

The floor plan illustrates a building layout with the following key features:

- Grid Lines:** Horizontal grid lines A through E and vertical grid lines 13870 through 5655.
- Parking & Signage:** Located at the top left, with a note "PARKING & SIGNAGE: UPGRADED PAV. TYP. SCOR 000023".
- Diesel Storage and Pump Room:** Highlighted in red, containing "TANK 6KL" and "TANK 3KL".
- Shuttle Lift Pit:** Located adjacent to the Diesel Storage and Pump Room.
- Ramp:** A ramp labeled "RAMP UP 1:1.5" and "RAMP UP 1:16.1".
- Grease Arrestor:** Located on the right side of the plan.
- Fire Lobby:** Located on the right side, with a "FIRE" label.
- Stair:** Located on the right side, with a "STAIR" label.
- Store:** Located at the bottom left, with a "STORE" label.
- Conveyor:** A "CONVEYOR" is shown with a note "WARNING - TO BE INSTALLED".
- Temporary Crane Location:** Indicated by a dashed line and a note "7200 - CRANE".
- Property Line:** The building is enclosed by a "PROPERTY LINE".
- Dimensions:** Various dimensions are provided, such as "6000", "7200", "1000", "1500", "1800", "2000", "2500", "3000", "3500", "4000", "4500", "5000", "5500", "6000", "6500", "7000", "7500", "8000", "8500", "9000", "9500", "10000", "10500", "11000", "11500", "12000", "12500", "13000", "13500", "14000", "14500", "15000", "15500", "16000", "16500", "17000", "17500", "18000", "18500", "19000", "19500", "20000", "20500", "21000", "21500", "22000", "22500", "23000", "23500", "24000", "24500", "25000", "25500", "26000", "26500", "27000", "27500", "28000", "28500", "29000", "29500", "30000", "30500", "31000", "31500", "32000", "32500", "33000", "33500", "34000", "34500", "35000", "35500", "36000", "36500", "37000", "37500", "38000", "38500", "39000", "39500", "40000", "40500", "41000", "41500", "42000", "42500", "43000", "43500", "44000", "44500", "45000", "45500", "46000", "46500", "47000", "47500", "48000", "48500", "49000", "49500", "50000", "50500", "51000", "51500", "52000", "52500", "53000", "53500", "54000", "54500", "55000", "55500", "56000", "56500", "57000", "57500", "58000", "58500", "59000", "59500", "60000", "60500", "61000", "61500", "62000", "62500", "63000", "63500", "64000", "64500", "65000", "65500", "66000", "66500", "67000", "67500", "68000", "68500", "69000", "69500", "70000", "70500", "71000", "71500", "72000", "72500", "73000", "73500", "74000", "74500", "75000", "75500", "76000", "76500", "77000", "77500", "78000", "78500", "79000", "79500", "80000", "80500", "81000", "81500", "82000", "82500", "83000", "83500", "84000", "84500", "85000", "85500", "86000", "86500", "87000", "87500", "88000", "88500", "89000", "89500", "90000", "90500", "91000", "91500", "92000", "92500", "93000", "93500", "94000", "94500", "95000", "95500", "96000", "96500", "97000", "97500", "98000", "98500", "99000", "99500", "100000".

NOTES:

- REFER TO 'EXTERNAL FINISHES SCHEDULE', 'FIXTURES & FITTINGS SCHEDULE'
- REFER TO FACADE ENGINEERS DOCUMENTATION FOR FURTHER DETAILS.
- REFER TO 'PAINT, SEALERS & PROTECTIVE COATS SCHEDULE'
- REFER TO 'CONCRETE & MASONRY SCHEDULE'

AMENDED IN RED

By: M. Bais

Date: 10 November 2021


Queensland
Government

Approval no: DEV2021/1211
Date: 11/11/2021

FOR CONSTRUCTION



CREDIT SUISSE

JGL
PROPERTIES



BlightRayner

Consultants
Architect
Blight Bayner
Structural Engineer
Floth
Structural Engineer
Robert Bird Group
London
McKenzie Group Consulting

Project Name
JUBILEE PLACE
Project Address
470 ST PAULS TERRACE, FORTITUDE VALLEY QLD 4006

Sheet Name
BASEMENT 03 - GENERAL ARRANGEMENT PLAN

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Project No.
16008
Drawing No.
20.00
Revision
12

Date
210709
Drawn by
JC
Checked by
JB

Scale
@A1 1 : 100
@A3 1 : 200



0 1 3 5

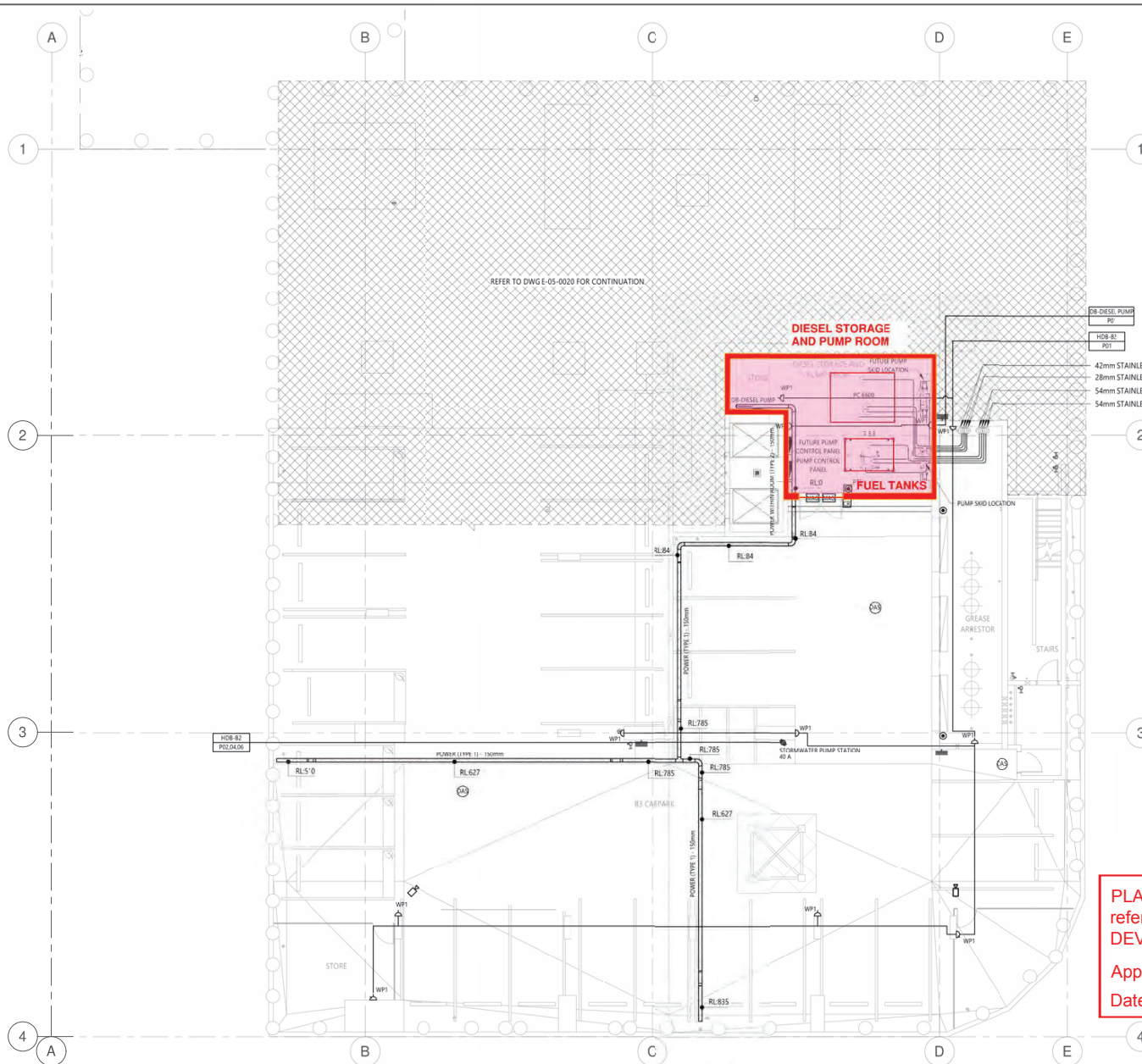
- NOTE:
1. VENT PIPE WORK TO HAVE 1:100 FALL BACK TO THE TANK.
 2. ALL OTHER DIESEL FUEL PIPES TO MAINTAIN WHERE POSSIBLE 1:200 FALL.

ONLY AREAS IN RED SUBJECT TO THIS APPROVAL

AMENDED IN RED

By: M. Bais

Date: 10 November 2021



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2021/1211

Date: 11/11/2021



B3 POWER COMMUNICATIONS AND SECURITY SERVICES LAYOUT

FOR CONSTRUCTION

SCALE: A1 SHEET 1:100, A3 SHEET 1:200

REV	DESCRIPTION	DATE	BY	CHKD
14	CONSTRUCTION ISSUE	24.09.20	JD	JM
15	CONSTRUCTION ISSUE	12.10.20	JD	JM
16	CONSTRUCTION ISSUE	05.11.20	JD	JM
17	CONSTRUCTION ISSUE	25.11.20	JD	JM
18	CONSTRUCTION ISSUE	07.12.20	JD	JM
19	CONSTRUCTION ISSUE	25.06.21	JD	JM

CLIENT

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PO Box 10 Cannon Hill
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WALKERBAI CONSULTING

ABN 22 604 425 989

WALKERBAI CONSULTING

www.walkerbai.com

PROJECT	
JUBILEE HOTEL REDEVELOPMENT 470 St Pauls Terrace Fortitude Valley QLD 4006	
DATE	JUN-2021
DESIGNED	JD
SCALE	1 : 100
DRAWN	JM
SHEET SIZE	A1
CHECKED	JM

DRAWING TITLE		
B3 POWER COMMUNICATIONS AND SECURITY SERVICES LAYOUT		
PROJECT NO.	DRAWING NO.	REVISION
WB1133-001	E-05-0010	19

CARPARKING NUMBERS	SMALL	NORMAL	M/C	TOTAL CARS
LOWER GROUND	-	2	-	2
BASEMENT 01	6	28 (201 PARKS)	9	34 (201 PARKS)
BASEMENT 02	8	34	11	42
BASEMENT 03	5	18	3	23
TOTAL	19	82	23	101 (201 PARKS)

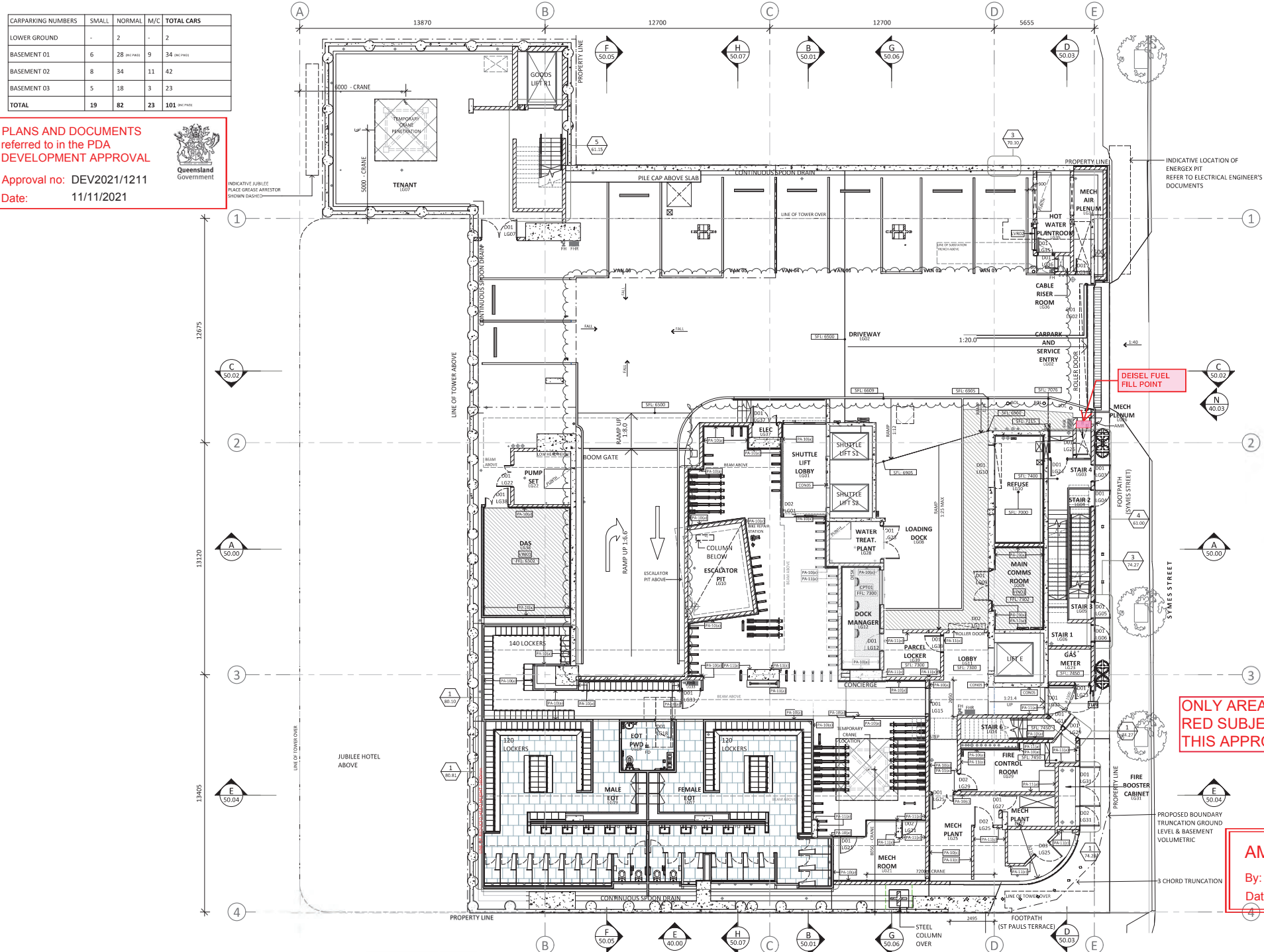
PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2021/1211

Date: 11/11/2021



INDICATIVE JUBILEE PLACE GREASE ARRESTOR SHOWN DASHED



KEYNOTE LEGEND	
KEY VALUE	DESCRIPTION
BOL	BOLLARD
CPT01	CARPET TYPE 01
FD	FLOOR DRAIN
FH	FIRE HYDRANT
FHR	FIRE HOSE KRAVEEL
VIN01	

NOTES:
• REFER TO 'EXTERNAL FINISHES SCHEDULE', 'FIXTURES & FITTINGS SCHEDULE'
• REFER TO 'FACADE ENGINEERS DOCUMENTATION FOR FURTHER DETAILS'
• REFER TO 'PAINT, SEALERS & PROTECTIVE COATS SCHEDULE'
• REFER TO 'CONCRETE & MASONRY SCHEDULE'

END OF TRIP QUANTITIES (CURRENT)	
SHOWERS	16
LOCKERS	380 (380 REQUIRED)
(A) BIKES PARKS - THE ARC	52 (28 x 2)
(B) BIKES PARKS - THE CRADLE	52
(C) BIKES PARKS - THE VIRGIL	0
(D) BIKES PARKS - THE HALO	2 (1 x 2)
(E) BIKES PARKS - THE WISHBONE	2 (1 x 2)
BIKE PARKS TOTAL	108 (108 REQUIRED)
BIKE REPAIRS - TOOLS & AIR PUMP	1
VISITOR BIKES PARKS	24 (REFER TO GROUND FLOOR)

BIKE PARKING CLEARANCES
A) THE ARC - 2700 HEIGHT CLEARANCE, 2000 CIRCULATION REQUIRED



B) THE CRADLE - 2250 HEIGHT CLEARANCE, 1500 CIRCULATION REQUIRED



B) THE VIRGIL - 1900 HEIGHT CLEARANCE, 1500 CIRCULATION REQUIRED



B) THE HALO - 2400 HEIGHT CLEARANCE, 1500 CIRCULATION REQUIRED



B) THE WISHBONE - 2300 HEIGHT CLEARANCE, 1500 CIRCULATION REQUIRED



ONLY AREAS IN RED SUBJECT TO THIS APPROVAL

AMENDED IN RED

By: M. Bais
Date: 10 November 2021



FOR CONSTRUCTION

Rev Description	Date	By
17 FOR CONSTRUCTION	200911	AC
18 BASEMENT DOORS	200911	
14 FOR CONSTRUCTION	201009	CL
15 FOR CONSTRUCTION	201104	
16 FOR CONSTRUCTION	201110	
17 FOR CONSTRUCTION	201110	
18 FOR CONSTRUCTION	201112	
19 FOR CONSTRUCTION	201212	
20 FOR CONSTRUCTION - LINE MARKING	201212	



Consultants
BlightRayner
Robert B. B. Group
McKenzie Group Consulting

Project Name
JUBILEE PLACE
Project Address
470 ST PAULS TERRACE, FORTITUDE VALLEY QLD 4006

Sheet Name
LOWER GROUND - GENERAL ARRANGEMENT PLAN

Scale
1:100
1:200

Project No.
16008
Drawing No.
20.03
Revision
20

Date
201709
Drawn by
JC
Checked by
JB

@A1 1:100
@A3 1:200
0 1 3 5

KEYNOTE LEGEND	
KEY VALUE	DESCRIPTION
REFER TO EXTERNAL FINISHES SCHEDULE, FIXTURES & FITTINGS SCHEDULE AND FACADE ENGINEERS DOCUMENTATION FOR FURTHER DETAILS.	

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2021/1211
Date: 11/11/2021

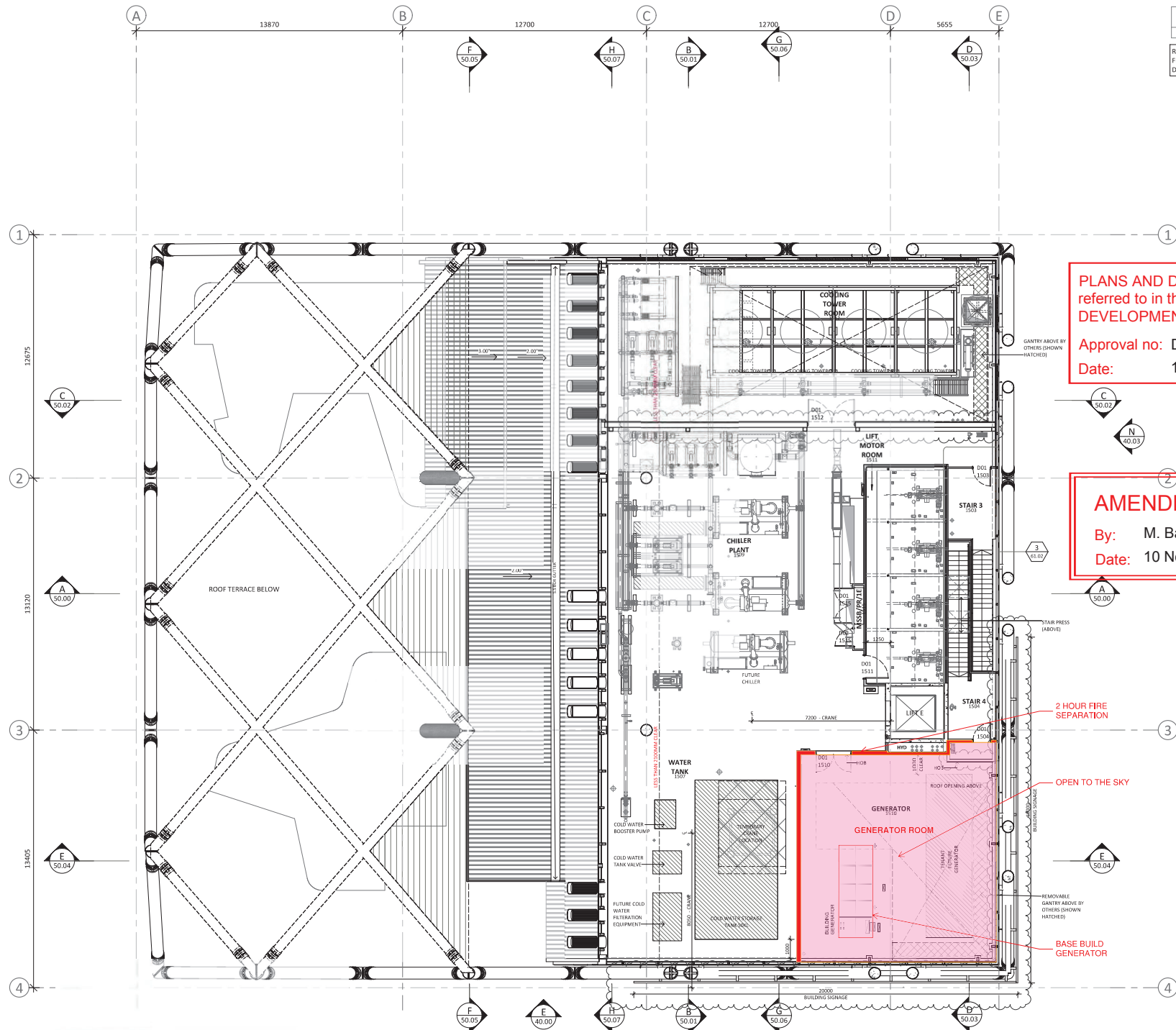


AMENDED IN RED

By: M. Bais
Date: 10 November 2021



**ONLY AREAS IN
RED SUBJECT TO
THIS APPROVAL**



FOR CONSTRUCTION

Rev	Description	Date	By
1	FOR INFORMATION	20/01/21	JC
2	FOR INFORMATION	20/06/21	JC
3	FOR INFORMATION	20/07/21	JC
4	FOR INFORMATION	20/07/21	JC
5	FOR INFORMATION	20/07/21	JC
6	FOR INFORMATION	20/07/21	JC
7	FOR INFORMATION	20/07/21	JC
8	FOR INFORMATION	20/07/21	JC
9	FOR INFORMATION	20/07/21	JC
10	FOR INFORMATION	20/07/21	JC
11	FOR INFORMATION	20/07/21	JC
12	FOR INFORMATION	20/07/21	JC



Consultants
BlightRayner
Robert B. & G. Group
McKenzie Group Consulting

Project Name
JUBILEE PLACE
Project Address
470 ST PAULS TERRACE, FORTITUDE VALLEY QLD 4006

Sheet Name
PLANT ROOF - GENERAL ARRANGEMENT PLAN

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Project No.
16008
Drawing No.
20.12
Revision
12

Date
21/06/20
Drawn by
JC
Checked by
JB

Scale
@A1 1:100
@A3 1:200
0 1 3 5
Scale: 1:200

NOTES:
1. CAMERA TO BE BLACK

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2021/1211

Date: 11/11/2021



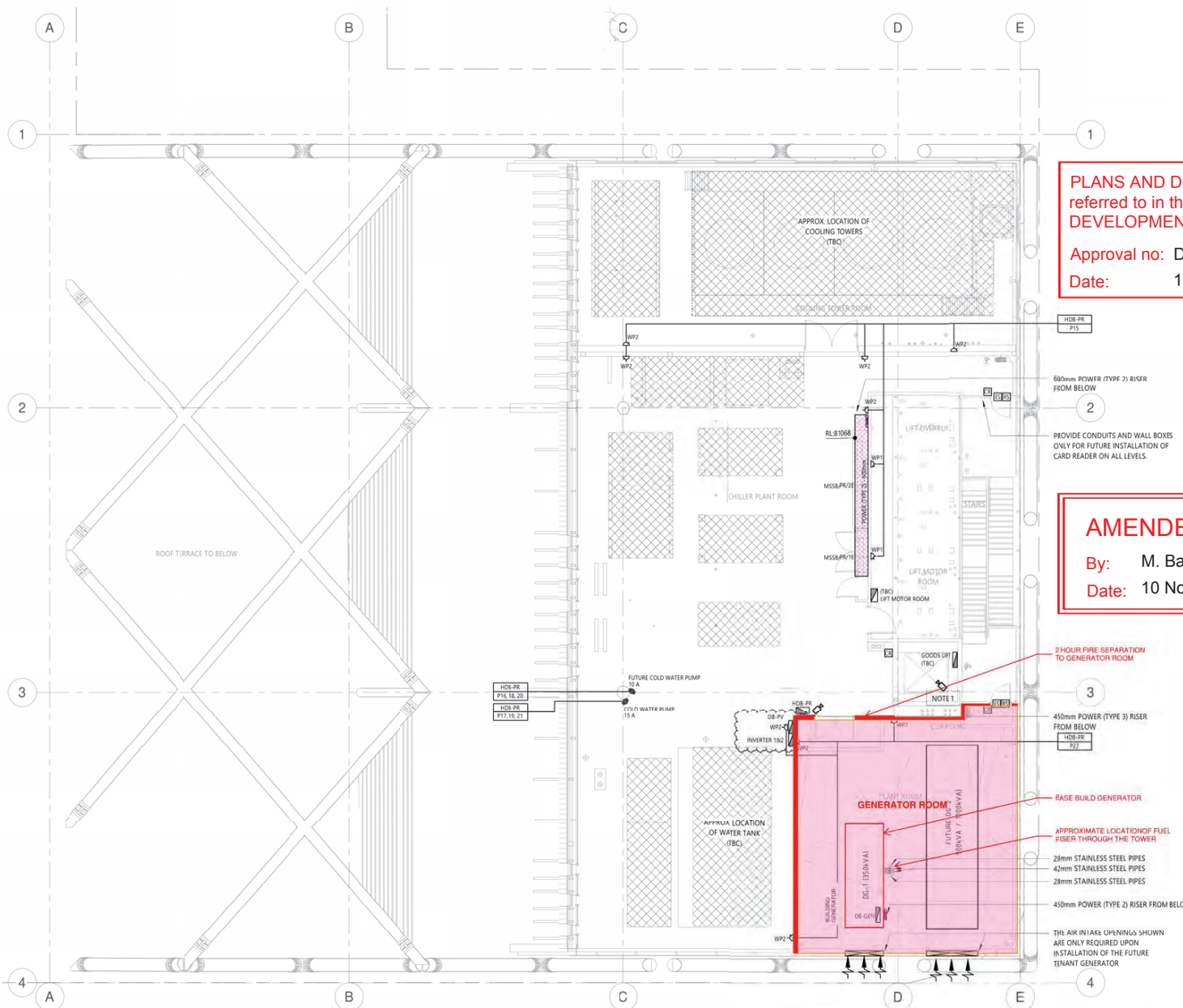
AMENDED IN RED

By: M. Bais

Date: 10 November 2021



ONLY AREAS IN
RED SUBJECT TO
THIS APPROVAL



SCALE: A1 SHEET 1:100, A3 SHEET 1:200
0 1 2 3 4 5 6 7 8 9 10 m

PLANT ROOF LEVEL PCWER COMMUNICATIONS AND SECURITY SERVICES LAYOUT
RT: 77875mm

FOR CONSTRUCTION

REV	DESCRIPTION	DATE	BY	CHKD
08	CONSTRUCTION ISSUE	22.10.20	JD	JM
09	FOR REVIEW	30.11.20	JD	JM
10	FOR REVIEW	09.06.21	JD	JM
11	CONSTRUCTION ISSUE	01.07.21	JD	JM

CLIENT

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PROJECT	
JUBILEE HOTEL REDEVELOPMENT 470 St Pauls Terrace Fortitude Valley QLD 4006	
DATE	JUL-2021
DESIGNED	JD
SCALE	1 : 100
DRAWN	JM
SHEET SIZE	A1
CHECKED	JM

DRAWING TITLE		
PLANT ROOF LEVEL POWER COMMUNICATIONS AND SECURITY SERVICES LAYOUT		
PROJECT NO.	DRAWING NO.	REVISION
WB1133-001	E-05-2150	11