

Waste Management Report

DEVELOPMENT PERMIT
Material Change of Use
for a Residential Care Facility, Office, Food & Drink Outlet and Shop

Prepared for
Infinite Care (Developments) Pty Ltd

48 Village Boulevard
Southport

September 2021
Z20321





This report was prepared by



Zone Planning Group Pty Ltd

ABN 36 607 362 238

1638 Tweed Street
BURLEIGH HEADS QLD 4220

PO Box 3805
BURLEIGH TOWN QLD 4220

Telephone: (07) 5562 2303

Email: info@zoneplanning.com.au

Web: www.zoneplanning.com.au

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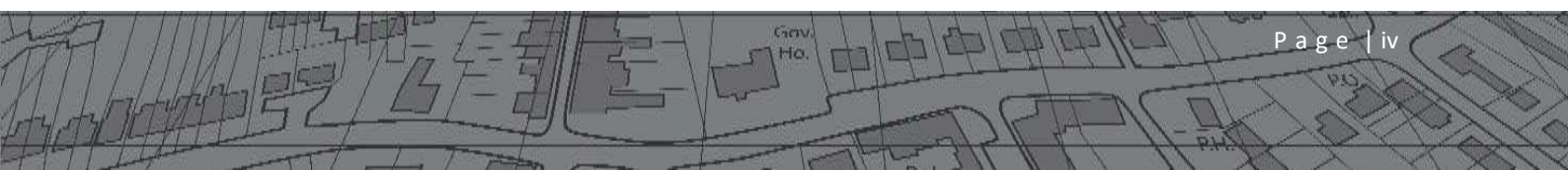
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Glossary of Terms

Bin carting route – the proposed route to move bins between the storage point and the servicing point.

Bulk bins – bins fitted with lids and side pockets to allow them to be serviced by a front-lift truck.

Clinical or related waste – waste that has the potential to cause disease, including, for example, the following –

- animal waste;
- discarded sharps;
- human tissue waste; or
- laboratory waste.

Commercial accommodation – for the purposes of this policy means commercial development that includes a domestic or residential component, such as Retirement facility, Community care centre, Rooming accommodation, Short term accommodation or Resort complex.

Commercial premises – for the purpose of this policy means any of the following types of premises:

- a Hotel, Short term accommodation, Tourist park, Food and drink outlet;
- an assembly building, institutional building, Child care centre, Educational establishment;
- premises where a sport or game is ordinarily played in public;
- an exhibition ground, show ground or racecourse;
- an Office, Shop or other premises where business or work other than a manufacturing process is carried out.

Commercial waste – means waste, other than green waste, recyclable waste, and interceptor waste or waste discharged to a sewer, produced as a result of the ordinary use or occupation of commercial developments.

Common servicing point – a common area where more than two dwellings/tenancies stand their wheelie bins for servicing.

Common storage point – a common area where more than two dwellings/tenancies store their wheelie bins.

Constructed hardstand area – a hardstand area, for example a concrete pad, which has been constructed for bin storage.

Digesters and dehydrators – machines specifically designed to reduce food waste volumes to allow for efficient disposal. Digesters typically process the material into sludge while dehydrators remove liquid from food waste generating a fertiliser as the end product. Disposal of end product can be used on either internal gardens or on external gardens/farms.

General waste – waste, other than domestic clean-up waste, green waste, recyclable waste, interceptor waste or waste discharged to a sewer, produced as a result of the ordinary use or occupation of domestic or commercial premises.

Glass crushers – machines that can reduce the volume of glass waste by up to 75%, saving valuable space.

Hazardous waste – solid waste that is or contains toxic material, for example light bulbs, fluorescence lights, batteries.

Internal servicing roadway – is a driveway, private roadway or other path intended for use by vehicles, in which the waste collection vehicle is required to use to service a bin.



Mixed-use development – for the purpose of this policy, any building or development complex used, or intended to be used, for residential purposes in combination with other commercial uses (e.g. Offices, Food and drink outlets etc).

Non-serviced area – an area within the boundaries of City of Gold Coast which is not serviced by Council's waste collection contractor.

Organic waste – is waste that comes from plants or animal that is biodegradable for example green waste and food waste.

Recycling chute – a duct in which recycling descends from one point to another.

Recyclable waste – for a local government's area, means clean and inoffensive waste that is declared by the local government to be recyclable waste for the area. In the City of Gold Coast the following wastes are deemed recyclable:

- all household plastics, bottles and containers;
- aluminium and steel cans and aerosols;
- bottles and jars made only of glass;
- clean cardboard, newspaper, loose paper, junk mail, magazines and cartons.

Related waste – means waste that constitutes, or is contaminated with, chemicals, cytotoxic drugs, human body parts, pharmaceutical products or radioactive substances.

Ro-Ro bin – roll-on roll-off bin.

Roll-on roll-off bin – large steel open top skip bins or enclosed bins. Bins are collected by a hook-lift truck.

Solid waste – any general or recyclable waste, be it commercial or domestic. Solid waste does not include waste discharges to sewer/water or the atmosphere.

Servicing point – the designated area allocated to the temporary storage of waste bins for the period of servicing only. The point may be within or external to a development.

Storage point – the area allocated to the permanent storage of waste bins. This is the normal location of the waste bins and excludes the period where the bin is serviced. A storage point may be a common storage point or an individual bin storage point.

Waste – includes anything, other than a resource that is:

- left over, or an unwanted by-product from an industrial, commercial, domestic or other activity; or
- surplus to the industrial, commercial, domestic or other activity generating the waste.

Waste carting distance – the distance required for a person to transport their waste from the nearest point of exit of their dwelling/tenancy to a storage point (or in the case of a multi-level building, to the nearest waste disposal point).

Waste chute – a duct in which waste descends from one point/level to a collection bin.

Waste disposal point – the point where waste is disposed of into the chute, also known as waste hopper. It consists of a fixed frame and hood unit, covered with a hinged or pivoted door.

Waste storage room – the room at the base of the chute used for the storage of waste bins.

Wheelie bin – two wheeled mobile garbage bins, made from high density polyethylene (HDPE). Wheelie bins are collected by a side-lift truck.



1.0 Introduction

1.1 Site & Application Details

Table 1: Site & Application Details

Site Address	48 Village Boulevard, Southport (development site) Innovation Drive, Southport (adjoining site where earthworks are proposed)
Real Property Description	Lot 16 on SP275512 (development site) Lot 18 on SP275512 (proposed earthworks only)
Site Area (m ²)	3,311m ² (development site)
Land Owner	Economic Development Queensland (Lot 16) Gold Coast Hospital and Health Service (Lot 18)
Applicant	Infinite Aged Care (Developments Pty Ltd)
Applicant Contact Details	Steve Morton Zone Planning Group (07 5562 2303)
Local Government	City of Gold Coast
SEQ Regional Plan Designation	Urban Footprint
Planning Instrument	Parklands PDA Development Scheme
Assessing Authority	Economic Development Queensland
PDA Precinct	Precinct 1

1.2 Site Location & Characteristics

The following information is provided in response to site investigations including searches performed and a site inspection undertaken.

Table 2: Site Location & Characteristics

Topography	The site is relatively level due to having been previously developed.
Vegetation & Waterways	The site is not mapped as containing any local or state matters of environmental significance and is not encumbered by any waterways.
Availability of Services	The site has all services available to it – water, sewer, stormwater, electrical and telecommunications.
Allotment Dimensions	The site is of an irregular shape with two street frontages.
Current Use & Improvements	The site is currently vacant.



Figure 1: Aerial Image of Subject Site (Source: Nearmap)

1.3 Scope of Report

This report presents a Waste Management Plan for the operation of the proposed mixed use development which includes Residential Care Facility, Office, Food & Drink Outlet and Shop land uses and covers the following:

- details of the anticipated type and quantity of waste;
- details of the waste storage room requirements, waste chutes and waste storage bins; and
- details of the proposed waste collection arrangements.

This report is based on the plans referenced in **Appendix 1** and presents conceptual information on the abovementioned elements rather than detailed design and calculations and presents the 'end case' scenario once all stages of the proposed development have been constructed and are operational.



1.4 Proposed Development

The proposed development consists of a single 6-storey building that is primarily intended to support a Residential Care Facility with 4 levels of residential units, an upper level Office tenancy and a mixed use ground floor with ancillary facilities, a single Shop tenancy and a Food & Drink Outlet tenancy.

The development provides 142 units that are generally consistent and only slightly vary in terms of overall area and all are 1-bedroom /1-bathroom layouts.

A total of 540m² of Office GFA is proposed in addition to 34m² of Food and Drink Outlet GFA (with 135m² of outdoor dining) and 42m² of Shop GFA. The ground floor and Level 1-4 include a variety of recreational and administrative spaces that are ancillary to the Residential Care Facility land use and are therefore not independent waste generating activities.

1.4.1 Carting of Waste to Bins & Internal Chute Facility

It is important to note that the chute facility noted on the plans is provided for a laundry service only and is not intended to facilitate the disposal of waste.

All transport of waste to the permanent storage room on the ground floor will occur via the building lifts as outlined within **Section 3** of this Report.

Figures 2-6 below provide various images of the proposed development including a perspective image, a section plan, a ground floor layout plan, a typical Residential Care Facility floor plan and the Office floor plan.



Figure 2: Perspective Image of Proposed Development (Source: GJG Architects)



Figure 3: Section of the Proposed Development (Source: GJG Architects)

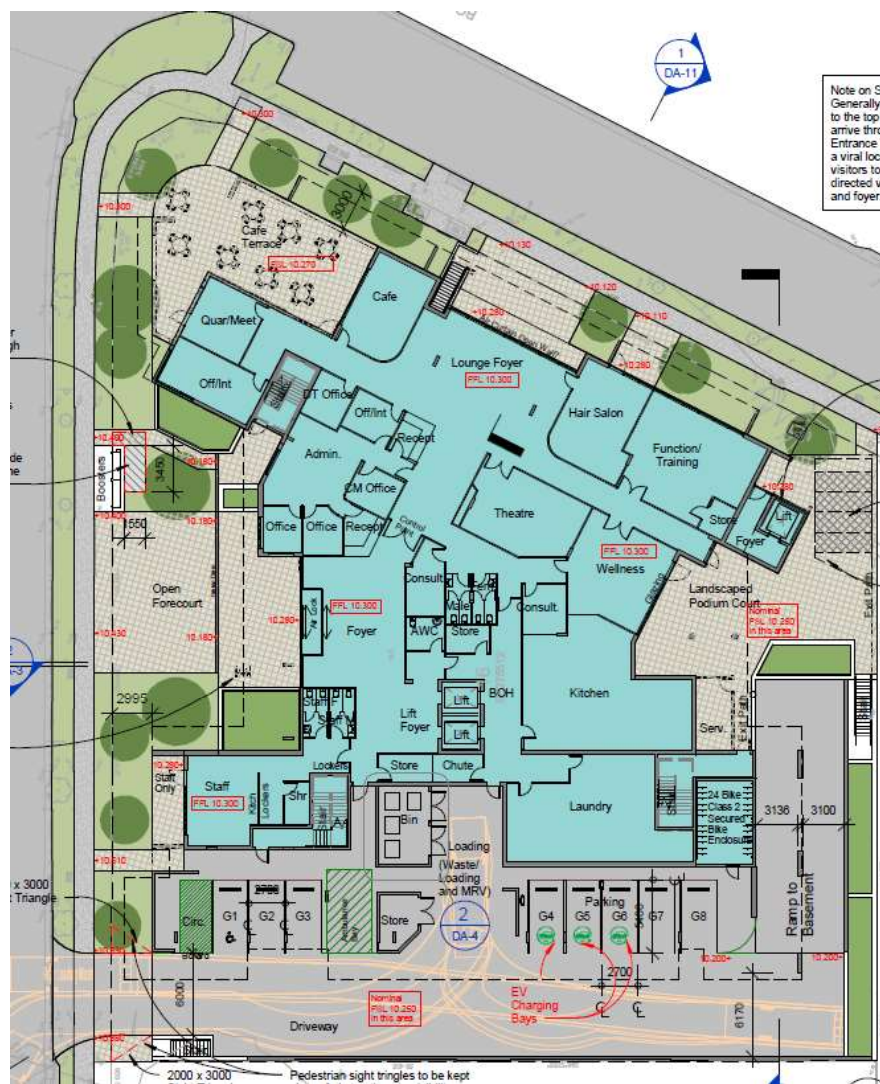


Figure 4: Proposed Ground Floor Plan (Source: GJG Architects)

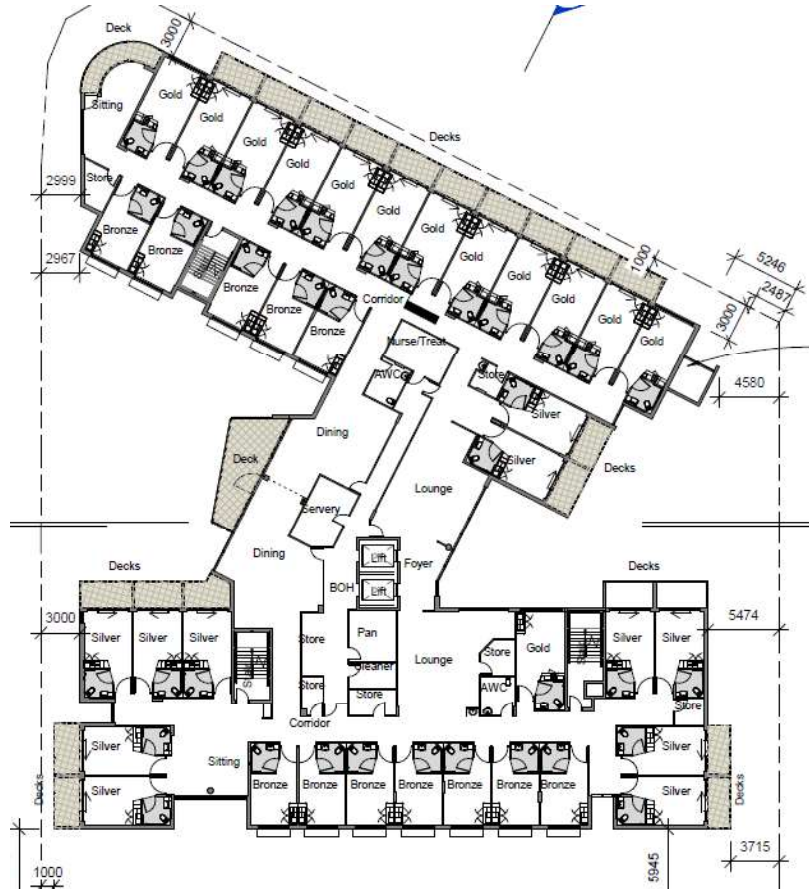


Figure 5: Proposed Typical Residential Floor Plan (Source: GJG Architects)

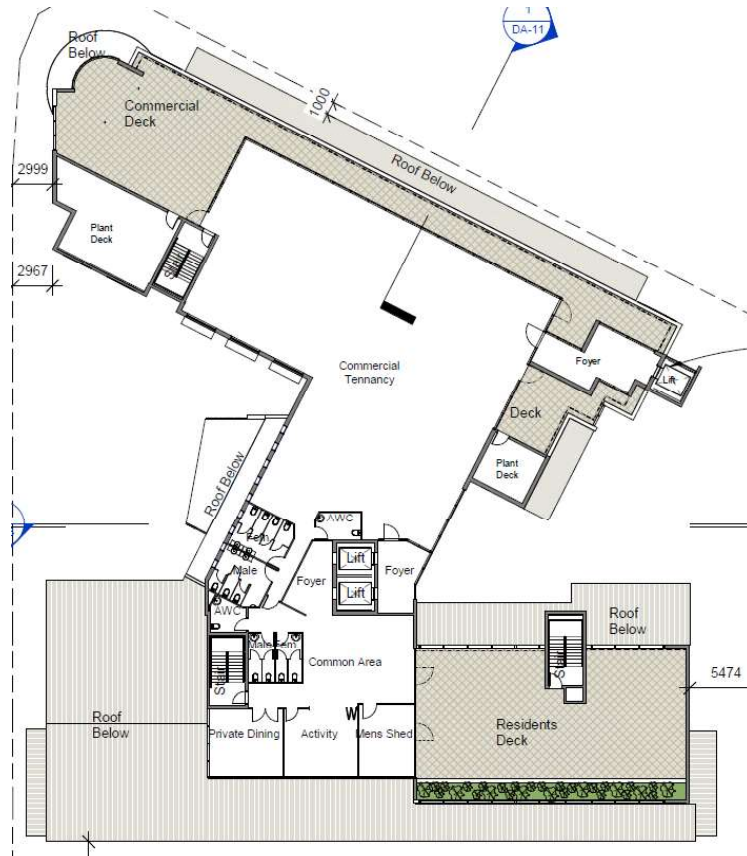


Figure 6: Proposed Office Level (Level 5) Floor Plan (Source: GJG Architects)



2.0 Waste & Recycling Generation

2.1 Type of Waste Streams

The proposed development will generate general, recycling and clinical waste associated with the proposed land uses for which approval is sought.

2.2 General & Recycling Waste Quantities

Calculations of the general and recycling waste predicted to be generated by the development have been prepared using the typical waste generation rates provided by Council in *SC6.13 City Plan Policy: Solid Waste Management*.

The waste quantities anticipated to be generated by the proposed development have been based on the entire development at completion. In terms of the waste and recycling generated by the proposed number of units and the rate typically applied to Office, Food and Drink Outlet and Shop land uses has been utilised. The rates adopted herein for Residential Care Facilities are consistent with the rates applied to the applicant's other developments which are currently in operation.

Table 3: Waste Generation Calculations – Hospital (Nursing Home)

LAND USE	YIELD (units or GFA)	GENERAL WASTE RATE	TOTAL	RECYCLING RATE	TOTAL
Aged Care					
1-bedroom	142	35L/unit/week	4,970L	35L/unit/week	4,970L
Commercial Uses					
Office	540m ²	20L/per 100m ² GFA/day (5 days per week)	540L	140L/per 100m ² GFA/week	700L
Café	184m ² Including outdoor dining terrace	300L//100m ² per day (5 days per week)	2,760L	200L//100m ² (5 days per week)	1,840L
Hairdresser	40m ²	50L per 100m ² / day (5 days per week)	100L	25L per 100m / day	65L
TOTAL			8,370L		7,575L

2.3 Clinical Waste

It is confirmed that the proposal will generate extremely small amounts of clinical waste in the order of less than 240L per week.



3.0 Waste & Recycling Storage

3.1 Waste & Recycling Bin Requirements

Table 4 provides a breakdown of the general and recycling waste bins required by the development based on the calculations in Section 2.2 of this report. The waste storage room and permanent storage points have been designed to accommodate these bin sizes.

Table 4: Refuse Bin Requirements

General Waste Storage Requirement	Recycling Waste Storage Requirement	Total Waste Storage Requirement
8,602/week 2 x 1,100L bulk bins Dimensions: 1,490 length x 1,110 width x 1,330 height	7,647L/week 2 x 1,100L bulk bins Dimensions: 1,490 length x 1,110 width x 1,330 height	General Waste: 2 x 1,100L bulk bins = collected 4 times per week Recycling: 2 x 1,100L bulk bins = collected 4 times per week

3.2 Internal Transportation of Waste, Waste Storage Room & Collection Point

The proposed development is to be provided with one dedicated waste storage room at ground level. The storage room is positioned in the back of house area adjacent to the proposed servicing area.

Waste is proposed to be transported to the storage room manually and it is intended that the waste storage room will only be accessible by staff to remove any potential health and safety implications.

The proposal does not involve any internal waste chutes due to the nature of the land uses proposed and all waste for the Residential Care Facility, Office and Café land uses will be manually transported to the permanent waste storage room on the ground floor.

A summary of the arrangements for the transportation of waste to the bins located within the Ground Floor Storage Room is as follows:

- **Residential Care Facility** – General and recycling waste is to be collected from individual rooms by staff members and then stored temporarily in the Pan Room within multiple 240L wheelie bins. These wheelie bins are then removed from the temporary storage area by staff on an as-needed basis and transported manually via the lifts to the permanent storage room on the ground floor.

It is noted that clinical waste is also stored separately in the Pan Room of each level and transported manually to the Ground Floor to be placed within a 240L wheelie bin for collection by a dedicated clinical waste specialist for removal on an as needed basis.

- **Office** – Waste is stored on the Office level within individual wheelie bins and then transported by staff to the permanent storage area on the Ground Floor.



- **Care & Hairdresser** – Waste from the Care and Hairdresser (Shop) land uses will be stored within 240L or smaller wheelie bins and then transported by staff to the permanent storage area on the Ground Floor.

An extract from the proposed Ground Floor Plan showing the permanent waste storage is provided in **Figure 7** below.

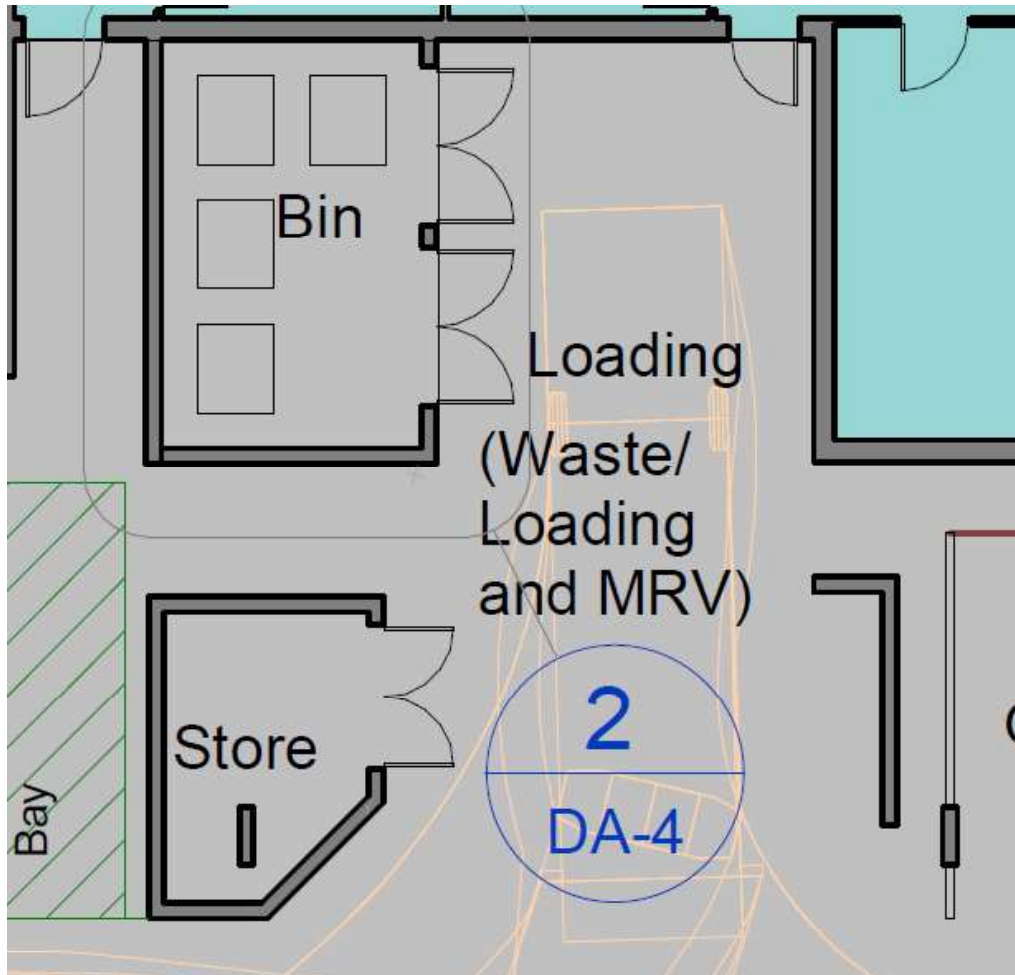
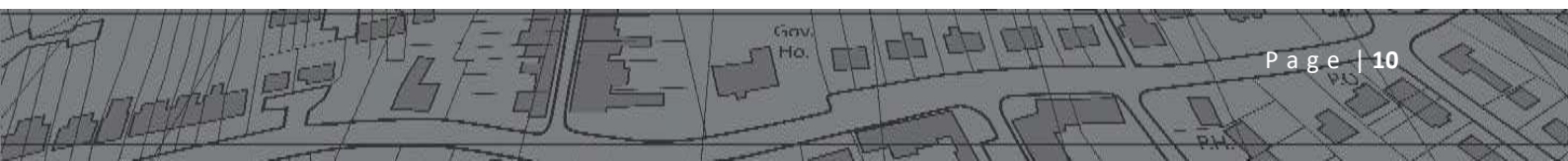


Figure 7: Extract from Ground Floor Plan showing Location of Waste Storage Room

3.2.1 General Design Requirements

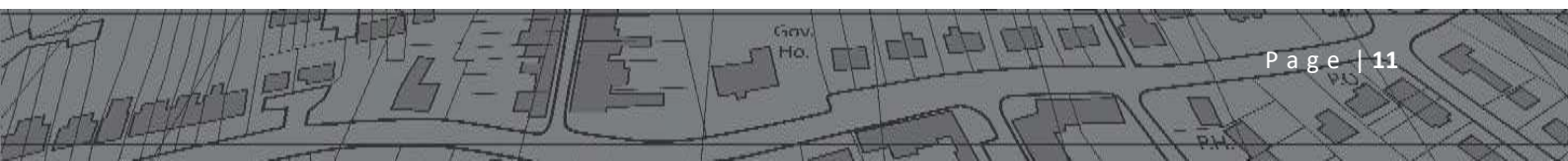
The refuse storage rooms will be subject to detailed design, subject to the following requirements. The storage rooms must be:

- designed to allow for bins to be easily transported to the identified temporary servicing/storage point (i.e.. no steps or lips on bin carting route);
- located at least 5m from any door, window or fresh air intake within the development or any adjoining site;
- inclusive of clear and safe access to the disposal area for all users of the storage point;
- screened to ensure bins are not visible from passing vehicles and pedestrian traffic external to the site, or inhabitants of adjoining properties;
- ventilated in accordance with the Building Code of Australia (BCA);
- designed to allow for at least an additional 0.5m clearance surrounding each bin/container;





- comprised of a hardstand area with solid concrete base or equivalent;
- provided with a hose cock immediately outside of the storage room for cleaning of bins and the room;
- graded to fall to a drainage point within the storage room;
- connected to the sewer in accordance with trade waste requirements;
- signed, well-lit and easily accessible from within the development;
- fire rated in accordance with the BCA;
- designed to permit unobstructed access for the transfer of bins/containers to the temporary storage and servicing point and for the positioning of bins/containers in appropriately in relation to the waste chute;
- not be located adjacent to or within any habitable portion of a building or place used in connection with food preparation (including food storage);
- designed to ensure doors are wide enough to allow for the easy removal of the largest bin/container to be stored;
- designed to ensure the walls, ceiling, floor and equipment of the waste storage room are constructed of impervious material with a smooth finish to allow for easy cleaning; and
- designed to be insect and vermin proof.





4.0 Collection Details

The following provides an overview of the refuse bin collection and servicing details relevant to this proposal.

Based on the calculations provides in Section 2.2 of this Report, and the bin requirements determined in Section 4.4, both general waste and recycling will require servicing 4 times per week. Once the development is operational, the collection frequency should be reviewed to ensure that efficient practice is in place.

The clinical waste is proposed to be collected by a specialist contractor on an as-needed basis which is expected to be at a frequency of one per week.

4.1 Collection Frequency

Given the nature of the development, refuse bins are required to be serviced 4 times per week as outlined below (see **Table 5**).

Table 5: Refuse Bin Collection Frequency

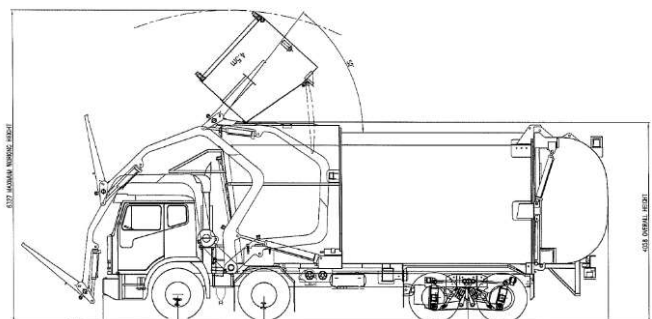
Waste Stream	Total Waste Storage Requirement	Collection Frequency
General Waste	2 x 1,100L bulk bins	Four times per week
Recycling	2 x 1,100L bulk bins	Four times per week
Clinical	240L wheelie bin	As needed

4.3 Collection Vehicle Access

The development will be required to be serviced by a front loading refuse collection vehicle (RCV). Waste collection will be undertaken from within the site, with the RCV required to enter the property via the driveway from Innovation Drive. Please refer to the Traffic Impact Assessment prepared by Rytenskild Traffic Consulting which addresses this in more detail and includes a swept path analysis showing safe and adequate access for a RCV can be achieved to allow the on-site servicing of the bins.

Table 6: Waste Collection Vehicle Dimensions

Front Loading Waste Collection Vehicle	
Travelling height	4.2m
Width	2.5m
Length	10.2m
Servicing Height	6.4m
Total Tonnage	27.5t
Minimum turning circle (wall to wall)	13.2m
Minimum turning circle (kerb to kerb)	12.3m





5.0 Conclusion

This Report has been prepared to demonstrate the proposed waste management practices to be implemented during the operational phase of the proposed development. Additional detailed engineering designs regarding waste area size, drainage and service vehicle access are to be completed by others during the detailed design stage of the development.

The proposed development consists of a Residential Care Facility, Office, Shop and Food & Drink Outlet land uses comprising single building containing a total of 142 single bed units (and ancillary facilities) 540m² of Office GFA is proposed in addition to 34m² of Food & Drink Outlet GFA (with 135m² of outdoor dining) and 42m² of Shop GFA.

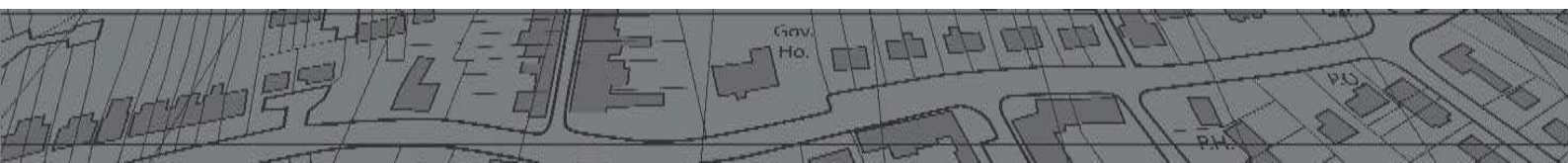
The development is anticipated to generate general and recycling waste streams associated with the use. Additional medical/clinical waste will likely be generated by the residential aged care use in the course of providing basic medical care for residents. This report has solely addressed general waste and recycling generated by the individual uses, with clinical waste being required to be collected by specialist waste contractors. The proposed waste management arrangements consist of the following:

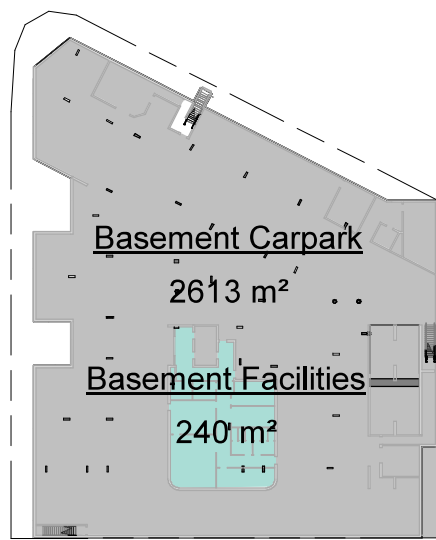
- upon completion of both stages of the development, the use will generate approx. 8,730L of general waste and approx. 7,575L of recycling per week;
- the development will be provided with 2 x 1,100L bulk bins for general waste and 2 x 1,100L bulk bins for recycling;
- Collection frequency will occur at a rate of 4 time per week for both streams of waste; and
- a waste storage room is provided at ground level for housing the required bulk bins and is capable of being serviced by a front loading RCV, is located adjacent the driveway access from Innovation Drive.



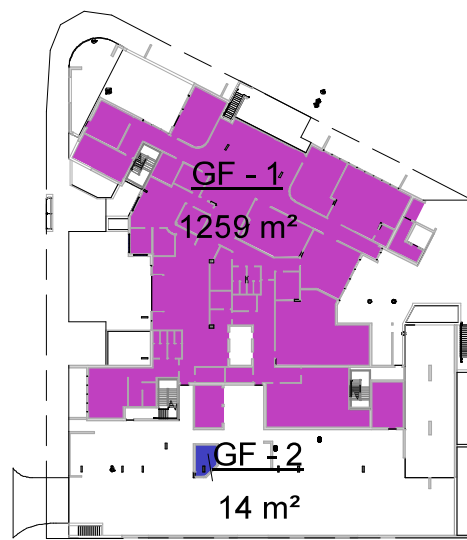
Appendix 1

PROPOSAL PLANS

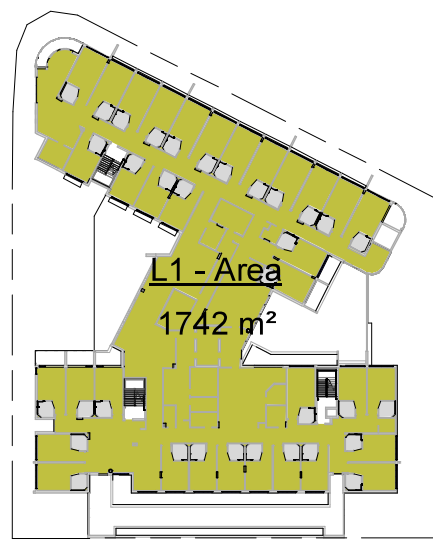




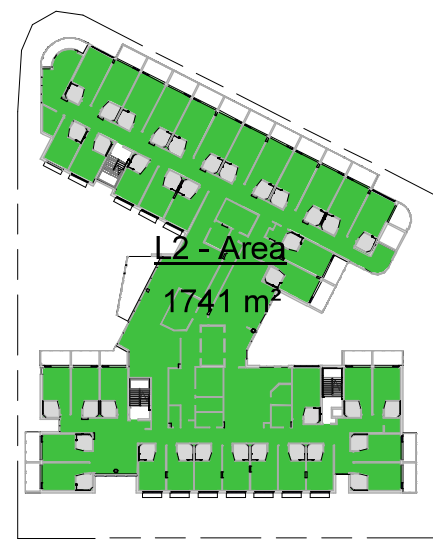
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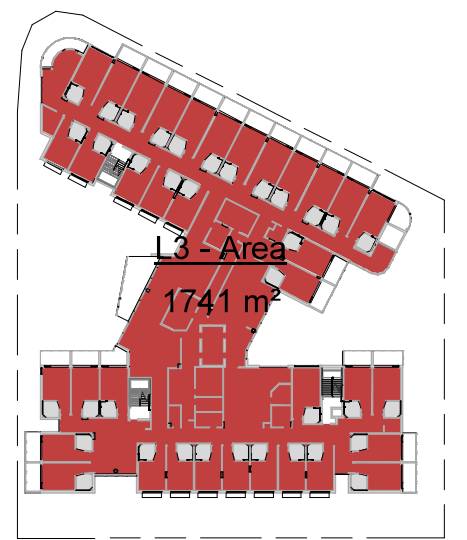
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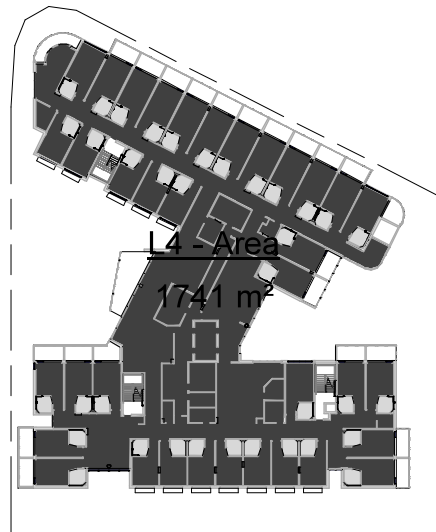
3 Level 1
1 : 1000



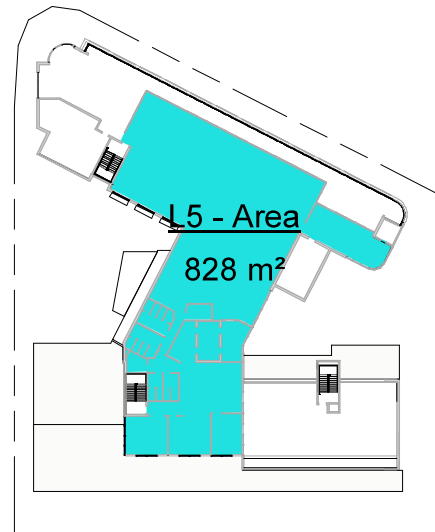
4 Level 2
1 : 1000



5 Level 3
1 : 1000



6 Level 4
1 : 1000



7 Level 5
1 : 1000

Area Schedule (Gross Building)		
Level	Name	Area

Basement	Basement Facilities	240 m ²
Ground Floor	GF - 1	1259 m ²
Ground Floor	GF - 2	14 m ²
Level 1	L1 - Area	1742 m ²
Level 2	L2 - Area	1741 m ²
Level 3	L3 - Area	1741 m ²
Level 4	L4 - Area	1741 m ²
Level 5	L5 - Area	828 m ²

Grand total: 8 9306 m²

Gross Floor Area

Data Table

Uses

Residential Care Facility -	142x1 Bed High Care units
Ground Floor Tenancies	
Food and Drink Outlet - Indoor	34sqm
Food and Drink Outlet - Outdoor Dining	135sqm
Shop	42sqm
Level 5 Office	540sqm

Other Area Figures

Basement Area	2850sqm
Office Tenancy Deck L5	236sqm
Residents Deck- Common L5	188sqm
Residents Deck- Common L1	405sqm
Residents Deck- Common L2-4	37sqm per level
Residents Deck- Private Typical	7.5sqm
60 Units have Balconies	
Bronze Room - Typical	24sqm
Silver Room - Typical	26sqm
Gold Room - Typical	29sqm

Parking Provided

Ground Floor	9
Basement 1	59
Total	68

Bike Parking

GF (Class 3 - Short Term)	3
B (Class 2 - Staff)	24

GJG Architects

ABN 69 637 879 228

PO Box 1173
Elanora QLD 4221

Telephone (07) 5520 1134



Project
Lumina Parklands Site

Client
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7	11.08.21	Prelim RFI Responses
6	27.07.21	General RFI Response
5	25.03.21	DA Submission Issue
4	12.03.21	Prelim Issue 3
3	8.03.21	Prelim Issue 2
1	19.02.21	Prelim Issue 1
Issue	Date	Amendment

Drawing Title Areas and Statistics 1	Drawing Number 20-08-AR-1
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Scale As indicated @ A3

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142 Resident Aged Care Facility



GJG Architects

ABN 69 637 879 228

PO Box 1173
Elanora QLD 4221

Telephone (07) 5520 1134



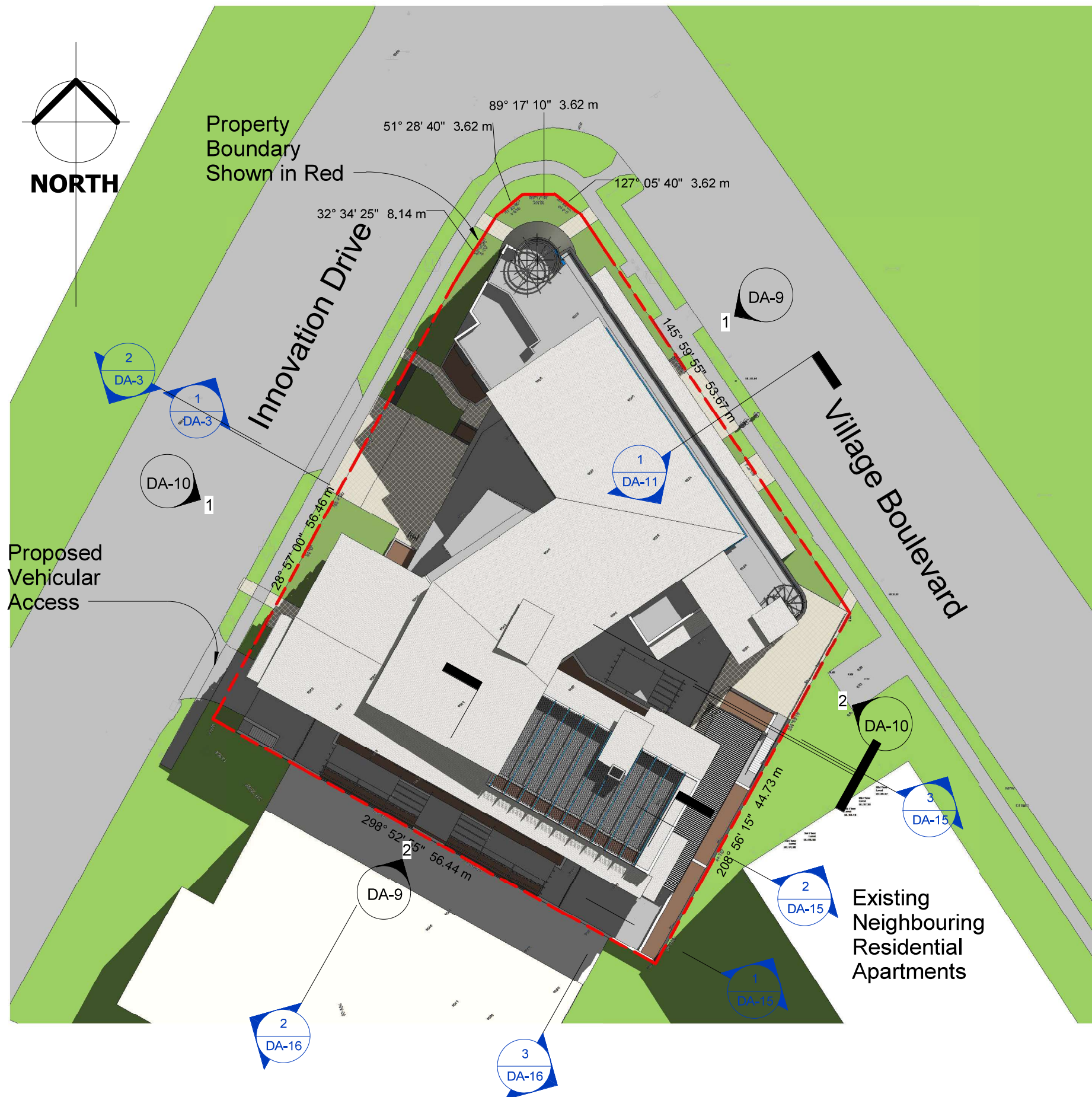
Project
Lumina Parklands Site

Client
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Issue	Date	Amendment

Drawing Title	Drawing Number
Cover Sheet	20-08-DA-1
Scale @ A3 original	

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RPD
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GJG Architects

ABN 69 637 879 228

PO Box 1173
Elanora QLD 4221

Telephone (07) 5520 1134



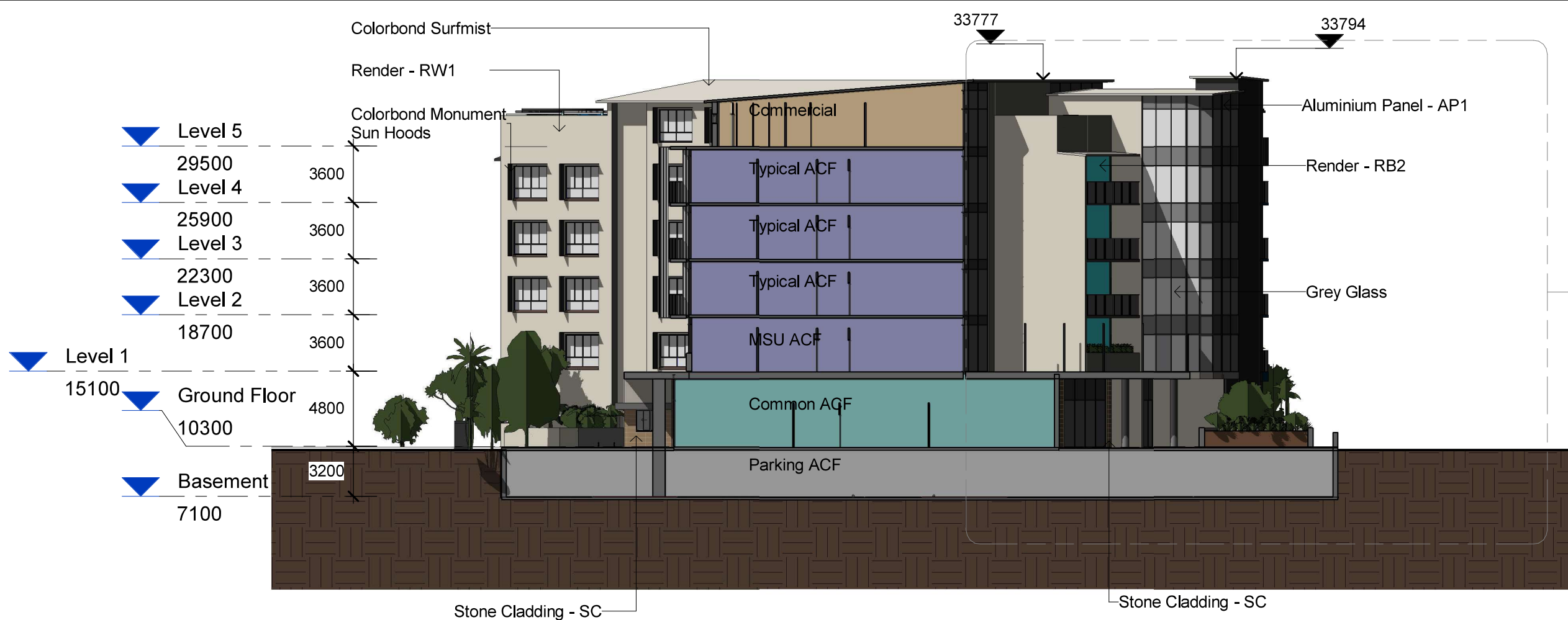
Project
Lumina Parklands Site

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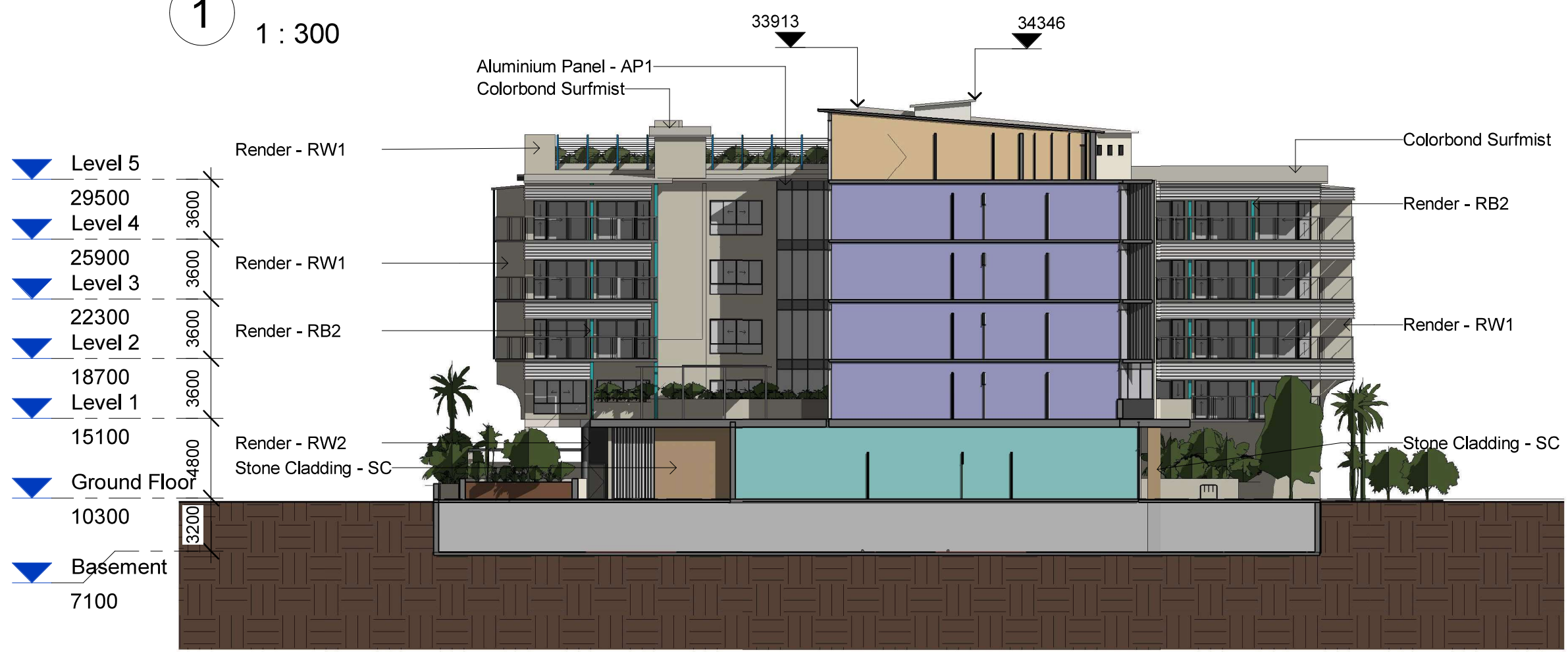
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3	8.03.21	Prelim Issue 2
1	19.02.21	Prelim Issue 1
Issue	Date	Amendment

Drawing Title	Drawing Number
Site Plan	20-08-DA-2
Scale 1 : 500 @ A3 original	

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1 Section 1
1 : 300



2 Section 2
1 : 300

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DA-15

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ABN 69 637 879 228
PO Box 1173
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Telephone (07) 5520 1134



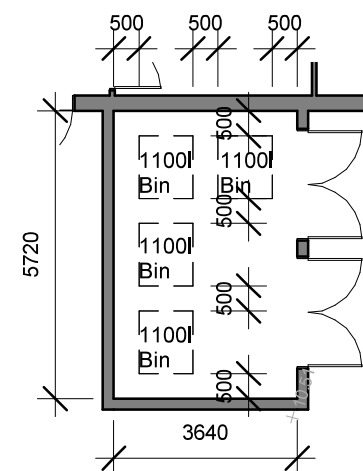
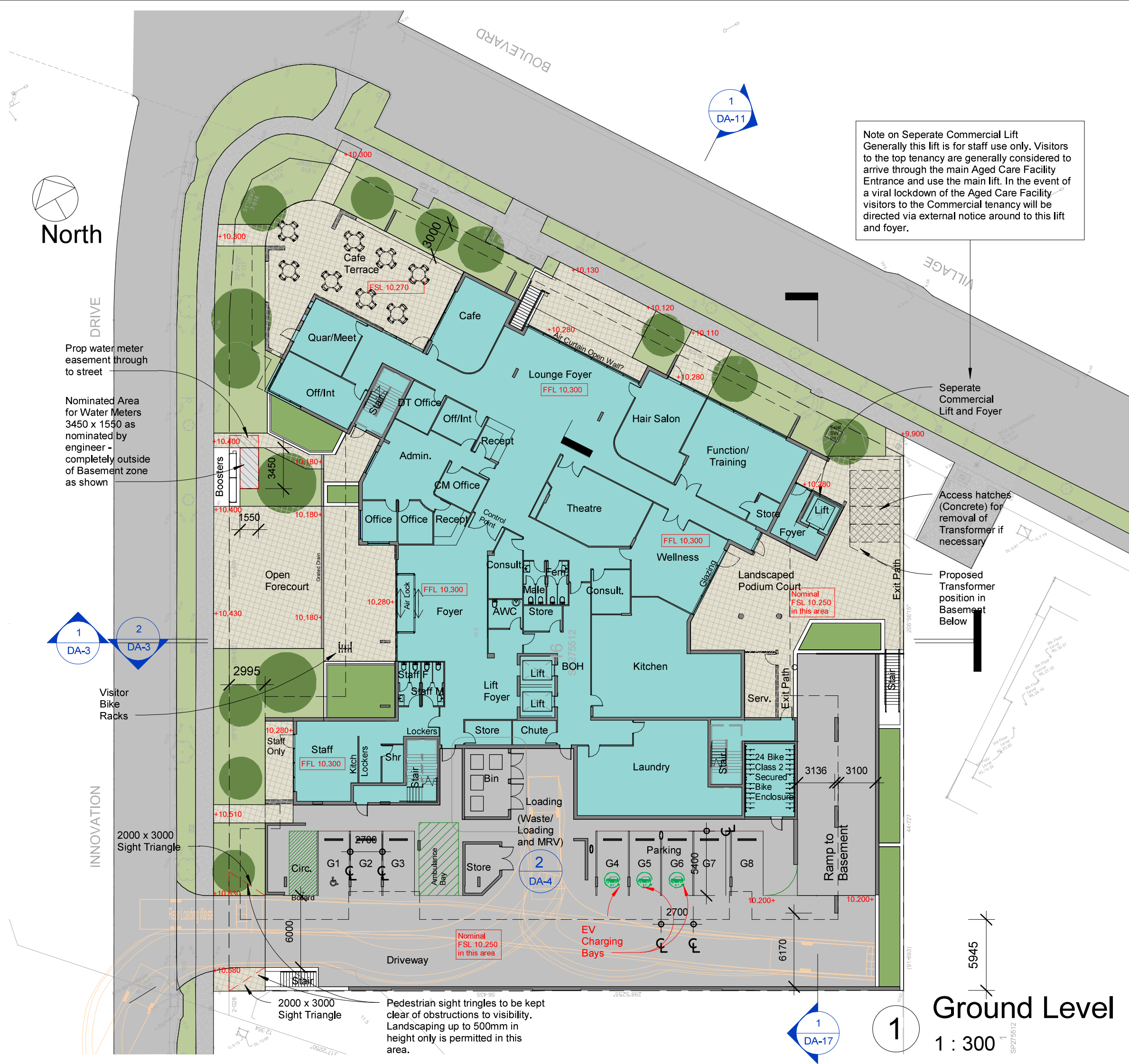
Project
Lumina Parklands Site

Client
Infin8

7	11.08.21	Prelim RFI Responses
6	27.07.21	General RFI Response
5	25.03.21	DA Submission Issue
4	12.03.21	Prelim Issue 3
3	8.03.21	Prelim Issue 2
1	19.02.21	Prelim Issue 1
Issue	Date	Amendment

Drawing Title Conceptual Sections	Drawing Number 20-08-DA-3
Scale 1 : 300 @ A3 original	

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2 Bin Room
1 : 150

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Client
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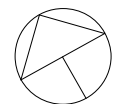
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6	27.07.21	General RFI Response
5	25.03.21	DA Submission Issue
4	12.03.21	Prelim Issue 3
3	8.03.21	Prelim Issue 2
2	1.03.21	Booster Pos Shown
Issue	Date	Amendment

Drawing Title	Drawing Number
Ground Floor Plan	20-08-DA-4

Scale As indicated @ A3
original
and drawings for this project remains
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Ground Level

1 : 300



North

34 Resident
MSU (Memory
Support Unit)
dividable into 2
operational
nodes.



DA-9

1
DA-11

2
DA-10

DA-10 1

1
DA-3

2
DA-3

1
DA-17

Approx.
Position of
Neighbouring
Building

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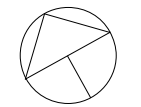
Project
Lumina Parklands Site

Client
Infin8

7	11.08.21	Prelim RFI Responses
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5	25.03.21	DA Submission Issue
4	12.03.21	Prelim Issue 3
3	8.03.21	Prelim Issue 2
1	19.02.21	Prelim Issue 1
Issue	Date	Amendment

Drawing Title	Drawing Number
Level 1 - Floor Plan	20-08-DA-6
Scale 1 : 300 @ A3 original	

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North

36 Residents
per Level



Level 2 Shown - Level 3 and 4 Similar

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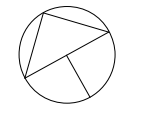
Project
Lumina Parklands Site

Client
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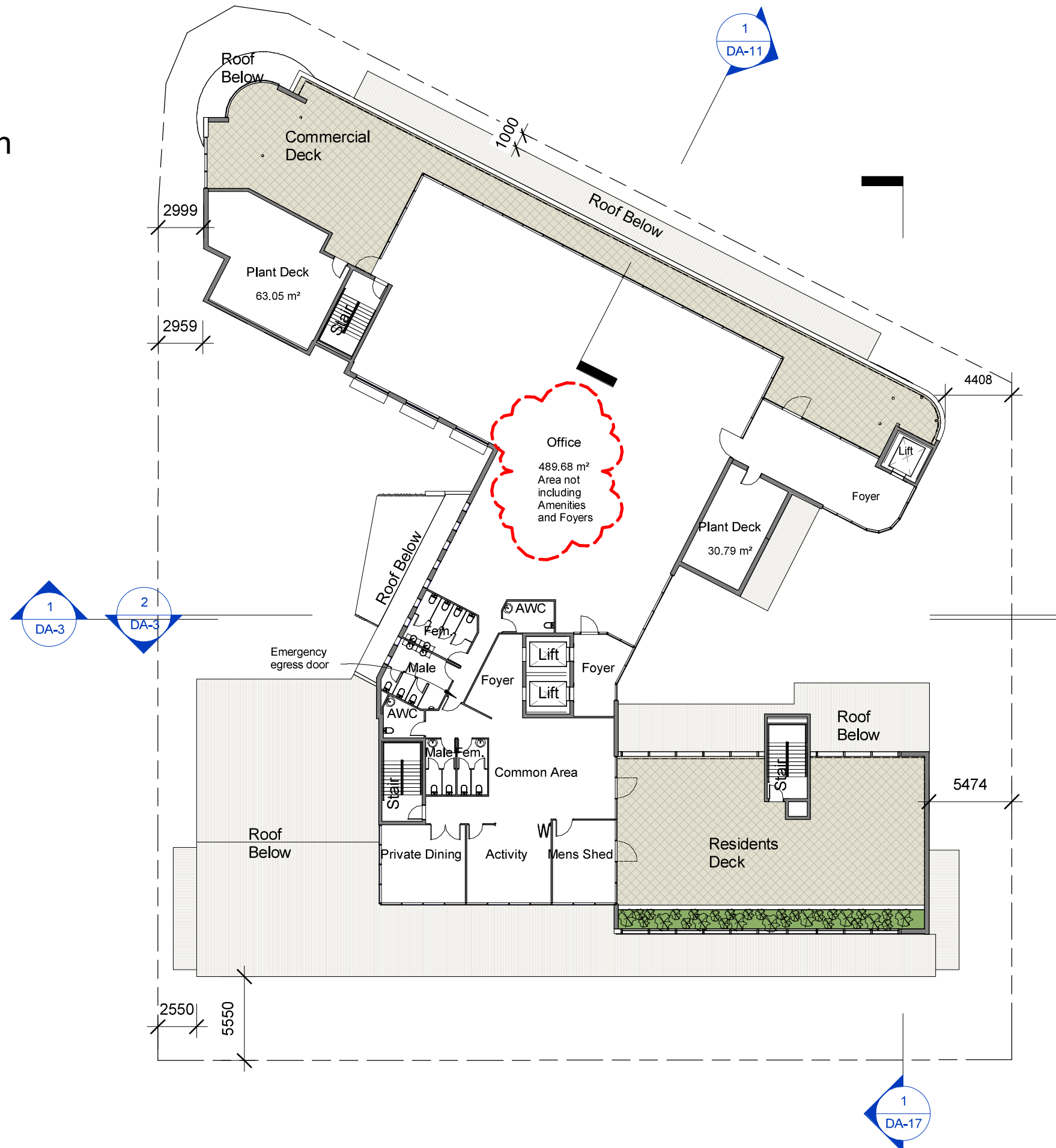
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6	27.07.21	General RFI Response
5	25.03.21	DA Submission Issue
4	12.03.21	Prelim Issue 3
3	8.03.21	Prelim Issue 2
1	19.02.21	Prelim Issue 1
Issue	Date	Amendment

Drawing Title	Drawing Number
Typical - L2-L4 Plan	20-08-DA-7
Scale 1 : 300 @ A3 original	

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North



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Project
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Client
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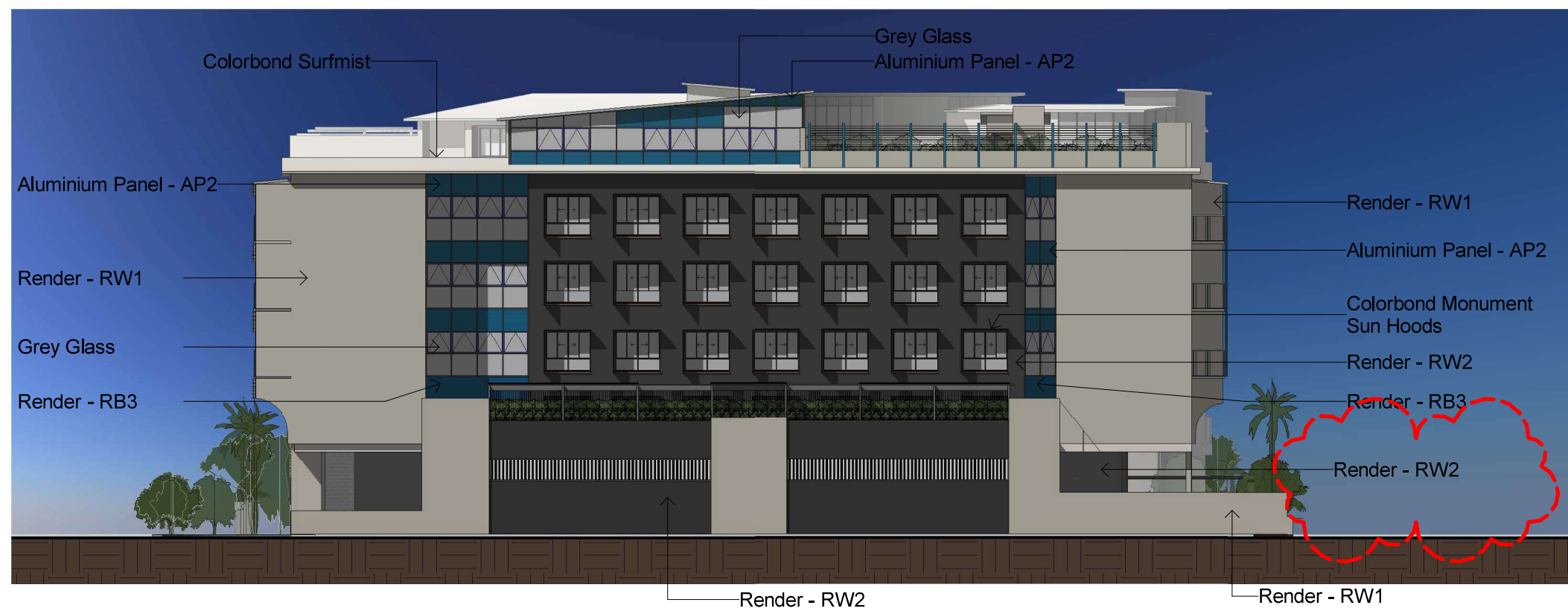
9	8.9.21	Updated Notes
7	11.08.21	Prelim RFI Responses
6	27.07.21	General RFI Response
5	25.03.21	DA Submission Issue
4	12.03.21	Prelim Issue 3
3	8.03.21	Prelim Issue 2
Issue	Date	Amendment

Drawing Title Level 5 - Floor Plan Scale 1 : 300 @ A3 original	Drawing Number 20-08-DA-8
---	-------------------------------------

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1 Village Boulevard Elevation
1 : 300



2 SW Boundary Elevation
1 : 300

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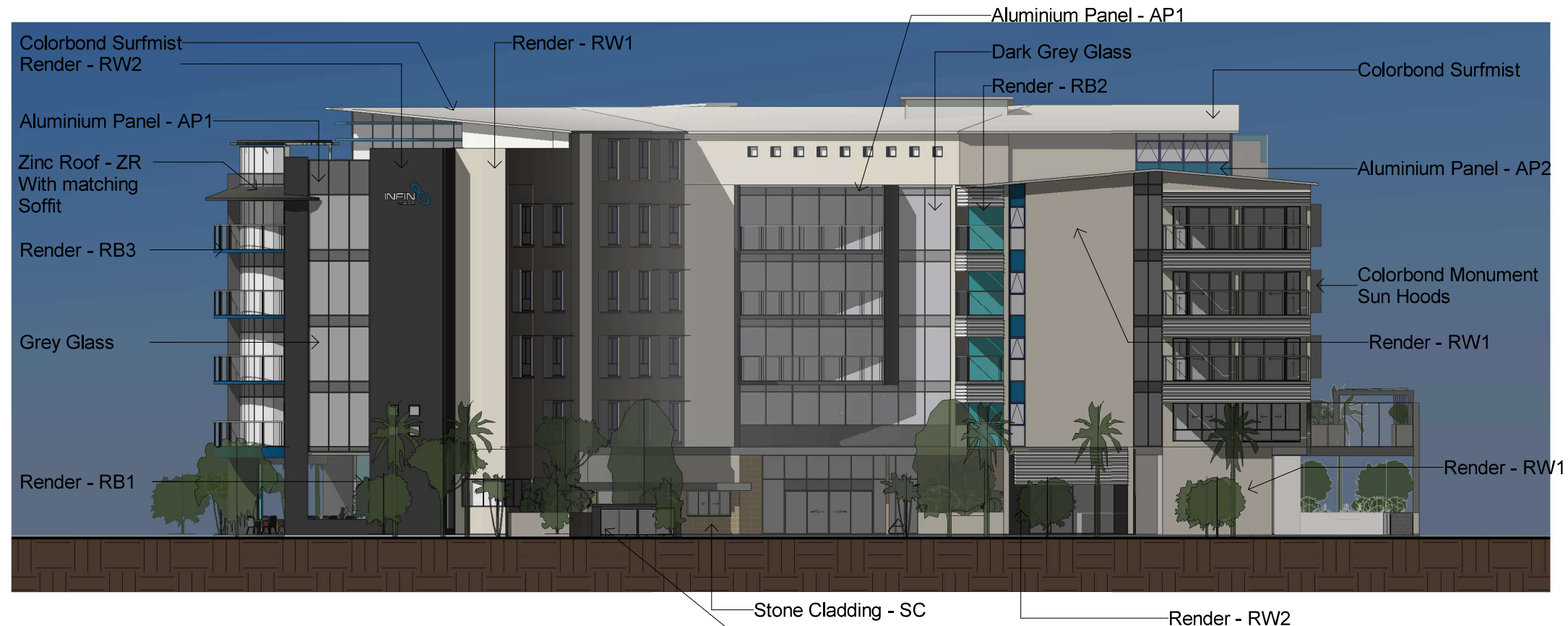
Project
Lumina Parklands Site

Client
Infin8

9	8.9.21	Updated Notes
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6	27.07.21	General RFI Response
5	25.03.21	DA Submission Issue
4	12.03.21	Prelim Issue 3
3	8.03.21	Prelim Issue 2
Issue	Date	Amendment

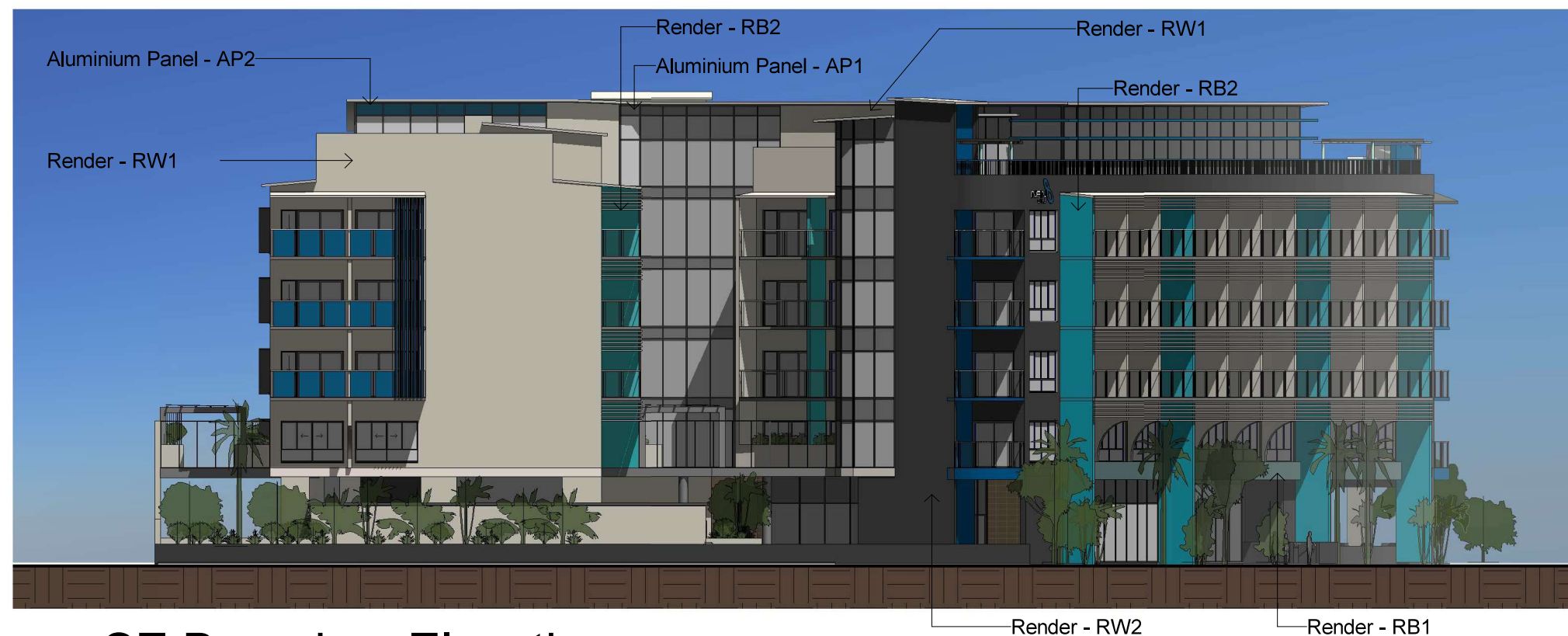
Drawing Title Elevations 1	Drawing Number 20-08-DA-9
Scale 1 : 300 @ A3 original	

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1 Innovation Drive Elevation

1 : 300



2 SE Boundary Elevation

1 : 300

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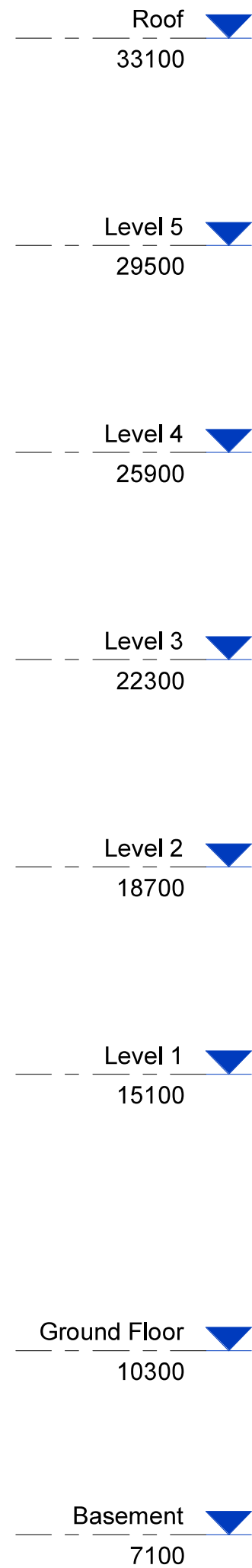
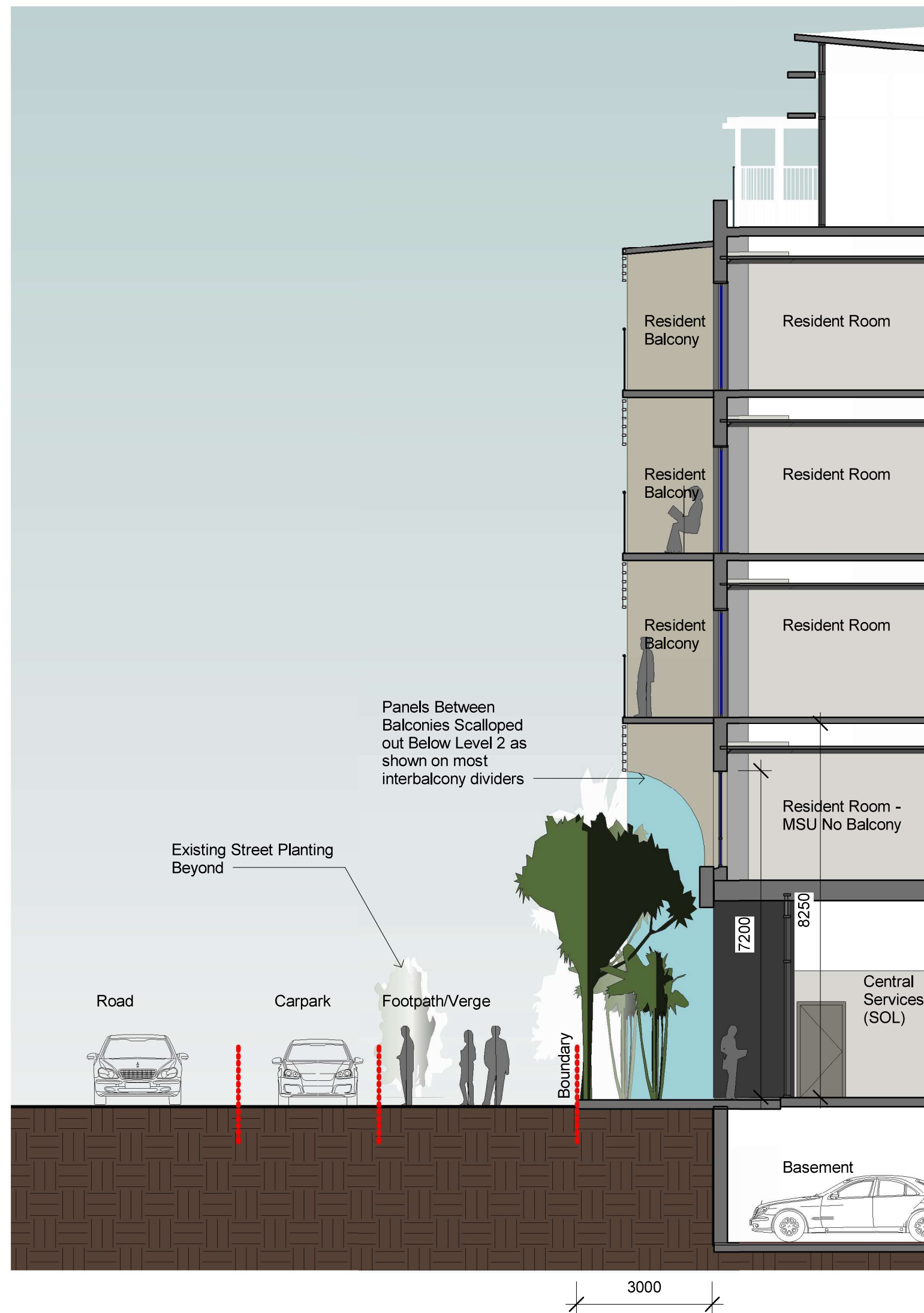
Project
Lumina Parklands Site

Client
Infin8

7	11.08.21	Prelim RFI Responses
6	27.07.21	General RFI Response
5	25.03.21	DA Submission Issue
4	12.03.21	Prelim Issue 3
3	8.03.21	Prelim Issue 2
1	19.02.21	Prelim Issue 1
Issue	Date	Amendment

Drawing Title Elevations 2	Drawing Number 20-08-DA-10
Scale 1 : 300 @ A3 original	

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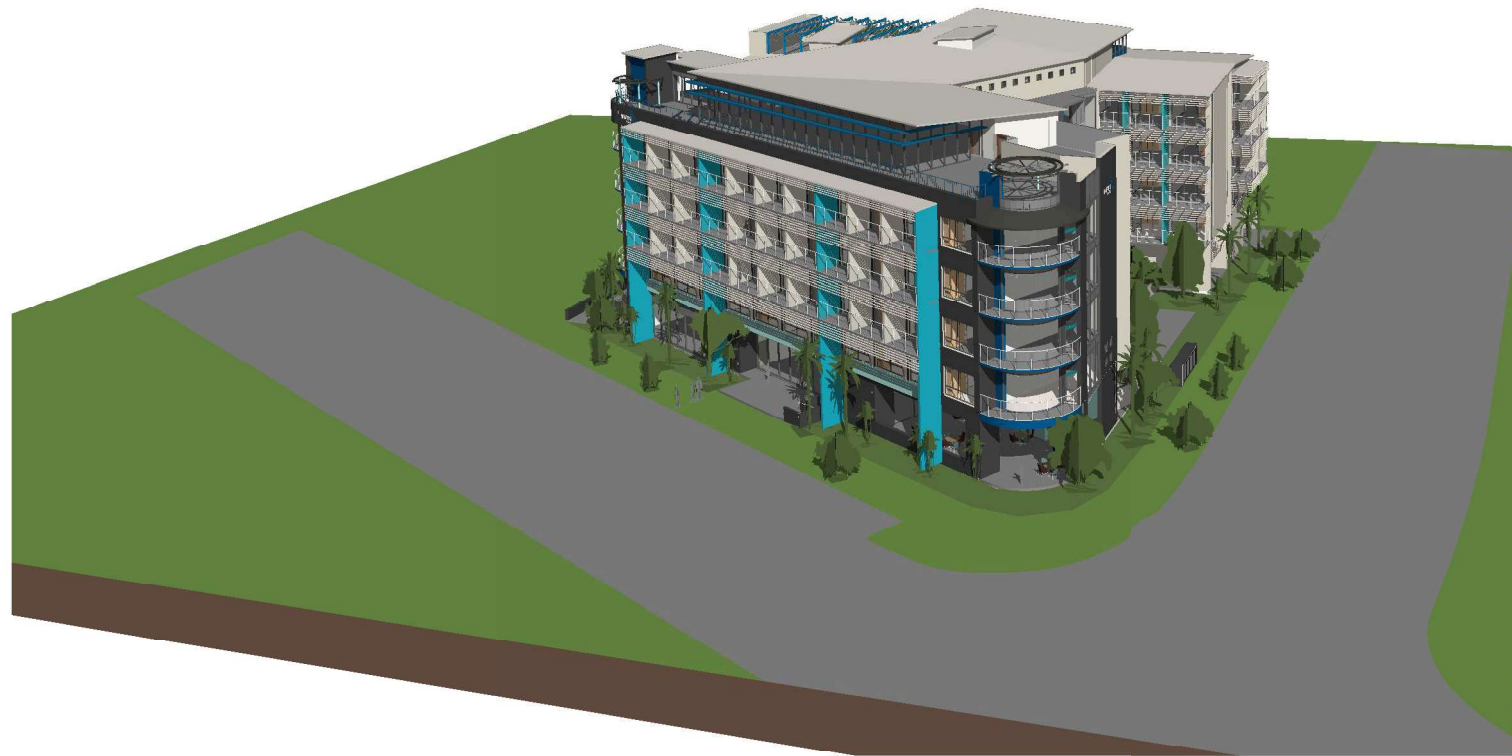
Project
Lumina Parklands Site

Client
Infin8

7	11.08.21	Prelim RFI Responses
6	27.07.21	General RFI Response
5	25.03.21	DA Submission Issue
4	12.03.21	Prelim Issue 3
3	8.03.21	Prelim Issue 2
1	19.02.21	Prelim Issue 1
Issue	Date	Amendment

Drawing Title	Drawing Number
Street Planting/Footpath Section Scale 1 : 100 @ A3 original	20-08-DA-11

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1 Northern Corner



2 Eastern Corner



3 Western Corner Showing Basement

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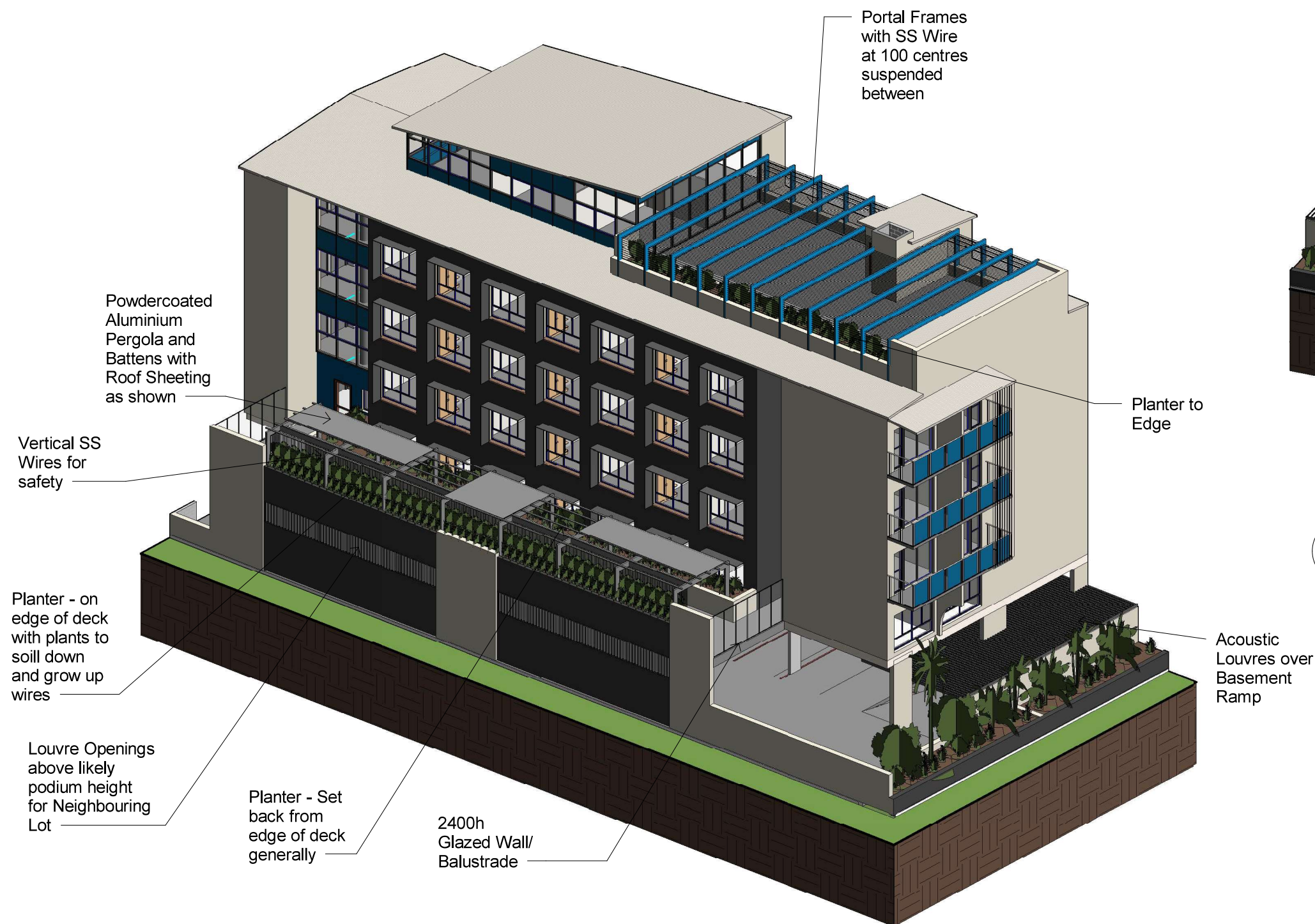
Project
Lumina Parklands Site

Client
Infin8

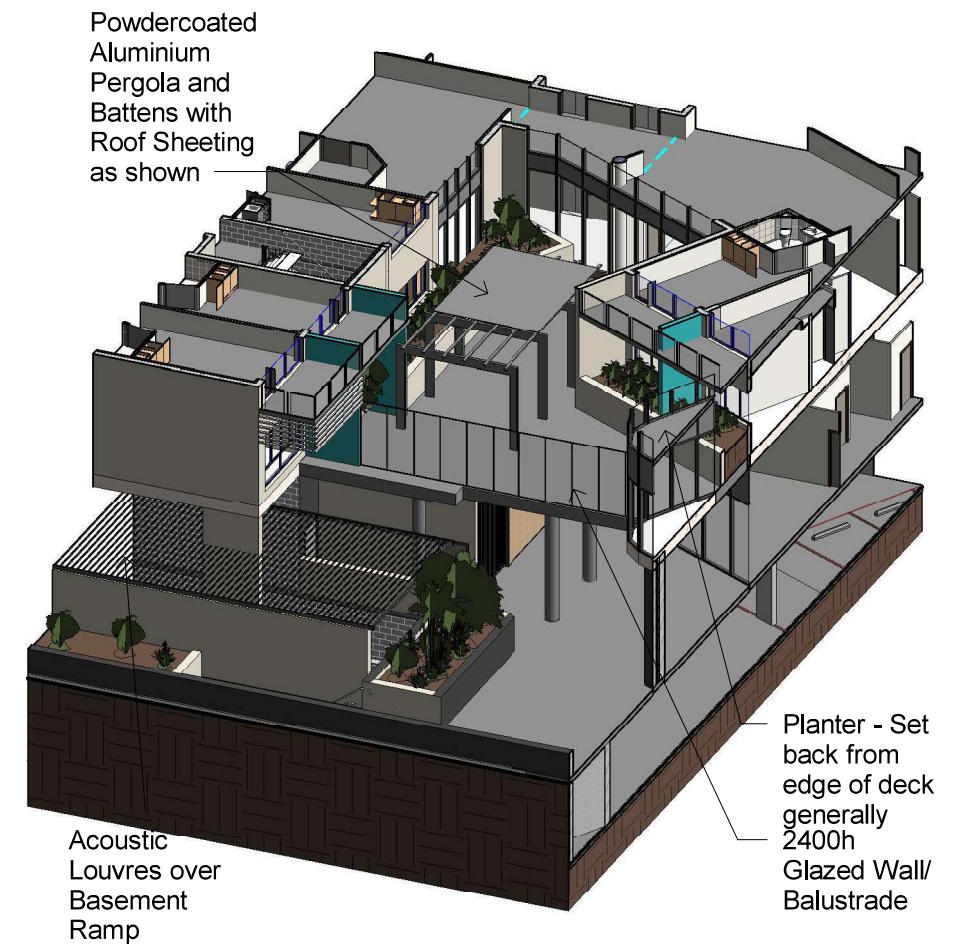
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6	27.07.21	General RFI Response
5	25.03.21	DA Submission Issue
4	12.03.21	Prelim Issue 3
3	8.03.21	Prelim Issue 2
1	19.02.21	Prelim Issue 1
Issue	Date	Amendment

Drawing Title Massing	Drawing Number 20-08-DA-12
Scale @ A3 original	

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1 Southern Wanderers Deck and Roof Deck



2 Central Wanderers Deck

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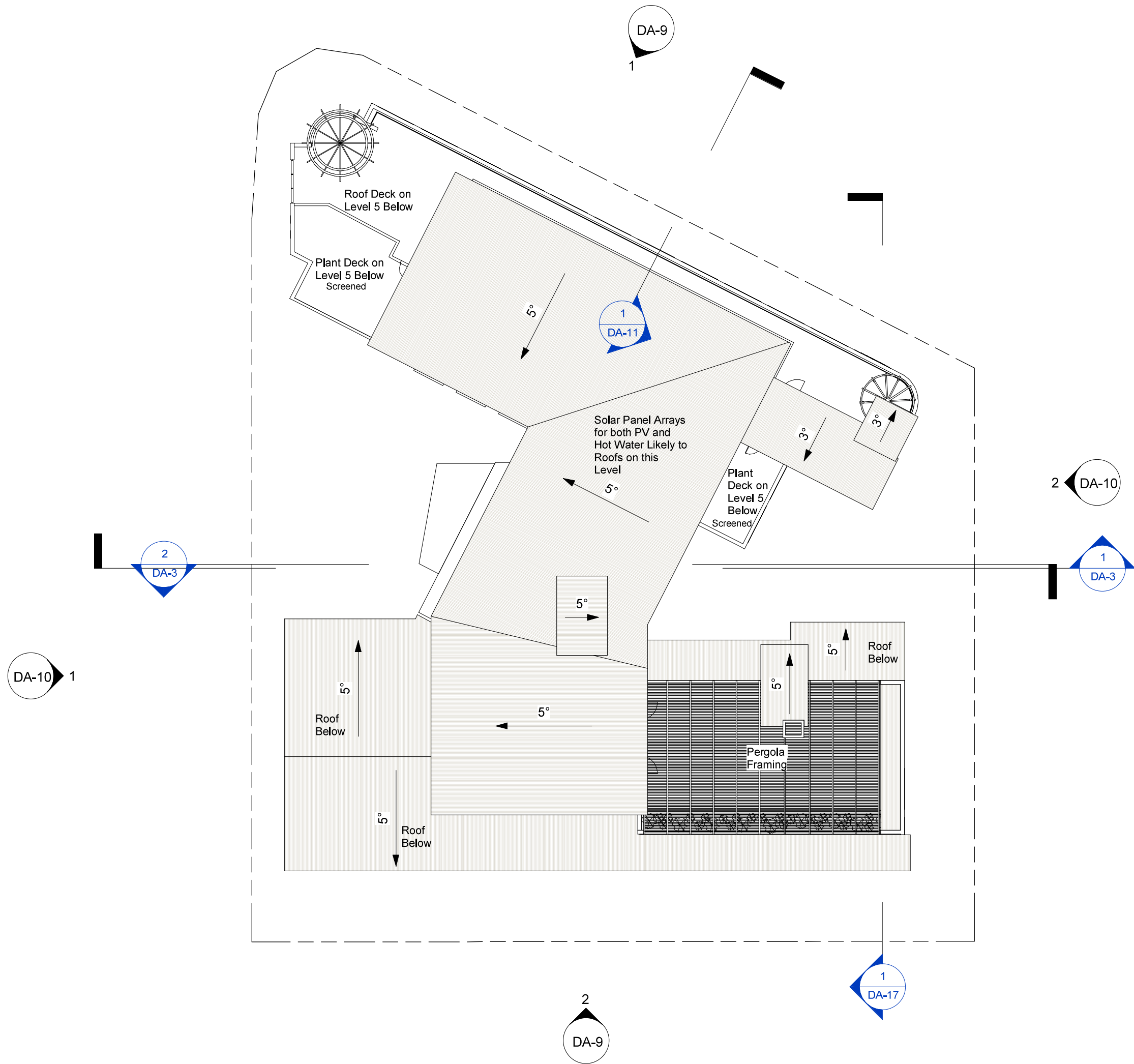
Project
Lumina Parklands Site

Client
Infin8

7	11.08.21	Prelim RFI Responses
6	27.07.21	General RFI Response
5	25.03.21	DA Submission Issue
4	12.03.21	Prelim Issue 3
Issue	Date	Amendment

Drawing Title	Drawing Number
Cover for Podium Decks (Wanderers) Scale @ A3 original	20-08-DA-13

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7	11.08.21	Prelim RFI Responses
6	27.07.21	General RFI Response
Issue	Date	Amendment

Drawing Title Roof Plan Scale 1 : 300 @ A3 original	Drawing Number 20-08-DA-14
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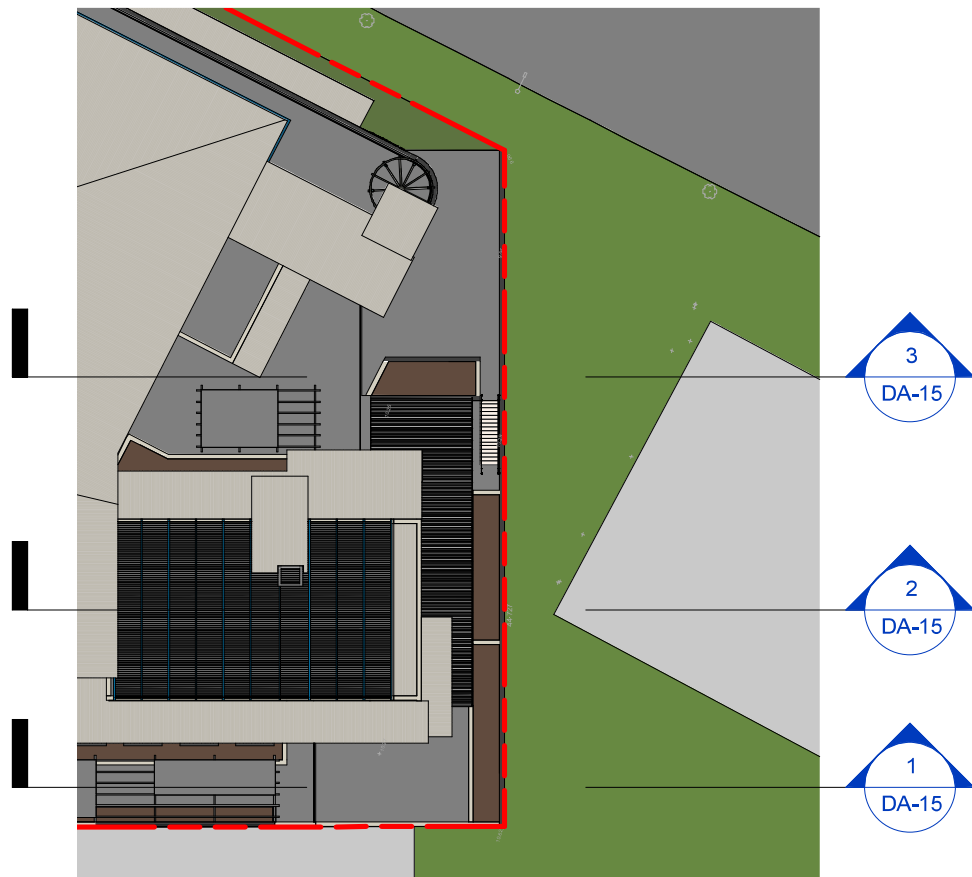
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1 SE Section 1
1 : 300

2 SE Section 2
1 : 300

3 SE Section 3
1 : 300



4 SE Boundary Section Key
1 : 500

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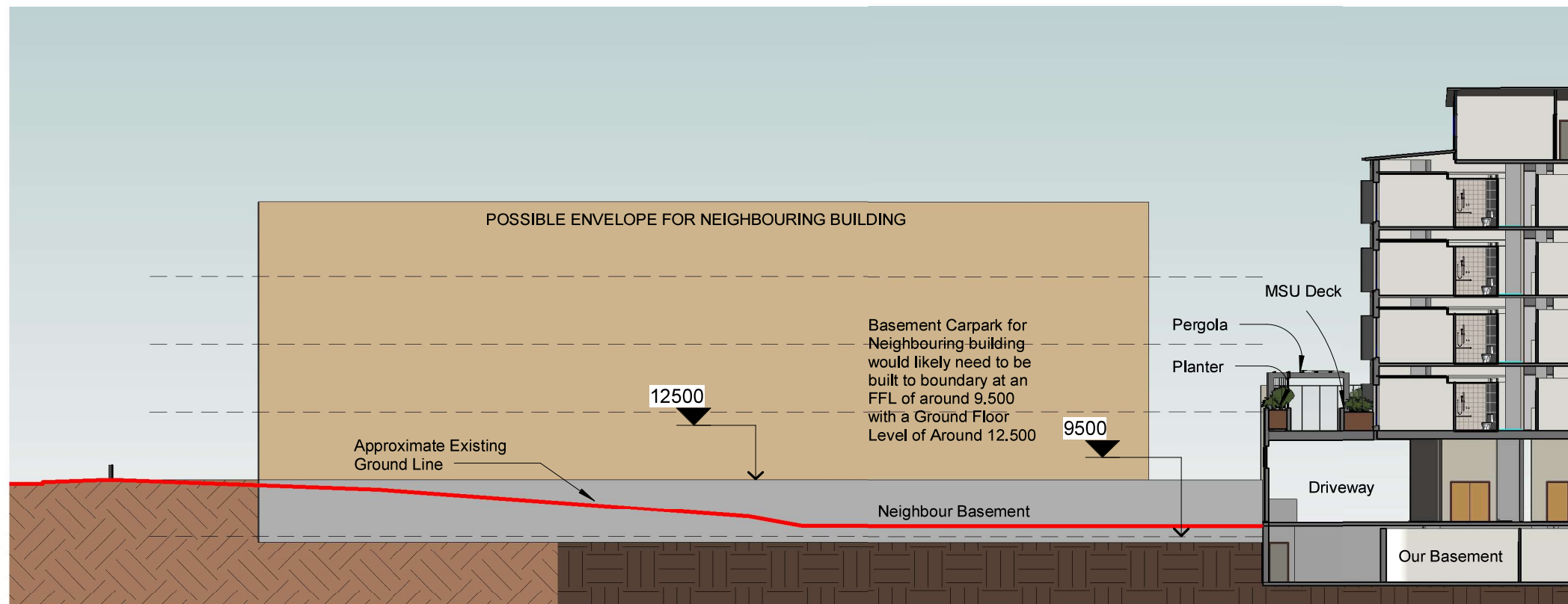
Project
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Client
Infin8

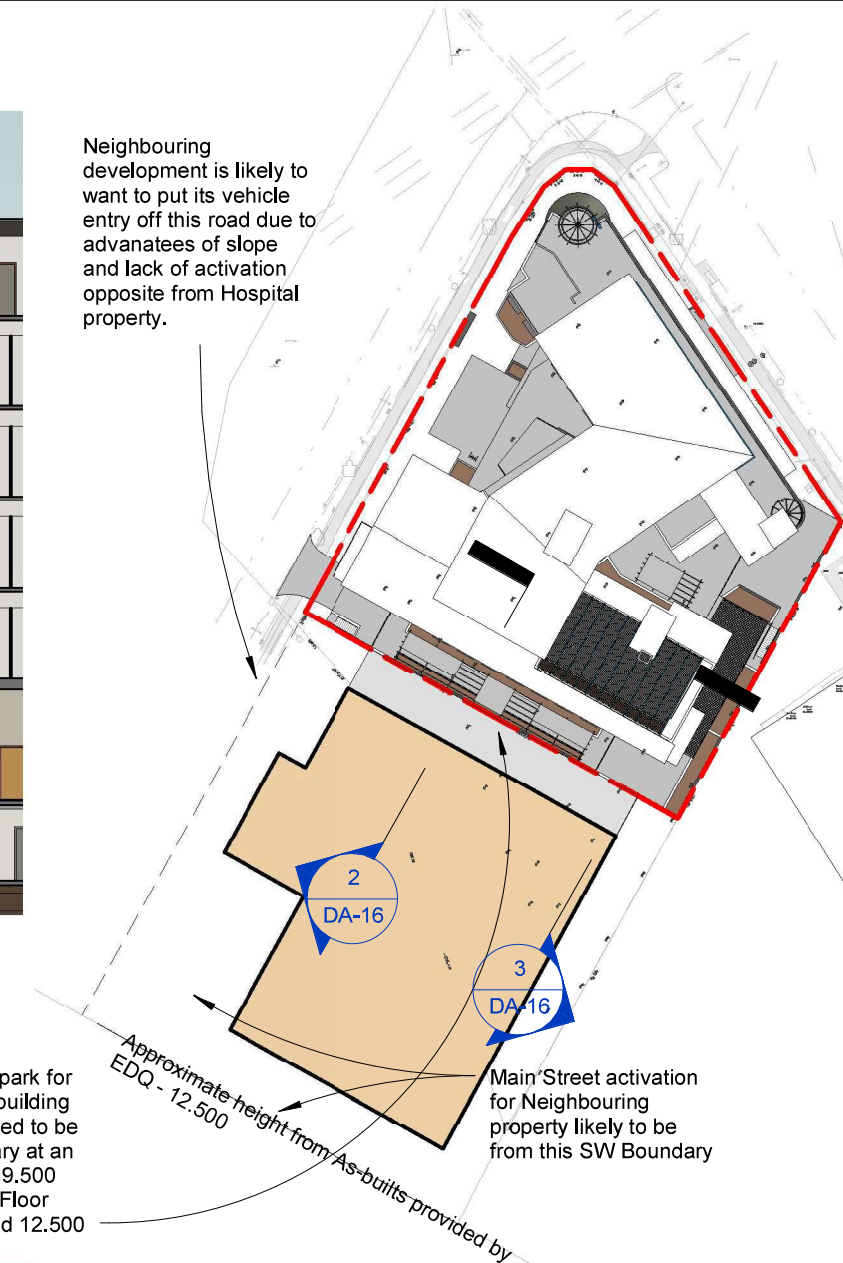
Issue	Date	Amendment
7	11.08.21	Prelim RFI Responses
6	27.07.21	General RFI Response

Drawing Title	Drawing Number
SE Boundary Sections	20-08-DA-15

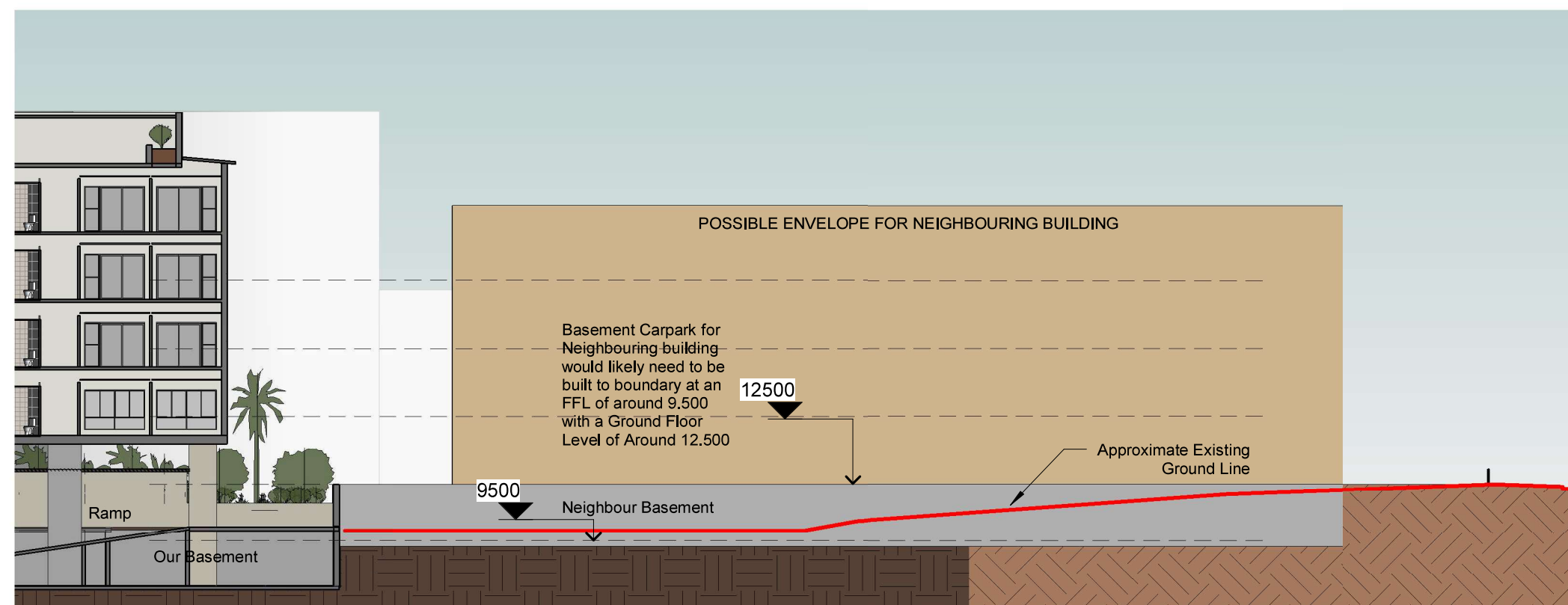
Scale As indicated @ A3
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2 SW Boundary Section 1
1 : 300



Basement Carpark for Neighbouring building would likely need to be built to boundary at an FFL of around 9.500 with a Ground Floor Level of Around 12.500



3 SW Boundary Section 2
1 : 300

1 SW Neighbour Development Potential
1 : 1000

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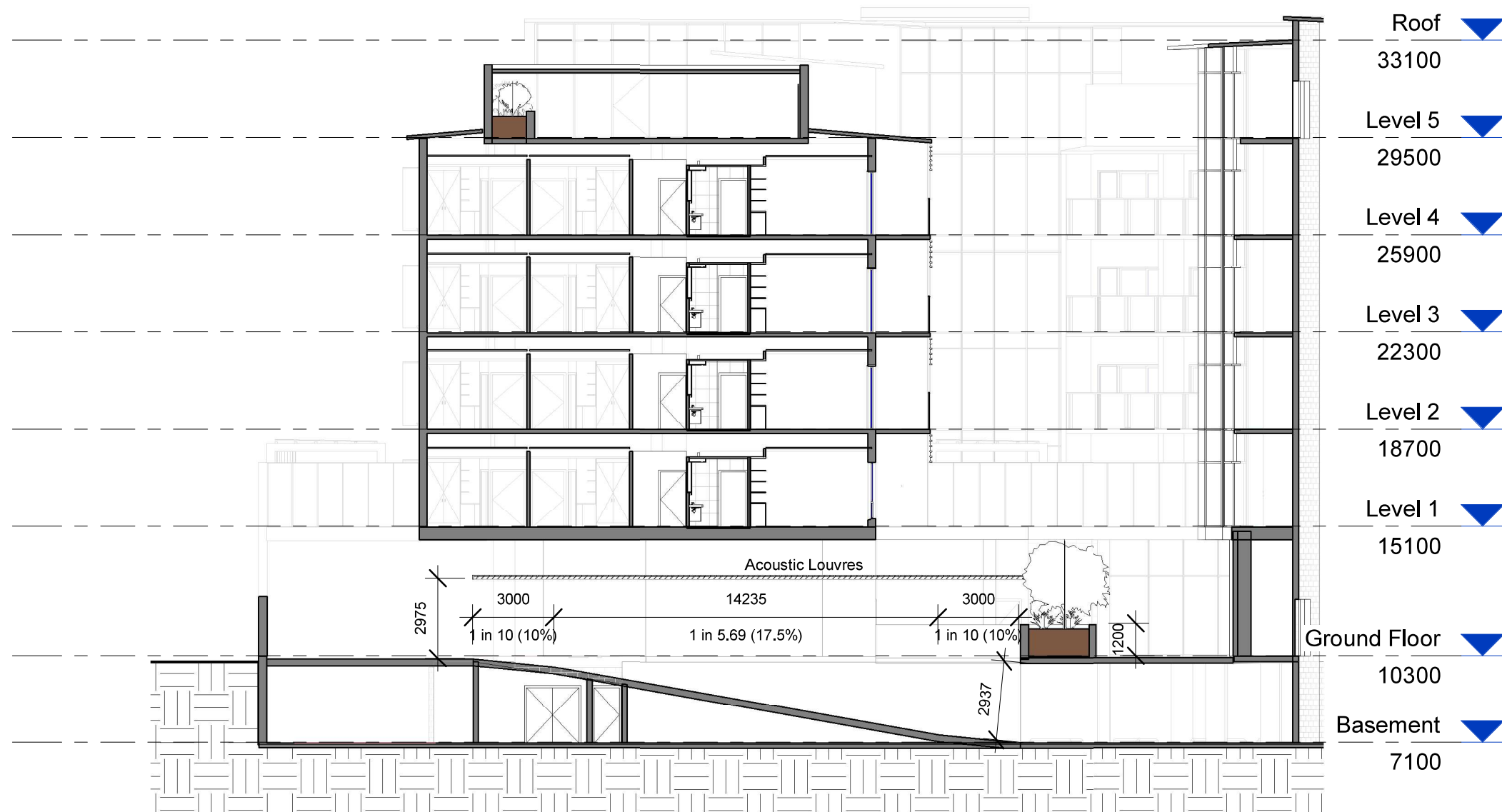
Project
Lumina Parklands Site

Client
Infin8

Issue	Date	Amendment
7	11.08.21	Prelim RFI Responses
6	27.07.21	General RFI Response

Drawing Title	Drawing Number
SW Boundary - Sections and Potential Neighbour Scale As indicated @ A3	20-08-DA-16

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7	11.08.21	Prelim RFI Responses
6	27.07.21	General RFI Response
Issue	Date	Amendment

Drawing Title	Drawing Number
Carpark Ramp Section	20-08-DA-17
Scale 1 : 200 @ A3 original	

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7	11.08.21	Prelim RFI Responses
Issue	Date	Amendment

Drawing Title Photo Montage 1	Drawing Number 20-08-DA-18
Scale @ A3 original	

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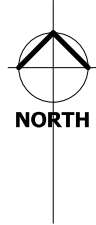
7	11.08.21	Prelim RFI Responses
Issue	Date	Amendment

Drawing Title Photo Montage 2 Scale @ A3 original	Drawing Number 20-08-DA-19
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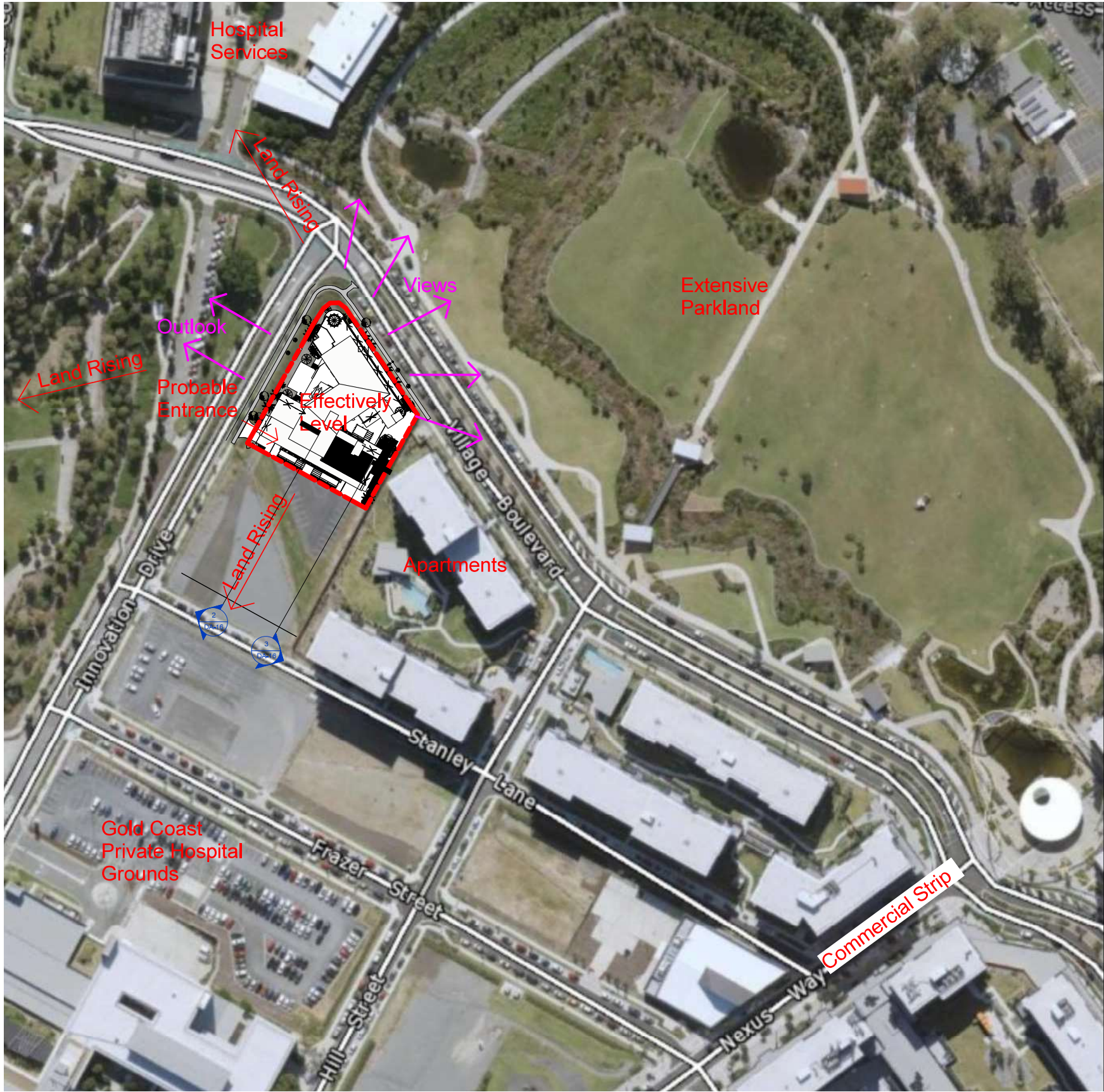
preliminary drawing only preliminary drawing only preliminary drawing only preliminary drawing only preliminary drawing only

Lawn Cemetery - No Visibility



Gold Coast University Hospital Grounds

Southport Sharks Club



Griffith University

Gold Coast Light Rail

preliminary drawing only preliminary drawing only preliminary drawing only preliminary drawing only preliminary drawing only

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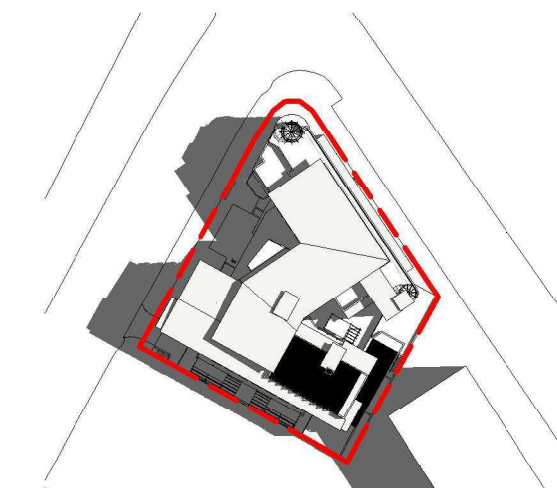
Project
Lumina Parklands Site

Client
Infin8

Issue	Date	Amendment
7	11/08/21	Prelim RFI Responses
6	27/07/21	General RFI Response
5	25/03/21	DA Submission Issue
4	12/03/21	Prelim Issue 3
1	19/02/21	Prelim Issue 1

Drawing Title Site Analysis	Drawing Number 20-08- SA-1
Scale 1 : 1000 @ A1 original	

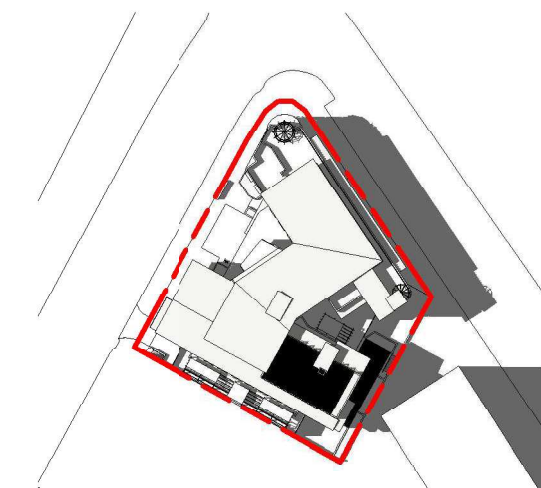
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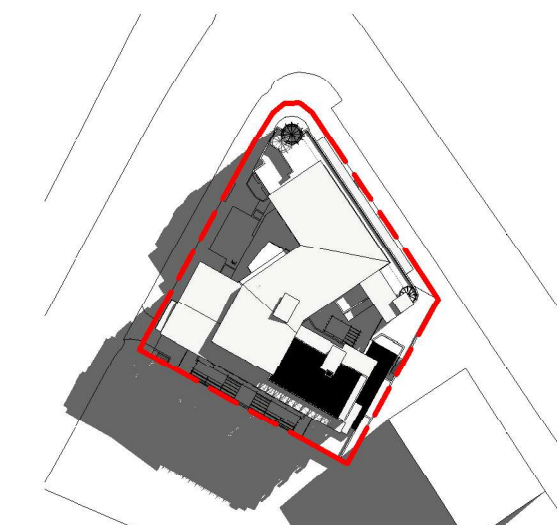
1 Summer 9
1 : 1800



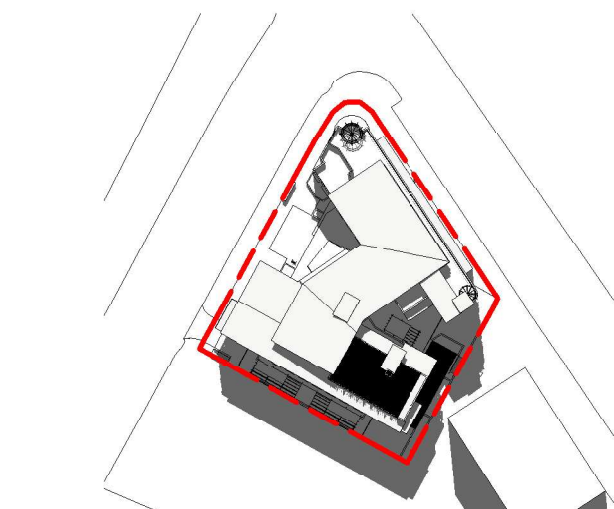
2 Summer Noon
1 : 1800



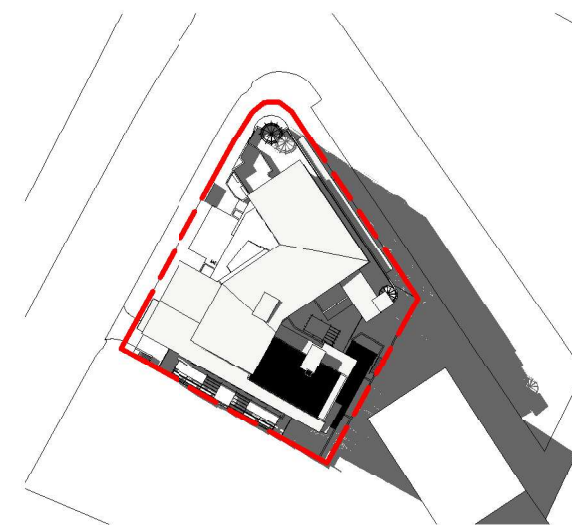
3 Summer 3
1 : 1800



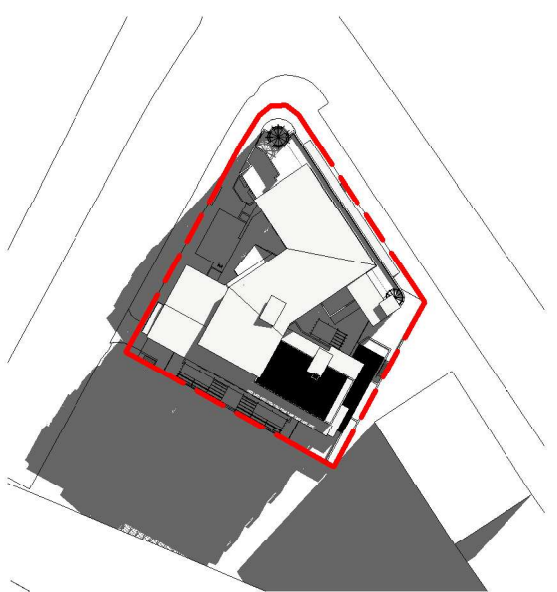
4 Equinox 9
1 : 1800



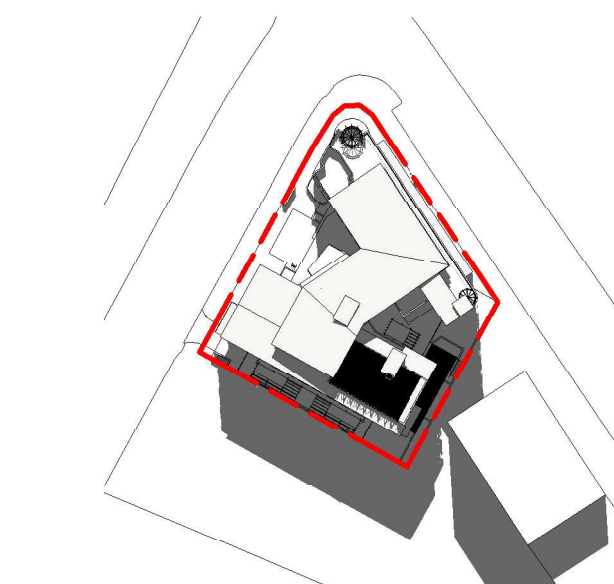
5 Equinox Noon
1 : 1800



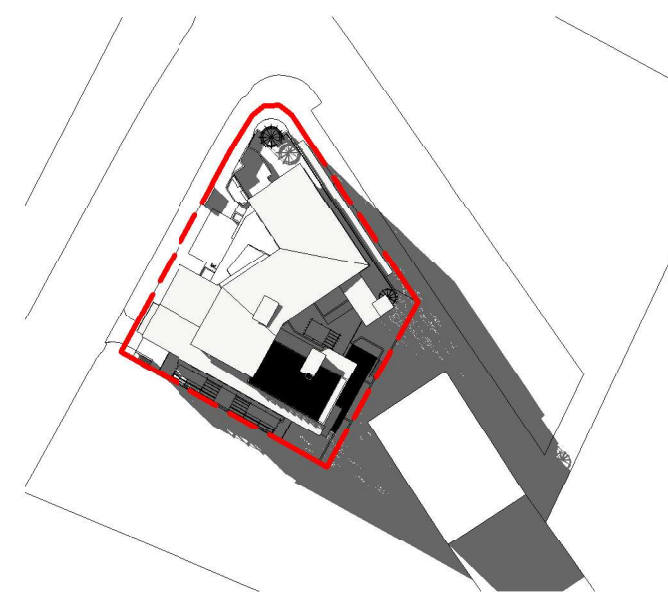
6 Equinox 3
1 : 1800



7 Winter 9
1 : 1800



8 Winter Noon
1 : 1800



9 Winter 3
1 : 1800

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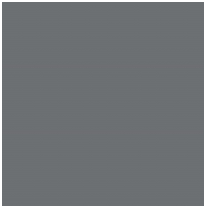
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6	27.07.21	General RFI Response
5	25.03.21	DA Submission Issue
4	12.03.21	Prelim Issue 3
3	8.03.21	Prelim Issue 2
Issue	Date	Amendment

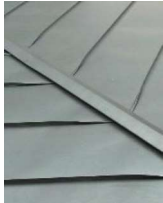
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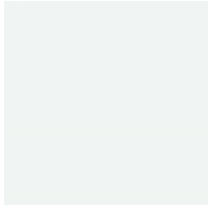
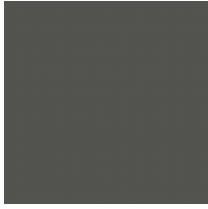
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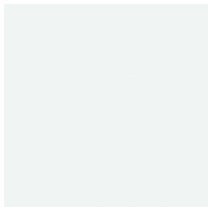
Infinite Lumina - External Finishes

10 March 2020

		Elev. Code	Picture
Walls & Columns			
- Rendered Wall 1	Textured Paint Finish on Cement Render as specified – Similar Dulux “Sandy Day” S14C1	RW1	
- Rendered Wall 2	Textured Paint Finish on Cement Render as specified – Similar Dulux “Domino” SG6G8	RW2	
- Rendered Wall Blue 1	Textured Paint Finish on Cement Render as specified – Similar Dulux “Cool Crayon” S28G1	RB1	
- Rendered Wall Blue 2	Textured Paint Finish on Cement Render as specified – Similar Dulux “Tempo” S29G5	RB2	
- Rendered Wall Blue 3	Textured Paint Finish on Cement Render as specified – Similar Dulux “Cook’s Bay” S35H9	RB3	
- Stone Cladding	Stone Clad Walls Similar to Slate and Stone “Rainbow” Sandstone in 600 x 300. Natural Mortar	SC	
- Spandrels in Curtain Walls - General	Solid Powder coated Aluminium Panels – Colour Duratec Zeus Grey 90088416	AP1	

- Spandrels in Curtain Walls – Blue–	Solid Powder coated Aluminium Panels – Colour Duratec Intensity Coast - Satin 90N5233S	AP2	
Metal Deck Roofing			
- General Roofing	Colorbond – “Surfmist”	MR1	
- Metal Deck Roofs to Pergola Roof Structures on Podium	Colorbond – “Monument”	MR2	
- Acoustic Louvre Roof Over Ramp to Basement	Colorbond – “Monument” or equivalent powdercoat a		
- Zinc Standing Seam Roofing to Conical Roof	Similar Natural VMZinc to Roof. Ceiling similarly clad in VMZinc Standard Pigmento Blue	ZR	 
Window Joinery	Powder Coated Aluminium – Duratec Zeus Timberland Satin 90Z7315S	n/a	

Aluminium Battens and Screens			
- Sun Control Battens beneath Decks	Powder Coated Aluminium – Colour Duratec Zeus White 90Z1110G	n/a	
- Stairway Feature Battens	Powder Coated Aluminium – Duratec Zeus Timberland Satin 90Z7315S	n/a	
- Battening and Aluminium Pergolas to Podium Level	Powder Coated Aluminium – Duratec Zeus Timberland Satin 90Z7315S	n/a	
Soffits	Standard FC Lumex Joiners – Off White	n/a	Off White
Exposed structural steel			
- Generally	Paint finish – Taubmans “Ash Brown” T15 17.6	n/a	
- Portal Frames to Resident Access Roof Deck	Paint Finish - Similar Dulux “Cook’s Bay” S35H9		

Aluminium Window Hoods			
- Hoods to Resident Room Windows	Powder Coated Aluminium – Duratec Zeus Timberland Satin 90Z7315S	n/a	
- Continuous Hood to Office Tenancy Glazed Wall on Level 5	Solid Powder coated Aluminium Panels – Colour Duratec Intensity Coast - Satin 90N5233S		
Balustrading			
- Resident Room Balconies	Powder Coated Aluminium – Colour Duratec Zeus White 90Z1110G Glazed	n/a	
- Roof Deck Office Tenancy Access	Powder coated Aluminium Panels – Colour Duratec Intensity Coast - Satin 90N5233S		
- Level 1 Podium Deck	Powder Coated Aluminium – Duratec Zeus Timberland Satin 90Z7315S		
Gutters & Fascia	Colorbond – “Surfmist”	n/a	
Balconies	Select Tile - TBC	n/a	