



PLACE
PLANNING
DESIGN
ENVIRONMENT

BRISBANE
LEVEL 1, 282 WICKHAM STREET
FORTITUDE VALLEY, QLD 4006
AUSTRALIA
T : (07) 3852 3922
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Architectural dimensions take precedence over any measures of scale. Vary all dimensions on the plan to construction.

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PROJECT
STAGE 4
ANDERGROVE UDA
MACKAY

CLIENT
URBAN LAND
DEVELOPMENT
AUTHORITY

NOTES

ISSUE CODE	ISSUE DESCRIPTION	BY	CHK	DATE
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1	PRIE LOT RECONFIGURATION	TW	TW	09.09.2010
2	PRIE ROAD DESIGN	TW	TW	16.09.2010
3	PRIE LAYOUT CHANGES	AS	TW	04.01.2011
4	PRIE LAYOUT CHANGES	AS	TW	22.12.2011

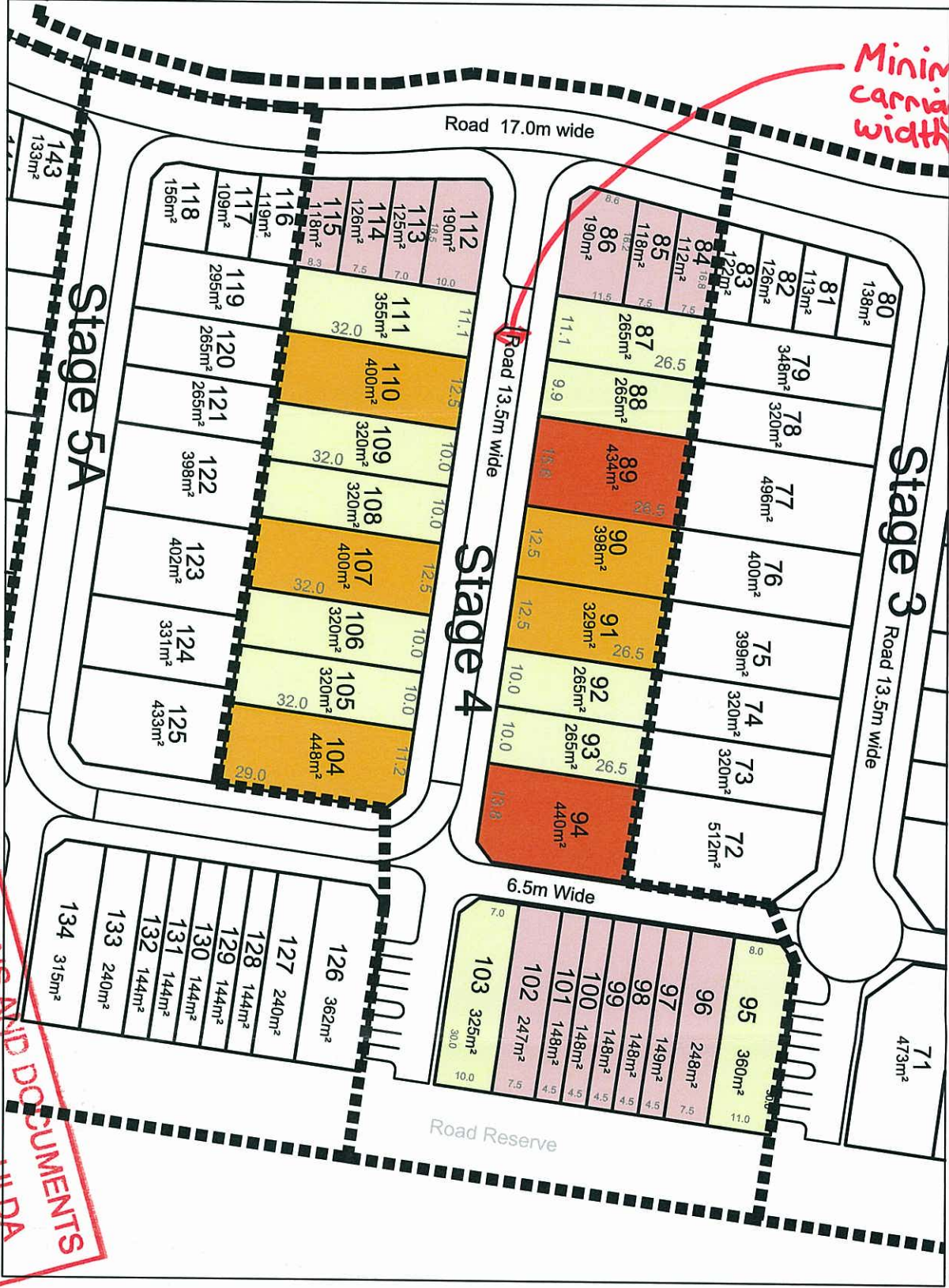
PRIE - Preliminary / CA - Concept Approval / T - Transfer / CDW - Construction
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DRAWING TITLE
LOT RECONFIGURATION
LAYOUT FOR STAGE 4

DESIGN : CA
DOCUMENT : ULD23
PROJECT : ULD23
SCALE : 1:1000@A3



SHEET NUMBER REVISION
ULD23_SK01 5



Development Statistics	
Area	Stage 4
Additional Road Reserve	5,047m ²
Open Space	3,661m ²
Total Area	1.718ha
Area of Lots	8,450m ²
Lot Mix and Yield	
Traditional (20m frontage)	0
Courtyard (15m frontage)	4
Villa (12.5 - 14.9m frontage)	5
Villa (10m - 12.4m frontage)	11
Terrace/Urban (4.5 - 9.9m frontage)	14
Total	32 dw
Roads	
17m wide	74m
13.5m wide	122m
6.5m Laneway	54m
13m Laneway and Parking	30m



Scale 1:1000 at A3

AMENDED IN RED
21 MAR 2012
By: K McGill (name)
of the ULDA

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 21/3/12

NOTES
General

1. Maximum building height is 2 storeys.

Orientation

2. Dwelling entrances are to be clearly defined and articulated to address the Primary Street Frontage.
3. Garages are to be located on southern or western boundary of lot where possible to maximise the solar access from the north-easterly direction.

Setbacks

4. Setbacks are as per the Building Setback Table unless otherwise specified.
5. Built to boundary walls are recommended where road frontage widths are less than 15 metres. Built to boundary walls are optional for lots with road frontage widths equal or in excess of 15 metres. Where Built to Boundary walls are not adopted, side setbacks shall be in accordance with the Building Setback Table.
6. Built to boundary walls are to have a maximum length of 9 metres and a maximum height of 3.5 metres unless where located on a terrace or urban allotment.
7. Boundary setbacks are measured to the walls of the structure.
8. Eaves should not encroach (other than where buildings are built to a zero lot line) closer than 300mm to the lot boundary.
9. First floor on single and multi-family lots must be built to meet the minimum first floor setbacks.
10. Laneway garage is to be setback 1.0m.
11. For Urban Allotments typologies, open balconies may project forward of the minimum front setback to 0.5m from the front property boundary.

Car Parking & Driveways

12. No vehicular access to Bedford Road
14. Minimum of 1 covered on-site car parking space is to be provided for each dwelling.
15. Garages are to be recessed behind the main building line except where on laneways.
16. For Conventional allotments (not Laneway Allotments) the following applies:
• Double garages will not be permitted on single storey dwellings on a lot less than 12.5m wide
• Double garages will not be permitted on any lot less than 10.0m wide
• Double garages may be permitted on a lot greater than 10.0m in width and less than 12.5m in width where the:
- The garage is setback at least 1m behind the main face, excluding balconies, of the dwelling AND
- The garage doors are articulated, comprise a mix of materials and colours, or are staggered
• The maximum width of a driveway:
- Serving a double garage shall be: 4.8m at the lot boundary
- Serving a single garage shall be 3.0m at the lot boundary
• On lots with a frontage of less than 12.5 metres:
- The maximum width of a garage shall be no more than 40% of the lot frontage
- tandem parking with a setback from the property boundary to the garage of 5.5 metres is required
- double width garages are not permitted unless complying with note 16, bullet point 3.

17. A maximum of one driveway per dwelling is permitted.
18. Driveways should avoid on-street works such as dedicated on-street parking bays, drainage pits and service pillars
19. The minimum distance of a driveway from an intersection of one street with another street shall be 6.0 metres
20. Garages served off a Laneway must be built to meet the minimum 1.0 metre Rear Setback

Site Cover and Amenity

21. Site cover of each lot is not to exceed 60% at ground level and 50% at the second level. Urban and terrace allotments should not exceed 85% of the lot area
22. Private open space at ground level must not be less than 12m² and minimum dimension of 2.4m and with a maximum gradient not exceeding 1 in 10. Private amenity space for apartments/ units above ground level must not be less than 5m² which may be in the form of a balcony with a minimum dimension of 1.2m.
23. Second storey verandas and windows are screened or obscured to a side boundary

Fencing & Landscaping

23. Private Open Space on each lot is generally located for access to northern, north-easterly or eastern sunlight where possible.
24. Fencing of primary frontage is to be partially transparent with a maximum height of 1.5m. OR solid fencing with a maximum height of 1.2m;
25. Fencing of Lots adjoining Bedford Road are to be partially transparent with a maximum height of 1.5m; OR solid fencing with a maximum height of 1.2m; AND shall provide pedestrian gate/ access to public pathways on Bedford Road.
26. Fences on corner lots should be designed as front fences addressing both streets (rather than a front and a side fence).

Buildings

27. Buildings with a width of more than 10 metres that are visible from a street or a park should be articulated to reduce the mass of the building by:
• windows recessed into the facade
• balconies, porches or verandahs provided
• window hoods provided
• shadow lines created on the building through minor changes in the facade (100 millimetres minimum)

Infrastructure Contributions

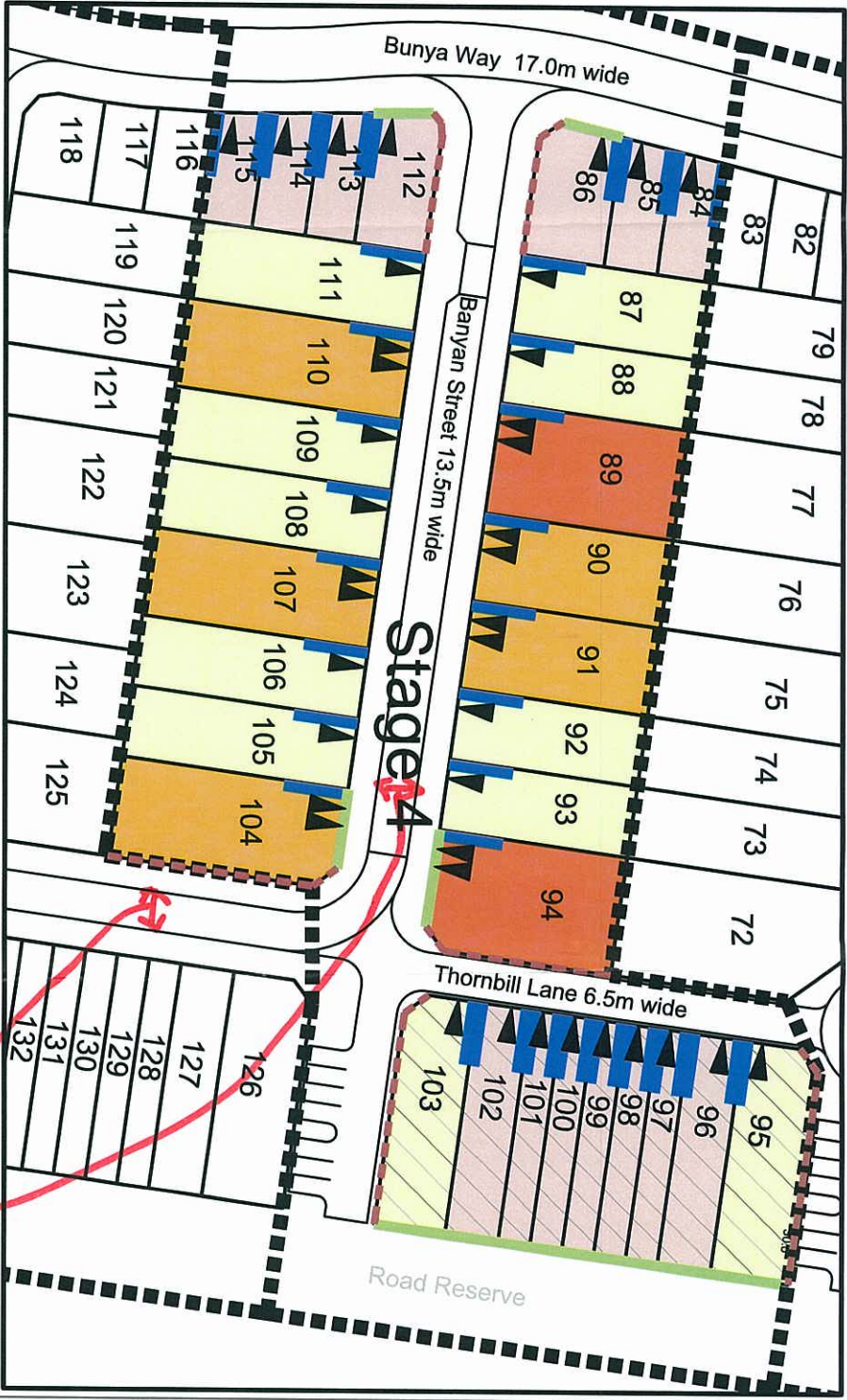
30. Infrastructure Contributions for Reconfiguring a Lot will be calculated in accordance with Mackay Regional Council's Planning Scheme Infrastructure Charges Policy. The payment will be made to the ULDA prior to survey plan endorsement.

Lots <250 m2

31. Specified below are the approved house plan options for the lots < 250m2
Lots 84, 85, 112, 113, 114, 115: Type C1, Type C2, Type E1, Type E2, Type E3, Type H1, Type H2
Lots 86 & 112: Type B, Type H1, Type H2
Lot 97-102: 4.5m terrace
These house plans can be mirrored where the driveway location and built-to-boundary walls are consistent with the approved POD.

32. Houses on lots less than 250m2 to include the following:

- a) All second storey windows where within 9 metres of a habitable room or private open space of an adjoining lot are to have fixed, external privacy screens or fixed opaque glazing at a sill height less than 1.5 metres above floor level on the side elevations of the buildings
b) Any proposed front fencing where solid is no more than 1.2 metres in height, otherwise 50% transparent and no more than 1.5 metres in height unless approved on the POD or house plans.
c) Where adjoining a residential boundary, erect a screen fence along the common boundaries. The side boundary fences are to extend from the rear boundary to align with the front facade of the dwelling but shall not extend beyond the front boundary building setback. Unless an alternative design for the fence is agreed to with the owner of adjoining land, the screen fence is to be 1.8 metres in height and constructed from timber.
d) All balustrades that are visible from the street are to be 50% visually permeable
e) Landscaping at the front of each lot/ dwelling is to be provided at a minimum depth of 500mm along the front boundary and is to reinforce the dwelling entry and positively contribute to the streetscape.
f) Windows to be provided with adequate sun shading and weather protection.



- Legend
Covered carparking
Position indicative only
Laneway Lots
Possible built to boundary wall
Primary Frontage & Address
Secondary Frontage

APPROVED IN RED
21 MAR 2012
K McCall (name)
APPROVED IN RED
14 MAR 2012
K McCall (name)
PLANS AND DOCUMENTS referred to in the ULDA
Scale 1:1000 at A3
Minimum Carriageway width of 6metres

Width of lot frontage												
Villa Allotments		Villa Allotments		Courtyard Allotments		Traditional Allotments		Multi-Family Allotments		Terrace Allotments**		Urban Allotments**
10m-12.4m		12.5m-14.9m		15m-19.9m		20m+				4.5m-10m		4.5m-10m
Ground	First	Ground	First	Ground	First	Ground	First	Ground	First	Ground	First	Ground
Lots without lane												
2.4*	2.4	2.4*	2.4	2.4	2.4	2.4*	2.4	2.4*	2.4	2.4	2.4	1.5
Side												
- build to boundary												
0.0	1.0	0.0	1.0	0.0	1.0	0.0	1.0	0.0	1.0	0.0	1.0	0.0
- not build to boundary line												
0.9	0.9	1.0	1.0	1.0	1.5	1.2	2.0	1.2	2.0	NA	NA	0.9
Rear												
0.9	1.0	0.9	1.0	0.9	1.0	1.0	2.0	1.0	2.0	0.5	0.5	0.9
Secondary frontage												
1.5												
Park												
- side / rear to lane												
1.0 metre or minimum 0.0 metre to verandah/ balcony and 2.4 metres to wall												
Lots with lane												
2.4												
Primary frontage												
0.0												
Side / rear to lane												
1.0 metre or minimum 0.0 metre to verandah/ balcony and 2.4 metres to wall												
Side / rear to park												
1.2												
Secondary frontage												
4.5m to garage or carport door												
*** For additional indicative detail on the Laneway Terrace Product refer to the "My Place drawings - ULDD16F DD04.01 from Degnanhat Shield Architects"												
*** For additional indicative detail on the Urban Allotment Product refer to the "My Place drawings - 0724 B DD 00.01 from Degnanhat Shield Architects"												

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PROJECT
STAGE 4
ANDERGROVE UDA
MACKAY

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DEVELOPMENT
AUTHORITY

NOTES

ISSUE CODE	ISSUE DESCRIPTION	BY	CHK	DATE
1	PRIE LOT RECONFIGURATION	HW	HW	05.08.2012
2	PRIE LOT RECONFIGURATION	HW	HW	16.09.2012
3	PRIE ROAD DESIGN	HW	HW	22.09.2012
4	PRIE MOVED BUILT TO BAY WALL	HW	HW	29.09.2012
5	PRIE LAYOUT CHANGE	JS	JS	22.12.2011
6	PRIE TEXT CHANGE	JS	JS	29.07.2011
7	PRIE TEXT CHANGE	DE	HW	02.08.2011
8	PRIE TEXT CHANGE	JS	JS	04.11.2011
9	PRIE TEXT CHANGE	JS	JS	02.11.2011
10	PRIE TEXT CHANGE	JS	JS	02.12.2011
11	PRIE TEXT CHANGE	JS	JS	07.12.2011
12	PRIE TEXT CHANGE	JS	JS	15.12.2011

PRIE: Preliminary 1. CA: Concept Approval 1.1: Preliminary 1.2: Concept 1.3: Concept 1.4: Concept 1.5: Concept 1.6: Concept 1.7: Concept 1.8: Concept 1.9: Concept 1.10: Concept 1.11: Concept 1.12: Concept 1.13: Concept 1.14: Concept 1.15: Concept 1.16: Concept 1.17: Concept 1.18: Concept 1.19: Concept 1.20: Concept 1.21: Concept 1.22: Concept 1.23: Concept 1.24: Concept 1.25: Concept 1.26: Concept 1.27: Concept 1.28: Concept 1.29: Concept 1.30: Concept 1.31: Concept 1.32: Concept 1.33: Concept 1.34: Concept 1.35: Concept 1.36: Concept 1.37: Concept 1.38: Concept 1.39: Concept 1.40: Concept 1.41: Concept 1.42: Concept 1.43: Concept 1.44: Concept 1.45: Concept 1.46: Concept 1.47: Concept 1.48: Concept 1.49: Concept 1.50: Concept 1.51: Concept 1.52: Concept 1.53: Concept 1.54: Concept 1.55: Concept 1.56: Concept 1.57: Concept 1.58: Concept 1.59: Concept 1.60: Concept 1.61: Concept 1.62: Concept 1.63: Concept 1.64: Concept 1.65: Concept 1.66: Concept 1.67: Concept 1.68: Concept 1.69: Concept 1.70: Concept 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1.605: Concept 1.606: Concept 1.607: Concept 1.608: Concept 1.609: Concept 1.610:



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D E S I G N
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PROJECT
STAGE 5
ANDERGROVE UDA
MACKAY

CLIENT
URBAN LAND
DEVELOPMENT
AUTHORITY

NOTES

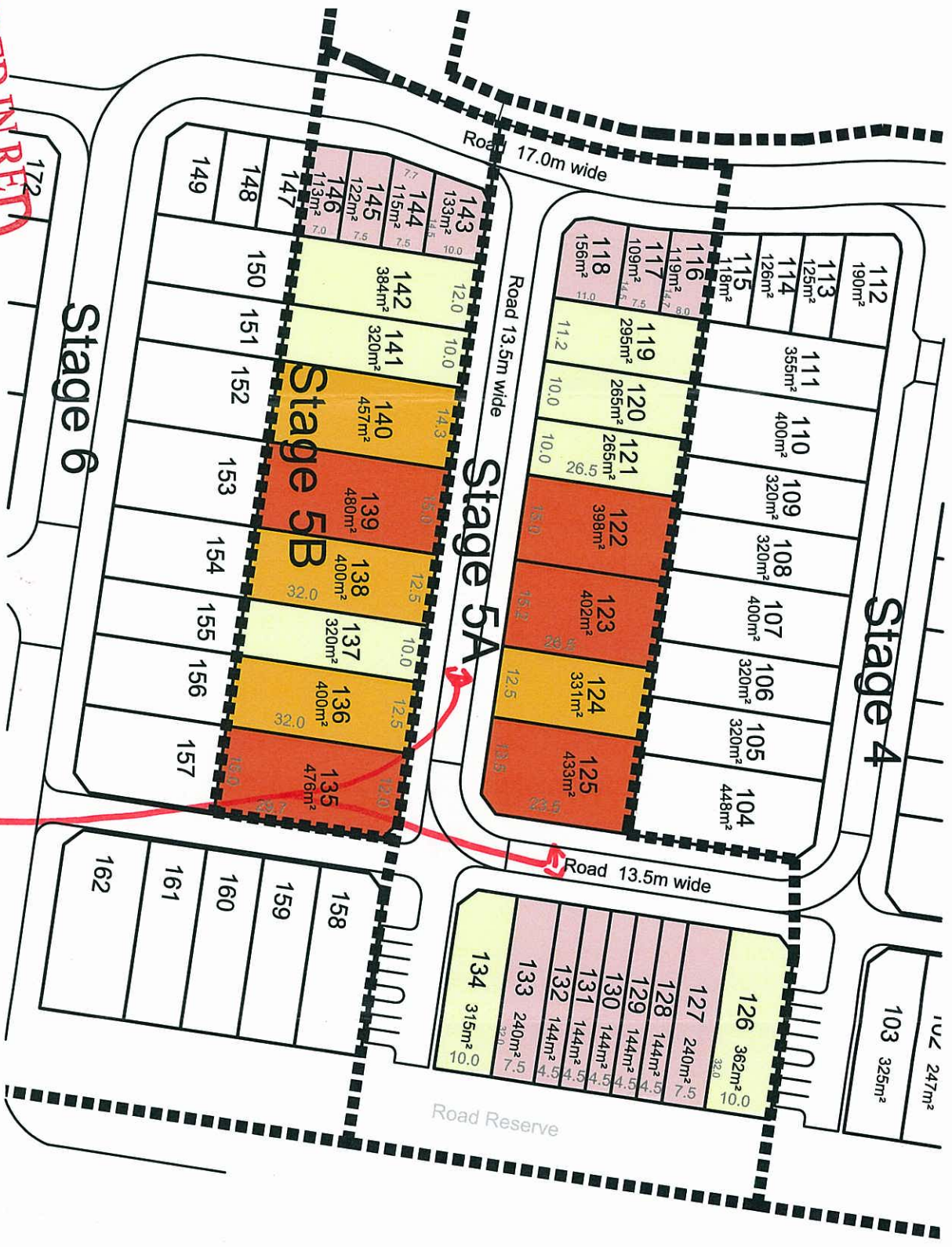
ISSUE CODE	ISSUE DESCRIPTION	BY	CHK	DATE
1	PRIE LOT RECONFIGURATION	TM	TM	08.09.2010
2	PRIE LOT RECONFIGURATION	TM	TM	16.09.2010
3	PRIE ROAD DESIGN	TM	TM	22.09.2010
4	PRIE LAYOUT CHANGES	JO	TM	05.01.2011
5	PRIE STAGE BOUNDARY EDIT	JO	TM	02.09.2011
6	PRIE TEXT CHANGES	JO	TM	22.12.2011

DRAWING TITLE
LOT RECONFIGURATION
LAYOUT FOR STAGE 5

DESIGN : CA
DOCUMENT : ULD23
PROJECT : ULD23
SCALE : 1:1000@A3

SHEET NUMBER : ULD23_SK01
REVISION : 6

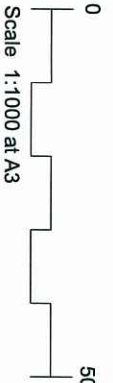
Development Statistics		
Area	Stage 5a	Stage 5b
Additional Road Reserve	4,373m ²	436m ²
Open Space	-	-
Total Area	9,002m ²	1.313ha
Area of Lots	4,651m ²	4,154m ²
Lot Mix and Yield		
Traditional (20m frontage)	0	0
Courtyard (15m frontage)	3	2
Villa (12.5 - 14.9m frontage)	1	3
Villa (10m - 12.4m frontage)	5	3
Terrace (4.5 - 9.9m frontage)	10	4
Total	19 dw	12 dw
Roads		
17m wide	40m	32m
13.5m wide	170m	-
6.5m Laneway	6m	-
13m Laneway and Parking	30m	-



AMENDED IN RED
21 MAR 2012
By: K McGill (name)
of the ULDA

Minimum
carriage way width of 6 metres

PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 21/3/12





PLACE
PLANNING
DESIGN
ENVIRONMENT

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PROJECT
STAGE 5
ANDERGROVE UDA
MACKAY

CLIENT
URBAN LAND
DEVELOPMENT
AUTHORITY

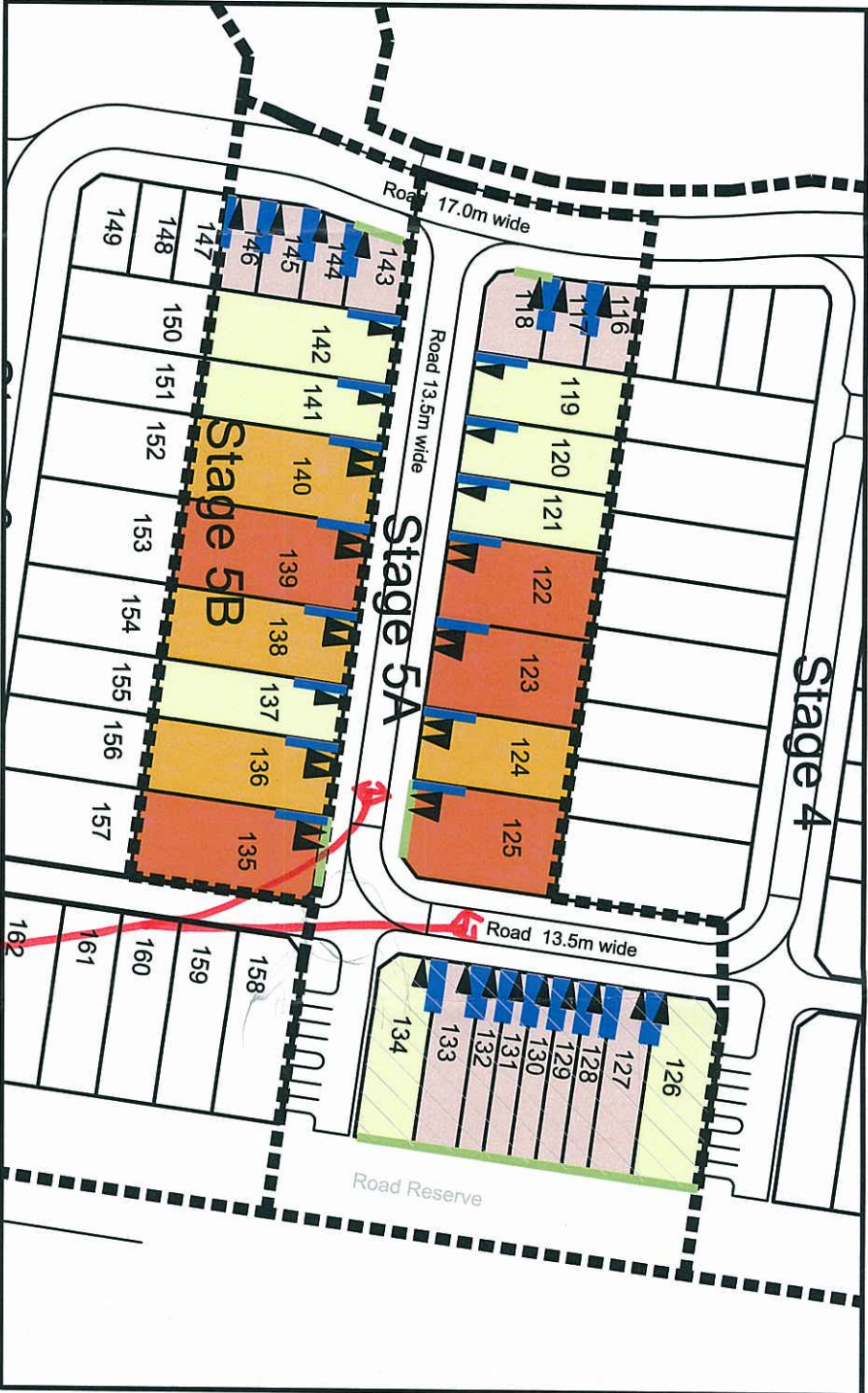
NOTES

ISSUE CODE	ISSUE DESCRIPTION	BY	CHK	DATE
1	PNE LOT RECONFIGURATION	TW	TW	08.09.2010
2	PNE LOT RECONFIGURATION	TW	TW	14.09.2010
3	PNE ROAD DESIGN	TW	TW	02.08.2010
4	PNE MOVED BUILD TO BEY MALL	TW	TW	05.08.2010
5	PNE LAYOUT CHANGE	DS	TS	02.12.2010
6	PNE TEXT CHANGE	DS	TS	09.07.2011
7	PNE TEXT CHANGE	DS	JH	02.08.2011
8	PNE TEXT CHANGE	DS	TS	05.11.2011
9	PNE TEXT CHANGE	DS	TS	07.11.2011
10	PNE TEXT CHANGE	DS	TS	02.12.2011

DRAWING TITLE
PLAN OF DEVELOPMENT
FOR STAGE 5

DESIGN : CA
DOCUMENT : ULD23
PROJECT : ULD23
SCALE : 1:1000@A3

SHEET NUMBER
ULD23_SK02



Legend

- Covered carparking
- Position indicative only
- Possible built to boundary wall
- Primary Frontage & Address

AMENDED IN RED
14 MAR 2012
By: K Mc Gill (name)
of the ULDA

AMENDED IN RED
21 MAR 2012
K Mc Gill (name)

Minimum Carriageway
width of 6 metres
PLANS AND DOCUMENTS
referred to in the ULDA
APPROVAL dated 21/3/12
Scale 1:1000 at A3

		Width of lot frontage									
		Villa Allotments 10m-12.4m	Villa Allotments 12.5m-14.9m	Courtyard Allotments 15m-19.9m	Traditional Allotments 20m+	Multi-Family Dwellings	Terrace Dwellings 4.5m-10m	Urban Lot Dwellings 4.5m-10m			
		Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor
Lots without lane		2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4*	2.4	2.4	1.5
Front (Primary)											
Side											
- build to boundary		0.0	1.0	0.0	1.0	0.0	1.0	0.0	1.0	0.0	0.0
- not built to boundary line		0.9	0.9	1.0	1.0	1.0	1.2	2.0	1.2	2.0	0.9
Rear											
- build to boundary		0.9	1.0	0.9	1.0	1.0	2.0	1.0	2.0	0.5	0.9
Secondary frontage											
Park											
- side / rear to lane											
Lots with lane											
Primary frontage											
Side / rear to lane											
Side / rear to park											
Secondary frontage											
*4.5m to garage or carport door											

Site Cover and Amenity

- Site cover of each lot is not to exceed 60% at ground level and 50% at the second level, except for where loft apartments are proposed. Urban lots should not exceed 85% of the lot area
- Private open space at ground level must not be less than 12m² and minimum dimension of 2.4m and with a maximum gradient not exceeding 1 in 10. Private amenity space for apartments/ units above ground level must not be less than 5m² which may be in the form of a balcony with a minimum dimension of 1.2m.
- Second storey verandas and windows are screened or obscured to a side boundary

Fencing & Landscaping

- Private Open Space on each lot is located for access to northern, north-easterly or eastern sunlight.
- Fencing of primary frontage is to be partially transparent with a maximum height of 1.5m. OR solid fencing with a maximum height of 1.2m.
- Fencing of lots adjoining Bedford Road are to be partially transparent with a maximum height of 1.5m. OR solid fencing with a maximum height of 1.2m. AND shall provide pedestrian gate/ access to public pathways on Bedford Road.
- Fences on corner lots should be designed as front fences addressing both streets (rather than a front and a side fence).

Buildings

- Buildings with a width of more than 10 metres that are visible from a street or a park should be articulated to reduce the mass of the building by:
 - windows recessed into the facade
 - balconies, porches or verandahs provided
 - window hoods provided
 - shadow lines created on the building through minor changes in the facade (100 millimetres minimum)

Infrastructure Contributions

- Infrastructure Contributions for Reconfiguring a Lot will be calculated in accordance with Mackay Regional Council's Planning Scheme Infrastructure Charges Policy. The payment will be made to the ULDA prior to survey plan endorsement.

Lots <250 m2

- Specified below are the approved house plan options for the lots < 250m²
Lots 116, 117, 144, 145, 146: Type C1, Type C2, Type E1, Type E2, Type E3, Type H1, Type H2
Lots 118 & 143: Type B, Type H1, Type H2
Lot 127-133: 4.5m Terrace
These house plans can be mirrored where the driveway location and built-to-boundary walls are consistent with the approved POD.

- Houses on lots less than 250m² to include the following:

- All second storey windows where within 9 metres of a habitable room or private open space of an adjoining lot are to have fixed, external privacy screens or fixed opaque glazing at a sill height less than 1.5 metres above floor level on the side elevations of the buildings
- Any proposed front fencing where solid is no more than 1.2 metres in height, otherwise 50% transparent and no more than 1.5 metres in height unless approved on the POD or house plans.
- Where adjoining a residential boundary, erect a screen fence along the common boundaries. The side boundary fences are to extend from the rear boundary to align with the front facade of the dwelling but shall not extend beyond the front boundary building setback. Unless an alternative design for the fence is agreed to with the owner of adjoining land, the screen fence is to be 1.8 metres in height and constructed from timber.
- All balustrades that are visible from the street are to be 50% visually permeable
- Landscaping at the front of each lot/ dwelling is to be provided at a minimum depth of 500mm along the front boundary and is to reinforce the dwelling entry and positively contribute to the streetscape.
- Windows to be provided with adequate sun shading and weather protection.

NOTES

- General
- Maximum building height is 2 storeys.

Orientation

- Dwelling entrances are to be clearly defined and articulated to address the Primary Street Frontage.
- Garages are to be located on southern or western boundary of lot where possible to maximise the solar access from the north-easterly direction.

Setbacks

- Setbacks are as per the Building Setback Table unless otherwise specified.
- Built to boundary walls are recommended where road frontage widths are less than 15 metres. Built to boundary walls are optional for lots with road frontage widths equal or in excess of 15 metres. Where Built to Boundary walls are not adopted, side setbacks shall be in accordance with the Building Setback Table.
- Built to boundary walls are to have a maximum length of 9 metres and a maximum height of 3.5 metres unless where located on a terrace lot.
- Boundary setbacks are measured to the walls of the structure.
- Eaves should not encroach (other than where buildings are built to a zero lot line) closer than 300mm to the lot boundary.
- First floor on single and multi-family lots must be built to meet the minimum first floor setbacks.
- Lane way garage setback is a maximum of 1.0m.
- For Urban lot typologies, open balconies may project forward of the minimum front setback to 0.5m from the front property boundary.

Car Parking & Driveways

- No vehicular access to Bedford Road
- Minimum of 1 covered on-site car parking space is to be provided for each dwelling.
- Garages are to be recessed behind the main building line except where on laneways.
- For Conventional allotments (not Lane way Allotments) the following applies:
 - Double garages will not be permitted on single storey dwellings on a lot less than 12.5m wide
 - Double garages will not be permitted on any lot less than 10.0m wide
- Double garages may be permitted on a lot 10.0m, + wide and less than 12.5m wide where the dwellings is more than one storey in height, and where:
 - The garage is setback at least 1m behind the main face, excluding balconies, of the dwelling AND
 - The garage doors are articulated, comprise a mix of materials and colours, or are staggered
- The maximum width of a driveway:
 - Serving a double garage shall be: 4.8m at the lot boundary
 - Serving a single garage shall be 3.0m at the lot boundary
 - On lots with a frontage of less than 12.5 metres:
 - The maximum width of a garage shall be no more than 40% of the lot frontage
 - tandem parking with a setback from the property boundary to the garage of 5.5 metres is required
 - double width garages are not permitted.
- A maximum of one driveway per dwelling is permitted, except in the case of Lot 78 where an additional driveway may be permitted to access an additional dwelling.
- Driveways should avoid on-street works such as dedicated on-street parking bays, drainage pits and service pillars
- The minimum distance of a driveway from an intersection of one street with another street shall be 6.0 metres
- The minimum distance between driveways on the same lot shall be 3.0 metres at the boundary, except in the case of Lane way Allotments where driveways to Loft Homes can be combined with driveways to parking spaces for other dwellings on the same lot.
- Garages served off a Lane way must be built to meet the minimum 1.0 metre Rear Setback