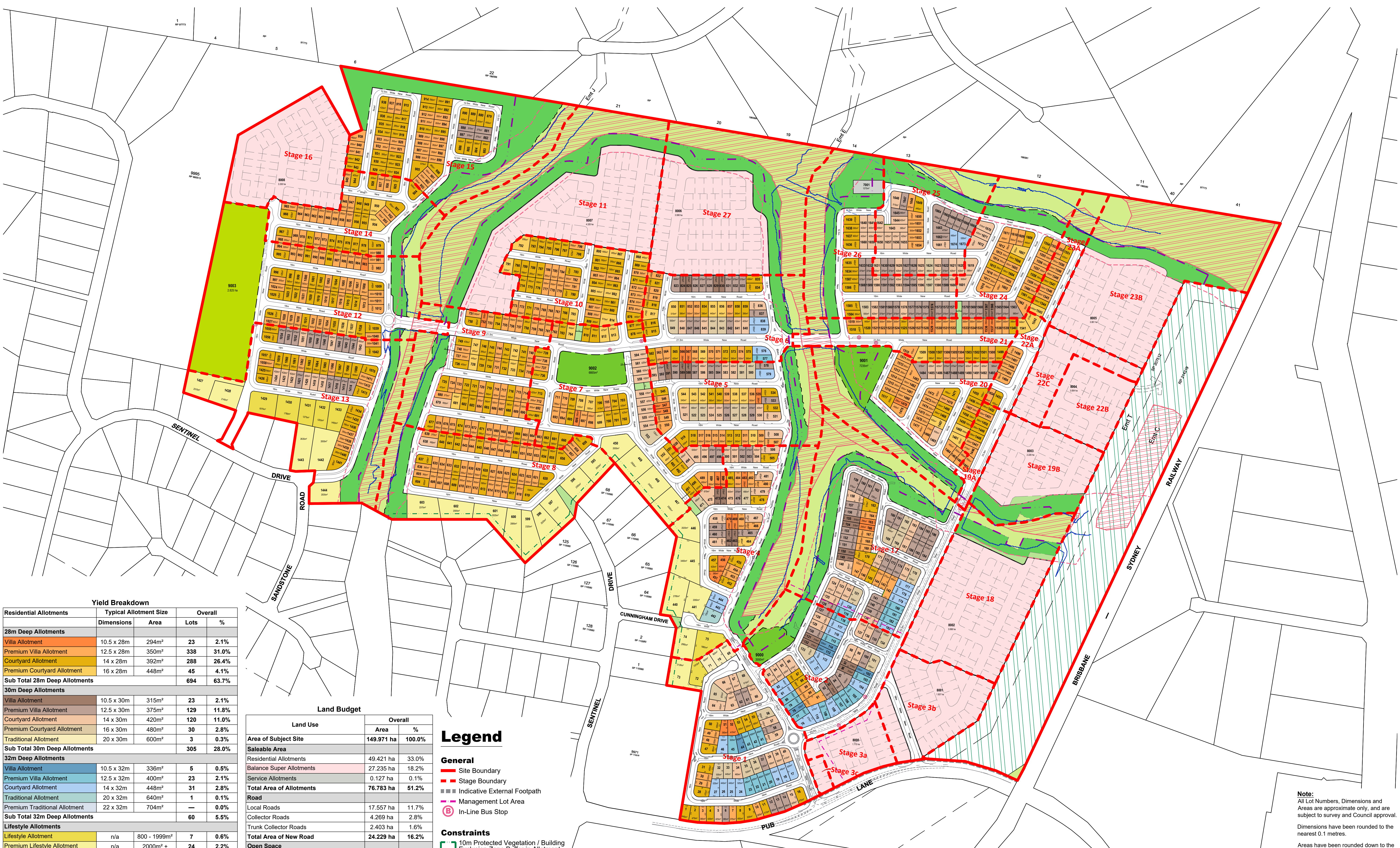




Yield Breakdown				
Residential Allotments	Typical Allotment Size	Overall		
	Dimensions	Area	Lots	%
28m Deep Allotments				
Villa Allotment	10.5 x 28m	294m ²	23	2.1%
Premium Villa Allotment	12.5 x 28m	350m ²	338	31.0%
Courtyard Allotment	14 x 28m	392m ²	288	26.4%
Premium Courtyard Allotment	16 x 28m	448m ²	45	4.1%
Sub Total 28m Deep Allotments			694	63.7%
30m Deep Allotments				
Villa Allotment	10.5 x 30m	315m ²	23	2.1%
Premium Villa Allotment	12.5 x 30m	375m ²	129	11.8%
Courtyard Allotment	14 x 30m	420m ²	120	11.0%
Premium Courtyard Allotment	16 x 30m	480m ²	30	2.8%
Traditional Allotment	20 x 30m	600m ²	3	0.3%
Sub Total 30m Deep Allotments			305	28.0%
32m Deep Allotments				
Villa Allotment	10.5 x 32m	336m ²	5	0.5%
Premium Villa Allotment	12.5 x 32m	400m ²	23	2.1%
Courtyard Allotment	14 x 32m	448m ²	31	2.8%
Traditional Allotment	20 x 32m	640m ²	1	0.1%
Premium Traditional Allotment	22 x 32m	704m ²	—	0.0%
Sub Total 32m Deep Allotments			60	5.5%
Lifestyle Allotments				
Lifestyle Allotment	n/a	800 - 1999m ²	7	0.6%
Premium Lifestyle Allotment	n/a	2000m ² +	24	2.2%
Sub Total Lifestyle Allotments			31	2.8%
Total Residential Allotments			1090	100%
Super Lots				
Service Allotments			1	
Balance Super Allotments			9	

Land Budget		
Land Use	Area	%
Area of Subject Site	149.971 ha	100.0%
Saleable Area		
Residential Allotments	49.421 ha	33.0%
Balance Super Allotments	27.235 ha	18.2%
Service Allotments	0.127 ha	0.1%
Total Area of Allotments		76.783 ha
Road		
Local Roads	17.557 ha	11.7%
Collector Roads	4.269 ha	2.8%
Trunk Collector Roads	2.403 ha	1.6%
Total Area of New Road		24.229 ha
Open Space		
District Sports Park	2.825 ha	1.9%
Linear Open Space (Active)	13.810 ha	9.2%
Linear Open Space (Conservation)	19.558 ha	13.0%
Neighbourhood Recreation Park	1.744 ha	1.2%
Pedestrian Linkage / Landscape Treatment	0.456 ha	0.3%
Existing Easement	10.566 ha	7.0%
Total Open Space		48.959 ha

Legend

General

- Site Boundary
- Stage Boundary
- Indicative External Footpath
- Management Lot Area
- In-Line Bus Stop

Constraints

- 10m Protected Vegetation / Building Exclusion Zone Buffer in Allotment
- Retained Remnant Endangered Regional Ecosystem
- 33m Buffer to Remnant Endangered Regional Ecosystem
- 33m Bushfire Setback
- Developed 1% AEP
- 50m Buffer to Sewer Pump Station

PLANS AND DOCUMENTS referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2012/284/51

Date: 15 October 2021



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Property Group

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Note:
All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m². The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
Site boundaries: Land Partners.
Adjoining information: DCDB.
Contours: Calibre.
Developed 1% AEP: Calibre.

COVELLA
PLAN OF SUBDIVISION
OVERALL ALLOTMENT LAYOUT
APPLICATION 1 (AMENDMENT)

Land Budget

Land Use	Stage 1	Stage 2	Stage 3	Stage 4	Stage 5	Stage 6	Stage 7	Stage 8	Stage 9	Stage 10	Stage 11	Stage 12	Stage 13	Stage 14	Stage 15	Stage 16	Stage 17	Stage 18	Stage 19A	Stage 19B	Stage 20	Stage 21	Stage 22A	Stage 22B	Stage 22C	Stage 23A	Stage 23B	Stage 24	Stage 25	Stage 26	Stage 27	No Stage	Overall		
Area of Subject Site	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	%	
Saleable Area	5.528 ha	4.370 ha	4.007 ha	6.947 ha	4.460 ha	4.232 ha	6.196 ha	6.021 ha	4.913 ha	3.310 ha	8.253 ha	7.124 ha	7.130 ha	3.148 ha	6.446 ha	3.330 ha	7.396 ha	5.197 ha	0.765 ha	2.966 ha	5.087 ha	2.377 ha	0.901 ha	1.663 ha	1.341 ha	1.062 ha	6.654 ha	3.616 ha	3.444 ha	4.720 ha	6.765 ha	10.602 ha	149,9710 ha	100.0%	
Residential Allotments	3.534 ha	2.344 ha	—	3.304 ha	2.455 ha	2.428 ha	3.644 ha	4.044 ha	2.684 ha	2.486 ha	—	2.274 ha	4.145 ha	1.663 ha	2.328 ha	—	2.818 ha	—	0.310 ha	—	1.883 ha	1.305 ha	0.386 ha	—	—	0.371 ha	—	1.646 ha	1.673 ha	1.696 ha	—	—	49.421 ha	33.0%	
Balance Super Allotments	—	—	3.712 ha	—	—	—	—	—	—	—	—	4.320 ha	—	—	—	3.330 ha	—	3.998 ha	—	2.220 ha	—	—	—	1.663 ha	1.341 ha	—	3.061 ha	—	—	—	3.590 ha	—	27.235 ha	18.2%	
Service Allotments	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.127 ha	—	0.127 ha	0.1%		
Total Area of Allotments	3.534 ha	2.344 ha	3.712 ha	3.304 ha	2.455 ha	2.428 ha	3.644 ha	4.044 ha	2.684 ha	2.486 ha	4.320 ha	2.274 ha	4.145 ha	1.663 ha	2.328 ha	3.330 ha	2.818 ha	3.998 ha	0.310 ha	2.220 ha	1.883 ha	1.305 ha	0.386 ha	1.663 ha	1.341 ha	0.371 ha	3.061 ha	1.646 ha	1.673 ha	1.823 ha	3.590 ha	—	76.783 ha	51.2%	
Road																																			
Local Roads	1.262 ha	0.631 ha	0.295 ha	0.880 ha	0.797 ha	0.602 ha	1.446 ha	1.160 ha	0.808 ha	0.824 ha	—	1.079 ha	1.092 ha	0.925 ha	1.103 ha	—	1.098 ha	—	0.029 ha	—	0.872 ha	0.054 ha	0.066 ha	—	—	0.276 ha	—	0.813 ha	0.718 ha	0.727 ha	—	—	17.557 ha	11.7%	
Collector Roads	0.361 ha	—	—	0.605 ha	0.234 ha	0.623 ha	0.369 ha	—	0.387 ha	—	—	0.323 ha	0.505 ha	—	—	—	—	—	—	—	0.836 ha	0.026 ha	—	—	—	—	—	—	—	—	—	—	4.269 ha	2.8%	
Trunk Collector Roads	0.371 ha	0.592 ha	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.591 ha	—	0.426 ha	—	—	0.423 ha	—	—	—	—	—	—	—	—	—	—	2.403 ha	1.6%	
Total Area of New Road	1.994 ha	1.223 ha	0.295 ha	1.485 ha	1.031 ha	1.225 ha	1.815 ha	1.160 ha	1.195 ha	0.824 ha	—	1.402 ha	1.597 ha	0.925 ha	1.103 ha	—	1.689 ha	—	0.455 ha	—	0.872 ha	0.890 ha	0.515 ha	—	—	0.276 ha	—	0.813 ha	0.718 ha	0.727 ha	—	—	24.229 ha	16.2%	
Open Space																																			
District Sports Park	—	—	—	—	—	—	—	—	—	—	—	2.825 ha	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	2.825 ha	1.9%		
Linear Open Space (Active)	—	0.167 ha	—	0.755 ha	0.452 ha	0.226 ha	—	0.432 ha	0.463 ha	—	1.377 ha	0.282 ha	0.622 ha	0.261 ha	2.224 ha	—	1.088 ha	0.465 ha	—	0.649 ha	0.569 ha	0.057 ha	—	—	—	0.094 ha	0.624 ha	0.343 ha	0.525 ha	1.067 ha	1.068 ha	—	13.810 ha	9.2%	
Linear Open Space (Conservation)	—	0.281 ha	—	1.342 ha	0.522 ha	0.353 ha	—	0.309 ha	0.571 ha	—	2.556 ha	0.341 ha	0.766 ha	0.299 ha	0.791 ha	—	1.801 ha	0.603 ha	—	0.036 ha	1.040 ha	0.097 ha	—	—	—	0.321 ha	2.969 ha	0.786 ha	0.528 ha	1.103 ha	2.107 ha	0.036 ha	19.558 ha	13.0%	
Neighbourhood Recreation Park	—	0.355 ha	—	—	—	—	0.666 ha	—	—	—	—	—	—	—	—	—	—	—	—	—	0.723 ha	—	—	—	—	—	—	—	—	—	—	—	1.744 ha	1.2%	
Pedestrian Linkage / Landscape Treatment	—	—	—	0.061 ha	—	—	0.071 ha	0.076 ha	—	—	—	—	—	—	—	—	—	0.131 ha	—	0.061 ha	—	0.028 ha	—	—	—	—	0.028 ha	—	—	—	—	—	—	0.456 ha	0.3%
Existing Easement	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	10.566 ha	7.0%			
Total Open Space	—	0.803 ha	—	2.158 ha	0.974 ha	0.579 ha	0.737 ha	0.817 ha	1.034 ha	—	3.933 ha	3.448 ha	1.388 ha	0.560 ha	3.015 ha	—	2.889 ha	1.199 ha	—	0.746 ha	2.332 ha	0.182 ha	—	—	—	0.415 ha	3.593 ha	1.157 ha	1.053 ha	2.170 ha	3.175 ha	10.602 ha	48.959 ha	32.6%	

Yield Breakdown

Residential Allotments			Typical Allotment Size		Stage 1	Stage 2	Stage 3	Stage 4	Stage 5	Stage 6	Stage 7	Stage 8	Stage 9	Stage 10	Stage 11	Stage 12	Stage 13	Stage 14	Stage 15	Stage 16	Stage 17	Stage 18	Stage 19A	Stage 19B	Stage 20	Stage 21	Stage 22A	Stage 22B	Stage 22C	Stage 23A	Stage 23B	Stage 24	Stage 25	Stage 26	Stage 27	Overall		
	Dimensions	Area	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	%	
28m Deep Allotments																																						
Villa Allotment	10.5 x 28m	294m²	2	—	—	5	3	2	3	—	1	—	—	1	—	—	—	—	—	2	—	—	—	—	1	3	—	—	—	—	—	—	—	—	—	23	2.1%	
Premium Villa Allotment	12.5 x 28m	350m²	7	3	—	7	13	12	15	36	38	24	—	33	9	23	24	—	—	9	—	—	4	—	23	21	6	—	—	—	6	—	19	6	—	—	338	31.0%
Courtyard Allotment	14 x 28m	392m²	14	2	—	6	9	15	25	19	26	30	—	24	22	17	32	—	3	—	4	—	8	10	1	—	—	—	3	—	7	1	10	—	—	288	26.4%	
Premium Courtyard Allotment	16 x 28m	448m²	—	—	—	1	6	5	7	—	5	9	—	2	—	2	—	—	—	—	—	—	—	—	3	1	2	—	—	—	1	—	1	—	—	45	4.1%	
Sub Total 28m Deep Allotments			23	5	—	19	31	34	50	55	70	63	—	60	31	42	56	—	14	—	8	—	35	35	9	—	—	—	10	—	27	7	10	—	694	63.7%		
30m Deep Allotments																																						
Villa Allotment	10.5 x 30m	315m²	—	5	—	4	3	4	—	—	—	—	—	—	—	—	—	—	—	—	4	—	—	—	—	—	—	—	—	—	—	2	—	1	—	23	2.1%	
Premium Villa Allotment	12.5 x 30m	375m²	8	7	—	6	9	11	2	—	—	—	—	—	—	14	—	—	4	—	—	24	—	—	5	—	—	—	—	—	—	6	15	18	—	129	11.8%	
Courtyard Allotment	14 x 30m	420m²	13	10	—	11	10	5	12	1	1	—	—	—	9	—	—	—	—	—	11	—	—	6	—	—	—	—	—	—	—	5	15	11	—	120	11.0%	
Premium Courtyard Allotment	16 x 30m	480m²	7	3	—	2	6	3	1	—	—	—	—	—	—	—	—	—	—	—	5	—	—	—	—	—	—	—	—	—	—	1	2	—	30	2.8%		
Traditional Allotment	20 x 30m	600m²	3	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	3	0.3%		
Sub Total 30m Deep Allotments			31	25	—	23	28	23	15	1	1	—	—	—	23	—	4	—	44	—	—	—	—	—	11	—	—	—	—	—	—	13	31	32	—	305	28.0%	
32m Deep Allotments																																						
Villa Allotment	10.5 x 32m	336m²	1	4	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	5	0.5%		
Premium Villa Allotment	12.5 x 32m	400m²	8	10	—	—	—	1	—	—	—	—	—	—	—	—	—	—	—	—	4	—	—	—	—	—	—	—	—	—	—	—	—	—	—	31	2.1%	
Courtyard Allotment	14 x 32m	448m²	8	10	—	2	1	3	—	—	—	—	—	—	—	—	—	—	—	—	5	—	—	—	—	—	—	—	—	—	—	2	—	—	23	2.8%		
Traditional Allotment	20 x 32m	640m²	—	—	—	1	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1	0.1%		
Premium Traditional Allotment	22 x 32m	704m²	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%	
Sub Total 32m Deep Allotments			17	24	—	3	1	4	—	—	—	—	—	—	—	—	—	—	—	—	9	—	—	—	—	—	—	—	—	—	—	2	—	—	60	5.5%		
Lifestyle Allotments																																						
Lifestyle Allotment	n/a	800 - 1999m²	1	—	—	1	—	—	—	—	—	—	—	—	—	5	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	7	0.6%		
Premium Lifestyle Allotment	n/a	2000m² +	1	—	—	5	—	—	4	9	—	—	—	—	5	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	24	2.2%		
Sub Total Lifestyle Allotments			2	—	—	6	—	—	4	9	—	—	—	—	10	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	31	2.8%		
Total Residential Allotments			73	54	—	51	60	61	69	65	71	63	—	60	64	42	60	—	67	—	8	—	46	35	9	—	—	10	—	40	40	42	—	1090	100%			
Super Lots																																						
Service Allotments			—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1	—	1			
Balance Super Allotments			—	—	2	—	—	—	—	—	—	—	1	—	—	—	—	1	—	1	—	1	—	—	—	1	—	—	—	1	—	—	—	1	9			

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL



Approval no: DEV2012/284/51
Date: 15 October 2021

PLAN REF: **132965 - 10**
Rev No: **O**
DATE: 09 SEPTEMBER 2021
CLIENT: AVID
DRAWN BY: JC
CHECKED BY: PHE
Not to Scale @ A1

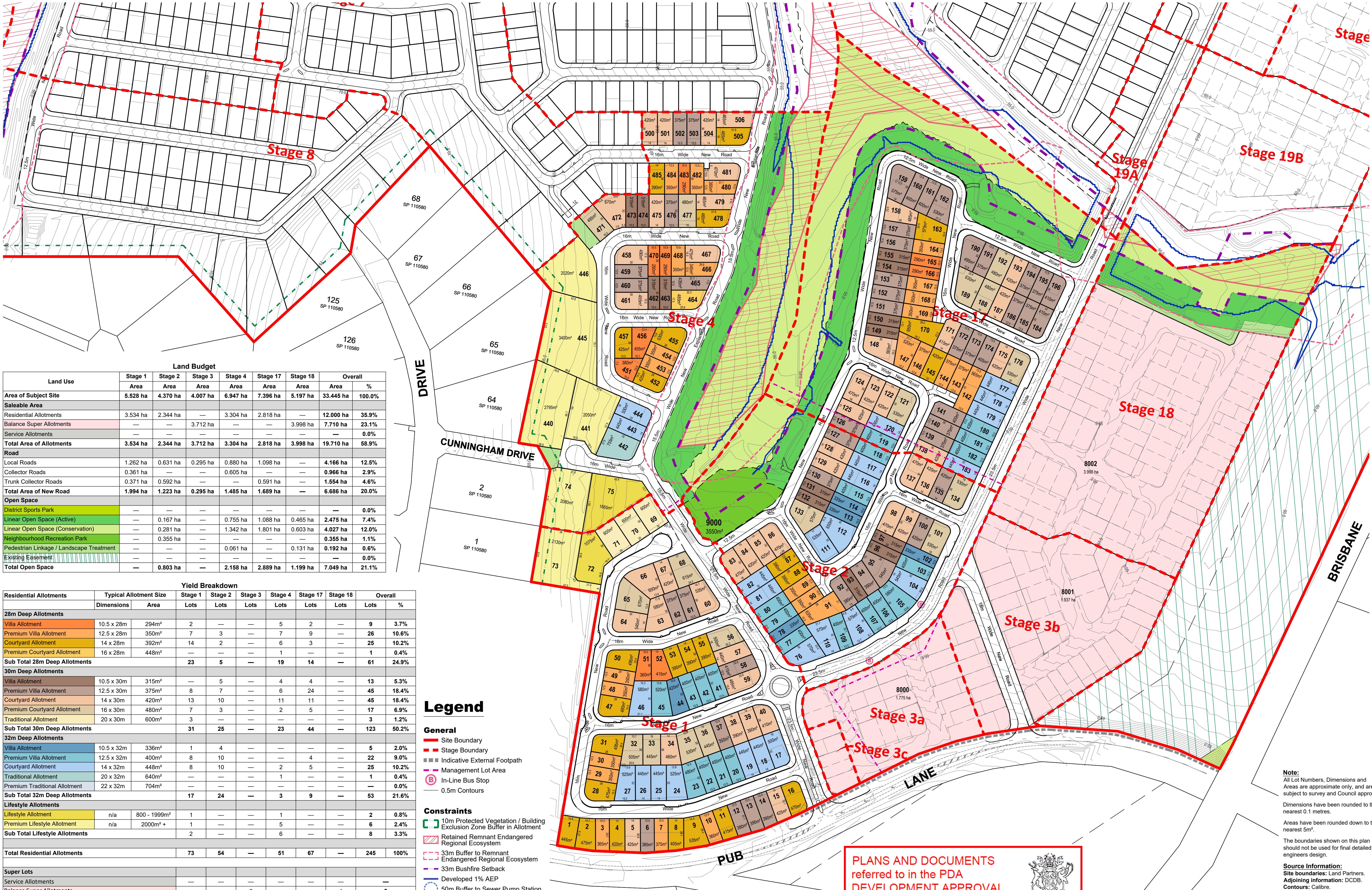
COVELLA
PLAN OF SUBDIVISION
OVERALL STAGED DEVELOPMENT STATISTICS
APPLICATION 1 (AMENDMENT)

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Land Budget								
Land Use	Stage 1	Stage 2	Stage 3	Stage 4	Stage 17	Stage 18	Overall	
Area of Subject Site	5.528 ha	4.370 ha	4.007 ha	6.947 ha	7.396 ha	5.197 ha	33.445 ha	100.0%
Saleable Area								
Residential Allotments	3.534 ha	2.344 ha	—	3.304 ha	2.818 ha	—	12.000 ha	35.9%
Balance Super Allotments	—	—	3.712 ha	—	—	3.998 ha	7.710 ha	23.1%
Service Allotments	—	—	—	—	—	—	—	0.0%
Total Area of Allotments	3.534 ha	2.344 ha	3.712 ha	3.304 ha	2.818 ha	3.998 ha	19.710 ha	58.9%
Road								
Local Roads	1.262 ha	0.631 ha	0.295 ha	0.880 ha	1.098 ha	—	4.166 ha	12.5%
Collector Roads	0.361 ha	—	—	0.605 ha	—	—	0.966 ha	2.9%
Trunk Collector Roads	0.371 ha	0.592 ha	—	—	0.591 ha	—	1.554 ha	4.6%
Total Area of New Road	1.994 ha	1.223 ha	0.295 ha	1.485 ha	1.689 ha	—	6.686 ha	20.0%
Open Space								
District Sports Park	—	—	—	—	—	—	—	0.0%
Linear Open Space (Active)	—	0.167 ha	—	0.755 ha	1.088 ha	0.465 ha	2.475 ha	7.4%
Linear Open Space (Conservation)	—	0.281 ha	—	1.342 ha	1.801 ha	0.603 ha	4.027 ha	12.0%
Neighbourhood Recreation Park	—	0.355 ha	—	—	—	—	0.355 ha	1.1%
Pedestrian Linkage / Landscape Treatment	—	—	—	0.061 ha	—	0.131 ha	0.192 ha	0.6%
Existing Easement	—	—	—	—	—	—	—	0.0%
Total Open Space	—	0.803 ha	—	2.156 ha	2.889 ha	1.199 ha	7.049 ha	21.1%

Yield Breakdown									
Residential Allotments	Typical Allotment Size	Stage 1	Stage 2	Stage 3	Stage 4	Stage 17	Stage 18	Overall	
	Dimensions Area	Lots	Lots	Lots	Lots	Lots	Lots	Lots	%
28m Deep Allotments									
Villa Allotment	10.5 x 28m 294m²	2	—	—	5	2	—	9	3.7%
Premium Villa Allotment	12.5 x 28m 350m²	7	3	—	7	9	—	26	10.6%
Courtyard Allotment	14 x 28m 392m²	14	2	—	6	3	—	25	10.2%
Premium Courtyard Allotment	16 x 28m 448m²	—	—	—	1	—	—	1	0.4%
Sub Total 28m Deep Allotments		23	5	—	19	14	—	61	24.9%
30m Deep Allotments									
Villa Allotment	10.5 x 30m 315m²	—	5	—	4	4	—	13	5.3%
Premium Villa Allotment	12.5 x 30m 375m²	8	7	—	6	24	—	45	18.4%
Courtyard Allotment	14 x 30m 420m²	13	10	—	11	11	—	45	18.4%
Premium Courtyard Allotment	16 x 30m 480m²	7	3	—	2	5	—	17	6.9%
Traditional Allotment	20 x 30m 600m²	3	—	—	—	—	—	3	1.2%
Sub Total 30m Deep Allotments		31	25	—	23	44	—	123	50.2%
32m Deep Allotments									
Villa Allotment	10.5 x 32m 336m²	1	4	—	—	—	—	5	2.0%
Premium Villa Allotment	12.5 x 32m 400m²	8	10	—	—	4	—	22	9.0%
Courtyard Allotment	14 x 32m 448m²	8	10	—	2	5	—	25	10.2%
Traditional Allotment	20 x 32m 640m²	—	—	—	1	—	—	1	0.4%
Premium Traditional Allotment	22 x 32m 704m²	—	—	—	—	—	—	—	0.0%
Sub Total 32m Deep Allotments		17	24	—	3	9	—	53	21.6%
Lifestyle Allotments									
Lifestyle Allotment	n/a 800 - 1999m²	1	—	—	1	—	—	2	0.8%
Premium Lifestyle Allotment	n/a 2000m² +	1	—	—	5	—	—	6	2.4%
Sub Total Lifestyle Allotments		2	—	—	6	—	—	8	3.3%
Total Residential Allotments		73	54	—	51	67	—	245	100%
Super Lots									
Service Allotments		—	—	—	—	—	—	—	—
Balance Super Allotments		—	—	2	—	—	1	3	—

Legend

- General**
 - Site Boundary
 - Stage Boundary
 - Indicative External Footpath
 - Management Lot Area
 - In-Line Bus Stop
 - 0.5m Contours
- Constraints**
 - 10m Protected Vegetation / Building Exclusion Zone Buffer in Allotment
 - Retained Remnant Endangered Regional Ecosystem
 - 33m Buffer to Remnant Endangered Regional Ecosystem
 - 33m Bushfire Setback
 - Developed 1% AEP
 - 50m Buffer to Sewer Pump Station

PLAN REF: 132965 – 11

Rev No: 0

DATE: 09 SEPTEMBER 2021

CLIENT: AVID

DRAWN BY: JC

CHECKED BY: PHE

0 20 40 60 80 100 1:1,500 @ A1

COVELLA

PLAN OF SUBDIVISION

PRECINCT 1 ALLOTMENT LAYOUT

APPLICATION 1 (AMENDMENT)

PLANS AND DOCUMENTS referred to in the PDA

DEVELOPMENT APPROVAL

Approval no: DEV2012/284/51

Date: 15 October 2021

Queensland Government

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URBAN DESIGN

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Legend

General

- Site Boundary
- Stage Boundary
- In-Line Bus Stop
- 0.5m Contours

Constraints

- Retained Remnant Endangered Regional Ecosystem
- 33m Buffer to Remnant Endangered Regional Ecosystem
- 33m Bushfire Setback
- Developed 1% AEP
- 50m Buffer to Sewer Pump Station

Note:

All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:

Site boundaries: Land Partners.

Adjoining information: DCDB.

Contours: Calibre.

Developed 1% AEP: Calibre.

Land Budget														
Land Use	Stage 19A	Stage 19B	Stage 20	Stage 21	Stage 22A	Stage 22B	Stage 22C	Stage 23A	Stage 23B	Stage 24	Stage 25	Stage 26	Overall	
Area of Subject Site	0.765 ha	2.966 ha	5.087 ha	2.377 ha	0.901 ha	1.663 ha	1.341 ha	1.062 ha	6.654 ha	3.616 ha	3.444 ha	4.720 ha	34.596 ha	100.0%
Saleable Area														
Residential Allotments	0.310 ha	—	1.883 ha	1.305 ha	0.386 ha	—	—	0.371 ha	—	1.646 ha	1.673 ha	1.696 ha	9.270 ha	26.8%
Balance Super Allotments	—	2.220 ha	—	—	—	1.663 ha	1.341 ha	—	3.061 ha	—	—	—	8.285 ha	23.9%
Service Allotments	—	—	—	—	—	—	—	—	—	—	0.127 ha	—	0.127 ha	0.4%
Total Area of Allotments	0.310 ha	2.220 ha	1.883 ha	1.305 ha	0.386 ha	1.663 ha	1.341 ha	0.371 ha	3.061 ha	1.646 ha	1.673 ha	1.823 ha	17.682 ha	51.1%
Road														
Local Roads	0.029 ha	—	0.872 ha	0.054 ha	0.066 ha	—	—	0.276 ha	—	0.813 ha	0.718 ha	0.727 ha	3.555 ha	10.3%
Collector Roads	—	—	—	0.836 ha	0.026 ha	—	—	—	—	—	—	—	0.862 ha	2.5%
Trunk Collector Roads	0.426 ha	—	—	—	0.423 ha	—	—	—	—	—	—	—	0.849 ha	2.5%
Total Area of New Road	0.455 ha	—	0.872 ha	0.890 ha	0.515 ha	—	—	0.276 ha	—	0.813 ha	0.718 ha	0.727 ha	5.266 ha	15.2%
Open Space														
District Sports Park	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Linear Open Space (Active)	—	0.649 ha	0.569 ha	0.057 ha	—	—	—	0.094 ha	0.624 ha	0.343 ha	0.525 ha	1.067 ha	3.928 ha	11.4%
Linear Open Space (Conservation)	—	0.036 ha	1.040 ha	0.097 ha	—	—	—	0.321 ha	2.969 ha	0.786 ha	0.528 ha	1.103 ha	6.880 ha	19.9%
Neighbourhood Recreation Park	—	—	0.723 ha	—	—	—	—	—	—	—	—	—	0.723 ha	2.1%
Pedestrian Linkage / Landscape Treatment	—	0.061 ha	—	0.028 ha	—	—	—	—	0.028 ha	—	—	—	0.117 ha	0.3%
Existing Easement	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Total Open Space	—	0.746 ha	2.332 ha	0.182 ha	—	—	—	0.415 ha	3.593 ha	1.157 ha	1.053 ha	2.170 ha	11.648 ha	33.7%

Yield Breakdown															
Residential Allotments	Typical Allotment Size	Stage 19A	Stage 19B	Stage 20	Stage 21	Stage 22A	Stage 22B	Stage 22C	Stage 23A	Stage 23B	Stage 24	Stage 25	Stage 26	Overall	
	Dimensions Area	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	%
28m Deep Allotments															
Villa Allotment	10.5 x 28m 294m²	—	—	1	3	—	—	—	—	—	—	—	—	4	1.7%
Premium Villa Allotment	12.5 x 28m 350m²	4	—	23	21	6	—	—	6	—	19	6	—	85	37.0%
Courtyard Allotment	14 x 28m 392m²	4	—	8	10	1	—	—	3	—	7	1	10	44	19.1%
Premium Courtyard Allotment	16 x 28m 448m²	—	—	3	1	2	—	—	1	—	1	—	—	8	3.5%
Sub Total 28m Deep Allotments		8	—	35	35	9	—	—	10	—	27	7	10	141	61.3%
30m Deep Allotments															
Villa Allotment	10.5 x 30m 315m²	—	—	—	—	—	—	—	—	—	2	—	1	3	1.3%
Premium Villa Allotment	12.5 x 30m 375m²	—	—	5	—	—	—	—	—	—	6	15	18	44	19.1%
Courtyard Allotment	14 x 30m 420m²	—	—	6	—	—	—	—	—	—	5	15	11	37	16.1%
Premium Courtyard Allotment	16 x 30m 480m²	—	—	—	—	—	—	—	—	—	—	1	2	3	1.3%
Traditional Allotment	20 x 30m 600m²	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Sub Total 30m Deep Allotments		—	—	11	—	—	—	—	—	—	13	31	32	87	37.8%
32m Deep Allotments															
Villa Allotment	10.5 x 32m 336m²	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Premium Villa Allotment	12.5 x 32m 400m²	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Courtyard Allotment	14 x 32m 448m²	—	—	—	—	—	—	—	—	—	—	2	—	2	0.9%
Traditional Allotment	20 x 32m 640m²	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Premium Traditional Allotment	22 x 32m 704m²	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Sub Total 32m Deep Allotments		—	—	—	—	—	—	—	—	—	—	2	—	2	0.9%
Lifestyle Allotments															
Lifestyle Allotment	n/a 800 - 1999m²	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Premium Lifestyle Allotment	n/a 2000m² +	—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Sub Total Lifestyle Allotments		—	—	—	—	—	—	—	—	—	—	—	—	—	0.0%
Total Residential Allotments		8	—	46	35	9	—	—	10	—	40	40	42	230	100%
Super Lots															
Service Allotments		—	—	—	—	—	—	—	—	—	—	—	1	1	
Balance Super Allotments		—	1	—	—	—	1	—	—	1	—	—	—	3	

PLAN REF: 132965 – 12

Rev No: 0

DATE: 09 SEPTEMBER 2021

CLIENT: AVID

DRAWN BY: JC

CHECKED BY: PHE

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COVELLA
PLAN OF SUBDIVISION
PRECINCT 2 ALLOTMENT LAYOUT
APPLICATION 1 (AMENDMENT)

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2012/284/51
Date: 15 October 2021



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Land Budget										
Land Use	Stage 5	Stage 6	Stage 7	Stage 8	Stage 9	Stage 10	Stage 11	Stage 27	Overall	
Area	Area	Area	Area	Area	Area	Area	Area	Area	Area	%
Area of Subject Site	4.460 ha	4.232 ha	6.196 ha	6.021 ha	4.913 ha	3.310 ha	8.253 ha	6.765 ha	44.150 ha	100.0%
Saleable Area										
Residential Allotments	2.455 ha	2.428 ha	3.644 ha	4.044 ha	2.684 ha	2.486 ha	—	—	17.741 ha	40.2%
Balance Super Allotments	—	—	—	—	—	—	4.320 ha	3.590 ha	7.910 ha	17.9%
Service Allotments	—	—	—	—	—	—	—	—	—	0.0%
Total Area of Allotments	2.455 ha	2.428 ha	3.644 ha	4.044 ha	2.684 ha	2.486 ha	4.320 ha	3.590 ha	25.651 ha	58.1%
Road										
Local Roads	0.797 ha	0.602 ha	1.446 ha	1.160 ha	0.808 ha	0.824 ha	—	—	5.637 ha	12.8%
Collector Roads	0.234 ha	0.623 ha	0.369 ha	—	0.387 ha	—	—	—	1.613 ha	3.7%
Trunk Collector Roads	—	—	—	—	—	—	—	—	—	0.0%
Total Area of New Road	1.031 ha	1.225 ha	1.815 ha	1.160 ha	1.195 ha	0.824 ha	—	—	7.250 ha	16.4%
Open Space										
District Sports Park	—	—	—	—	—	—	—	—	—	0.0%
Linear Open Space (Active)	0.452 ha	0.226 ha	—	0.432 ha	0.463 ha	—	1.377 ha	1.068 ha	4.018 ha	9.1%
Linear Open Space (Conservation)	0.522 ha	0.353 ha	—	0.309 ha	0.571 ha	—	2.556 ha	2.107 ha	6.418 ha	14.5%
Neighbourhood Recreation Park	—	—	0.666 ha	—	—	—	—	—	0.666 ha	1.5%
Pedestrian Linkage / Landscape Treatment	—	—	0.071 ha	0.076 ha	—	—	—	—	0.147 ha	0.3%
Existing Easement	—	—	—	—	—	—	—	—	—	0.0%
Total Open Space	0.974 ha	0.579 ha	0.737 ha	0.817 ha	1.034 ha	—	3.933 ha	3.175 ha	11.249 ha	25.5%

Yield Breakdown											
Residential Allotments	Typical Allotment Size	Stage 5	Stage 6	Stage 7	Stage 8	Stage 9	Stage 10	Stage 11	Stage 27	Overall	
	Dimensions	Area	Lots	Lots	Lots	Lots	Lots	Lots	Lots	Lots	%
28m Deep Allotments											
Villa Allotment	10.5 x 28m	294m ²	3	2	3	—	1	—	—	9	2.3%
Premium Villa Allotment	12.5 x 28m	350m ²	13	12	15	36	38	24	—	138	35.5%
Courtyard Allotment	14 x 28m	392m ²	9	15	25	19	26	30	—	124	31.9%
Premium Courtyard Allotment	16 x 28m	448m ²	6	5	7	—	5	9	—	32	8.2%
Sub Total 28m Deep Allotments			31	34	50	55	70	63	—	303	77.9%
30m Deep Allotments											
Villa Allotment	10.5 x 30m	315m ²	3	4	—	—	—	—	—	7	1.8%
Premium Villa Allotment	12.5 x 30m	375m ²	9	11	2	—	—	—	—	22	5.7%
Courtyard Allotment	14 x 30m	420m ²	10	5	12	1	1	—	—	29	7.5%
Premium Courtyard Allotment	16 x 30m	480m ²	6	3	1	—	—	—	—	10	2.6%
Traditional Allotment	20 x 30m	600m ²	—	—	—	—	—	—	—	—	0.0%
Sub Total 30m Deep Allotments			28	23	15	1	1	—	—	68	17.5%
32m Deep Allotments											
Villa Allotment	10.5 x 32m	336m ²	—	—	—	—	—	—	—	—	0.0%
Premium Villa Allotment	12.5 x 32m	400m ²	—	1	—	—	—	—	—	1	0.3%
Courtyard Allotment	14 x 32m	448m ²	1	3	—	—	—	—	—	4	1.0%
Traditional Allotment	20 x 32m	640m ²	—	—	—	—	—	—	—	—	0.0%
Premium Traditional Allotment	22 x 32m	704m ²	—	—	—	—	—	—	—	—	0.0%
Sub Total 32m Deep Allotments			1	4	—	—	—	—	—	5	1.3%
Lifestyle Allotments											
Lifestyle Allotment	n/a	800 - 1999m ²	—	—	—	—	—	—	—	—	0.0%
Premium Lifestyle Allotment	n/a	2000m ² +	—	—	4	9	—	—	—	13	3.3%
Sub Total Lifestyle Allotments			—	—	4	9	—	—	—	13	3.3%
Total Residential Allotments											
			60	61	69	65	71	63	—	389	100%
Super Lots											
Service Allotments			—	—	—	—	—	—	—	—	—
Balance Super Allotments			—	—	—	—	—	1	1	2	—

Legend

General

- Site Boundary
- Stage Boundary
- In-Line Bus Stop
- 0.5m Contours

Constraints

- 10m Protected Vegetation / Building Exclusion Zone Buffer in Allotment
- Retained Remnant Endangered Regional Ecosystem
- 33m Buffer to Remnant Endangered Regional Ecosystem
- 33m Bushfire Setback
- Developed 1% AEP

Note:

All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

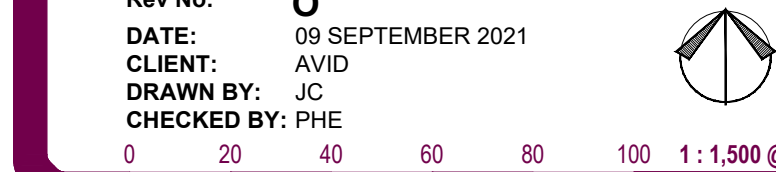
Source Information:

Site boundaries: Land Partners.
Adjoining information: DCDB.
Contours: Calibre.
Developed 1% AEP: Calibre.

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DATE: 09 SEPTEMBER 2021
CLIENT: AVID
DRAWN BY: JC
CHECKED BY: PHE

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PLANS AND DOCUMENTS referred to in the PDA

DEVELOPMENT APPROVAL

Approval no: DEV2012/284/51

Date: 15 October 2021

Queensland Government

COVELLA

PLAN OF SUBDIVISION

PRECINCT 3 ALLOTMENT LAYOUT

APPLICATION 1 (AMENDMENT)

AVID

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URBAN DESIGN

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Yield Breakdown									
Residential Allotments	Typical Allotment Size		Stage 12	Stage 13	Stage 14	Stage 15	Stage 16	Overall	
	Dimensions	Area	Lots	Lots	Lots	Lots	Lots	Lots	%
28m Deep Allotments									
Villa Allotment	10.5 x 28m	294m²	1	—	—	—	—	1	0.4%
Premium Villa Allotment	12.5 x 28m	350m²	33	9	23	24	—	89	39.4%
Courtyard Allotment	14 x 28m	392m²	24	22	17	32	—	95	42.0%
Premium Courtyard Allotment	16 x 28m	448m²	2	—	2	—	—	4	1.8%
Sub Total 28m Deep Allotments			60	31	42	56	—	189	83.6%
30m Deep Allotments									
Villa Allotment	10.5 x 30m	315m²	—	—	—	—	—	—	0.0%
Premium Villa Allotment	12.5 x 30m	375m²	—	14	—	4	—	18	8.0%
Courtyard Allotment	14 x 30m	420m²	—	9	—	—	—	9	4.0%
Premium Courtyard Allotment	16 x 30m	480m²	—	—	—	—	—	—	0.0%
Traditional Allotment	20 x 30m	600m²	—	—	—	—	—	—	0.0%
Sub Total 30m Deep Allotments			—	23	—	4	—	27	11.9%
32m Deep Allotments									
Villa Allotment	10.5 x 32m	336m²	—	—	—	—	—	—	0.0%
Premium Villa Allotment	12.5 x 32m	400m²	—	—	—	—	—	—	0.0%
Courtyard Allotment	14 x 32m	448m²	—	—	—	—	—	—	0.0%
Traditional Allotment	20 x 32m	640m²	—	—	—	—	—	—	0.0%
Premium Traditional Allotment	22 x 32m	704m²	—	—	—	—	—	—	0.0%
Sub Total 32m Deep Allotments			—	—	—	—	—	—	0.0%
Lifestyle Allotments									
Lifestyle Allotment	n/a	800 - 1999m²	—	5	—	—	—	5	2.2%
Premium Lifestyle Allotment	n/a	2000m² +	—	5	—	—	—	5	2.2%
Sub Total Lifestyle Allotments			—	10	—	—	—	10	4.4%
Total Residential Allotments			60	64	42	60	—	226	100%
Super Lots									
Service Allotments	—	—	—	—	—	—	—	—	—
Balance Super Allotments	—	—	—	—	—	—	1	—	1

Land Budget							
Land Use	Stage 12	Stage 13	Stage 14	Stage 15	Stage 16	Overall	
	Area	Area	Area	Area	Area	Area	%
Area of Subject Site	7.124 ha	7.130 ha	3.148 ha	6.446 ha	3.330 ha	27.178 ha	100.0%
Saleable Area							
Residential Allotments	2.274 ha	4.145 ha	1.663 ha	2.328 ha	—	10.410 ha	38.3%
Balance Super Allotments	—	—	—	—	3.330 ha	3.330 ha	12.3%
Service Allotments	—	—	—	—	—	—	0.0%
Total Area of Allotments							50.6%
Road							
Local Roads	1.079 ha	1.092 ha	0.925 ha	1.103 ha	—	4.199 ha	15.4%
Collector Roads	0.323 ha	0.505 ha	—	—	—	0.828 ha	3.0%
Trunk Collector Roads	—	—	—	—	—	—	0.0%
Total Area of New Road							18.5%
Open Space							
District Sports Park	2.825 ha	—	—	—	—	2.825 ha	10.4%
Linear Open Space (Active)	0.282 ha	0.622 ha	0.261 ha	2.224 ha	—	3.389 ha	12.5%
Linear Open Space (Conservation)	0.341 ha	0.766 ha	0.299 ha	0.791 ha	—	2.197 ha	8.1%
Neighbourhood Recreation Park	—	—	—	—	—	—	0.0%
Pedestrian Linkage / Landscape Treatment	—	—	—	—	—	—	0.0%
Existing Easement	—	—	—	—	—	—	0.0%
Total Open Space							30.9%

Legend

General

- Site Boundary
- Stage Boundary
- In-Line Bus Stop
- 0.5m Contours

Constraints

- Retained Remnant Endangered Regional Ecosystem
- 33m Buffer to Remnant Endangered Regional Ecosystem
- 33m Bushfire Setback
- Developed 1% AEP

Note:

All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

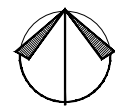
The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:

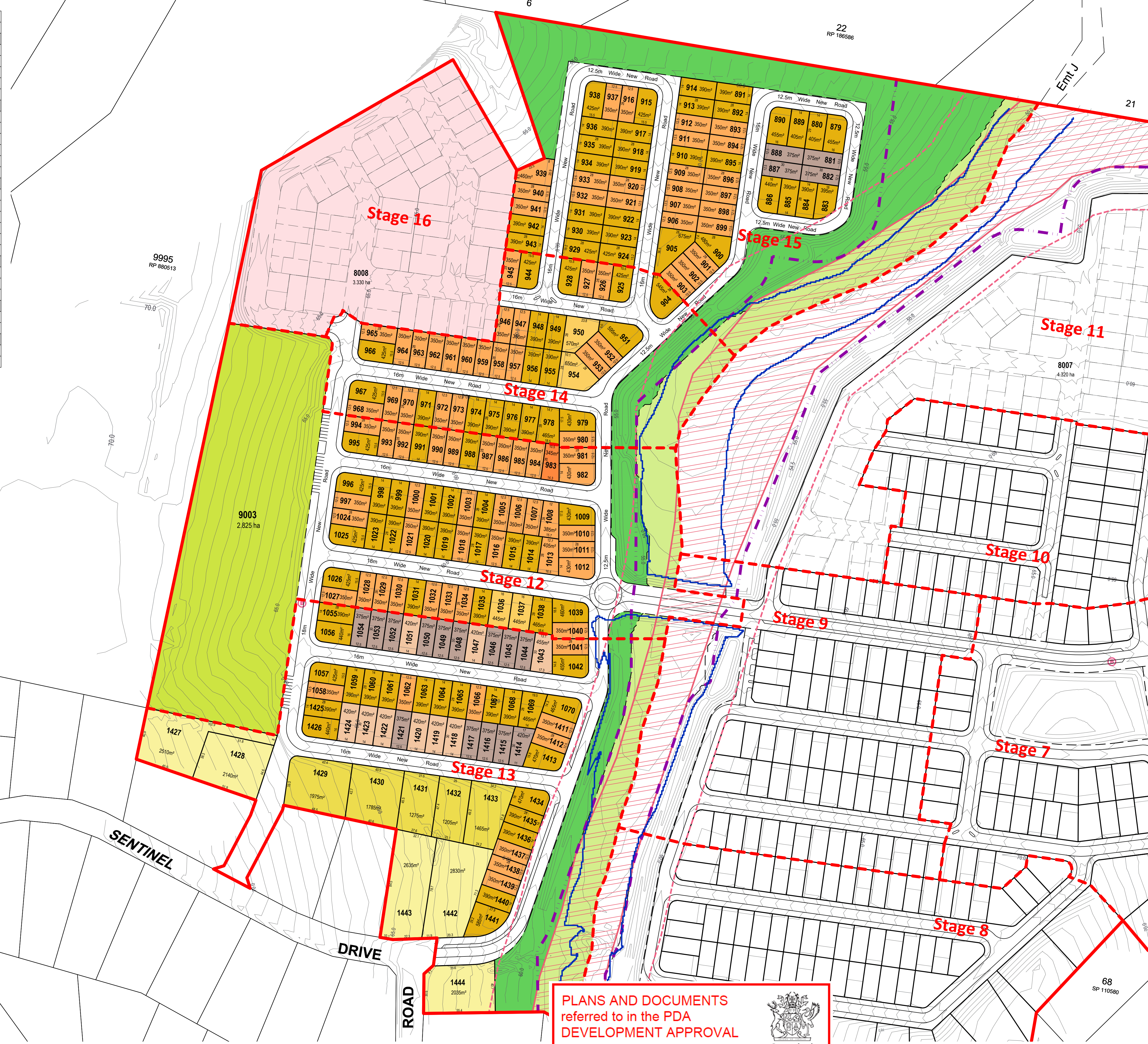
Site boundaries: Land Partners.
Adjoining information: DCDB.
Contours: Calibre.
Developed 1% AEP: Calibre.

PLAN REF: 132965 – 14

Rev No: 0
DATE: 09 SEPTEMBER 2021
CLIENT: AVID
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PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/284/51

Date: 15 October 2021



Queensland Government

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Notes:

General

1. All development is to be undertaken in accordance with the Development Approval.
2. The maximum height of buildings shall not exceed two (2) storeys.
3. Maximum building location envelopes are subject to future proposed easements and/or other underground services.

Setbacks

4. Setbacks are as per the Plan of Development Table unless otherwise specified.
5. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
6. Boundary setbacks are measured to the wall of the structure.
7. Maximum length of built-to-boundary wall in 9.0 meters long.
8. First floor setbacks must not encroach the minimum ground floor setbacks.
9. Garages must not project forward of the front building setback.
10. Eaves should not encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary, exceptions include:
 - Primary Street frontage, where eaves should not be closer than 2400mm.

On-site parking and Driveways

11. Off street car park is to be provided in accordance with the following minimum requirements:
 - One room or one bedroom or two bedroom house/dwelling unit - 1 covered space per dwelling;
 - Three or more bedroom house/dwelling unit - 2 spaces per dwelling, one which must be capable of being covered (may be provided in tandem).
12. Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - a. The front facing building wall, which comprises the garage door, must not exceed an external width of 5.8m
 - b. The garage door:
 - i. Width must not exceed 4.8m
 - ii. Must have a minimum 450mm eave above it
 - iii. Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - iv. Must have a sectional tilt or roller door.
 - c. The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - i. One or more features comprising:
 - a. A front entrance door with glass inserts;
 - b. A sidelight where the front door is solid;
 - c. Window to a habitable room.
 - ii. A front verandah, portico or porch connecting to the front entrance, which extends a minimum of 1600mm forward of the front facade
 - iii. The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - d. Driveways cannot exceed 3.5m in width at the boundary on Lots between 10.0m and 12.49m wide.
13. Tandem garages are permitted on any lot less than 12.5m wide.
14. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double garage and 3 metres for a lot with a single garage.
15. All double garages should be setback behind the main face of the dwelling with doors articulated, compromising a mix of materials and colours, or staggered.
16. Garages are to be located along the Built to Boundary wall. Where no Built to Boundary wall is proposed, garages are to be located on the low side of the lot. Where the lot has no low side garages are to be located on the western or southern side of the lot.
17. Maximum of one driveway per dwelling unless it is a corner lot.
18. Minimum distance of a driveway from an intersection of one street with another street 6.0 meters.

On-Street Parking

19. On-street car park is to be provided in accordance with the following minimum requirement – 0.75 spaces per dwelling.
20. All on-street parking is to be provided within reasonable proximity to the house/dwelling unit.

Private Open Space

21. Private open space is to be provided in accordance with the following requirements:
 - One room or one bedroom house/dwelling unit - minimum 5m² with a minimum dimension of 1.2m;
 - Two bedroom house/dwelling unit - minimum 9m² with a minimum dimension of 2.4m;
 - Three or more bedroom house/dwelling - minimum 12m² with a minimum dimension of 2.4m
22. Private open space must be in accordance with the following requirements:
 - Accessible from a living room; and
 - Adequate space to accommodate a table, chair, planting, barbeque and shade; and
 - Maximum gradient not exceeding 1:10.

Street Address

23. Letterbox clearly visible and identifiable from street.
24. Buildings must address each street, pathway or park frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:
 - verandahs; and/or
 - porches; and/or
 - awning and shade structures; and/or
 - variation to roof and building lines; and/or
 - use of varying building materials.

Fencing

25. Fencing, screening or level changes to provide privacy but still allow for overlooking of the street and park to promote casual surveillance.
26. Fencing on all Primary Street Frontages has a maximum height of 1.2 metres where solid or have a maximum height of 1.5 metres where containing openings that make the fence more than 50% transparent.
27. Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
28. Fences in key locations are to be consistent and articulated fence design to :
 - Non-access roads;
 - High visibility open space areas.
29. Fences on pedestrian linkages are to have a maximum height of 1.2m where solid, or have a maximum height of 1.8m where containing openings that make the fence more than 50% transparent.

Building Articulation

30. All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following :
 - Windows recessed into the facade
 - Balconies, porches or verandahs
 - Window Hoods/Screens
 - shadow lines are created on the building through minor changes in the facade (100 millimetres minimum)
31. Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
32. All buildings must incorporate two or more of the following design elements which provide diversity in building form as well as respond to the climate.
 - Verandahs / Porch
 - Roof Overhangs
 - Window Hoods/Screens
 - Awnings and Shade Structures

Protected Vegetation / Building Exclusion Zone

33. The vegetation in the 10m Protected Vegetation / Building Exclusion Zone Buffer is to be preserved and maintained.
34. No buildings or structures are to be constructed in the buffer.
35. The buffer takes precedence over the minimum setbacks stated in the Plan of Development Table.

Additional Criteria for Multiple Residential Allotments

36. Buildings must address all street frontages with driveways, pedestrian entries or both.
37. All dwellings must have a clearly identifiable front door, which is undercover.
38. Have drying and rubbish bin areas behind the main face of the dwelling or suitably screen from public streets and park frontages.
39. Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

40. Floor area must be between a minimum of 30m² and 75m².
41. Materials, detailing, colours and roof form are consistent with those of the primary house.
42. Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
43. Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
44. Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
45. A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
46. The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
47. Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
48. Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
49. Any secondary dwelling is not permitted its own letterbox and must be shared with the primary dwelling.
50. Any secondary dwelling is unable to be separately titled to the primary dwelling.
51. No secondary infrastructure servicing to the secondary dwelling is permitted (i.e. water, gas, electricity).

Legend

General

- Site Boundary
- Stage Boundary
- Indicative External Footpath
- Management Lot Area
- 1.5m Footpath
- 2.0m Footpath
- In-Line Bus Stop
- 0.5m Contours

Constraints

- 10m Protected Vegetation / Building Exclusion Zone Buffer in Allotment
- Retained Remnant Endangered Regional Ecosystem
- 33m Buffer to Remnant Endangered Regional Ecosystem
- 33m Bushfire Setback
- Developed 1% AEP

Open Space

- Linear Open Space (Active)
- Linear Open Space (Conservation)
- Neighbourhood Recreation Park
- Pedestrian Linkage / Landscape Treatment
- Existing Easement

Development Controls

- Built to Boundary Location
- Indicative Driveway Location
- No Vehicular Access
- Front Boundary



Note:
All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
Site boundaries: Land Partners.
Adjoining information: DCDB.
Contours: Calibre.
Developed 1% AEP: Calibre.

COVELLA
PLAN OF SUBDIVISION
PRECINCT 1 ALLOTMENT LAYOUT
APPLICATION 1 (AMENDMENT)

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2012/284/51
Date: 15 October 2021



AVID
Property Group

URBAN DESIGN
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T +61 7 3539 6500
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rps
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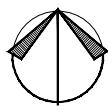
Plan of Development Table	Villa Allotments		Premium Villa Allotments		Courtyard & Premium Courtyard Allotments		Traditional & Premium Traditional Allotments		Lifestyle Allotments		Premium Lifestyle Allotments	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	6.0m***	6.0m***
Garage	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	7.5m***	7.5m***
Rear	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m***	1.0m***
Side - Setbacks												
Built to Boundary	0.0m		0.0m		0.0m							
	Optional	1.0m	Optional	1.0m	Optional	1.0m	n/a	n/a	n/a	n/a	n/a	n/a
Non Built to Boundary	0.75m	0.9m	1.0m	1.5m	1.0m	1.5m	1.2m	2.0m	1.5m	2.0m	1.5m***	2.0m***
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m***	1.5m***
Park**	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m	1.5m	1.5m	1.5m***	1.5m***
Maximum Site Cover	75%		75%		70%		60%		50%		50%	

*2.4m setback permitted to unenclosed entry features such as porches, porticos, verandahs and balconies

**0m setback permitted to unenclosed verandahs and balconies

*** Except where overridden by Protected Vegetation / Building Exclusion Zone - see notes 33-35.

PLAN REF: **132965 – 19**
Rev No: **O**
DATE: 09 SEPTEMBER 2021
CLIENT: AVID
DRAWN BY: JC
CHECKED BY: PHE
0 20 40 60 80 100 1:1,500 @ A1



Notes:

General

1. All development is to be undertaken in accordance with the Development Approval.
2. The maximum height of buildings shall not exceed two (2) storeys.
3. Maximum building location envelopes are subject to future proposed easements and/or other underground services.

Setbacks

4. Setbacks are as per the Plan of Development Table unless otherwise specified.
5. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
6. Boundary setbacks are measured to the wall of the structure.
7. Maximum length of built-to-boundary wall in 9.0 meters long.
8. First floor setbacks must not encroach the minimum ground floor setbacks.
9. Garages must not project forward of the front building setback.
10. Eaves should not encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary, exceptions include:
 - Primary Street frontage, where eaves should not be closer than 2400mm.

On-site parking and Driveways

11. Off street car park is to be provided in accordance with the following minimum requirements:
 - One room or one bedroom or two bedroom house/dwelling unit - 1 covered space per dwelling;
 - Three or more bedroom house/dwelling unit - 2 spaces per dwelling, one which must be capable of being covered (may be provided in tandem).
12. Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - a. The front facing building wall, which comprises the garage door, must not exceed an external width of 5.8m
 - b. The garage door:
 - i. Width must not exceed 4.8m
 - ii. Must have a minimum 450mm eave above it
 - iii. Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - iv. Must have a sectional tilt or roller door.
 - c. The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - i. One or more features comprising:
 - a. A front entrance door with glass inserts;
 - b. A sidelight where the front door is solid;
 - c. Window to a habitable room.
 - ii. A front verandah, portico or porch connecting to the front entrance, which extends a minimum of 1600mm forward of the front facade
 - iii. The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - d. Driveways cannot exceed 3.5m in width at the boundary on Lots between 10.0m and 12.49m wide.
13. Tandem garages are permitted on any lot less than 12.5m wide.
14. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double garage and 3 metres for a lot with a single garage.
15. All double garages should be setback behind the main face of the dwelling with doors articulated, compromising a mix of materials and colours, or staggered.
16. Garages are to located along the Built to Boundary wall. Where no Built to Boundary wall is proposed, garages are to be located on the low side of the lot. Where the lot has no low side garages are to be located on the western or southern side of the lot.
17. Maximum of one driveway per dwelling unless it is a corner lot.
18. Minimum distance of a driveway from an intersection of one street with another street 6.0 meters.

On-Street Parking

19. On-street car park is to be provided in accordance with the following minimum requirement – 0.75 spaces per dwelling.
20. All on-street parking is to be provided within reasonable proximity to the house/dwelling unit.

Private Open Space

21. Private open space is to be provided in accordance with the following requirements:
 - One room or one bedroom house/dwelling unit - minimum 5m² with a minimum dimension of 1.2m;
 - Two bedroom house/dwelling unit - minimum 9m² with a minimum dimension of 2.4m;
 - Three or more bedroom house/dwelling - minimum 12m² with a minimum dimension of 2.4m
22. Private open space must be in accordance with the following requirements:
 - Accessible from a living room; and
 - Adequate space to accommodate a table, chair, planting, barbeque and shade; and
 - Maximum gradient not exceeding 1:10.

Street Address

23. Letterbox clearly visible and identifiable from street.
24. Buildings must address each street, pathway or park frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:
 - verandahs; and/or
 - porches; and/or
 - awning and shade structures; and/or
 - variation to roof and building lines; and/or
 - use of varying building materials.

Fencing

25. Fencing, screening or level changes to provide privacy but still allow for overlooking of the street and park to promote casual surveillance.
26. Fencing on all Primary Street Frontages has a maximum height of 1.2 metres where solid or have a maximum height of 1.5 metres where containing openings that make the fence more than 50% transparent.
27. Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
28. Fences in key locations are to be consistent and articulated fence design to :
 - Non-access roads;
 - High visibility open space areas.
29. Fences on pedestrian linkages are to have a maximum height of 1.2m where solid, or have a maximum height of 1.8m where containing openings that make the fence more than 50% transparent.

Building Articulation

30. All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following :
 - Windows recessed into the facade
 - Balconies, porches or verandahs
 - Window Hoods/Screens
 - shadow lines are created on the building through minor changes in the facade (100 millimetres minimum)
31. Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
32. All buildings must incorporate two or more of the following design elements which provide diversity in building form as well as respond to the climate.
 - Verandahs / Porch
 - Roof Overhangs
 - Window Hoods/Screens
 - Awnings and Shade Structures

Protected Vegetation / Building Exclusion Zone

33. The vegetation in the 10m Protected Vegetation / Building Exclusion Zone Buffer is to be preserved and maintained.
34. No buildings or structures are to be constructed in the buffer.
35. The buffer takes precedence over the minimum setbacks stated in the Plan of Development Table.

Additional Criteria for Multiple Residential Allotments

36. Buildings must address all street frontages with driveways, pedestrian entries or both.
37. All dwellings must have a clearly identifiable front door, which is undercover.
38. Have drying and rubbish bin areas behind the main face of the dwelling or suitably screen from public streets and park frontages.
39. Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

40. Floor area must be between a minimum of 30m² and 75m².
41. Materials, detailing, colours and roof form are consistent with those of the primary house.
42. Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
43. Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
44. Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
45. A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
46. The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
47. Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
48. Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
49. Any secondary dwelling is not permitted its own letterbox and must be shared with the primary dwelling.
50. Any secondary dwelling is unable to be separately titled to the primary dwelling.
51. No secondary infrastructure servicing to the secondary dwelling is permitted (i.e. water, gas, electricity).

Legend

General

- Site Boundary
- - - Stage Boundary
- 1.5m Footpath
- 2.0m Footpath
- 2.5m Footpath
- Ⓟ In-Line Bus Stop
- 0.5m Contours

Development Controls

- ▼ Built to Boundary Location
- ← Indicative Driveway Location
- Front Boundary

Constraints

- Retained Remnant Endangered Regional Ecosystem
- 33m Buffer to Remnant Endangered Regional Ecosystem
- 33m Bushfire Setback
- Developed 1% AEP
- 50m Buffer to Sewer Pump Station

Open Space

- Linear Open Space (Active)
- Linear Open Space (Conservation)
- Neighbourhood Recreation Park
- Pedestrian Linkage / Landscape Treatment
- Existing Easement

Plan of Development Table	Villa Allotments		Premium Villa Allotments		Courtyard & Premium Courtyard Allotments		Traditional & Premium Traditional Allotments		Lifestyle Allotments		Premium Lifestyle Allotments	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	6.0m***	6.0m***
Garage	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	7.5m***	7.5m***
Rear	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m***	1.0m***
Side - Setbacks												
Built to Boundary	0.0m Optional	1.0m	0.0m Optional	1.0m	0.0m Optional	1.0m	n/a	n/a	n/a	n/a	n/a	n/a
Non Built to Boundary	0.75m	0.9m	1.0m	1.5m	1.0m	1.5m	1.2m	2.0m	1.5m	2.0m	1.5m***	2.0m***
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Park**	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m	1.5m	1.5m	1.5m***	1.5m***
Maximum Site Cover												
	75%		75%		70%		60%		50%		50%	

*2.4m setback permitted to unenclosed entry features such as porches, porticos, verandahs and balconies

**0m setback permitted to unenclosed verandahs and balconies

*** Except where overridden by Protected Vegetation / Building Exclusion Zone - see notes 33-35.

PLAN REF: 132965 – 20

Rev No: 0

DATE: 09 SEPTEMBER 2021

CLIENT: AVID

DRAWN BY: JC

CHECKED BY: PHE

0 20 40 60 80 100 1:1,500 @ A1

Note:
All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.

Dimensions have been rounded to the nearest 0.1 metres.

Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
Site boundaries: Land Partners.
Adjoining information: DCDB.
Contours: Calibre.
Developed 1% AEP: Calibre.

COVELLA
PLAN OF SUBDIVISION
PRECINCT 1 ALLOTMENT LAYOUT
APPLICATION 2 (AMENDMENT)

PLANS AND DOCUMENTS
referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2012/284/51

Date: 15 October 2021



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Property Group

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Notes:

General

- All development is to be undertaken in accordance with the Development Approval.
- The maximum height of buildings shall not exceed two (2) storeys.
- Maximum building location envelopes are subject to future proposed easements and/or other underground services.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise specified.
- The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Boundary setbacks are measured to the wall of the structure.
- Maximum length of built-to-boundary wall in 9.0 meters long.
- First floor setbacks must not encroach the minimum ground floor setbacks.
- Garages must not project forward of the front building setback.
- Eaves should not encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary, exceptions include:
 - Primary Street frontage, where eaves should not be closer than 2400mm.

On-site parking and Driveways

- Off street car park is to be provided in accordance with the following minimum requirements:
 - One room or one bedroom or two bedroom house/dwelling unit - 1 covered space per dwelling;
 - Three or more bedroom house/dwelling unit - 2 spaces per dwelling, one which must be capable of being covered (may be provided in tandem).
- Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.8m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional tilt or roller door.
 - The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - One or more features comprising:
 - A front entrance door with glass inserts;
 - A sidelight where the front door is solid;
 - Window to a habitable room.
 - A front verandah, portico or porch connecting to the front entrance, which extends a minimum of 1600mm forward of the front facade
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.5m in width at the boundary on Lots between 10.0m and 12.49m wide.
- Tandem garages are permitted on any lot less than 12.5m wide.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double garage and 3 metres for a lot with a single garage.
- All double garages should be setback behind the main face of the dwelling with doors articulated, compromising a mix of materials and colours, or staggered.
- Garages are to be located along the Built to Boundary wall. Where no Built to Boundary wall is proposed, garages are to be located on the low side of the lot. Where the lot has no low side garages are to be located on the western or southern side of the lot.
- Maximum of one driveway per dwelling unless it is a corner lot.
- Minimum distance of a driveway from an intersection of one street with another street 6.0 meters.

On-Street Parking

- On-street car park is to be provided in accordance with the following minimum requirement – 0.75 spaces per dwelling.
- All on-street parking is to be provided within reasonable proximity to the house/dwelling unit.

Private Open Space

- Private open space is to be provided in accordance with the following requirements:
 - One room or one bedroom house/dwelling unit - minimum 5m² with a minimum dimension of 1.2m;
 - Two bedroom house/dwelling unit - minimum 9m² with a minimum dimension of 2.4m;
 - Three or more bedroom house/dwelling - minimum 12m² with a minimum dimension of 2.4m
- Private open space must be in accordance with the following requirements:
 - Accessible from a living room; and
 - Adequate space to accommodate a table, chair, planting, barbeque and shade; and
 - Maximum gradient not exceeding 1:10.

Street Address

- Letterbox clearly visible and identifiable from street.
- Buildings must address each street, pathway or park frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:
 - verandahs; and/or
 - porches; and/or
 - awning and shade structures; and/or
 - variation to roof and building lines; and/or
 - use of varying building materials.

Fencing

- Fencing, screening or level changes to provide privacy but still allow for overlooking of the street and park to promote casual surveillance.
- Fencing on all Primary Street Frontages has a maximum height of 1.2 metres where solid or have a maximum height of 1.5 metres where containing openings that make the fence more than 50% transparent.
- Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
- Fences in key locations are to be consistent and articulated fence design to :
 - Non-access roads;
 - High visibility open space areas.
- Fences on pedestrian linkages are to have a maximum height of 1.2m where solid, or have a maximum height of 1.8m where containing openings that make the fence more than 50% transparent.

Building Articulation

- All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following :
 - Windows recessed into the facade
 - Balconies, porches or verandahs
 - Window Hoods/Screens
 - shadow lines are created on the building through minor changes in the facade (100 millimetres minimum)
- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All buildings must incorporate two or more of the following design elements which provide diversity in building form as well as respond to the climate.
 - Verandahs / Porch
 - Roof Overhangs
 - Window Hoods/Screens
 - Awnings and Shade Structures

Protected Vegetation / Building Exclusion Zone

- The vegetation in the 10m Protected Vegetation / Building Exclusion Zone Buffer is to be preserved and maintained.
- No buildings or structures are to be constructed in the buffer.
- The buffer takes precedence over the minimum setbacks stated in the Plan of Development Table.

Additional Criteria for Multiple Residential Allotments

- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Have drying and rubbish bin areas behind the main face of the dwelling or suitably screen from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

- Floor area must be between a minimum of 30m² and 75m².
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
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- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
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- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
- Any secondary dwelling is not permitted its own letterbox and must be shared with the primary dwelling.
- Any secondary dwelling is unable to be separately titled to the primary dwelling.
- No secondary infrastructure servicing to the secondary dwelling is permitted (i.e. water, gas, electricity).

Legend

General

- Site Boundary
- Stage Boundary
- Indicative External Footpath
- Management Lot Area
- 1.5m Footpath
- 2.0m Footpath
- 2.5m Footpath
- In-Line Bus Stop
- 0.5m Contours

Development Controls

- Built to Boundary Location
- Indicative Driveway Location

Constraints

- 10m Protected Vegetation / Building Exclusion Zone Buffer in Allotment
- Retained Remnant Endangered Regional Ecosystem
- 33m Buffer to Remnant Endangered Regional Ecosystem
- 33m Bushfire Setback
- Developed 1% AEP

Open Space

- Linear Open Space (Active)
- Linear Open Space (Conservation)
- Neighbourhood Recreation Park
- Pedestrian Linkage / Landscape Treatment

Plan of Development Table	Villa Allotments		Premium Villa Allotments		Courtyard & Premium Courtyard Allotments		Traditional & Premium Traditional Allotments		Lifestyle Allotments		Premium Lifestyle Allotments	
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor
Front/Primary Frontage*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	3.0m*	6.0m***	6.0m***
Garage	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	4.5m	7.5m***	7.5m***
Rear	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m	1.0m	0.9m***	1.0m***
Side - Setbacks												
Built to Boundary	0.0m Optional	1.0m	0.0m Optional	1.0m	0.0m Optional	1.0m	n/a	n/a	n/a	n/a	n/a	n/a
Non Built to Boundary	0.75m	0.9m	1.0m	1.5m	1.0m	1.5m	1.2m	2.0m	1.5m	2.0m	1.5m***	2.0m***
Corner Lots - Secondary Frontage	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m***	1.5m***
Park**	1.0m	1.0m	1.0m	1.0m	1.0m	1.0m	1.5m	1.5m	1.5m	1.5m	1.5m***	1.5m***
Maximum Site Cover	75%		75%		70%		60%		50%		50%	

*2.4m setback permitted to unenclosed entry features such as porches, porticos, verandahs and balconies

**0m setback permitted to unenclosed verandahs and balconies

*** Except where overridden by Protected Vegetation / Building Exclusion Zone - see notes 33-35.

PLAN REF: 132965 – 21

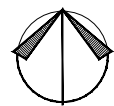
Rev No: O

DATE: 09 SEPTEMBER 2021

CLIENT: AVID

DRAWN BY: JC

CHECKED BY: PHE



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COVELLA

PLAN OF SUBDIVISION
PRECINCT 1 ALLOTMENT LAYOUT
APPLICATION 3 (AMENDMENT)

Notes:
All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval.
Dimensions have been rounded to the nearest 0.1 metres.
Areas have been rounded down to the nearest 5m².

The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
Site boundaries: Land Partners.
Adjoining information: DCDB.
Contours: Calibre.
Developed 1% AEP: Calibre.

PLANS AND DOCUMENTS referred to in the PDA
DEVELOPMENT APPROVAL

Approval no: DEV2012/284/51

Date: 15 October 2021



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Notes:

- General**
- All development is to be undertaken in accordance with the Development Approval.
 - The maximum height of buildings shall not exceed two (2) storeys.
 - Maximum building location envelopes are subject to future proposed easements and/or other underground services.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise specified.
- The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table.
- Boundary setbacks are measured to the wall of the structure.
- Maximum length of built-to-boundary wall in 9.0 meters long.
- First floor setbacks must not encroach the minimum ground floor setbacks.
- Garages must not project forward of the front building setback.
- Eaves should not encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary, exceptions include:
 - Primary Street frontage, where eaves should not be closer than 2400mm.

On-site parking and Driveways

- Off street car park is to be provided in accordance with the following minimum requirements:
 - One room or one bedroom or two bedroom house/dwelling unit - 1 covered space per dwelling;
 - Three or more bedroom house/dwelling unit - 2 spaces per dwelling, one which must be capable of being covered (may be provided in tandem).
- Garages for any single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
 - The front facing building wall, which comprises the garage door, must not exceed an external width of 5.8m
 - The garage door:
 - Width must not exceed 4.8m
 - Must have a minimum 450mm eave above it
 - Must be setback a minimum of 240mm behind the pillar of the garage door, and
 - Must have a sectional tilt or roller door.
 - The front façade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
 - One or more features comprising:
 - A front entrance door with glass inserts;
 - A sidelight where the front door is solid;
 - Window to a habitable room.
 - A front verandah, portico or porch connecting to the front entrance, which extends a minimum of 1600mm forward of the front facade
 - The verandah, portico or porch is to include front piers with distinct materials and/or colours.
 - Driveways cannot exceed 3.5m in width at the boundary on Lots between 10.0m and 12.49m wide.
- Tandem garages are permitted on any lot less than 12.5m wide.
- The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double garage and 3 metres for a lot with a single garage.
- All double garages should be setback behind the main face of the dwelling with doors articulated, compromising a mix of materials and colours, or staggered.
- Garages are to located along the Built to Boundary wall. Where no Built to Boundary wall is proposed, garages are to be located on the low side of the lot. Where the lot has no low side garages are to be located on the western or southern side of the lot.
- Maximum of one driveway per dwelling unless it is a corner lot.
- Minimum distance of a driveway from an intersection of one street with another street 6.0 meters.

On-Street Parking

- On-street car park is to be provided in accordance with the following minimum requirement – 0.75 spaces per dwelling.
- All on-street parking is to be provided within reasonable proximity to the house/dwelling unit.

Private Open Space

- Private open space is to be provided in accordance with the following requirements:
 - One room or one bedroom house/dwelling unit - minimum 5m² with a minimum dimension of 1.2m;
 - Two bedroom house/dwelling unit - minimum 9m² with a minimum dimension of 2.4m;
 - Three or more bedroom house/dwelling - minimum 12m² with a minimum dimension of 2.4m
- Private open space must be in accordance with the following requirements:
 - Accessible from a living room; and
 - Adequate space to accommodate a table, chair, planting, barbeque and shade; and
 - Maximum gradient not exceeding 1:10.

Street Address

- Letterbox clearly visible and identifiable from street.
- Buildings must address each street, pathway or park frontage through the inclusion of window openings / glazing in doors and one or more of the following design elements in the related facade:
 - verandahs; and/or
 - porches; and/or
 - awning and shade structures; and/or
 - variation to roof and building lines; and/or
 - use of varying building materials.

Fencing

- Fencing, screening or level changes to provide privacy but still allow for overlooking of the street and park to promote casual surveillance.
- Fencing on all Primary Street Frontages has a maximum height of 1.2 metres where solid or have a maximum height of 1.5 metres where containing openings that make the fence more than 50% transparent.
- Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.
- Fences in key locations are to be consistent and articulated fence design to :
 - Non-access roads;
 - High visibility open space areas.
- Fences on pedestrian linkages are to have a maximum height of 1.2m where solid, or have a maximum height of 1.8m where containing openings that make the fence more than 50% transparent.

Building Articulation

- All buildings with a width of more than 10 metres that are visible from a street or a park must be articulated to reduce the mass of the building by one or more of the following :
 - Windows recessed into the facade
 - Balconies, porches or verandahs
 - Window Hoods/Screens
 - shadow lines are created on the building through minor changes in the facade (100 millimetres minimum)
- Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
- All buildings must incorporate two or more of the following design elements which provide diversity in building form as well as respond to the climate.
 - Verandahs / Porch
 - Roof Overhangs
 - Window Hoods/Screens
 - Awnings and Shade Structures

Protected Vegetation / Building Exclusion Zone

- The vegetation in the 10m Protected Vegetation / Building Exclusion Zone Buffer is to be preserved and maintained.
- No buildings or structures are to be constructed in the buffer.
- The buffer takes precedence over the minimum setbacks stated in the Plan of Development Table.

Additional Criteria for Multiple Residential Allotments

- Buildings must address all street frontages with driveways, pedestrian entries or both.
- All dwellings must have a clearly identifiable front door, which is undercover.
- Have drying and rubbish bin areas behind the main face of the dwelling or suitably screen from public streets and park frontages.
- Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.

Additional Criteria for Secondary Dwellings

- Floor area must be between a minimum of 30m² and 75m².
- Materials, detailing, colours and roof form are consistent with those of the primary house.
- Outdoor living space must measure a minimum of 9m² with a minimum dimension in any direction of 3 metres.
- Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
- Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
- A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
- The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
- Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary street to the secondary dwelling.
- Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.
- Any secondary dwelling is not permitted its own letterbox and must be shared with the primary dwelling.
- Any secondary dwelling is unable to be separately titled to the primary dwelling.
- No secondary infrastructure servicing to the secondary dwelling is permitted (i.e. water, gas, electricity).

Legend

General

- Site Boundary
- Stage Boundary
- 1.5m Footpath
- 2.0m Footpath
- 2.5m Footpath
- 0.5m Contours

Development Controls

- Built to Boundary Location
- Indicative Driveway Location

Constraints

- Retained Remnant Endangered Regional Ecosystem
- 33m Buffer to Remnant Endangered Regional Ecosystem
- 33m Bushfire Setback
- Developed 1% AEP

Open Space

- District Sports Park
- Linear Open Space (Active)
- Linear Open Space (Conservation)
- Pedestrian Linkage / Landscape Treatment

Plan of Development Table	Villa Allotments		Premium Villa Allotments		Courtyard & Premium Courtyard Allotments		Traditional & Premium Traditional Allotments		Lifestyle Allotments		Premium Lifestyle Allotments	
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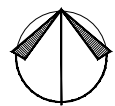
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Date: 15 October 2021



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