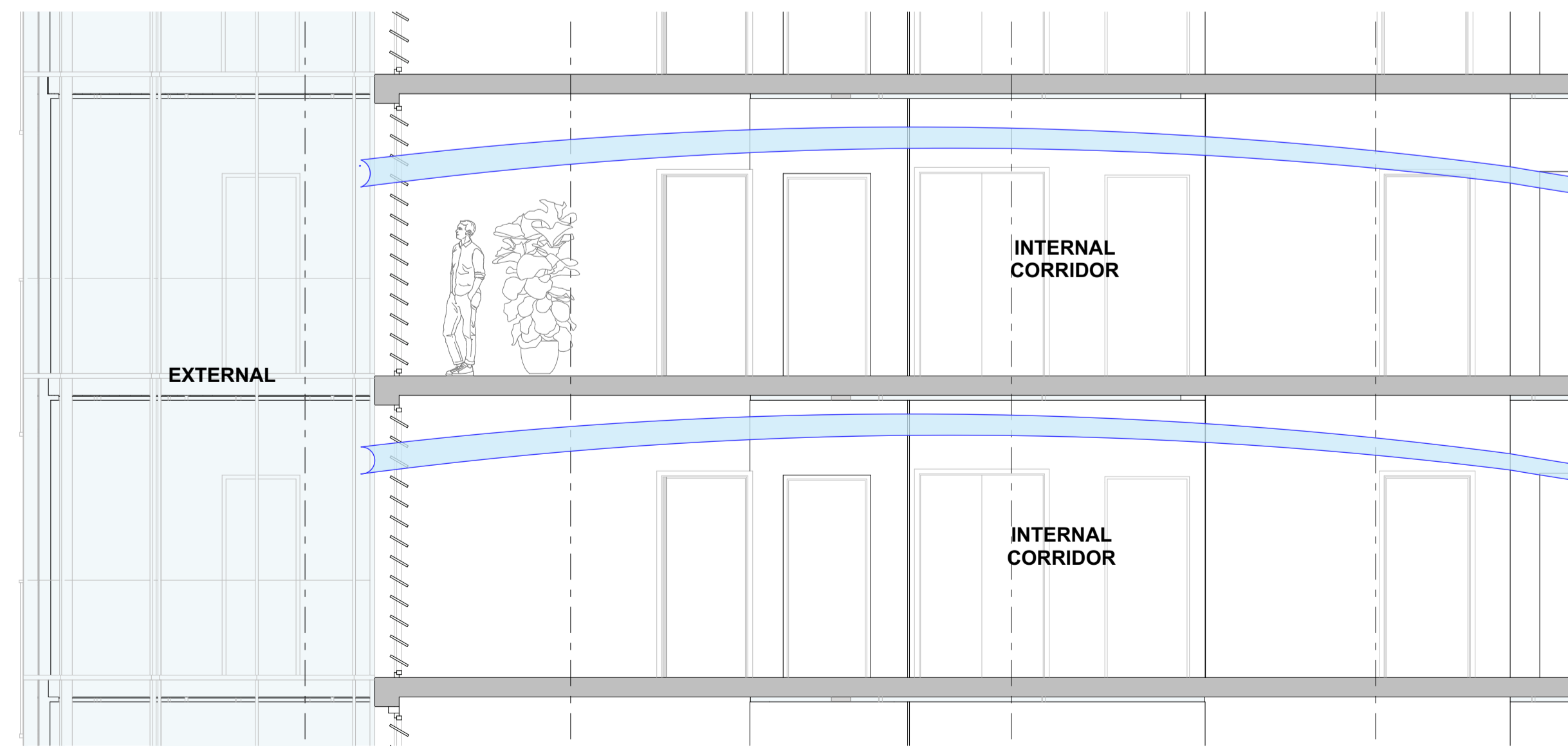
3 DOOR WITH LOUVRES TO SKY GARDEN
1:20



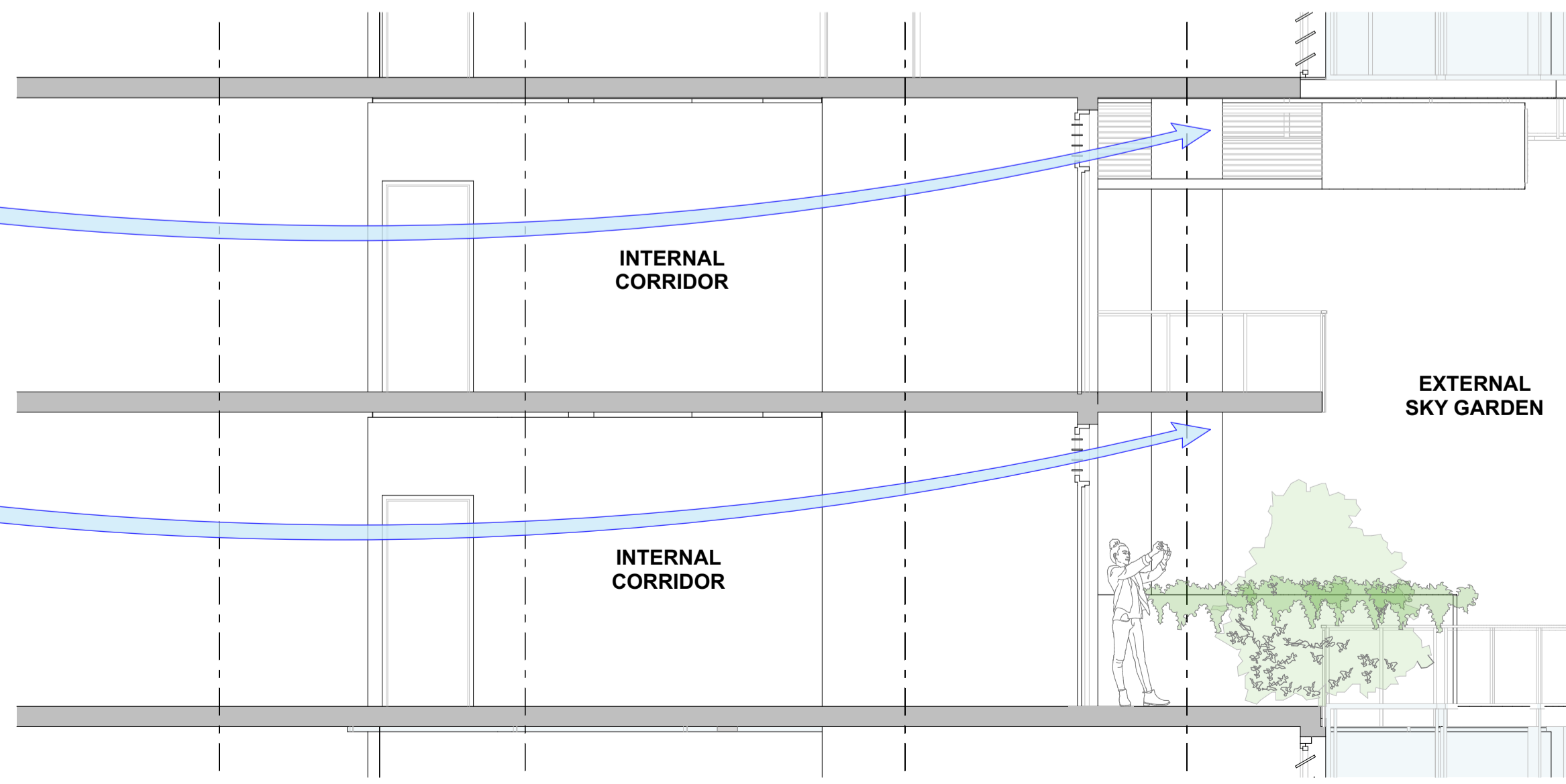
4 REFERENCE IMAGE

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2020/1165
Date: 9th December 2021



5 CROSS VENTILATION DIAGRAM
1:50



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 file: 1944_HAMILTON
 print date and time: Wednesday, 26 May 2021 @ 5:03 pm

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PROJECT
 HERCULES STREET
 SITE ADDRESS
 19 HERCULES ST HAMILTON, BRISBANE QLD 4000

JOB NO
 1944

CHECKED AA/RA
DATE 26/5/21
PROJECT STATUS DEVELOPMENT APPLICATION
DRAWING TITLE PASSIVE DESIGN ANALYSIS

DRAWN AC/MG
SCALE 1:50 @ A1 A3@50%

SHEET NO DA 406
REVISION